

1899 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL.)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa, MADE SOIL 90 KPa, ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB8 = 4-2"x10" (4-38x235) SPR. No.2
WB9 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
10	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

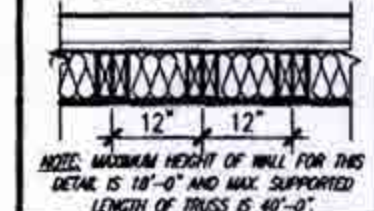
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS, UNLESS OTHERWISE NOTED.

**TWO STOREY HEIGHT
WALL DETAIL**

2-2"x6" STUD WALL NAIL TOGETHER AND
SPACED @ 12" O.C. FULL HEIGHT, w/ 2"x8" OR
BLOCKING @ 4'-0" O.C. VERTICAL AND 2'/16"
EXT. PLYWOOD SHEATHING.



NOTE: MINIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 10'-0" AND MAX SUPPORTED
LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO
THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
PER OBC SUPPLEMENTARY STANDARD SB-12,
SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Walls Above Grade	3.87 (R22)	6" R22 BATT
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL.
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.2 for information.	

ci- Denotes Continuous insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 3 ELEV. 1 (4 BED)		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.64 %
LEFT SIDE	944.10 S.F.	57.55 S.F.	6.10 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.		2850.82 S.F.	285.70 S.F.
TOTAL SQ. M.		264.85 S.M.	26.94 S.M.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 3 ELEV. 2 (4 BED)		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.24 %
LEFT SIDE	944.10 S.F.	57.55 S.F.	6.10 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.		2850.82 S.F.	283.98 S.F.
TOTAL SQ. M.		264.85 S.M.	26.36 S.M.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 3 ELEV. 1 (3 BED)		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.64 %
LEFT SIDE	944.10 S.F.	51.57 S.F.	5.46 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.		2850.82 S.F.	279.72 S.F.
TOTAL SQ. M.		264.85 S.M.	25.99 S.M.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 3 ELEV. 2 (3 BED)		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	481.31 S.F.	128.23 S.F.	26.24 %
LEFT SIDE	944.10 S.F.	51.57 S.F.	5.46 %
RIGHT SIDE	944.10 S.F.	23.50 S.F.	2.49 %
REAR	481.31 S.F.	76.42 S.F.	15.88 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.		2850.82 S.F.	277.80 S.F.
TOTAL SQ. M.		264.85 S.M.	25.81 S.M.

AREA CALCULATIONS		ELEV. '1'
GROUND FLOOR AREA	952 SF	
SECOND FLOOR AREA	943 SF	
TOTAL FLOOR AREA	1895 SF	
	(176.05 m ²)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	4 SF	
ADD TOTAL OPEN AREAS	+4 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1899 SF	
	(176.42 m ²)	
GROUND FLOOR COVERAGE	952 SF	
GARAGE COVERAGE/AREA	214 SF	
PORCH COVERAGE/AREA	46 SF	
COVERAGE W/ PORCH	1212 SF	
	(112.60 m ²)	
COVERAGE W/O PORCH	1106 SF	
	(108.32 m ²)	

AREA CALCULATIONS		ELEV. '2'
GROUND FLOOR AREA	969 SF	
SECOND FLOOR AREA	959 SF	
TOTAL FLOOR AREA	1928 SF	
	(179.12 m ²)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	4 SF	
ADD TOTAL OPEN AREAS	+4 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	1932 SF	
	(179.49 m ²)	
GROUND FLOOR COVERAGE	969 SF	
GARAGE COVERAGE/AREA	214 SF	
PORCH COVERAGE/AREA	46 SF	
COVERAGE W/ PORCH	1227 SF	
	(118.08 m ²)	
COVERAGE W/O PORCH	1183 SF	
	(109.90 m ²)	

1. POST PERMIT CARD IN A CONSPICUOUS PLACE
7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE
AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED
INSPECTIONS IN ADVANCE.
4. FAILURE TO COMPLY WITH REQUIREMENTS 1 TO 3
WILL RESULT IN STOP WORK ORDERS BEING POSTED.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 07 2019
BY
MARY EMENETTE

ALL ELECTRICAL INSTALLATIONS MUST BE
INSPECTED BY THE ELECTRICAL SAFETY
AUTHORITY. SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
CUSTOMER SERVICE CENTRE
PHONE: (877) 372-7233 FAX: (800) 667-4278

All work shall conform to the Ontario
Building Code O. Reg. 632/12 as amended.

Engineered floor joists shall be installed
in accordance with the supplier's layout and
specifications forming part of the permit drawings.

For conventional wood framing
framing shall conform to OBC 9.23

ENGINEERED FILL ON LOT(S)

Lot 12L

PROVIDE COPIES OF SOIL ENGINEER'S
REPORT(S) TO THE INSPECTOR
BEFORE FOOTING CONSTRUCTION

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: *W. Arch*
This stamp is only for professional design
control and carries no other professional obligations.

HEMLOCK 3
COMPLIANCE PACKAGE 'A1'



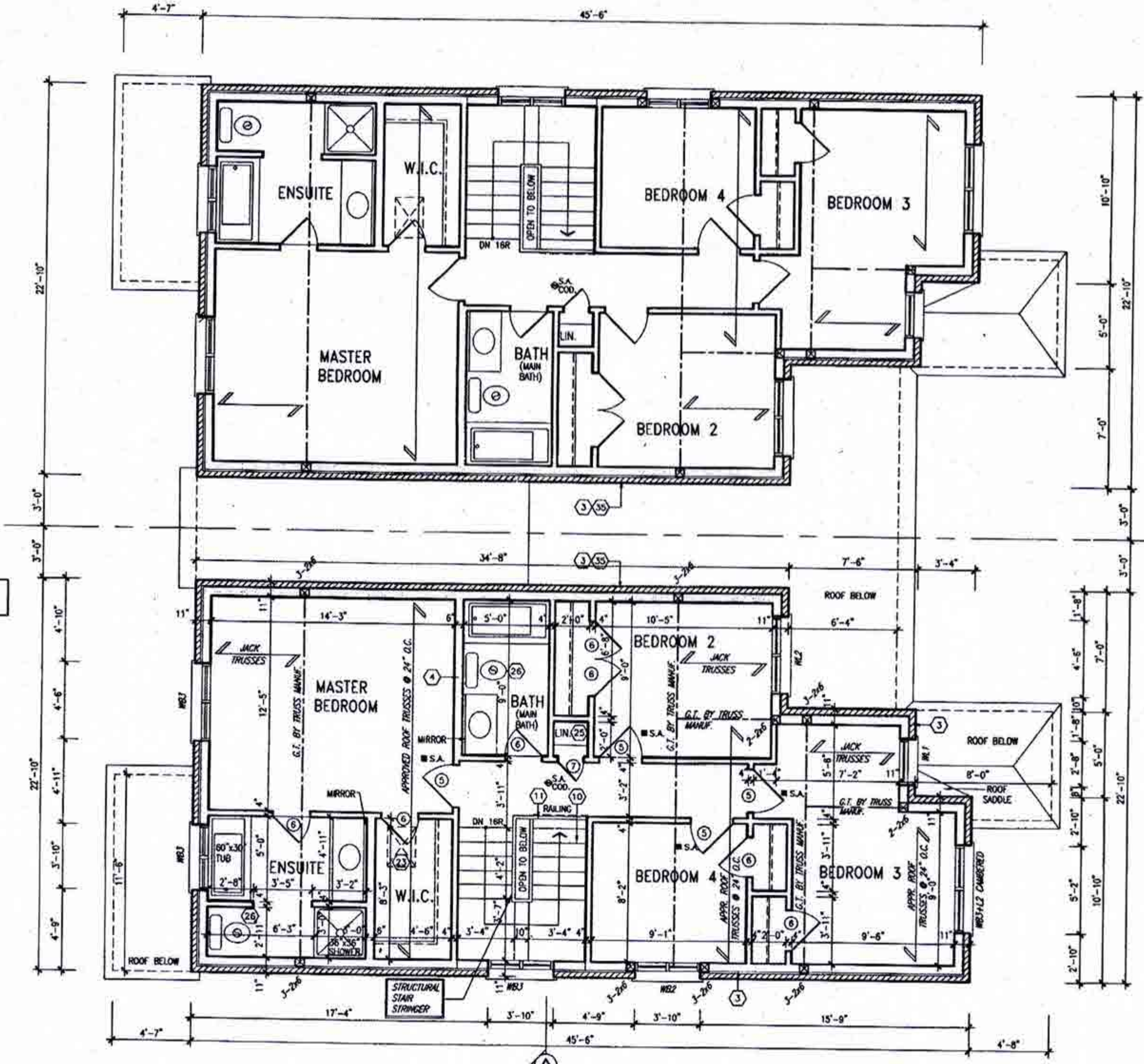
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NO.	DESCRIPTION	DATE	

CE PACKAGE AT	
HEMLOCK 3	
9.15m Semi	
PTON	180
T PLAN - ELEV. '1'	
18012-HEMLOCK-3	
A1	

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INDICATES 45 min. FRR WALL CONDITION IF LESS THAN 1.2m TO PROPERTY LINE



ELEV. '1'-REV.
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 02 2019
BY
MARY FENETTE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 01 2019
BY
TODD PAYNE

OPTIONAL SECOND FLOOR PLAN '1'
(4 BEDROOM)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for ensuring or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any issues can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O.B.C. 332/12, AS AMENDED, DIVISION 8, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
MAR 28 2019
PLUMBING BY
KOFI MORIEL

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: CTE
This stamp is only for the control and carries no other professional obligations.

HEMLOCK 3
COMPLIANCE PACKAGE A1

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHROOM IN MAIN BATHROOM. REFER TO OBC 9.5.2.3, 9.8.3.6(1)(a) & 9.8.3.12(1)(a).

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	JULY 25/18	OW
2	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 19/18	OW
3	REVISED PER CLIENT/ENGINEER COMMENTS	JUNE 28/18	OW
4	REVISED PER CLIENT/ENGINEER COMMENTS	JUNE 13/18	OW
5	ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	OW

VAS DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark. HEMLOCK 3 9.15m Semi

Project Name: MINNISALE HOMES CORP. Brampton

Drawn by: OPT. SECOND FLOOR PLAN - ELEV. '1'

Scale: 3/16" = 1'-0"

Sheet No: 18012-HEMLOCK-3

Revision: A4

17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	4
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(FOR WALLS LESS THAN 12M (3'-11") FROM THE LOT LINE)
55. MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/50.0L AND MUST FILL AT LEAST 80% OF THE CAVITY THICKNESS. THE TYPE "X" INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, DUCTS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

CITY OF MISSISSAUGA
BLACK & WHITE PHOTO
REVIEWED
FEB 07 11
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
FEB 01 2019
TODD PAYNE

This stamp is only for the purposes of design control and carries no other professional obligations.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

HEMLOCK 3
COMPLIANCE PACKAGE A1

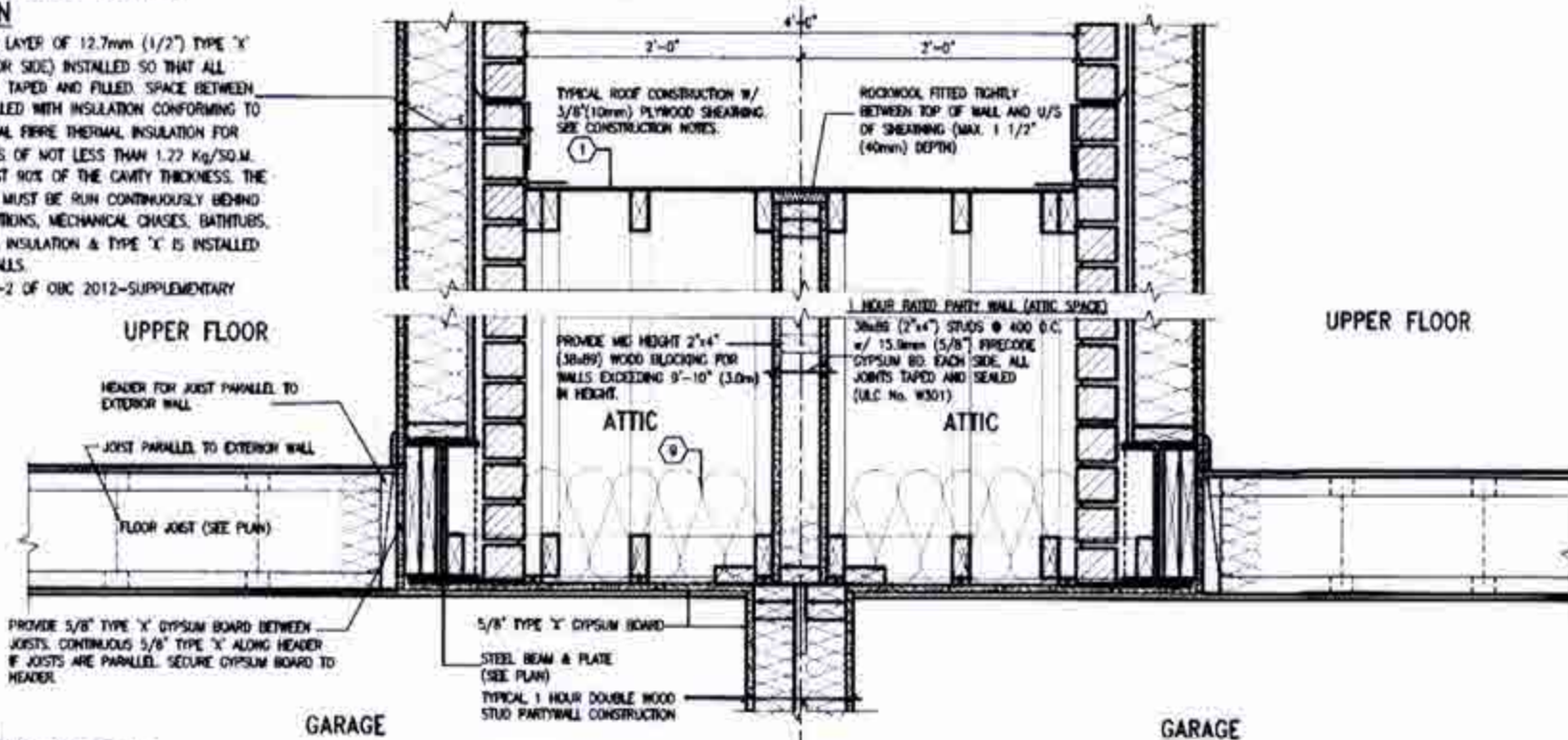
3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

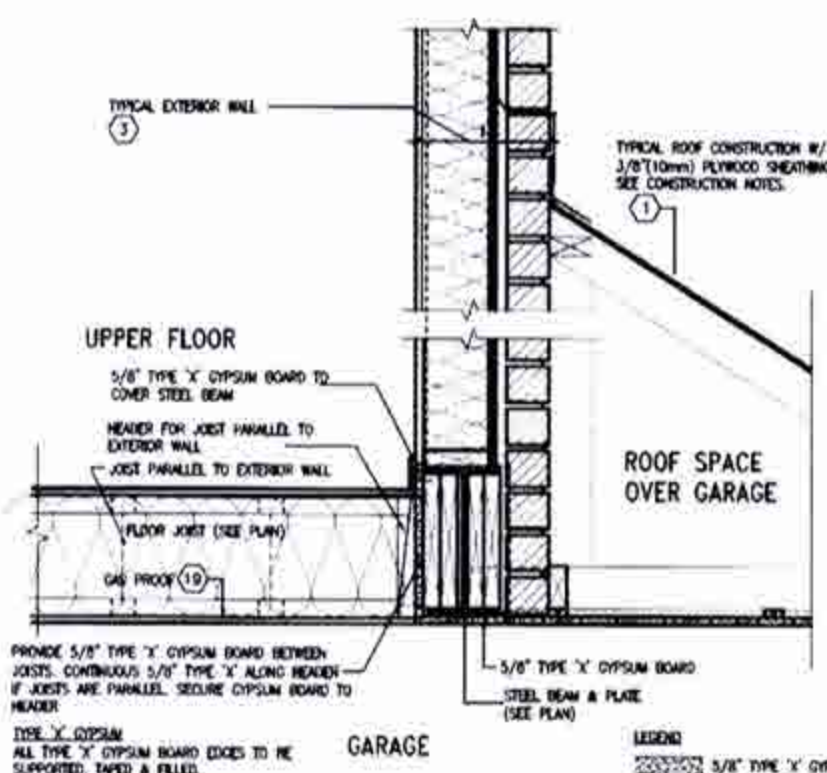
[illegible]

PROMOTE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE "X" CYSLUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPERED AND FILLED SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702. MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS WITH A MASS OF NOT LESS THAN 1.27 kg/50 m², AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE "X" INSULATION MUST BE RUN CONTINUOUSLY AROUND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN CAVAGE EXTERIOR WALLS.

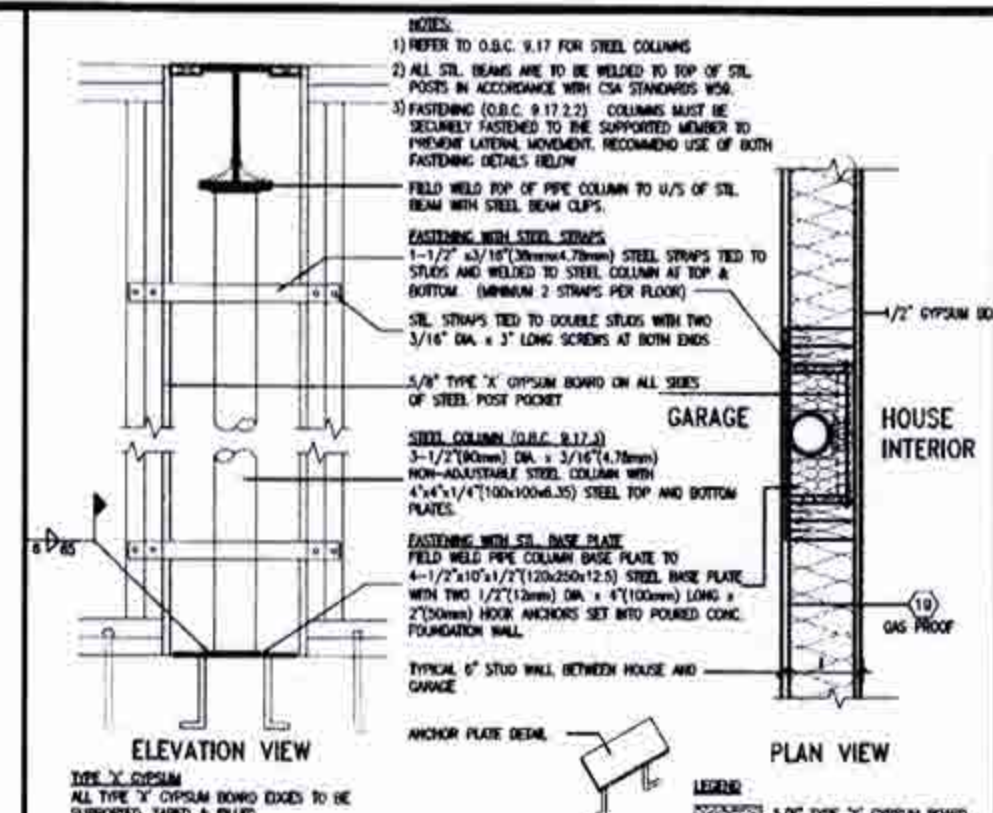
(REFER TO SECTION 58-2 OF CBC 2012-SUPPLEMENTARY STANDARDS)



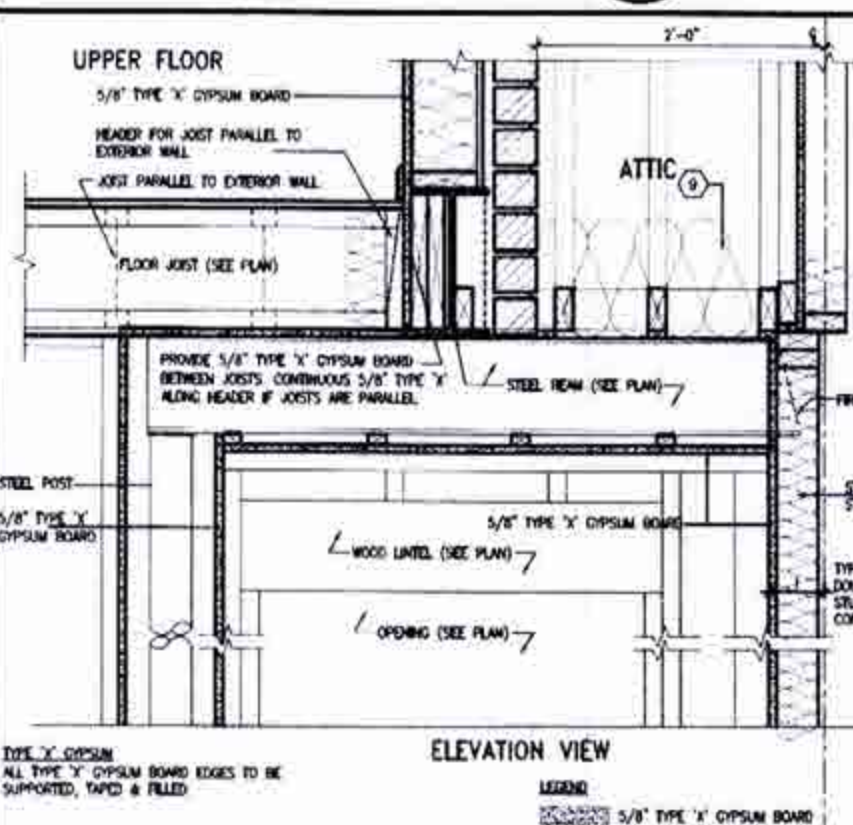
1 SECTION THRU FIRE RATED WALL
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



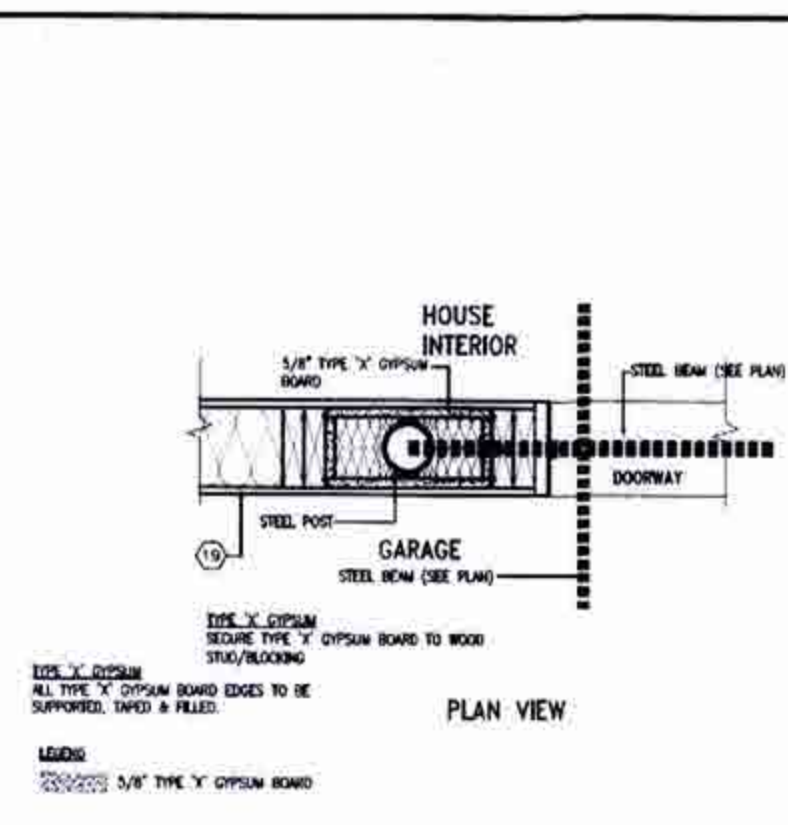
2 RATED STEEL BEAM OVER GARAGE
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



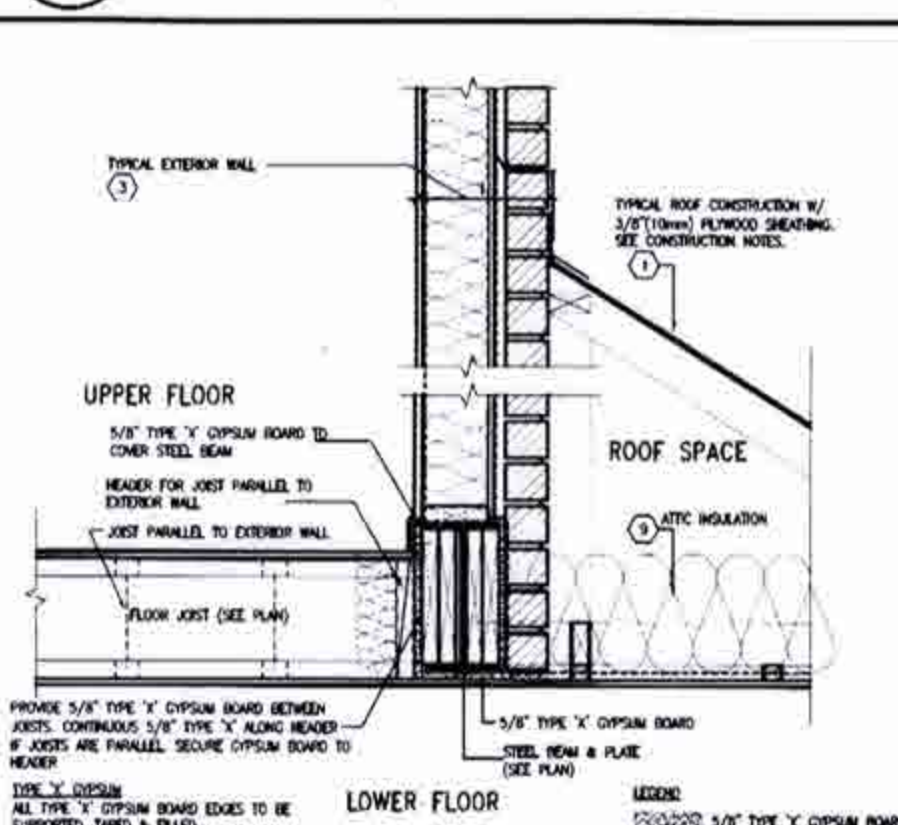
3 RATED STEEL POST POCKET
8 SCALE: N.T.S.



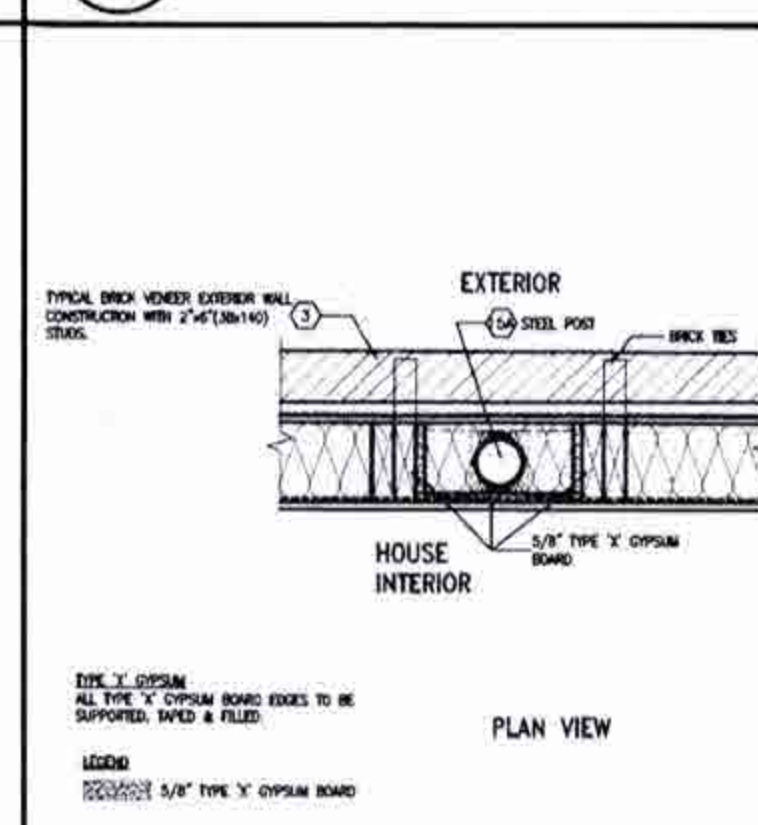
4 SECTION THRU FIRE RATED WALL
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



5 RATED STEEL POST POCKET
8 SCALE: N.T.S.



6 RATED STEEL BEAM OVER LIVING SPACE
8 FLUSH CEILING/ RAISED STEEL BM. SCALE: N.T.S.



7 RATED STEEL POST POCKET @ EXT. WALL
8 SCALE: N.T.S.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the architectural guidelines and applicable regulations and any requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving said (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURAL ONLY

JAN 08 2019

HEMLOCK 3
COMPLIANCE PACKAGE A1

15			9	
17			8	
16			7	
15			6	
14			5	
13			4	ISSUED FOR PERMIT JULY 23/11
12			3	REVISED PER CLIENT/ ENGINEER COMMENTS JULY 19/11
11			2	REVISED PER FLR & TRUSS CO-ORD. JUNE 28/11
10			1	2. REVISED PER CLIENT COMMENTS. JUNE 13/11
9			0	ISSUED FOR CLIENT REVIEW AND COMMENTS MAY 24/11
8	description	action	by	

		The undersigned has reviewed and takes responsibility for this design and	
		and have the qualifications and meets the requirements set out in the	
		Ontario Building Code to be a Designer.	
		Qualification Information:	
		Richard Vink	244
CN		Name	
CN		Signature	
		Registration Information:	
		VAS Design Inc.	426
CN		Contractor will verify all dimensions on the job and report any	
		discrepancies to the Designer before proceeding with the work. All	
		drawings and specifications are instruments of service and the property	
CN		of the Designer which must be retained at the completion of the project.	

**VA3
DESIGN**
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4

Greenpark.

project name
MINNISALE HOMES CORP.

date
MAY 2018

drawn by
5/16" = 1'-0"

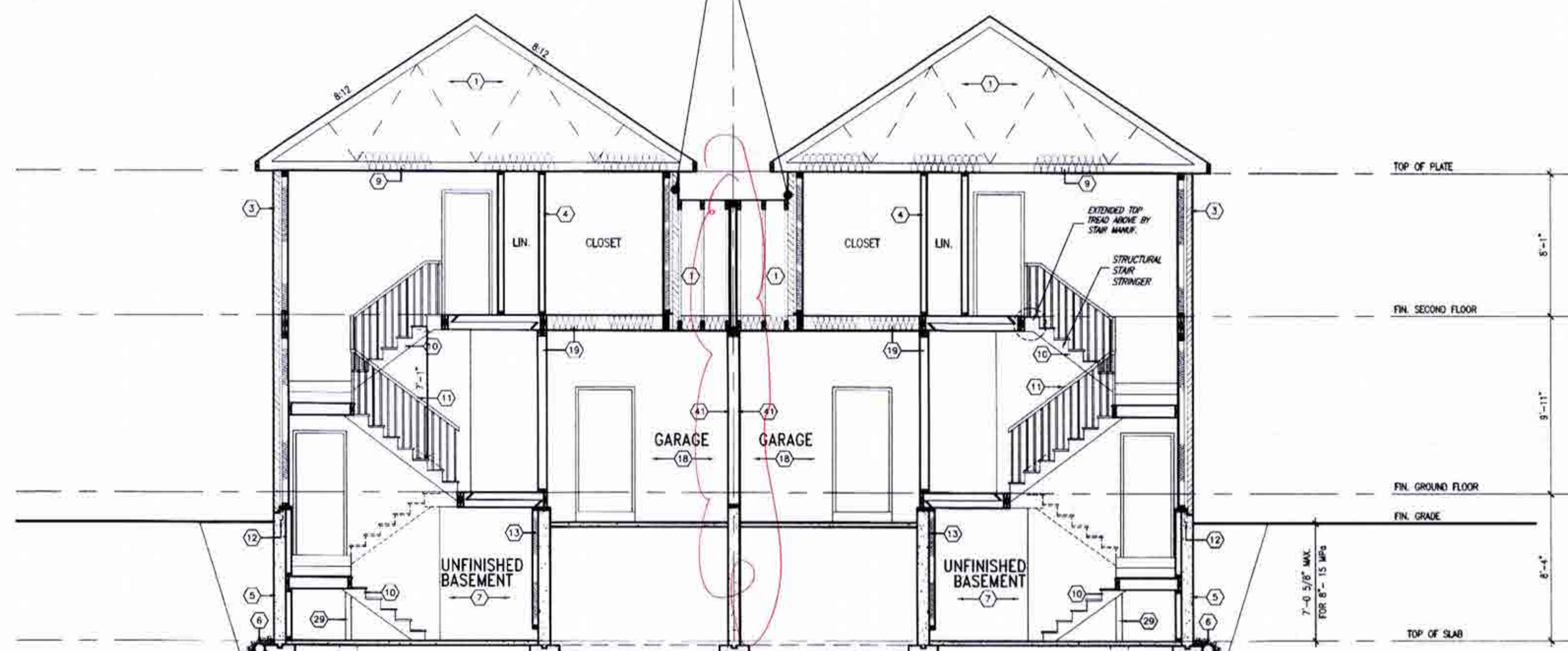
HEMLOCK 3		project
9.15m Semi		1801
DETAILS	drawing for	
18012-HEMLOCK-3	A8	

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BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE-RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED; SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-5702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M AND MUST FILL AT LEAST 80% OF THE CAVITY THICKNESS. THE TYPE "X" INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



SECTION A-A
ELEVATION '1'

SECTION A-A
ELEVATION '1'-REV

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site, holding, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRANSTON.

This is to certify that these plans comply with the applicable Architectural Design Guidelines, approved by the City of BRAMPTON.



JAN 08 2019

HEMLOCK 3
COMPLIANCE PACKAGE A1

18		9			The undersigned has reviewed and taken responsibility for this design and has the qualifications and means the requirements set out in the Schedule Bidding Code to be a Designer.
17		8			qualification information:
16		7			Richard Vink 2440
15		6			name
14		5			signature
13		4			V&D Design Inc. 4285
12		3	ISSUED PER PERMIT	JULY 23/18	
11		2	REVISED PER CLIENT/ ENGINEER COMMENTS	JULY 19/18	
10		1	REVISED PER FLR & TRUSS CO-ORD	JUNE 28/18	
9			2 REVISED PER CLIENT COMMENTS	JUN 13/18	
8			1 ISSUED FOR CLIENT REVIEW AND COMMENTS	MAY 24/18	
7	Authorization	Drawn	Project		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer	
qualification information:	
Richard Vink	2440
name	signature
registration information:	
VAS Design Inc.	4263
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

**VA3
DESIGN**
255 Consumers Rd Suite 12
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

Greenpark.

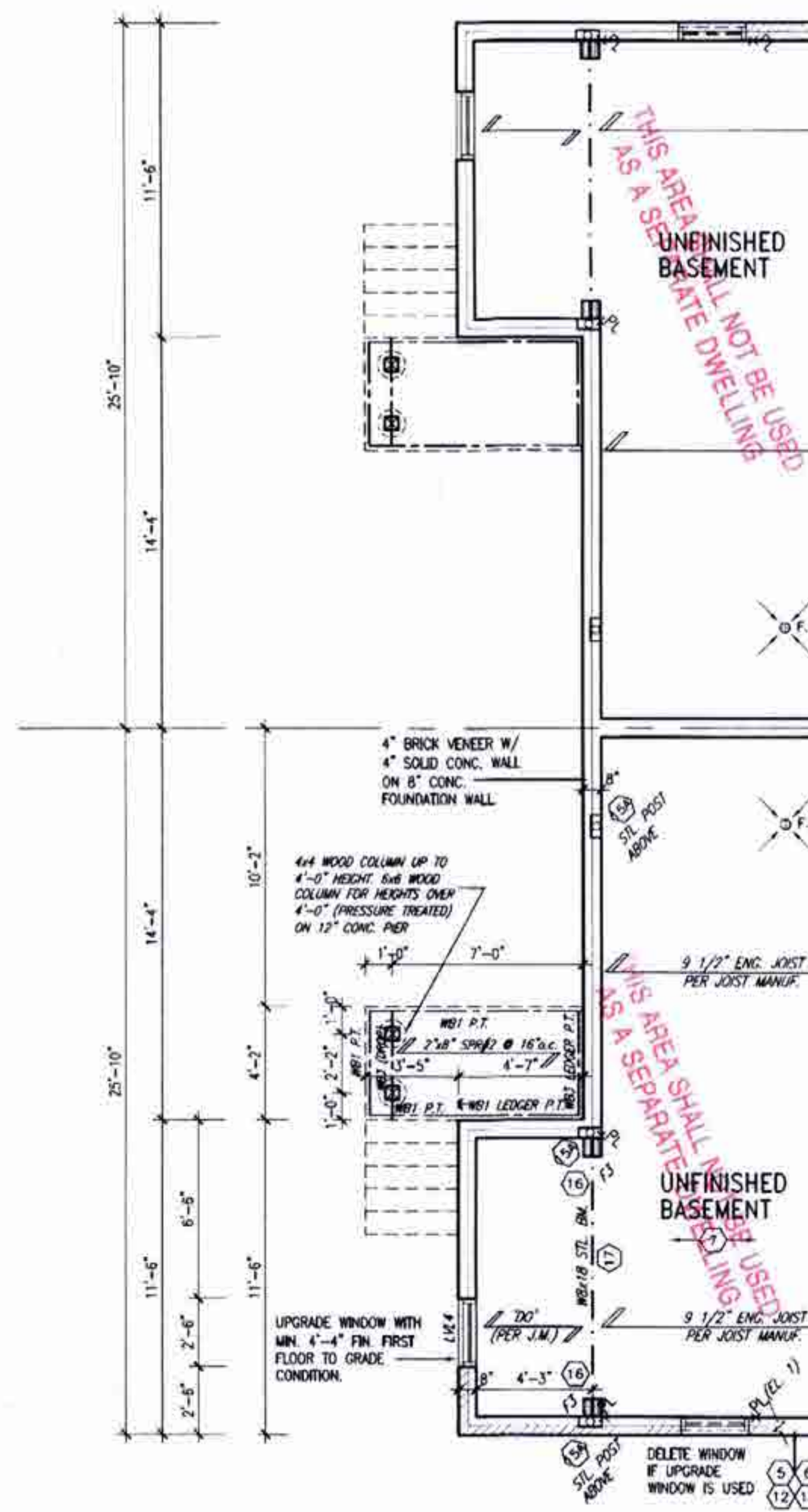
project name **MINNISALE HOMES CORP.** municipality **BRAMPTON**

date **MAY 2018** CROSS SECTION

drawn by **3/16" = 1'-0"**

HEMLOCK 3	
9.15m Semi	
A-A ELEV. '1'	project 180
18012-HEMLOCK-3	drawing no. A9

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PARTIAL BASEMENT PLAN
W.O.D. CONDITION

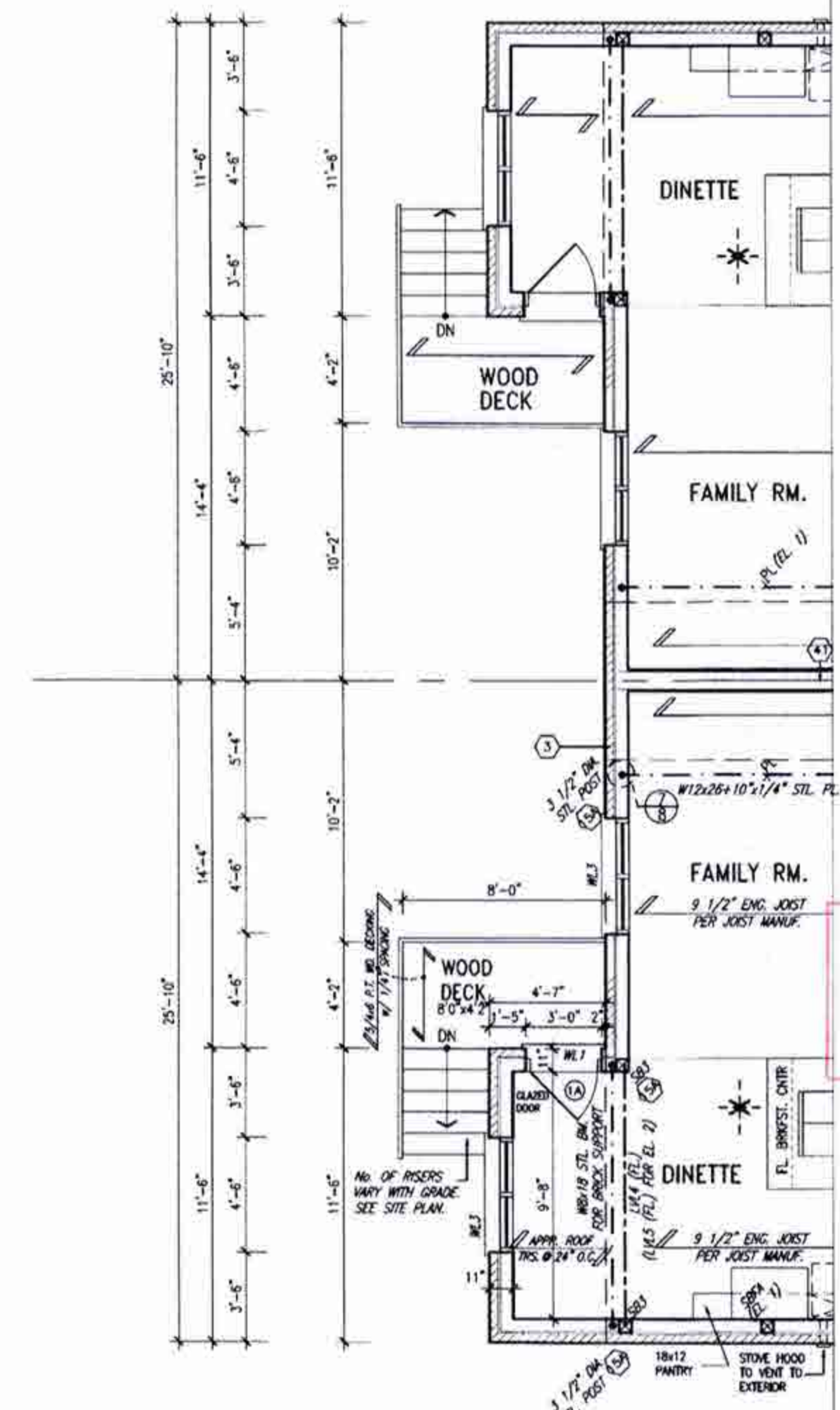


REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



PARTIAL GROUND FLOOR PLAN
W.O.D. CONDITION

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 07 2019
BY
MARY FRENETTE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 01 2019
BY
TODD PAYNE

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving any (existing) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
BRAMPTON.

JAN 08 2019

HEMLOCK 3
COMPLIANCE PACKAGE A1

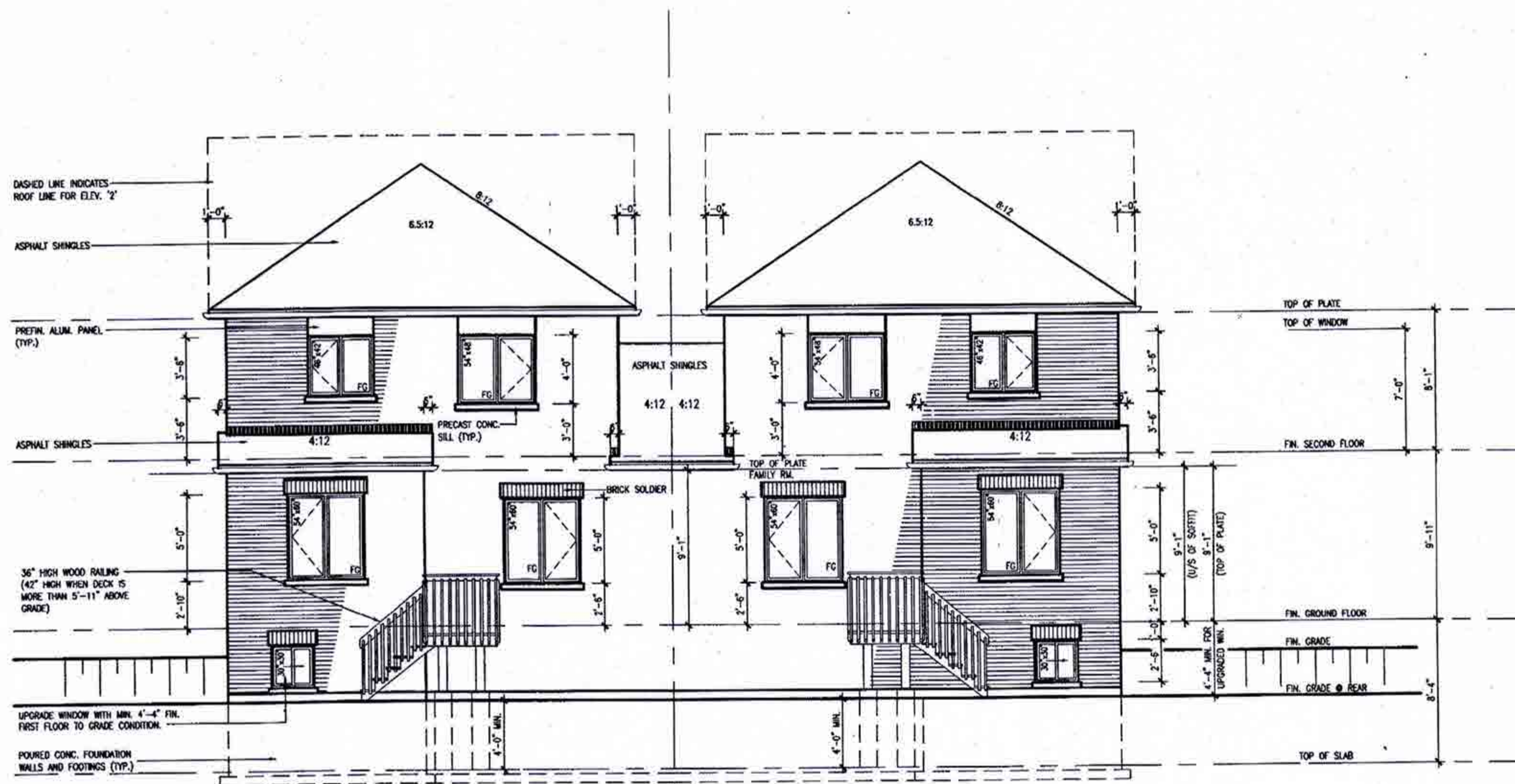
18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0
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VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1K4
416.630.2255 416.630.4782
vasdesign.com

Greenpark.

HEMLOCK 3
9.15m Semi

project name
MINNISALE HOMES CORP.
drawing no
18012
date
MAY 2018
checked by
3/16" x 11-0"
18012-HEMLOCK-3
A10



REAR ELEVATION ELEV. '1' -REV.
W.O.D. CONDITION

REAR ELEVATION ELEV. '1'.
W.O.D. CONDITION

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

NOV 11 2019
FEB 01 2019
JCDAT PAYNE

CITY OF PEABODY
BUILDING DIVISION
REVIEWED
FEB 07 2003
BY
MARY FRENETTE

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL

This stamp is only for the purposes of design control and carries no other professional obligation.

HEMLOCK 3
COMPLIANCE PACKAGE A1

[illegible]