

1960 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW EXTERIOR WALLS
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW PARTY WALLS
 (REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
 ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa NATURAL SOIL **90 KPa ENGINEERED FILL SOIL**
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 8" x 3-1/2" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
 WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
 LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)
 L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 6" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

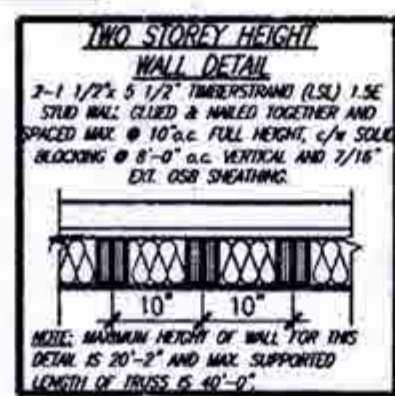
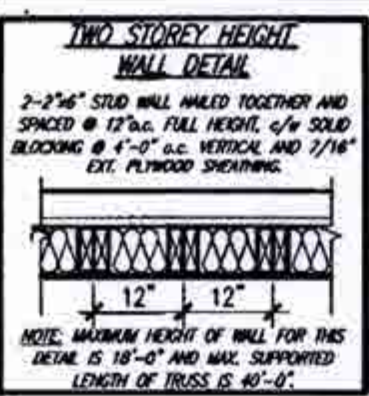
DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT 8'-0" OR CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER
 (OBC 9.30.8)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" TO 7'-0".
 2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
 ENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS. UNLESS OTHERWISE NOTED.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING
 ENVELOPE AND EQUIPMENT SHALL CONFORM TO
 THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
 PER OBC SUPPLEMENTARY STANDARD SB-12,
 SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value	3.52c (R20c)	OPTION TO USE R12+R10c
Basement Walls	3.52c (R20c)	RIGID INSUL
Minimum RSI (R) value	1.76 (R10)	
Edge of Below Grade Slab	1.76 (R10)	
≤600mm below grade		
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci- Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 4, ELEVATION '1'	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	485.44 S.F.	131.75 S.F.	27.14 %
LEFT SIDE	989.89 S.F.	64.15 S.F.	6.48 %
RIGHT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
REAR	485.44 S.F.	118.53 S.F.	24.42 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.0 S.F.	
TOTAL SQ. FT.	2950.66 S.F.	314.43 S.F.	10.66 %
TOTAL SQ. M.	274.12 S.M.	29.21 S.M.	10.66 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 4, ELEVATION '2'	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	495.00 S.F.	134.53 S.F.	27.18 %
LEFT SIDE	989.89 S.F.	64.15 S.F.	6.48 %
RIGHT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
REAR	485.44 S.F.	118.53 S.F.	24.42 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.0 S.F.	
TOTAL SQ. FT.	2960.22 S.F.	317.21 S.F.	10.72 %
TOTAL SQ. M.	275.01 S.M.	29.47 S.M.	10.72 %

AREA CALCULATIONS		ELEV '1'
GROUND FLOOR AREA	956 SF	
SECOND FLOOR AREA	1004 SF	
TOTAL FLOOR AREA	1960 SF	
	(182.09 m2)	
FIRST FLOOR OPEN AREA	0 SF	
SECOND FLOOR OPEN AREA	0 SF	
ADD TOTAL OPEN AREAS	+0 SF	
ADD FINISHED BSMT AREA	+0 SF	
GROSS FLOOR AREA	1960 SF	
	(182.09 m2)	
GROUND FLOOR COVERAGE	956 SF	
GARAGE COVERAGE/AREA	228 SF	
PORCH COVERAGE/AREA	136 SF	
COVERAGE W/ PORCH	1320 SF	
	(122.63 m2)	
COVERAGE W/O PORCH	1184 SF	
	(110.00 m2)	

AREA CALCULATIONS		ELEV '2'
GROUND FLOOR AREA	956 SF	
SECOND FLOOR AREA	1004 SF	
TOTAL FLOOR AREA	1960 SF	
	(182.09 m2)	
FIRST FLOOR OPEN AREA	0 SF	
SECOND FLOOR OPEN AREA	0 SF	
ADD TOTAL OPEN AREAS	+0 SF	
ADD FINISHED BSMT AREA	+0 SF	
GROSS FLOOR AREA	1960 SF	
	(182.09 m2)	
GROUND FLOOR COVERAGE	956 SF	
GARAGE COVERAGE/AREA	228 SF	
PORCH COVERAGE/AREA	130 SF	
COVERAGE W/ PORCH	1314 SF	
	(122.07 m2)	
COVERAGE W/O PORCH	1184 SF	
	(110.00 m2)	

1. POST PERMIT CARD IN A CONSPICUOUS PLACE 7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED INSPECTIONS 24 HRS. IN ADVANCE.
4. FAILURE TO COMPLY WITH SENTENCE 1 TO 3 WILL RESULT IN STOP WORK ORDERS BEING POSTED.

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL
 ELECTRICAL SAFETY AUTHORITY
 CUSTOMER SERVICE CENTRE
 PHONE: (877) 372-7233 FAX: (800) 687-4276

CITY OF BRAMPTON
 BUILDING DIVISION
 REVIEWED
 FEB 09 2010
 BY MARY FRENTE

All work shall conform to the Ontario Building Code O. Reg. 332/13 as amended

For conventional framing roof / ceilings framing shall conform to OBC.9.23

For conventional wood framing framing shall conform to OBC.9.23

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Certified Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

Certified Model # 19-440012
 Builder Greenpark
 M Plan 2058
 Model Custom Home

ENGINEERED FILL ON LOT(S)
 38 L
 PROVIDE COPIES OF SOIL ENGINEER'S REPORT(S) TO THE INSPECTOR BEFORE FOOTING CONSTRUCTION

W Architect Inc.
 DESIGN CONTROL REVIEW
 OCT 17 2018
 FINAL BY: GREG

HEMLOCK 4
 COMPLIANCE PACKAGE 'A1'

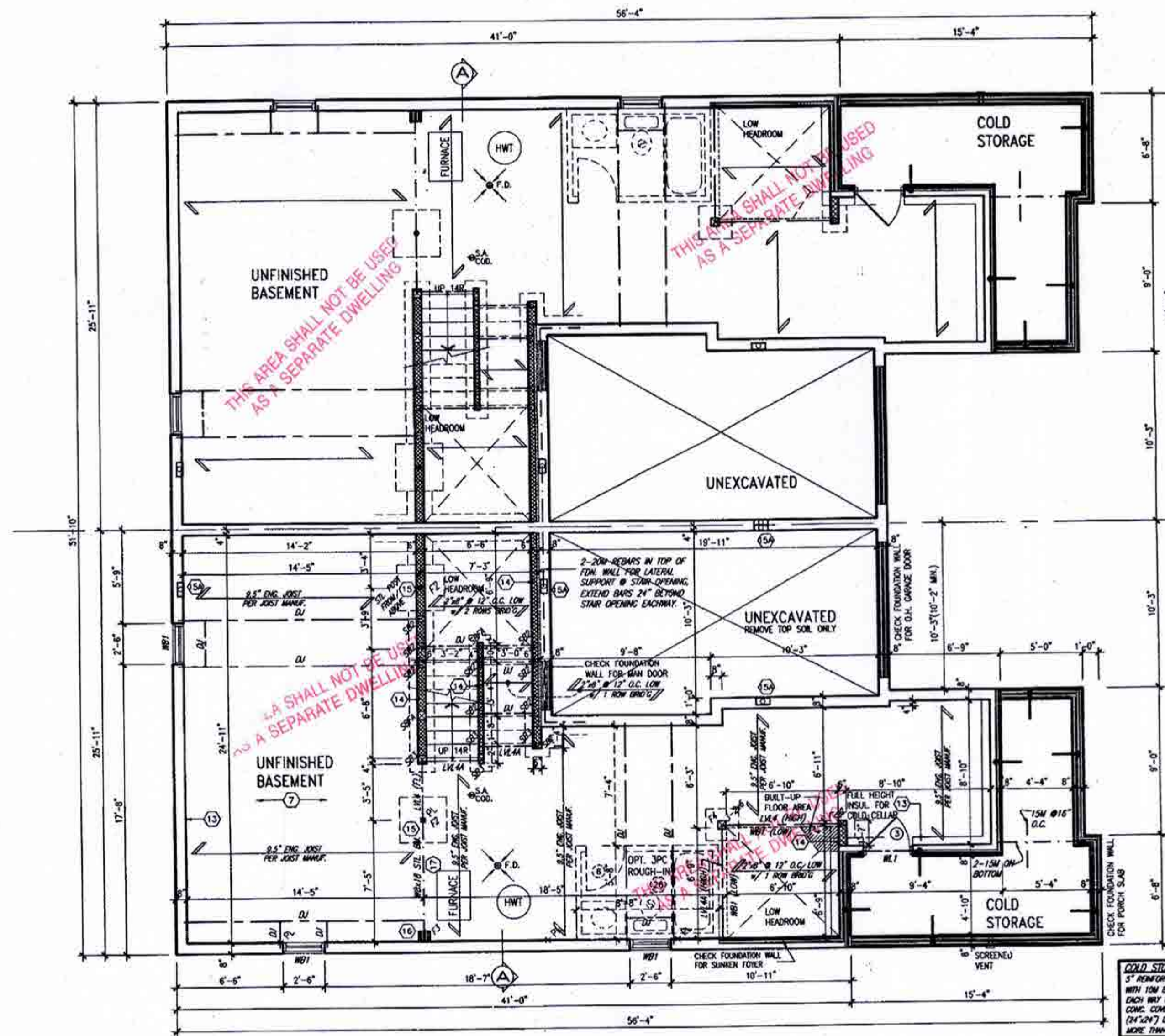
Greenpark. project name MINNISALE HOMES CORP. location BRAMPTON date MAY 2018 checked by 3/16" = 1'-0" 18012-HEMLOCK-4 1416.630.2255 / 416.630.4782 vo3design.com	sheet no. 18012 sheet title GENERAL NOTES & CHARTS drawing no. A0
---	--

REGISTERED PROFESSIONAL ENGINEER
 MARINKOVIC
 STRUDET INC.
 FOR STRUCTURE ONLY

no.	description	date	by
1	ISSUED FOR PERMIT	JULY 25/18	CH
2	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	CH
3	REVISED PER R/R/WS CO-ORDINATION	JUNE 28/18	CH
4	REVISED PER CLIENT COMMENTS	JUN. 13/18	CH
5	UPDATED, ISSUED FOR REVIEW/ COMMENT	MAY 18/18	CH
6	TRANSFERRED FROM VETRIALLA (15030)	MAY 2015	CH

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to do so.
 signature
 Richard Vink
 registration information
 P. Vink
 42630
 Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are subject to change without notice and the property of the Designer which must be retained at the completion of the work. Drawings are not to be used.

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BASEMENT PLAN
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 01 2019
BY
TODD PAYNE

ELEV. '1'-REV.
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 01 2019
BY
MARY FROSTETTE

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(14" DIA) DOMES SPACED NOT
MORE THAN 25 3/8" o.c.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O. REG.
332/12, AS AMENDED, DIVISION 9, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
MAR 28 2019
PLUMBING BY
KOFI MORIEL

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *[Signature]*
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HEMLOCK 4
COMPLIANCE PACKAGE 'A1'



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	JULY 23/18	Richard Vink
2	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
3	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
4	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
5	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
6	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
7	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
8	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
9	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
10	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
11	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
12	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
13	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
14	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
15	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
16	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
17	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
18	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
19	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink
20	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 25/18	Richard Vink

W Architect Inc.
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4702
www.warchitect.com

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4702
www.va3design.com

Greenpark.
MINNISALE HOMES CORP.
BRAMPTON
BASEMENT PLAN - ELEVATION '1'
HEMLOCK 4
9.15m Semi
18012-HEMLOCK-4
A1

ELEV. '1'-REV.
ELEV. '1'

CITY OF ALEXANDRIA
BUILDING DIVISION
REVIEWED
FEB 11 1998
BY
MADE FRENETTE

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

GROUND FLOOR PLAN
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
MAR 28 2019
PLUMBING BY
KOFI MORIEL

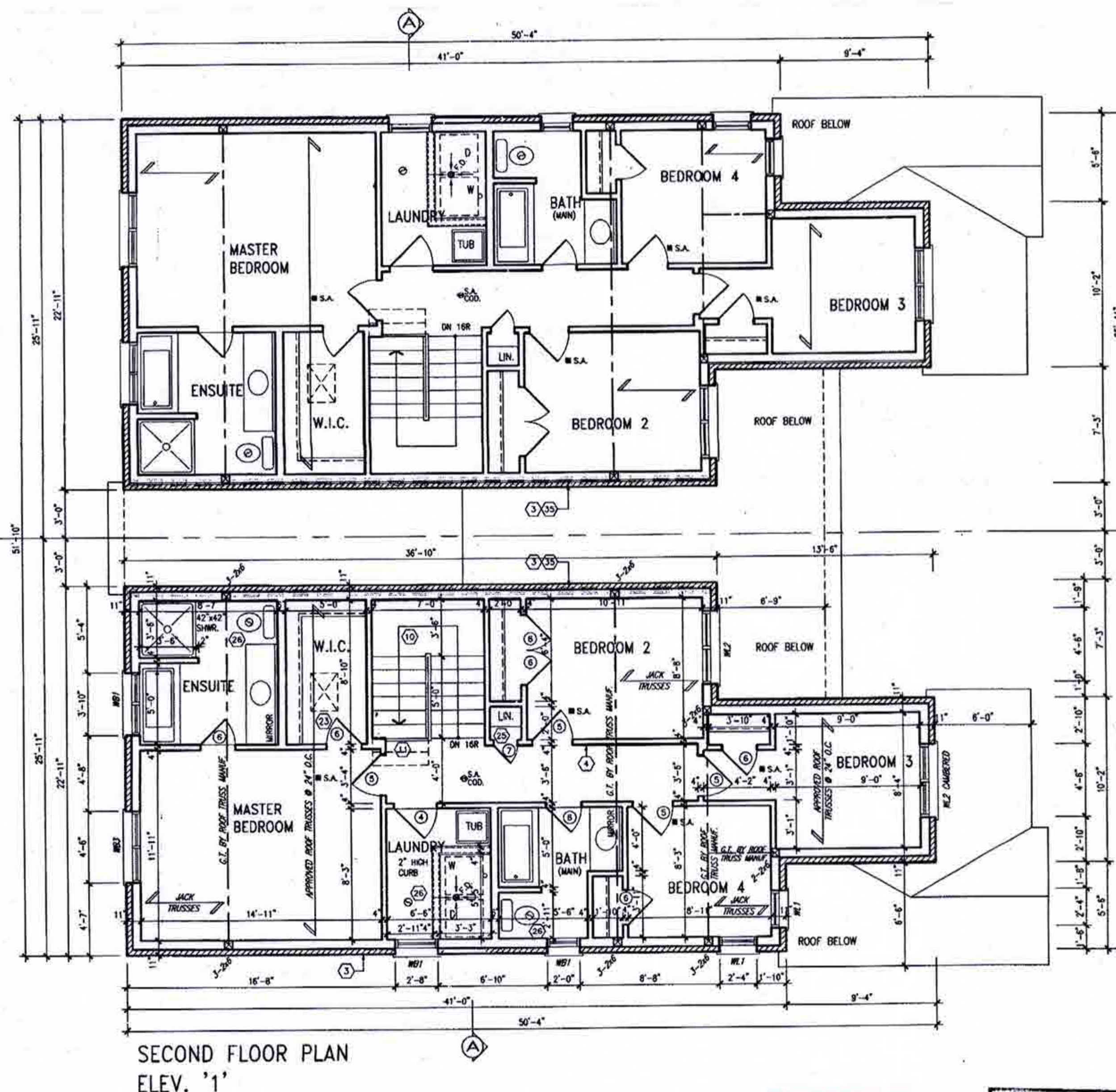
W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: CES
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OCT 27 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

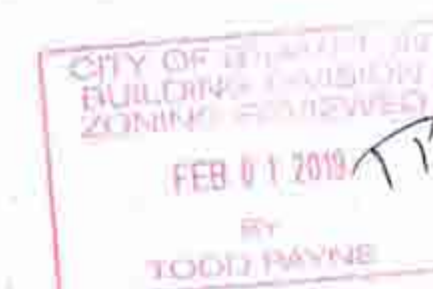
ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.REG.
377/12, AS AMENDED, DIVISION B, PART 7.

[illegible]

FIG. 1000 INDICATES 45 min. FRR WALL CONDITION IF LESS THAN 1.2m TO PROPERTY LINE



SECOND FLOOR PLAN
ELEV. '1'



ELEV. '1'-REV.
ELEV. '1'



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OCT 17 2018

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HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO DRC. 5.5.2.3, 5.8.3.8(1)(X) & 5.8.3.12(1)(X).



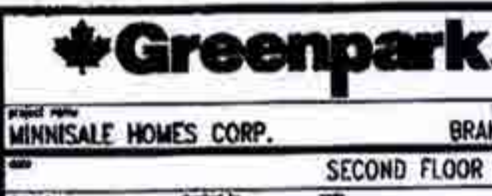
STRUDET INC.
FOR STRUCTURE ONLY

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O.B.C. 332/12, AS AMENDED, DIVISION 8, PART 7.

no.	description	date	by	no.	description	date	by
1	TRANSFERRED FROM VETRALIA (15630)	MAY 2018	CH	1	TRANSFERRED FROM VETRALIA (15630)	MAY 2018	CH
2	UPDATED, ISSUED FOR REVIEW / COMMENT	MAY 18/18	CH	2	UPDATED, ISSUED FOR REVIEW / COMMENT	MAY 18/18	CH
3	REVISED PER CLIENT COMMENTS	JUNE 28/18	CH	3	REVISED PER CLIENT COMMENTS	JUNE 28/18	CH
4	REVISED PER CLIENT COMMENTS	JULY 20/18	CH	4	REVISED PER CLIENT COMMENTS	JULY 20/18	CH
5	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	CH	5	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	CH
6	ISSUED FOR PERMIT	JULY 23/18	CH	6	ISSUED FOR PERMIT	JULY 23/18	CH



235 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
1.416.630.2255 | 416.630.4782
va3design.com



HEMLOCK 4
9.15m Semi

18012

A3

CITY OF BOSTON
BUILDING DIVISION
ZONING DIVISION
FEB 01 2015
BY
TODD PAYNE

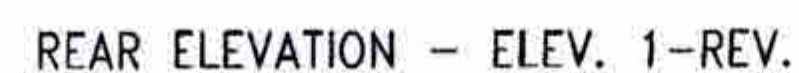


FRONT ELEVATION - ELEV. 1-REV.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

A4

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REAR ELEVATION - ELEV. 1

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W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: EGG
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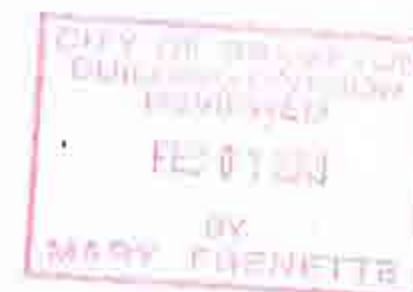
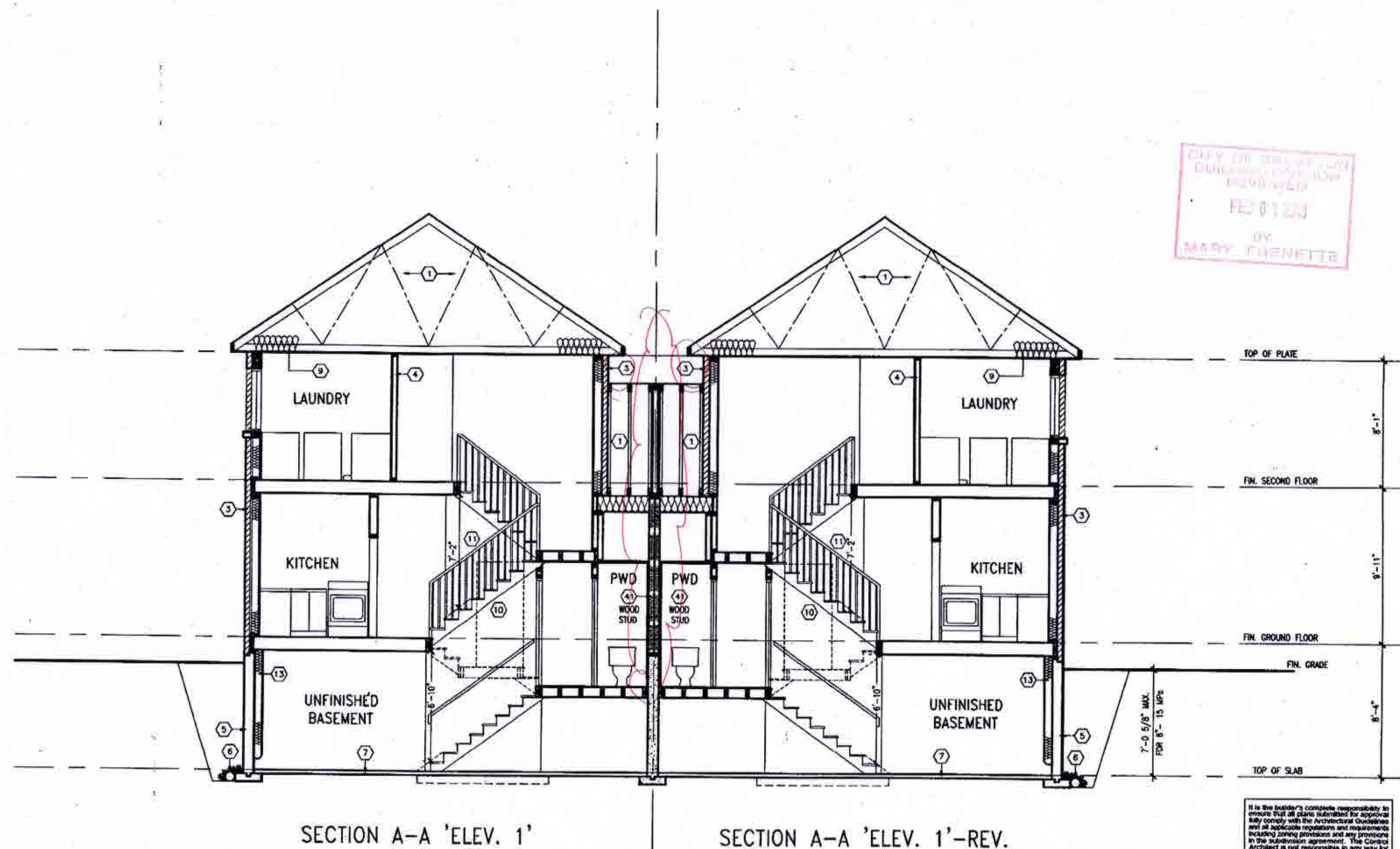
JUL 27 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]



It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for obtaining or approving any (existing) plans or existing drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: *EGE*

This stamp is only for the purposes of design control and carries no other professional obligations.

JUL 27 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'



no.	description	date	by	no.	description	date	by
1	TRANSFERRED FROM VETRALLA (15032)	MAY 2018	OK	1	TRANSFERRED FROM VETRALLA (15032)	MAY 2018	OK
2	UPDATED, ISSUED FOR REVIEW/ COMMENT	MAY 18/18	OK	2	UPDATED, ISSUED FOR REVIEW/ COMMENT	MAY 18/18	OK
3	REVISED PER CLIENT COMMENTS	JUN 13/18	OK	3	REVISED PER CLIENT COMMENTS	JUN 13/18	OK
4	REVISED PER CLIENT COMMENTS	JUN 28/18	OK	4	REVISED PER CLIENT COMMENTS	JUN 28/18	OK
5	REVISED PER CLIENT COMMENTS	JUL 20/18	OK	5	REVISED PER CLIENT COMMENTS	JUL 20/18	OK
6	ISSUED FOR PERMIT	AUG 23/18	OK	6	ISSUED FOR PERMIT	AUG 23/18	OK

The undersigned has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Specification information
Richard Vink
24485
OK
42858

Registration information
VAS Design Inc.
250 Consumers Rd Suite 120
Toronto ON M2J 1B4
1 416.630.2255 1 416.630.4782
vasdesign.com

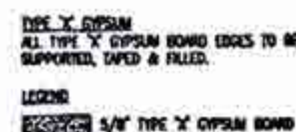
VAS DESIGN
250 Consumers Rd Suite 120
Toronto ON M2J 1B4
1 416.630.2255 1 416.630.4782
vasdesign.com

Greenpark.
MINNISALE HOMES CORP.
BRAMPTON

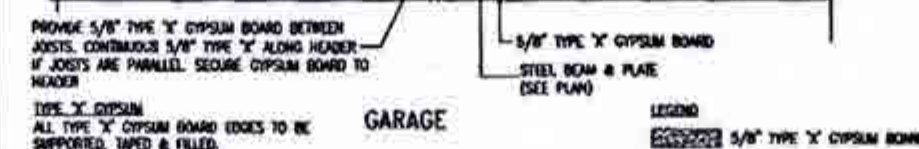
HEMLOCK 4
9.15m Semi
18012
SECTION A-A ELEVATION '1'
18012-HEMLOCK-4
A7

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAULFLOC-5702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.72 Kg/SQ.M. AND MUST FILL AT LEAST 50% OF THE CAVITY THICKNESS. THE TYPE "X" INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

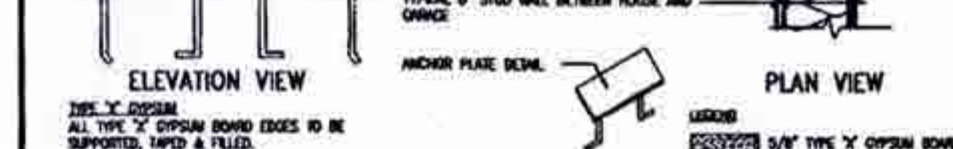
(REFER TO SECTION 58-2 OF CBC 2012-SUPPLEMENTARY STANDARDS)



SCALE: N.T.S.

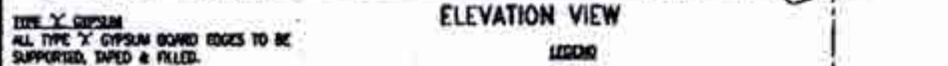


SCALE: N.T.S.



U.S.

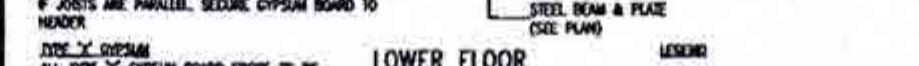
CITY OF BRAFTON
BUILDING DIVISION
REVIEWED
FEB 13 1993
BY
MARY FRENETTE



SCALE: N.T.S.



5.



SCALE: N.I.S.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of

FINAL BY: CEE
This stamp is only for the purposes of design control and carries no other professional obligations.

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

STRUDET INC.
FOR STRUCTURE ONLY

The undersigned has assumed sole liability responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification Information

Richard Vink	24288
name	BCB
registration information	
VIA Design Inc.	42656

Contractor must verify all dimensions on the job and report on discrepancy in the design before proceeding with the work. All drawings and specifications are instruments of service and the property of the firm. They are to be returned at the completion of the work. Drawings are not to be copied.

 **Green**

Project Name
MINNIE SALE HOMES CORP

DOB

Drawn by
MAY 2018

Checked by
CW

DEC. - FY (LAWRENCE, KENNEDY, STANLEY, MULLIGAN)

HEMLOCK 4	
9.15m Semi	
project no.	18012
DETAILS	drawing no.
file name	A8
18012-HEMLOCK-4	
Issued - Jul 23 2018 - 17:00 JAL	

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