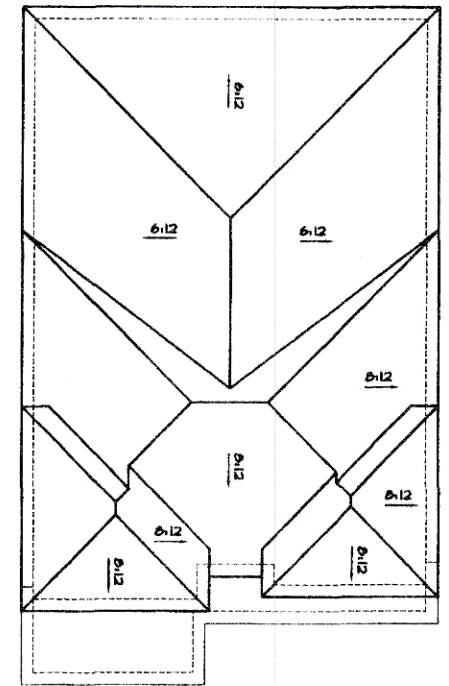
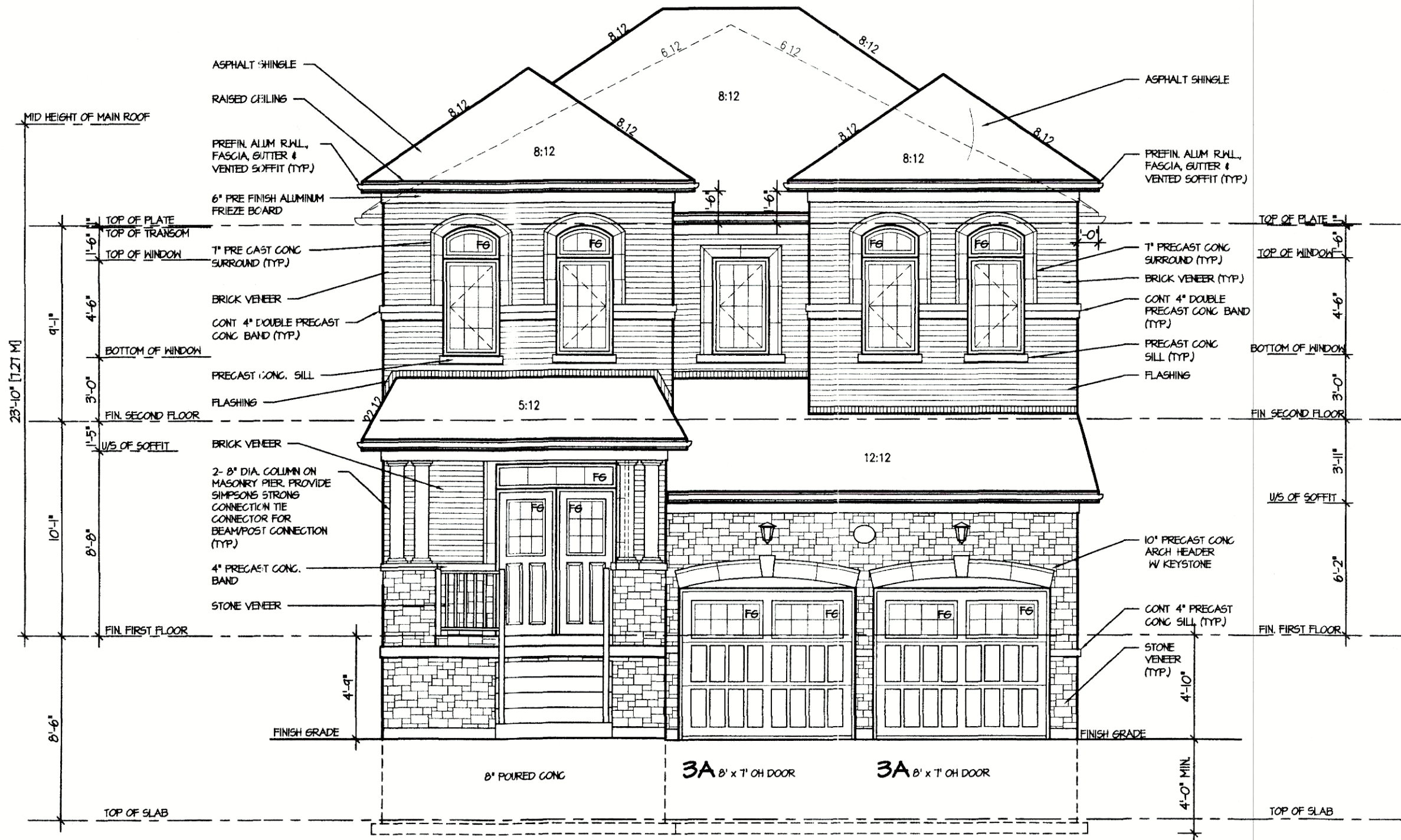




ROOF PLAN 2
SCALE- N.T.S.



FRONT ELEVATION 2
FOR LOT 160

DROPPED FRONT GRADE CONDITION CHANGES:
- GARAGE ROOF DROPPED 2'-0"
- GARAGE ROOF SLOPE INCREASED TO 12:12

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

FEB 28 2019

ROSEWOOD 1
COMPLIANCE PACKAGE "A1"

5		
4		
3	REVISED FOR LOT 160	OCT 2018
2	ISSUED FOR PERMIT	JUNE 2017
1	ISSUED FOR REVIEW	FEB 2017

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC
8700 DUFFERIN ST
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
FRONT ELEVATION 2
FOR LOT 160

SCALE 3/16"=1'-0"	BY ZMP
DATE OCT 2018	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRINTS ARE NOT TO BE SCALED

AREA 2655	PAGE No 4-2B
PROJECT 03-13-03	

Greenpark

PROJECT NAME
RUSSEL GARDENS II