

18-334228 000.00 MK

DOOR SCHEDULE:

- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
- 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
- 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
- 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
- 4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 5 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 12 = 2'-8" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL
F1 = 42x42x18" CONCRETE PAD	F1 = 48x48x20" CONCRETE PAD
F2 = 36x36x18" CONCRETE PAD	F2 = 40x40x18" CONCRETE PAD
F3 = 30x30x12" CONCRETE PAD	F3 = 34x34x14" CONCRETE PAD
F4 = 24x24x12" CONCRETE PAD	F4 = 28x28x12" CONCRETE PAD
F5 = 18x18x8" CONCRETE PAD	F5 = 18x18x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 25" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90x90x6) + 2'-2" x 8" SPR.	WL8 = 5' x 3'1 1/2" x 5'16" (125x90x6) + 2'-2" x 12" SPR.
WL2 = 4' x 3'1 1/2" x 5'16" (100x90x6) + 2'-2" x 8" SPR.	WL7 = 5' x 3'1 1/2" x 5'16" (125x90x6) + 3'-2" x 10" SPR.
WL3 = 5' x 3'1 1/2" x 5'16" (125x90x6) + 2'-2" x 10" SPR.	WL6 = 5' x 3'1 1/2" x 5'16" (125x90x6) + 3'-2" x 12" SPR.
WL4 = 6' x 3'1 1/2" x 5'16" (150x90x10) + 2'-2" x 12" SPR.	WL9 = 6' x 4' x 3'8" (150x100x10) + 3'-2" x 12" SPR.
WL5 = 6' x 4' x 3'8" (150x100x10) + 2'-2" x 12" SPR.	

WOOD LINTELS:

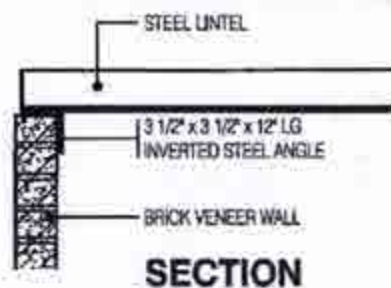
WB1 = 2'-2" x 8" SPRUCE BEAM	WB6 = 3'-2" x 12" SPRUCE BEAM
WB2 = 3'-2" x 8" SPRUCE BEAM	WB7 = 5'-2" x 12" SPRUCE BEAM
WB3 = 2'-2" x 10" SPRUCE BEAM	WB10 = 4'-2" x 8" SPRUCE BEAM
WB4 = 3'-2" x 10" SPRUCE BEAM	WB11 = 4'-2" x 10" SPRUCE BEAM
WB5 = 2'-2" x 12" SPRUCE BEAM	

STEEL LINTELS:

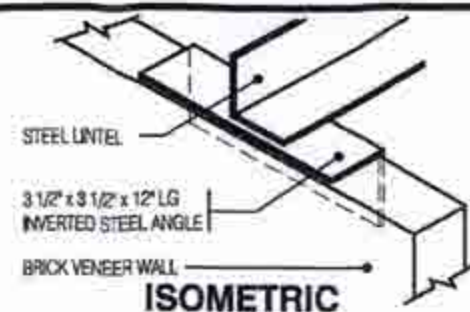
L1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90 x 90 x 6)	L4 = 6' x 3'1 1/2" x 3'8" (150 x 90 x 10)
L2 = 4' x 3'1 1/2" x 5'16" (100 x 90 x 6)	L5 = 6' x 4' x 3'8" (150 x 100 x 10)
L3 = 5' x 3'1 1/2" x 5'16" (125 x 90 x 6)	L6 = 7' x 4' x 3'8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7'1 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7'1 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7'1 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7'1 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9'1 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9'1 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9'1 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9'1 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11'7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11'7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11'7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11'7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)



INVERTED STEEL ANGLE DETAIL



Scale: 3/4" = 1'-0"

CLOVER 11A ELEV.-1		ENERGY EFFICIENCY- SB12	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	510.00	110.00	21.57 %
LEFT SIDE	986.00	188.00	18.96 %
RIGHT SIDE	986.00	0.00	0.00 %
REAR	478.00	118.00	24.90 %
TOTAL	2940.00	415.00	14.12 %

ELEVATION 1

AREA CALCULATIONS

GROUND FLOOR AREA	=	872 Sq. Ft.
SECOND FLOOR AREA	=	1008 Sq. Ft.
LOFT PLAN AREA	=	0 Sq. Ft.
TOTAL FLOOR AREA	=	1880 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1880 Sq. Ft.
GROUND FLOOR COVERAGE	=	872 Sq. Ft.
GARAGE COVERAGE / AREA	=	218 Sq. Ft.
PORCH COVERAGE / AREA	=	284 Sq. Ft.
COVERAGE W/ PORCH	=	1393 Sq. Ft.
	=	129.4 Sq. m.
COVERAGE W/O PORCH	=	1090 Sq. Ft.
	=	101.5 Sq. m.

All work shall conform to the Ontario Building Code O. Reg. 332/12 as amended

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: CEGE

This stamp is only for the purposes of design control and carries no other professional obligations.

OFFICE OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 14 2018
BY
MARK DERKSEN

AUG 31 2018

STRUDET INC.



FOR STRUCTURE ONLY

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTED MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
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No.	DATE	WORK DESCRIPTION:
7		
6		
5		
4		
3	AUG. 30 2018	ISSUED FOR BUILDING PERMIT
2	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW
1	APRIL 26, 2018	INTRODUCED INTO PROJECT FROM VAQUITA - CLOVER 11A

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
MINNISALE HOMES CORP.
CITY OF BRAMPTON

MODEL: CLOVER 11A
SCALE: 3/16" = 1'-0"
PROJ. No. 18-24 DWG. No. 0

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

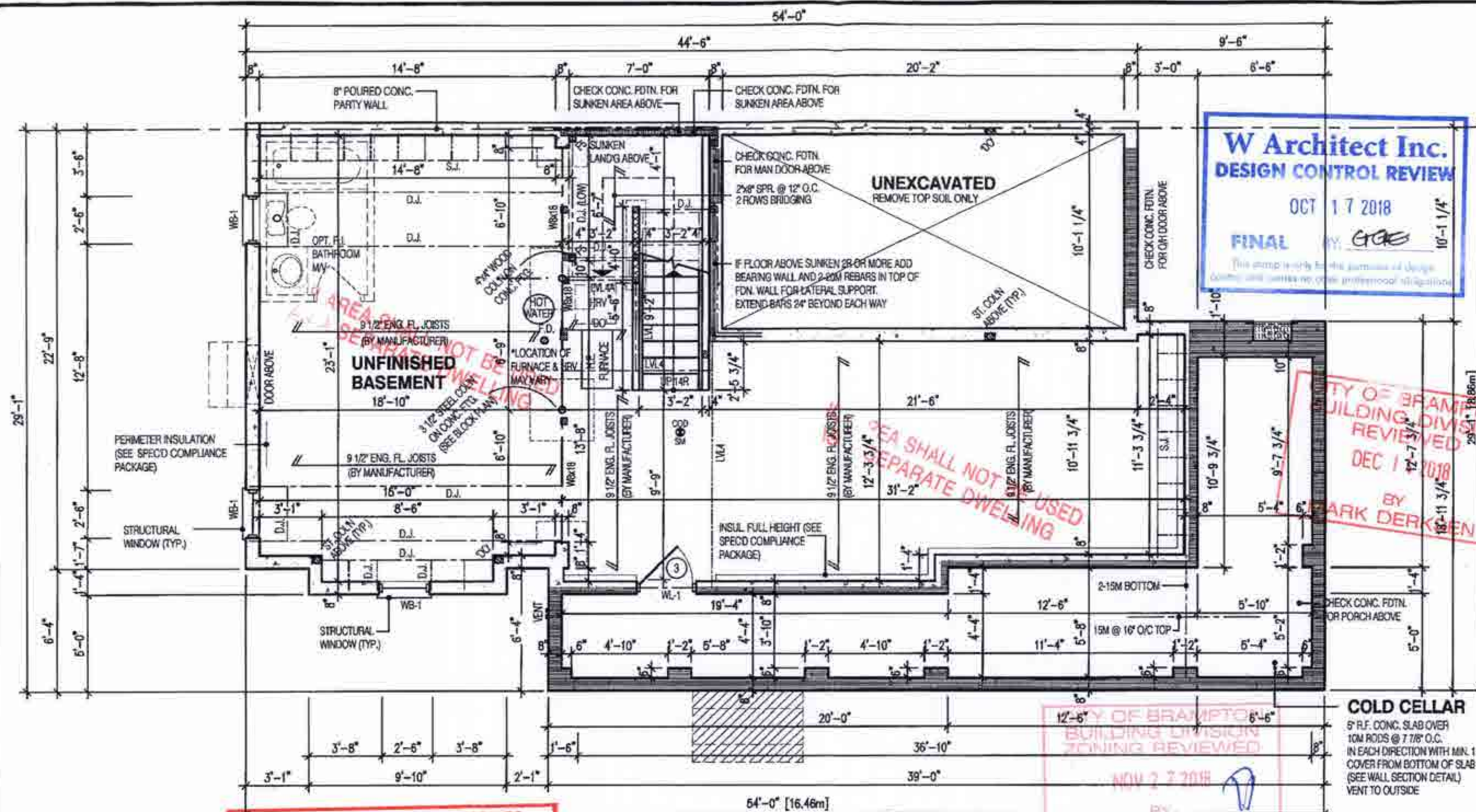
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.



ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O. REG. 332/12, AS AMENDED, DIVISION B, PART 7.

**CLOVER 11A
ELEV-1
TH 316-1**

**CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
NOV 30 2018
PLUMBING BY
KOFI MORIEL**

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 9'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
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NOTE:
SUBFLOOR TO BE 3/4" OSB ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
■ BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
■ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
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LVL LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
○ REPEAT NOTE
○ SHOWER WEEPERS

AUG 31 2018

STRUDET INC.



FOR STRUCTURE ONLY

**1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O. REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
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No.	DATE	WORK DESCRIPTION
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6		
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4		
3	AUG. 30 2018	ISSUED FOR BUILDING PERMIT
2	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW
1	APRIL 28, 2018	INTRODUCED INTO PROJECT FROM VAQUITA - CLOVER 11A

**jardin
DESIGN GROUP INC**
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN
MINNISALE HOMES CORP.
CITY OF BRAMPTON

BILD
MODEL: CLOVER 11A
SCALE: 3/16"=1'-0"
PROJ. No. 18-24 DWG. No. 1

1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O.REG. 332/12

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3	AUG. 30 2018 ISSUED FOR BUILDING PERMIT
2	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
1	APRIL 28, 2018 INTRODUCED INTO PROJECT FROM VAQUITA - CLOVER 11A
No.	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.3 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN
MINNISALE HOMES CORP.
CITY OF BRAMPTON

MODEL: CLOVER 11A
SCALE: 3/16" = 1'-0"
PROJ. No. 18-24 DWG. No. 2

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: GGE

This stamp is only for the purposes of design control and carries no other professional obligation.

FOR LOCATION OF GAS & HYDRO METER REFER TO DETAIL ON PAGE 6-2

8 IN WOOD POST ANCHORED TO A 4X4x4 SOLID MASS WOOD POST MOORE OR W. META. (SEE DETAIL 1-1)
CITY OF BRAMPTON BUILDING DIVISION REVIEWED
DEC 14 2018

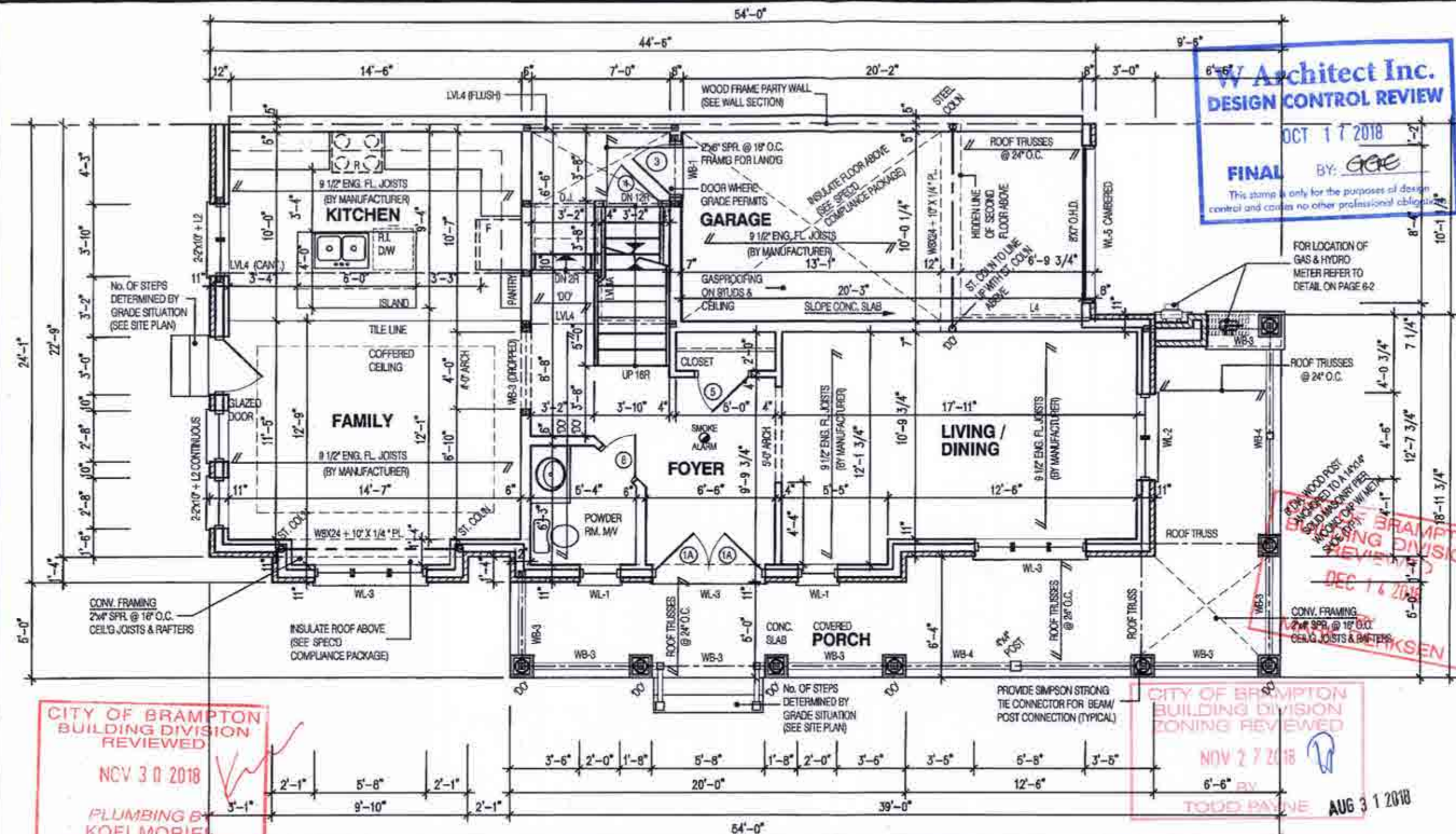
CONV. FRAMING 2x4 SPR @ 16" O.C. CEILING JOISTS & RAFTERS

CITY OF BRAMPTON BUILDING DIVISION ZONING REVIEWED
NOV 27 2018

AUG 31 2018



FOR STRUCTURE ONLY



CLOVER 11A
ELEV-1
TH 316-1

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O.REG. 332/12, AS AMENDED, DIVISION B, PART 7.

NOTE:
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NOTE:
REFER TO SHEET NO. 6-1 FOR LINTEL, BEAMS AND DOOR SIZE

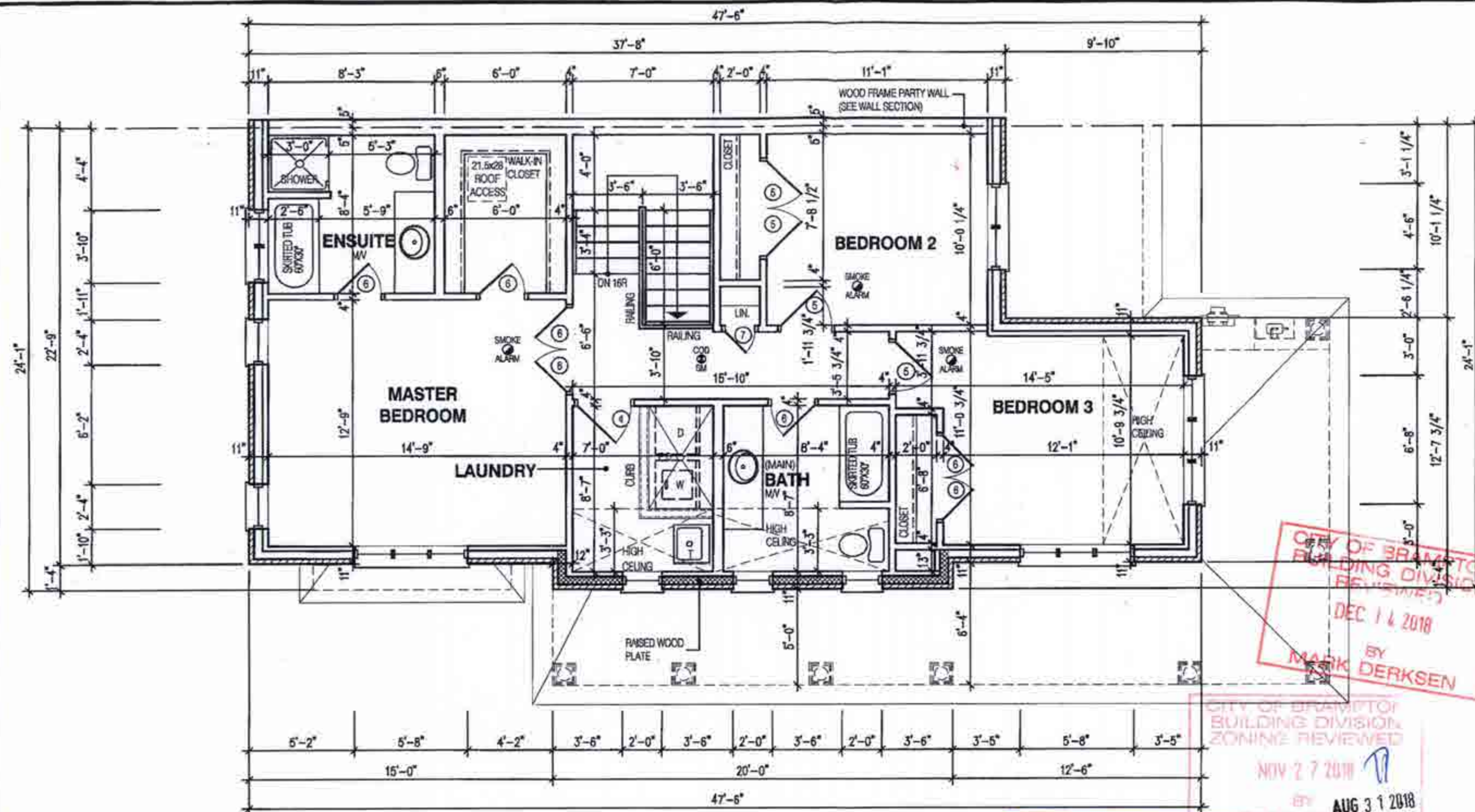
NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
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NOTE:
SUBFLOOR TO BE 5/8" OSB ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

- LEGEND:
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 - STL. PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS



**CLOVER 11A
ELEV-1
TH 316-1**

**CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED**
NOV 30 2018
PLUMBING BY
KOFI MORIEL

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *Ege*
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(45 MIN. FIRE RATING REQ'D)
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OR POINT LOAD FROM ABOVE
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- REPEAT NOTE
- SHOWER WEEPERS

NOTE:

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ROOF TRUSS DRAWINGS BY MANUFACTURER.

**ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION B, PART 7.**

**1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O. REG. 332/12**

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CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
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INC. PRIOR TO COMMENCEMENT OF WORK.
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OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION INFORMATION SHOWN ON
THE BASIS OF A BUILDING FRAME. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
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FOOTINGS.
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7	
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3	AUG. 30 2018 ISSUED FOR BUILDING PERMIT
2	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
1	APRIL 26, 2018 INTRODUCED INTO PROJECT FROM VAGLITA - CLOVER 11A
No.	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
1.2.3 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

Required unless design is exempt under Division C, Subsection
1.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECOND FLOOR PLAN

**MINNISALE HOMES CORP.
CITY OF BRAMPTON**

BILD MODEL: CLOVER 11A
SCALE: 3/16" = 1'-0"
PROJ. No. 18-24 DWG. No. 3

1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O.REG. 332/12

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W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL

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CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 14 2018
BY
MARK DERKSEN

2	AUG. 30 2018	ISSUED FOR BUILDING PERMIT
1	APRIL 26, 2018	INTRODUCED INTO PROJECT FROM VAQUITA - CLOVER 11A
No.	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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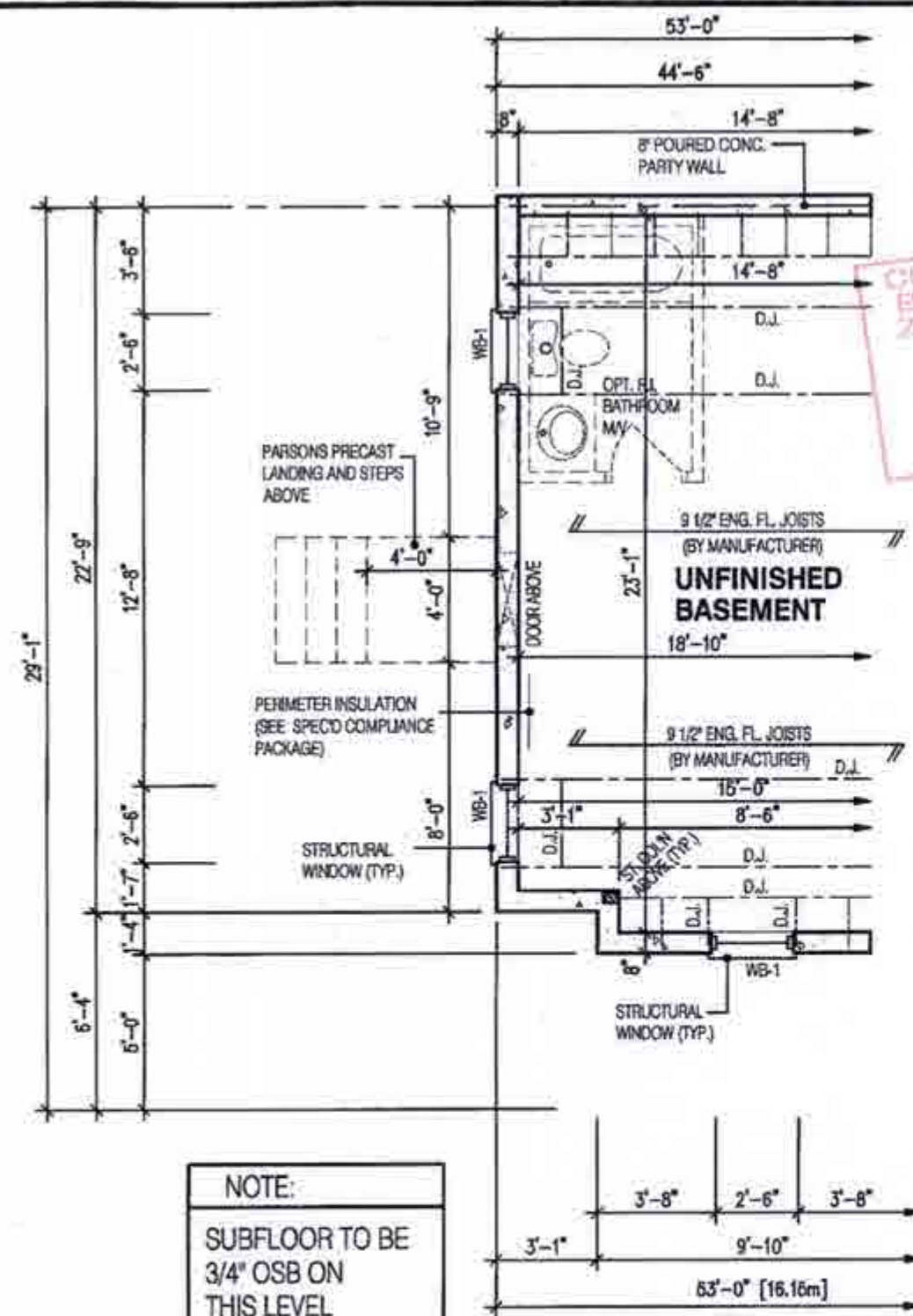
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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Jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION
MINNISALE HOMES CORP.
CITY OF BRAMPTON

MODEL: CLOVER 11A
SCALE: 3/16" = 1'-0"
PROJ. No. 18-24 DWG. No. 3-1



NOTE:
SUBFLOOR TO BE
3/4" OSB ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

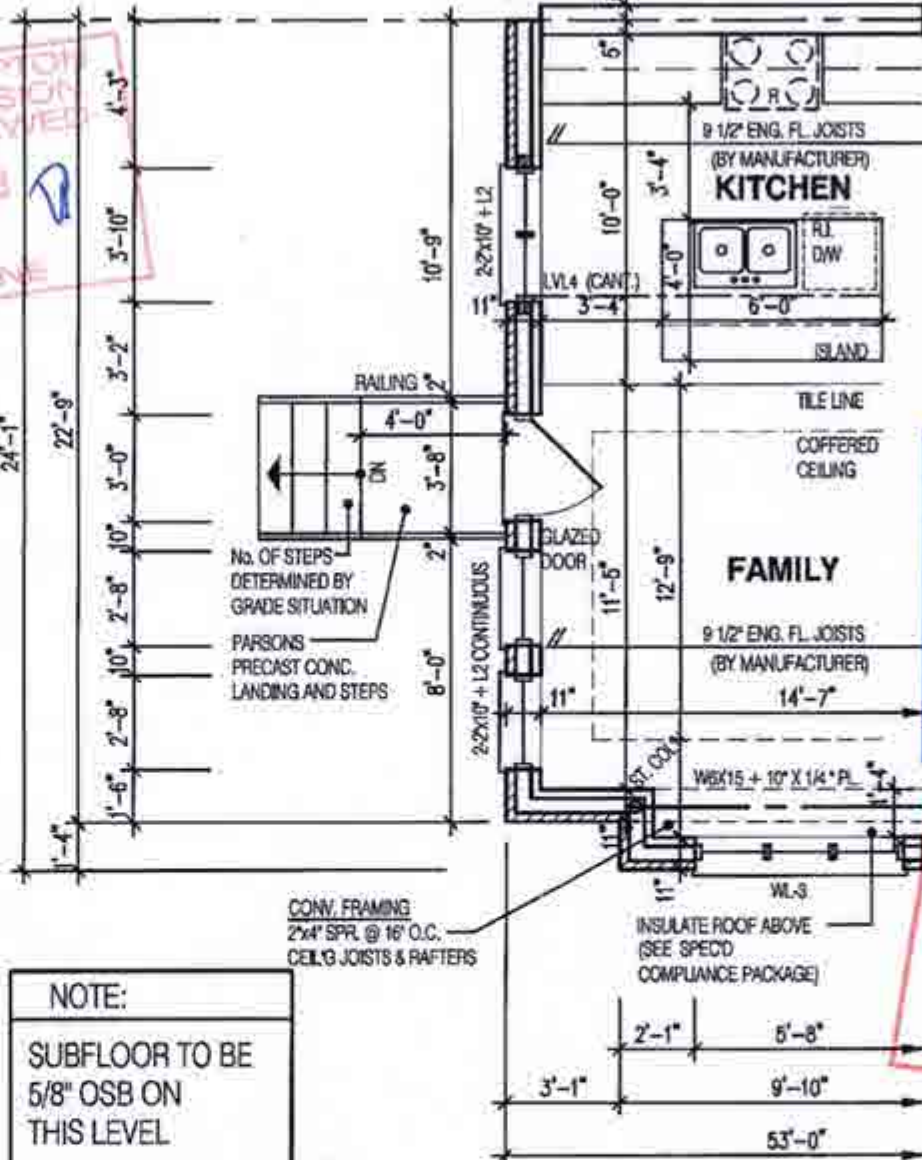
PARTIAL BASEMENT LAYOUT
FOR PARSON DECK CONDITION

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 27 2018
BY
TODD FAYNE

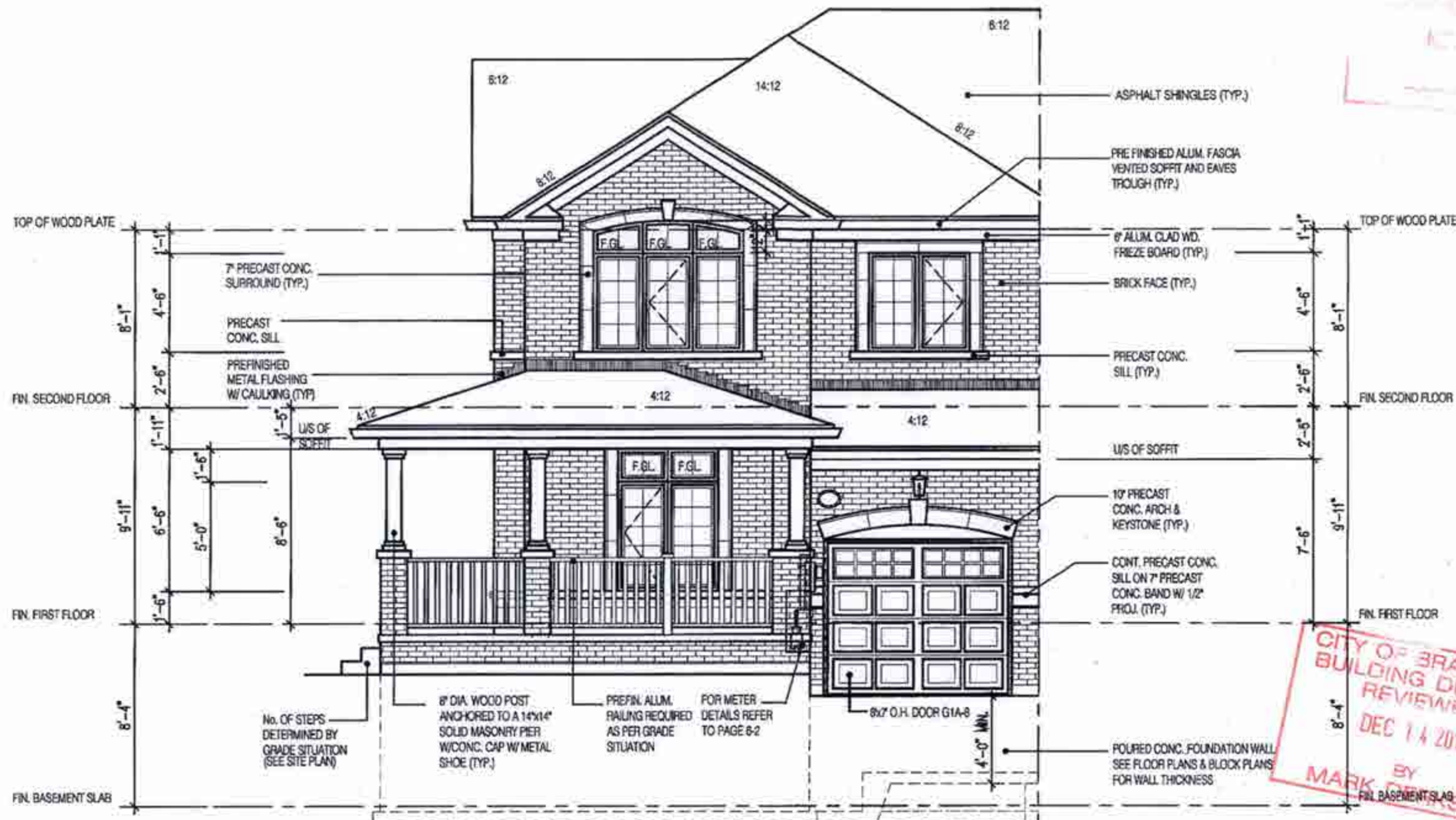
NOTE:
SUBFLOOR TO BE
5/8" OSB ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	LEGEND: ■ BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) ■ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE ■ STL. PLATE FOR STEEL COLUMN ABOVE ■ LVL LAMINATED VENEER LUMBER ■ S.J. SINGLE JOIST ■ D.J. DOUBLE JOIST ■ T.J. TRIPLE JOIST ○ REPEAT NOTE ○ SHOWER WEEPERS
NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 6'-7', 2 ROWS FOR SPANS GREATER THAN 7'	
NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.	



PARTIAL FIRST FLOOR LAYOUT
FOR PARSON DECK CONDITION

AUG 31 2018
STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY



**CLOVER 11A
ELEV-1
TH 316-1**

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: *EIGE*

This stamp is only for the purposes of design control and carries no other professional obligations.

AUG 31 2018

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

**CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 14 2018
BY
MARK JENSEN**

**1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
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7	
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3	AUG. 30 2018 ISSUED FOR BUILDING PERMIT
2	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
1	APRIL 26, 2018 INTRODUCED INTO PROJECT FROM VAQUITA - CLOVER 11A
No.	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

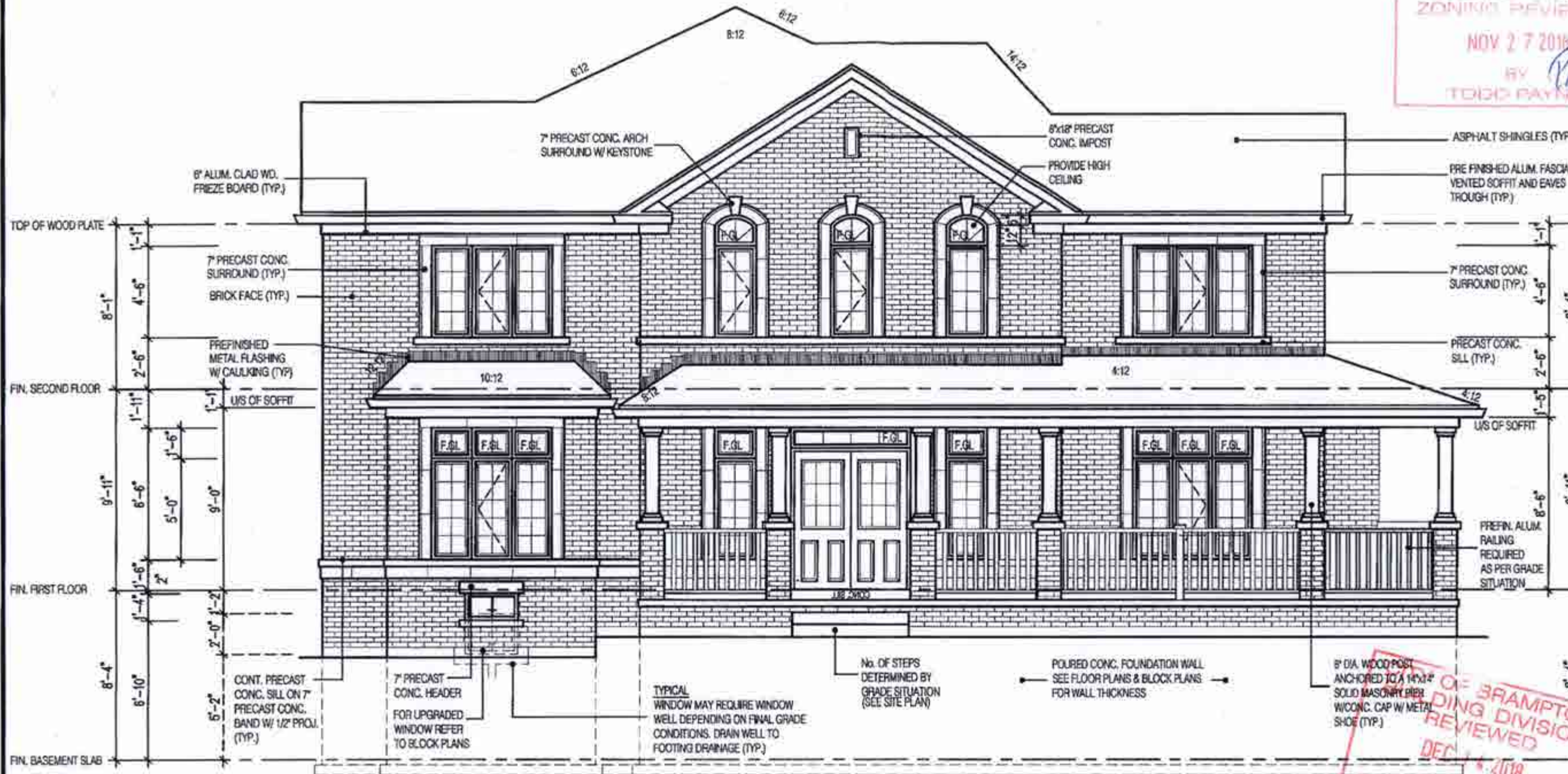
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.3 of the building code.

Walter Botter *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION
MINNISALE HOMES CORP.
CITY OF BRAMPTON

BILD
MODEL: CLOVER 11A
SCALE: 3/16" = 1'-0"
PROJ. No. 18-24 DWG. No. 4



**CLOVER 11A
FLANKAGE ELEV-1
TH 316-1**

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

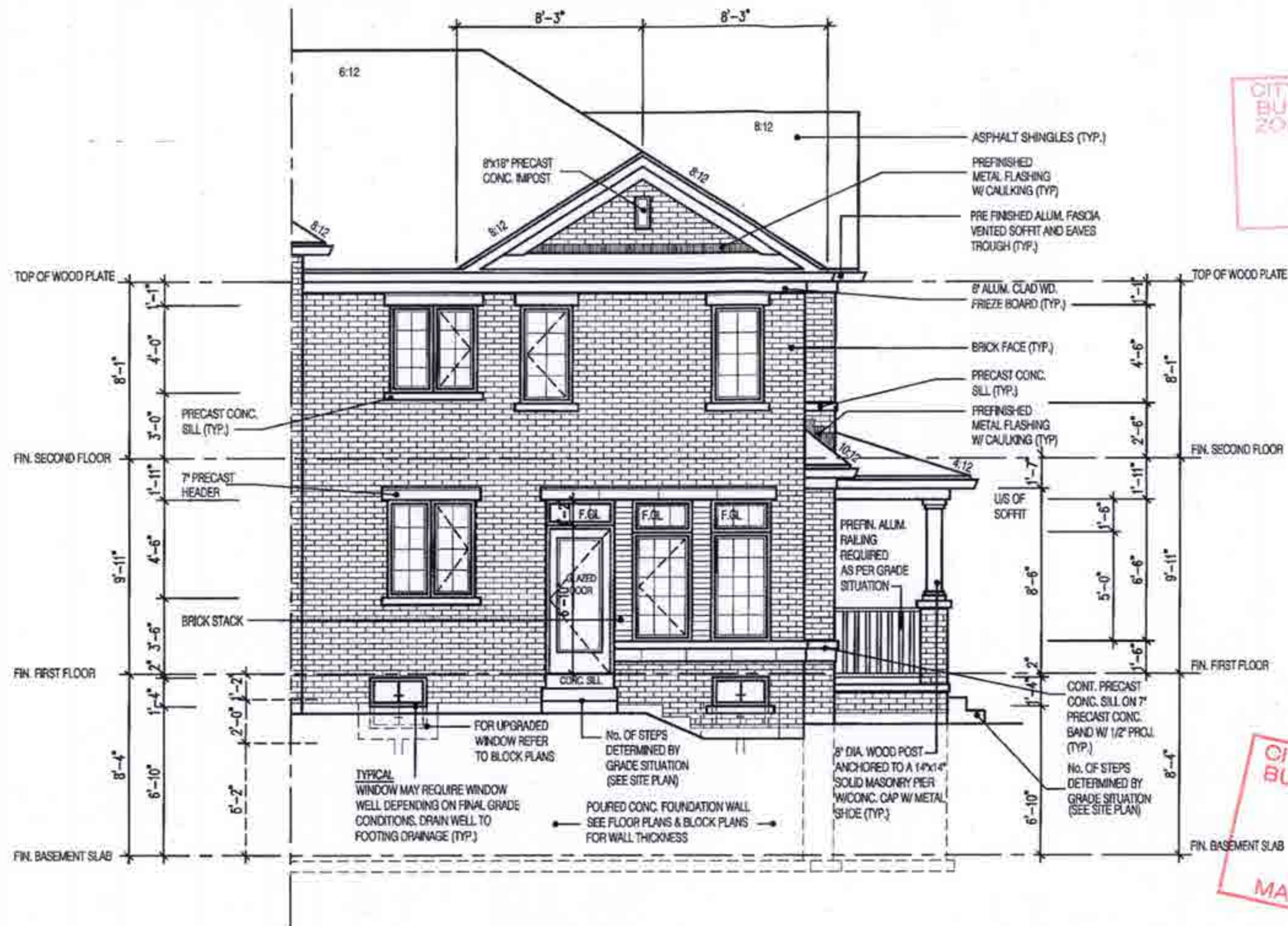
FINAL BY: *GERE*

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AUG 31 2018

NOTE:
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REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

1880	
TOWNHOUSE	
CLOVER 11A	
ELEVATION 1	
PACKAGE 'A1'	
O.REG. 332/12	
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3	AUG. 30 2018 ISSUED FOR BUILDING PERMIT
2	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
1	APRIL 26, 2018 INTRODUCED INTO PROJECT FROM VAQUITA - CLOVER 11A
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC. 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. Waiter Boffer <i>WBe</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. Jardin design group inc. 27763 FIRM NAME BCIN	
FLANKAGE ELEVATION	
MINNISALE HOMES CORP. CITY OF BRAMPTON	
BILD MODEL: CLOVER 11A SCALE: 3/16"=1'-0" PROJ. No. 18-24 DWG. No. 5	



**CLOVER 11A
ELEV-1 REAR UPGRADE
TH 316-1**

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: *EGE*

This stamp is only for the purposes of design control and carries no other professional obligations.

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
NOV 27 2018
BY
TODD PAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
DEC 14 2018
BY
MARK DERKSEN

AUG 31 2018

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

**1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O.REG. 332/12**

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3	AUG. 30 2018 ISSUED FOR BUILDING PERMIT
2	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
1	APRIL 26, 2018 INTRODUCED INTO PROJECT FROM VACUITY - CLOVER 11A
No.	DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

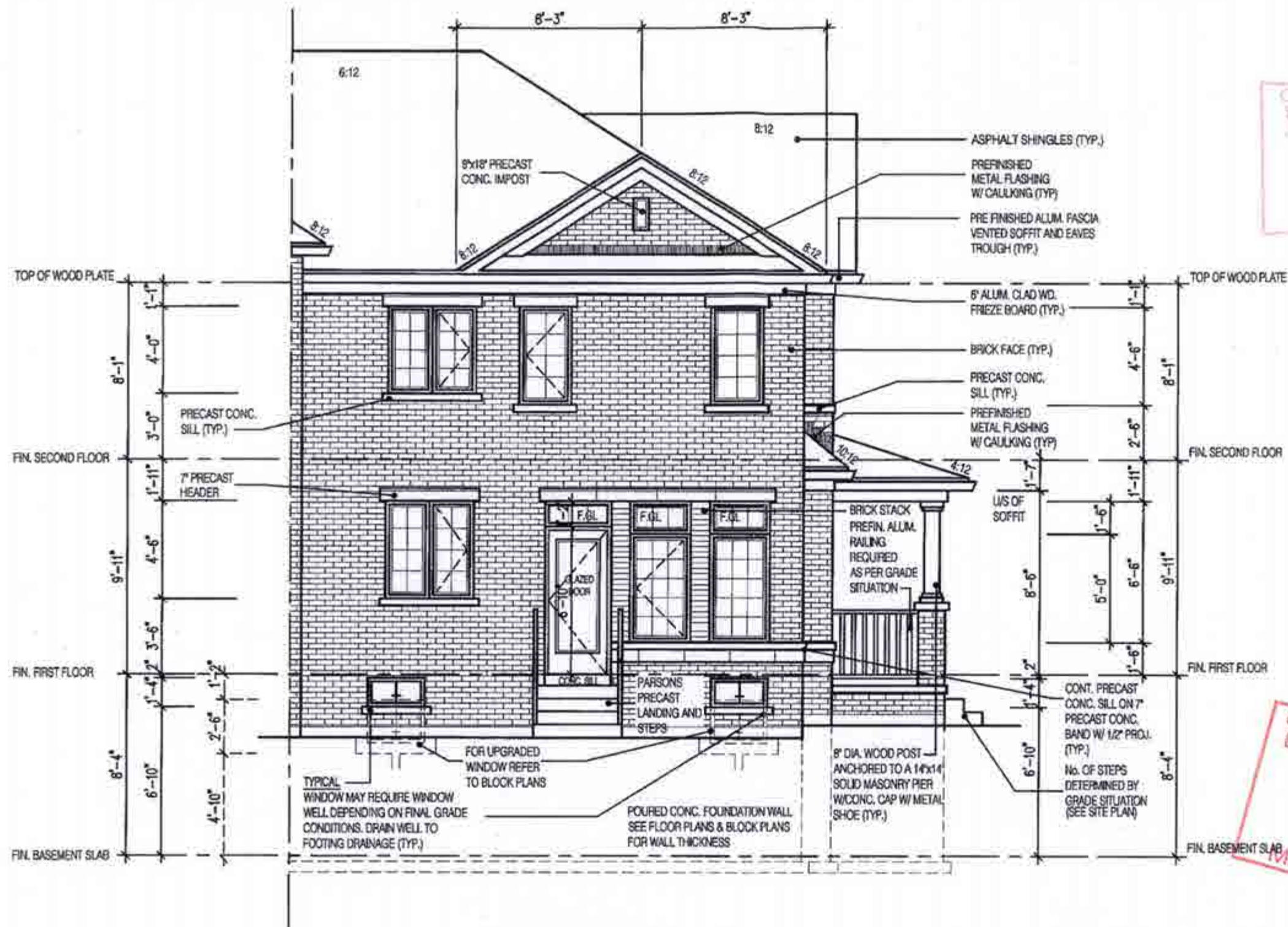
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION

MINNISALE HOMES CORP.
CITY OF BRAMPTON

MODEL: CLOVER 11A
SCALE: 3/16"=1'-0"
PROJ. No. 18-24 DWG. No. 6



**CLOVER 11A
ELEV-1 REAR UPGRADE
TH 316-1**

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: *CTE*

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AUG 31 2018

NOTE:
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REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

CITY OF BRAMPTON
BUILDING DIVISION
NOV 27 2018
TODD PAYNE

CITY OF BRAMPTON
BUILDING DIVISION
DEC 14 2018
BY MARK DERKSEN

**1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O.REG. 332/12**

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3	AUG. 30 2018	ISSUED FOR BUILDING PERMIT
2	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW
1	APRIL 28, 2018	INTRODUCED INTO PROJECT FROM VADLITA - CLOVER 11A
No: DATE: WORK DESCRIPTION:		

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION

**MINNISALE HOMES CORP.
CITY OF BRAMPTON**



MODEL: CLOVER 11A
SCALE: 3/16" = 1'-0"
PROJ. No. 18-24
DWG. No. 6-1

FOR HYDRO METER BOX INSTALLATION
REFER ALSO TO ELECTRICAL UTILITIES
DRAWINGS & SPECIFICATIONS



COLUMN PER BUILDER SPEC.

PRECAST CONCRETE COPING

MASONRY VENEER

LINE OF FOUNDATION WALL

CUT 2" PVC CONDUIT FLUSH W/
FOUNDATION WALL

45 DEGREE STANDARD ELBOW
SLEEVE BY OTHERS

75 MM (3") RIGID PVC DUCT

HYDRO CONDUIT EXIT BY BUILDER 4" (100mm)
FROM STRUCTURE C/W FLARED/BELLMOUTH END

FIN. BASEMENT SLAB

NOTE:
ALL CONDUIT MUST EXIT ON THE PORCH
SIDE, NOT THE DRIVEWAY SIDE (INSTALLED
BY BUILDER)

NOTE:

1. METER SOCKET MUST BE SECURED TO THE INSIDE
WALL OF THE BOX OPENING
2. MINIMUM 204MM CLEARANCE FOR HYDRO USE AND
INCREASE SPACE REQUIRED FOR INSTALLATION OF OTHER
UTILITY BOXES.
3. METER BASE BOX FACE MUST BE IN
LINE WITH THE OUTSIDE BRICK WALL.
4. ALL DIMENSIONS IN MILLIMETRES
UNLESS OTHERWISE SPECIFIED.

W Architect Inc.

DESIGN CONTROL REVIEW

OCT 17 2018

FINAL

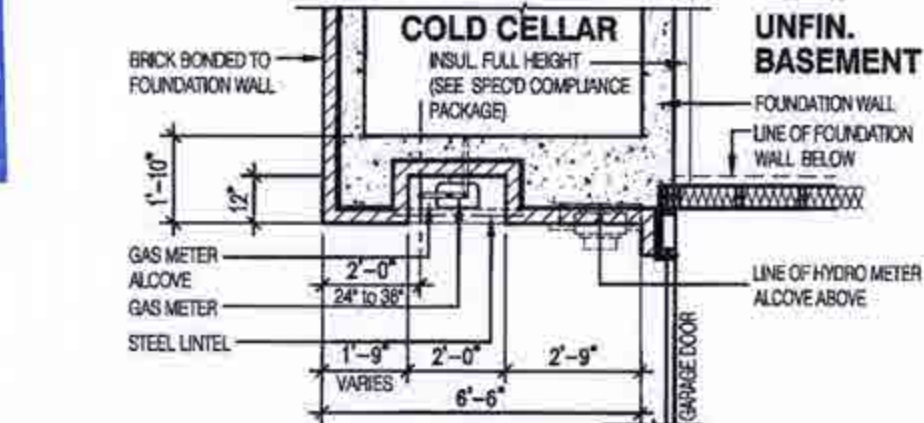
BY: GGE

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control and carries no other professional obligations

PLAN OF RECESSED WALL FOR GAS / HYDRO METER AT PORCH BY GARAGE

Scale: 1/4" = 1'-0"

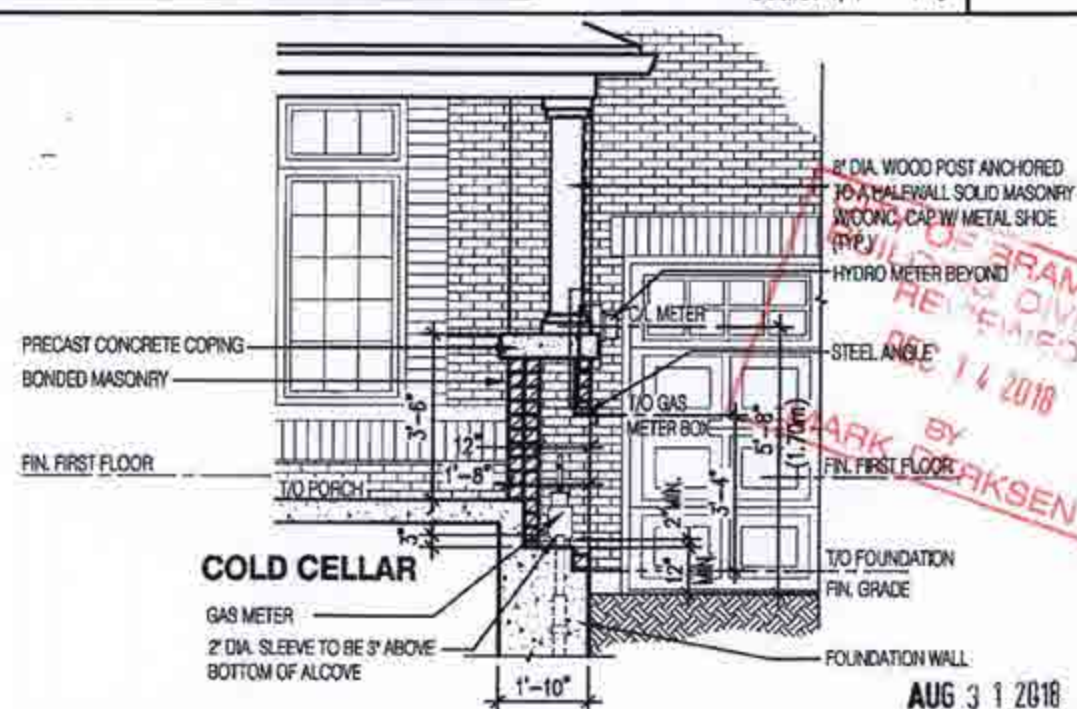
D-2



SECTION OF RECESSED WALL FOR GAS / HYDRO METER BY AT PORCH BY GARAGE

Scale: 1/4" = 1'-0"

D-3



ELEVATION OF RECESSED WALL FOR GAS / HYDRO METER AT PORCH BY GARAGE

Scale: 3/8" = 1'-0"

D-1

SECTION OF RECESSED WALL FOR GAS / HYDRO METER AT PORCH BY GARAGE

Scale: 1/4" = 1'-0"

D-4

**1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O.REG. 332/12**

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INC. PRIOR TO COMMENCEMENT OF WORK.
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1	AUG 30 2018 ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

**jardin
DESIGN GROUP INC**
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

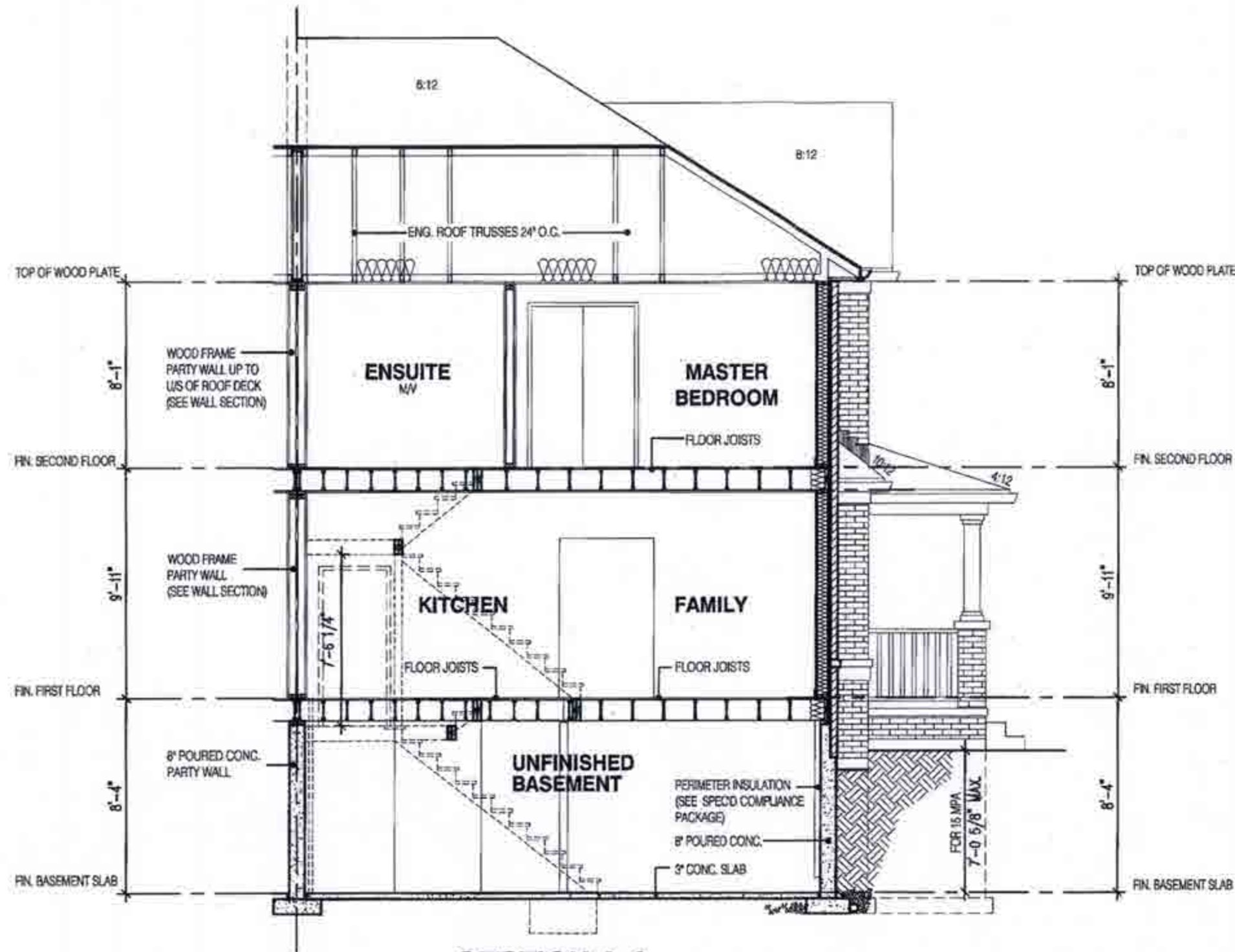
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a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Walter Botter 21037
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.
Jardin design group inc. 27763
FIRM NAME BCIN

HYDRO & GAS METER DETAIL
MINNISALE HOMES CORP.
CITY OF BRAMPTON

BILD
MODEL
SCALE:
3/16" = 1'-0"
PROJ. No. 18-24 DWG. No. 6-2

AUG 31 2018



SECTION A-A



1880
TOWNHOUSE
CLOVER 11A
ELEVATION 1
PACKAGE 'A1'
O.REG. 332/12

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3	AUG. 30 2018	ISSUED FOR BUILDING PERMIT
2	JULY 18, 2018	ISSUED FOR STRUCTURAL REVIEW
1	APRIL 28, 2018	INTRODUCED INTO PROJECT FROM VAGUETA - CLOVER 11A
No:	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter *Walter Botter* 27031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION A-A
MINNISALE HOMES CORP.
CITY OF BRAMPTON

MODEL: CLOVER 11A
SCALE: 3/16"=1'-0"
PROJ. No. 18-24 DWG. No. 7

