

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL.)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
 ASSUMED 120 KPa (18 psi) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS
 120 KPa MINIMUM SOIL
 NO KPa ENGINEERED FILL SOIL
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
 (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
 WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
 ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLAT WORK) TO BE 32 MPa, WITH 5-BX AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
 WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
 WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB8 = 4-2"x10" (4-38x235) SPR. No.2
 WB9 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
 LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)
 L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 6" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-0"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	8'-0"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	8'-0"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	8'-0"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	8'-0"	8'-0"	EXTERIOR SLAB DOOR
5	2'-6"	8'-0"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	8'-0"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	8'-0"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER
 (OBC 9.30.6)
 SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" - 7'-0".
 2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING
 REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
 REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
 ENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS, UNLESS OTHERWISE NOTED.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING
 ENVELOPE AND EQUIPMENT SHALL CONFORM TO
 THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
 PER OBC SUPPLEMENTARY STANDARD SB-12,
 SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value	3.87 (R22)	OPTION TO USE R12+R10ci
Basement Walls	3.52ci (R20ci)	RIGID INSUL
Minimum RSI (R) value	1.76 (R10)	
Edge of Below Grade Slab	1.76 (R10)	
Minimum RSI (R) value	0.28	
Windows & Sliding glass Doors	0.28	
Maximum U-value	0.49	
Skylights	0.49	
Maximum U-value	96% Min.	NATURAL GAS
Space Heating Equipment	0.8	NATURAL GAS
Minimum AFUE	75%	
Hot Water Heater		
Minimum EF		
HRV		
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)		

ci- Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 4, ELEVATION '1'	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION	485.44 S.F.	131.75 S.F.	27.14 %
FRONT	989.89 S.F.	64.15 S.F.	6.48 %
LEFT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
REAR	485.44 S.F.	118.53 S.F.	24.42 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.0 S.F.	
TOTAL SQ. FT.	2950.66 S.F.	314.43 S.F.	10.66 %
TOTAL SQ. M.	274.12 S.M.	29.21 S.M.	10.66 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
HEMLOCK 4, ELEVATION '2'	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION	495.00 S.F.	134.53 S.F.	27.18 %
FRONT	989.89 S.F.	64.15 S.F.	6.48 %
LEFT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
RIGHT SIDE	989.89 S.F.	0.00 S.F.	0.00 %
REAR	495.00 S.F.	118.53 S.F.	24.42 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.0 S.F.	
TOTAL SQ. FT.	2960.22 S.F.	317.21 S.F.	10.72 %
TOTAL SQ. M.	275.01 S.M.	29.47 S.M.	10.72 %

AREA CALCULATIONS		REV '1'
GROUND FLOOR AREA	956 SF	
SECOND FLOOR AREA	1004 SF	
TOTAL FLOOR AREA	1960 SF	
	(182.09 m ²)	
FIRST FLOOR OPEN AREA	0 SF	
SECOND FLOOR OPEN AREA	0 SF	
ADD TOTAL OPEN AREAS	+0 SF	
ADD FINISHED BSMT AREA	+0 SF	
GROSS FLOOR AREA	1960 SF	
	(182.09 m ²)	
GROUND FLOOR COVERAGE	956 SF	
GARAGE COVERAGE/AREA	228 SF	
PORCH COVERAGE/AREA	136 SF	
COVERAGE W/ PORCH	1320 SF	
	(122.63 m ²)	
COVERAGE W/O PORCH	1184 SF	
	(110.00 m ²)	

AREA CALCULATIONS		REV '2'
GROUND FLOOR AREA	956 SF	
SECOND FLOOR AREA	1004 SF	
TOTAL FLOOR AREA	1960 SF	
	(182.09 m ²)	
FIRST FLOOR OPEN AREA	0 SF	
SECOND FLOOR OPEN AREA	0 SF	
ADD TOTAL OPEN AREAS	+0 SF	
ADD FINISHED BSMT AREA	+0 SF	
GROSS FLOOR AREA	1960 SF	
	(182.09 m ²)	
GROUND FLOOR COVERAGE	956 SF	
GARAGE COVERAGE/AREA	228 SF	
PORCH COVERAGE/AREA	136 SF	
COVERAGE W/ PORCH	1320 SF	
	(122.07 m ²)	
COVERAGE W/O PORCH	1184 SF	
	(110.00 m ²)	

1. POST PERMIT CARD IN A CONSPICUOUS PLACE 7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED INSPECTIONS 24 HRS. IN ADVANCE.
4. FAILURE TO COMPLY WITH SENTENCE 1 TO 3 WILL RESULT IN STOP WORK ORDERS BEING POSTED.

ALL ELECTRICAL INSTALLATIONS MUST BE
 INSPECTED BY THE ELECTRICAL SAFETY
 AUTHORITY. SEPARATE INSPECTION
 APPLICATIONS MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
CUSTOMER SERVICE CENTRE
 PHONE: (877) 372-7233 FAX: (800) 667-4276

For conventional wood framing
 framing shall conform to OBC.9.23

Engineered floor joists shall be installed
 in accordance with the supplier's layout and
 specifications forming part of the permit drawings.

It is the builder's complete responsibility to
 ensure that all plans submitted for approval
 fully comply with the Architectural Guidelines
 and all applicable regulations and requirements
 including zoning provisions and any provisions
 in the subdivision agreement. The Control
 Architect is not responsible in any way for
 examining or approving any (filling) plans or
 making drawings with respect to any zoning or
 building code or permit matter or that any
 house can be properly built or located on its lot.

This is to certify that these plans comply
 with the applicable Architectural Design
 Guidelines approved by the City of
 BRAMPTON.



19-440124000RR
 Greenpark Homes
 M200 Lot 38R
 Custom Home

ENGINEERED FILL ON LOT(S)
 Lot 38R.
 PROVIDE COPIES OF SOIL ENGINEER'S
 REPORT(S) TO THE INSPECTOR
 BEFORE FOOTING CONSTRUCTION

W Architect Inc.
DESIGN CONTROL REVIEW
 OCT 17 2018
FINAL BY: CTG
 This stamp is only for the purposes of design
 control and cannot be used for professional obligations.

Lot 38R
HEMLOCK 4
COMPLIANCE PACKAGE 'A1'



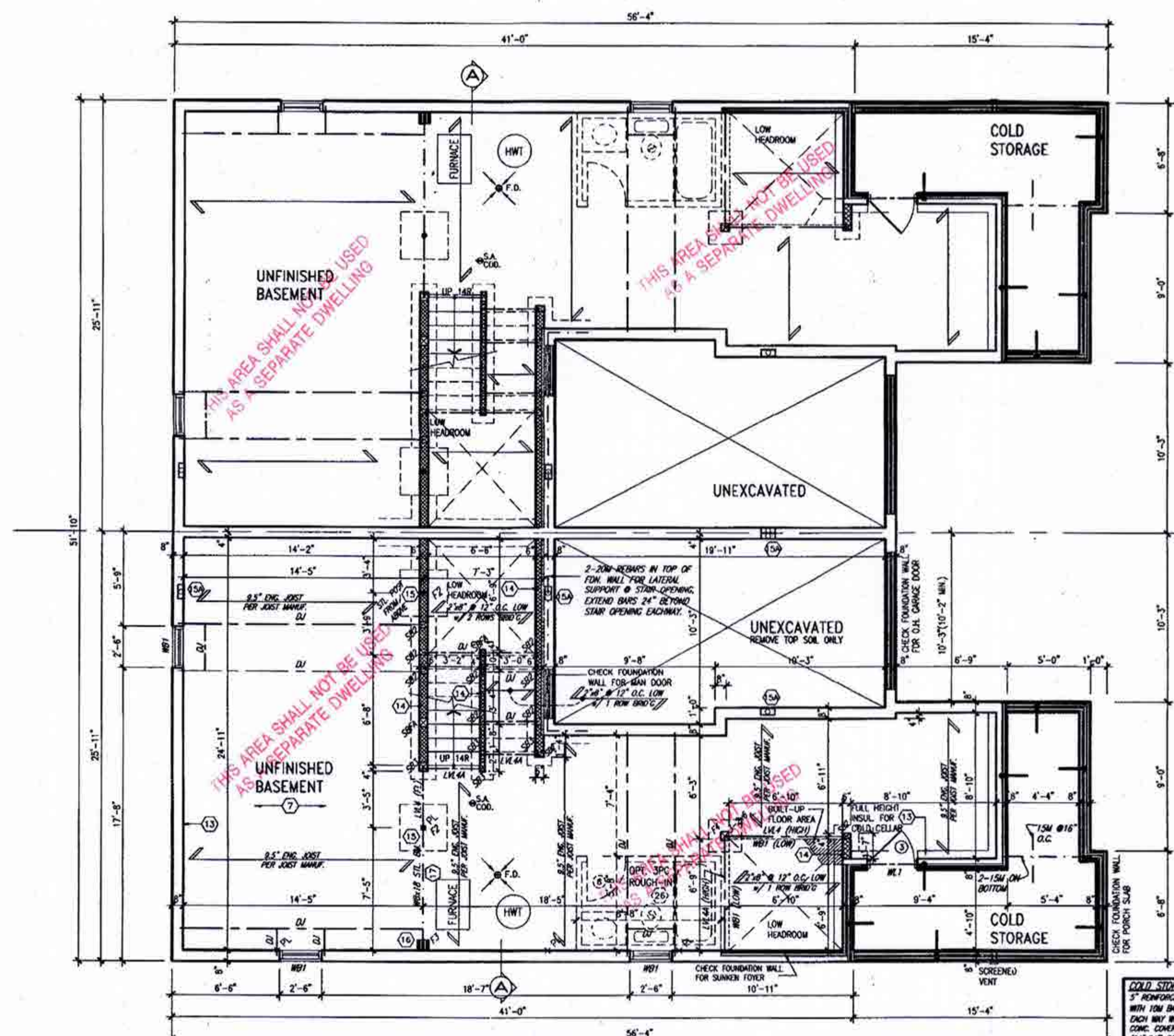
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Project name	
MINNISALE HOMES CO	
date	
drawn by	checked by
MAY 20/18	CW
CIRC - H:\ALPHANUM\HOMES\2018\2018-05-20	



BASEMENT PLAN
ELEV. '1'

ELEV. '1'-REV.
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 01 2019
BY
TODD MAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
FEB 02 2019
BY
MARY ERENETTE

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 2/8" O.C.
EACH WAY WITH MIN. 1 1/4"
CONC. CORNER AND 10M BARS
(24" X 24") DOMES SPACED NOT
MORE THAN 5/8" O.C.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (plot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE, O.B.C. 332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
MAR 28 2019
PLUMBING BY
KOP-MORIEL

W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *CAGE*
This stamp is for the purposes of design control and control of professional obligations.

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'



no.	description	date	by	no.	description	date	by
18				8			
17				7			
16				6	ISSUED FOR PERMIT	JULY 23/18	OW
15				5	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	OW
14				4	REVISED PER CLIENT/ENGINEER COMMENTS	JUNE 28/18	OW
13				3	REVISED PER CLIENT COMMENTS	JAN. 13/18	OW
12				2	UPDATED, ISSUED FOR REVIEW/ COMMENT	MAY 18/18	OW
11				1	TRANSFERRED FROM VETRIALLA (15030)	MAY 2018	OW
10							

V3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R8
1 416.630.2255 | 416.630.4782
v3design.com

Greenpark.
MINNISALE HOMES CORP.
BRAMPTON
BASEMENT PLAN - ELEVATION '1'

HEMLOCK 4
9.15m Semi
18012-HEMLOCK-4
A1

ELEV. '1'-REV.
ELEV. '1'

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
FEB 01 2010
BY
TODD PAYNE

CITY OF BIRMINGHAM
BUILDING DIVISION
REVIEWED
FEB 02 2019
BY
MARY FRENETT

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ALL PLUMBING SHALL CONFORM TO
THE ONTARIO BUILDING CODE, O.REG.
332/12, AS AMENDED, DIVISION B, PART 7.

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
MAR 28 2019
PLUMBING BY
ROTHMORIEL

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

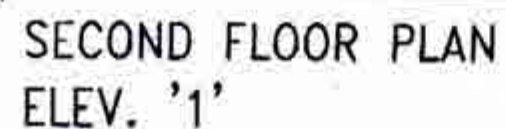
FINAL BY: CTCS

This stamp is only for the purposes of design control and carries no other professional obligations.

304 77 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

[illegible]



ELEV. '1'-REV.
ELEV. '1'

CITY OF HAMPTON
BUILDING DIVISION
REVIEWED
FEB 03 2010
BY
MARY FRENETTE

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
MAR 28 2019
PLUMBING BY
KOFI MORRIS

The undersigned has reviewed and takes responsibility for this drawing and has the qualifications and meets the requirements set out in the Uniform Building Code for its design.

Qualification Information

Richard Vink 2

name signature

Registration Information

VAS Design Inc. 4

Contractor must verify all dimensions in the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.

**VA3
DESIGN**
255 Consumers Rd. Suite 101
Toronto, ON M2J 1P4
t 416.630.2255 | 416.630.2256
va3design.com

Greenpark

project type: MINNISALE HOMES CORP. BRAIN

date: SECOND FLOOR

drawn by: MAY 2018 CW checked by: 3/16" = 1'-0"

HEMLOCK 4		project
9.15m Semi		1801
ELEVATION '1'	16 mps	drawn by
18012-HEMLOCK-4		A3

CITY OF BRANSON
BUILDING DIVISION
ZONING REVENUE
FEB 01 2019 TP
By
TODD WAYNE



FRONT ELEVATION - ELEV. 1-REV.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for exceeding or approving any (offering) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BIRMINGHAM.

JUL 27 2018

HEMLOCK 4
9.15m Semi

[illegible]**VA3**
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 / 416.630.4777
va3design.com

Greenpark

project began
MINNISALE HOMES CORP.

120

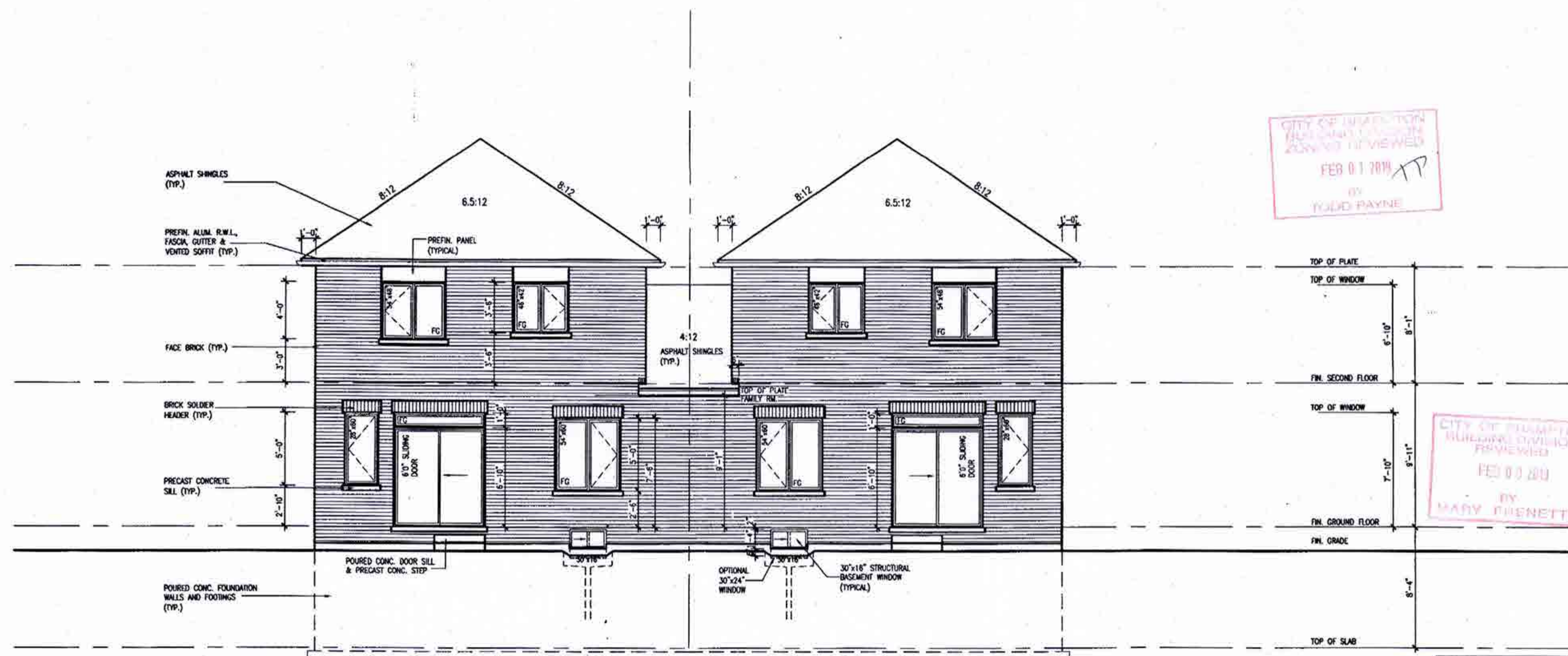
4782	drawn by	checked by
	MAY 2018	GW

FRONT ELEVATION

18012-HEMLOCK

1

A4



REAR ELEVATION - ELEV. 1-REV.

REAR ELEVATION - ELEV. 1

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY: *W.A.*

This stamp is only for the purposes of design control and carries no other professional obligations.

JUL 27 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the supervision agreement. The Control Architect is not responsible in any way for engineering or approving site (posting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

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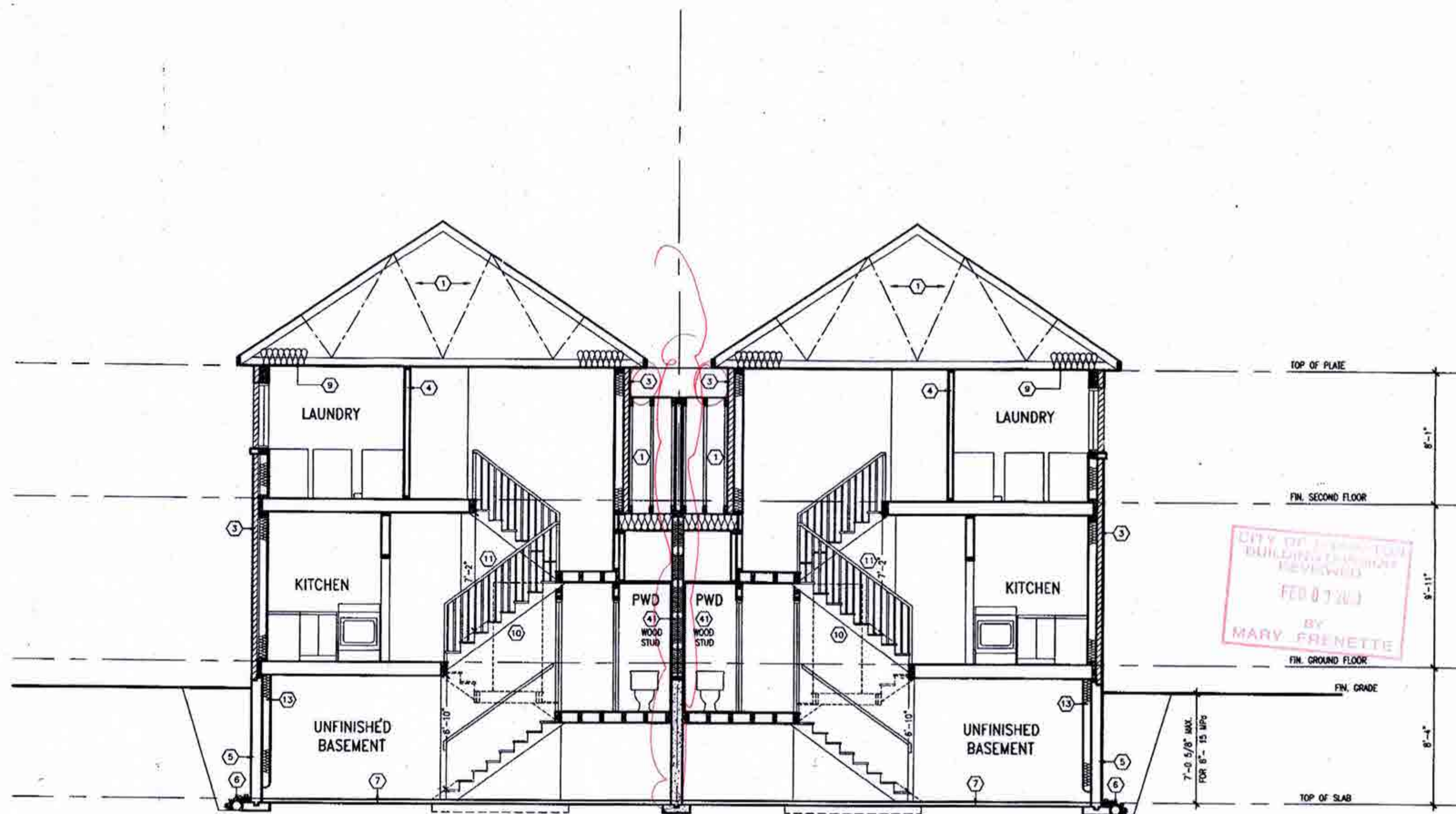
VAB
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R6
T 416.630.2255 / 416.630.4782
vabdesign.com

Greenpark.

project name
MINNISALE HOMES CORP.
BRAMPTON
drawn by
MAY 2018
checked by
scale
3/16" = 1'-0"

HEMLOCK 4
9.15m Semi

project no.
18012
drawing no.
A6



SECTION A-A 'ELEV. 1'

SECTION A-A 'ELEV. 1'-REV.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

W Architect Inc.
DESIGN CONTROL REVIEW

OCT 17 2018

FINAL BY CAGE
This stamp is only for the purposes of design control and carries no other professional obligation.

JUL 27 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'

HEMLOCK 4
9.15m Semi

Greenpark.

MINNISALE HOMES CORP.

SECTION A-A ELEVATION '1'

504

A7

VA3
DESIGN
255 Consumers Rd Suite

Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4111
www.416.com

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18				19			
17				6			
16				7			
15				6	ISSUED FOR PERMIT	JULY 23/18	CR
14				5	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	CR
13				4	REVISED PER FLA/TBS CO-ORDINATION	JUNE 28/18	CR
12				3	REVISED PER CLIENT COMMENTS	JUN 13/18	CR
11				2	UPDATED ISSUED FOR REVIEW / COMMENT	MAY 18/18	CR
10				1	DESCRIPTION FROM VETALLA (15030)	MAY 18/18	CR
no	description	date	by	no	description	date	by

The undersigned has reviewed and signed and then the qualifications and means to Ozone Baking Co. to be a Designer qualification information

Richard Vlek

NOTE
qualification information
VAS Design Inc.

Contractor must verify all dimensions in discrepancy to the Designer before proceeding drawings and specifications are submitted of the Designer which must be returned. Drawings are not to be scaled.

2448
802
4283

**VA3
DESIGN**
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

Green
 project name
MINNISALE HOMES CORP
 date _____
 drawn by _____ checked by _____
 CREDIT: 10-11-2000 10:00:00

enpark.

P. BRAMPTON
SECTION A

with
 $3/16" = 1'-0"$

HEMLOCK 4	
9.15m Semi	
ON	1801
-A ELEVATION '1'	
18012-HEMLOCK-4	A7

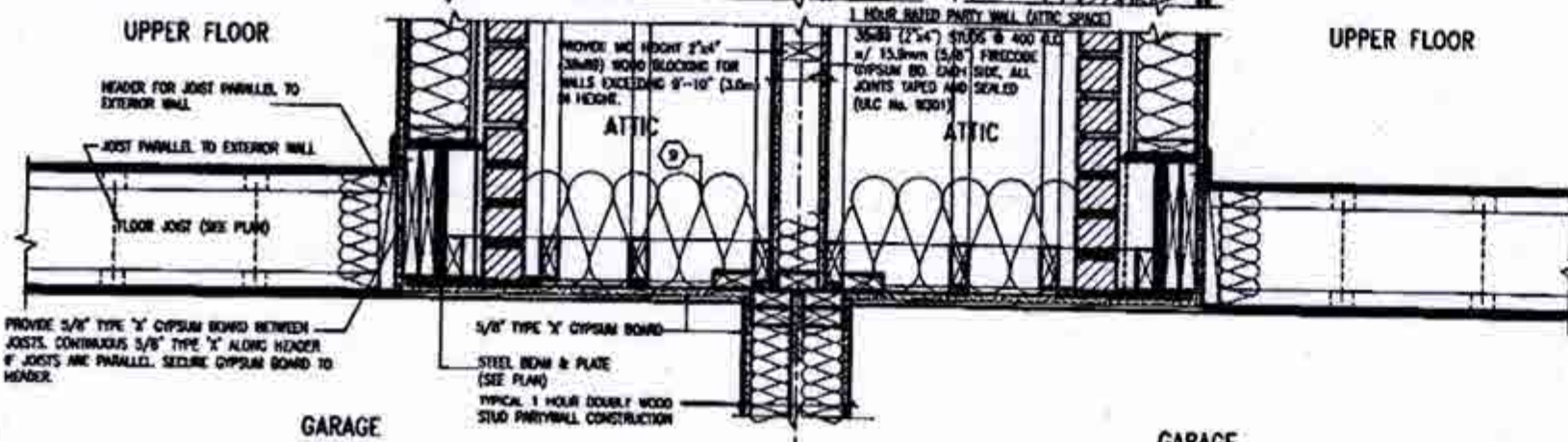
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1960 SF.

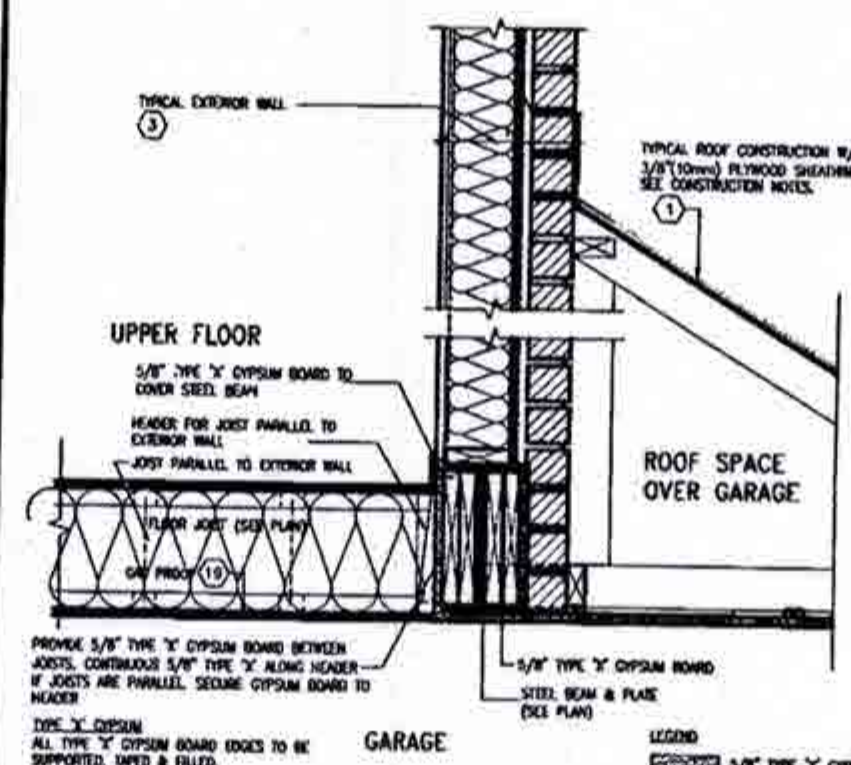
45MIN. F.R.R. BRICK VENEER
CONSTRUCTION

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 kg/SQM. AND MUST BE AT LEAST 90% OF THE Cavity THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

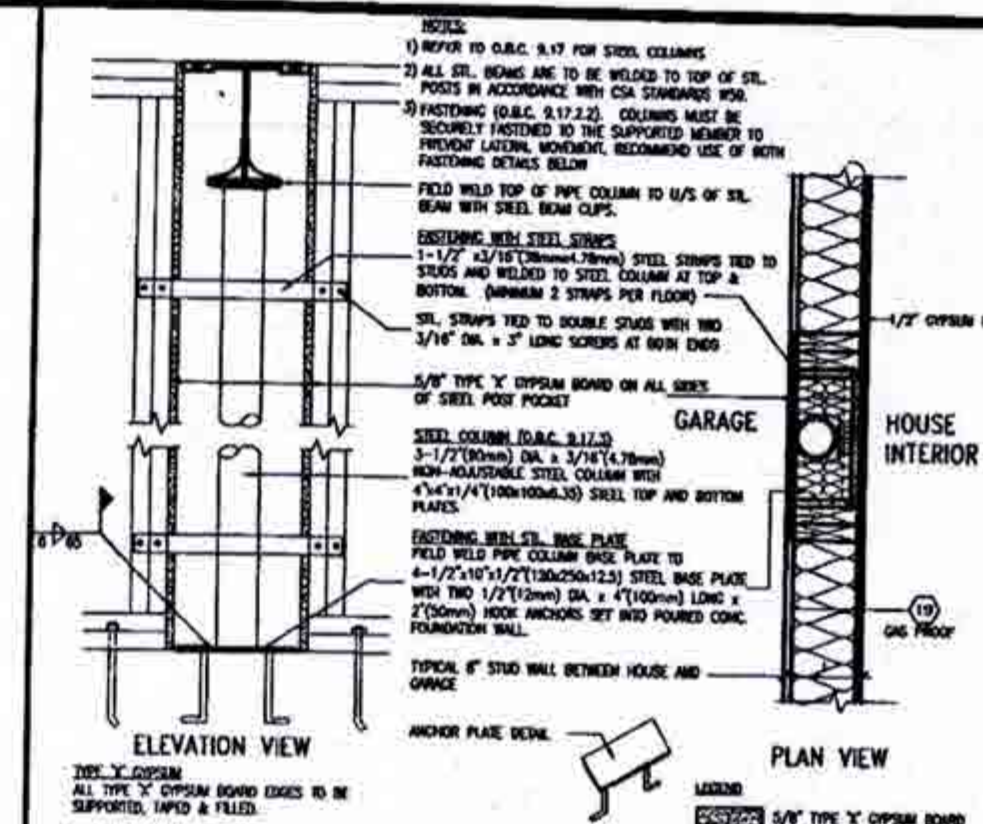
(REFER TO SECTION 58-2 OF CBC 2012-SUPPLEMENTARY STANDARDS)



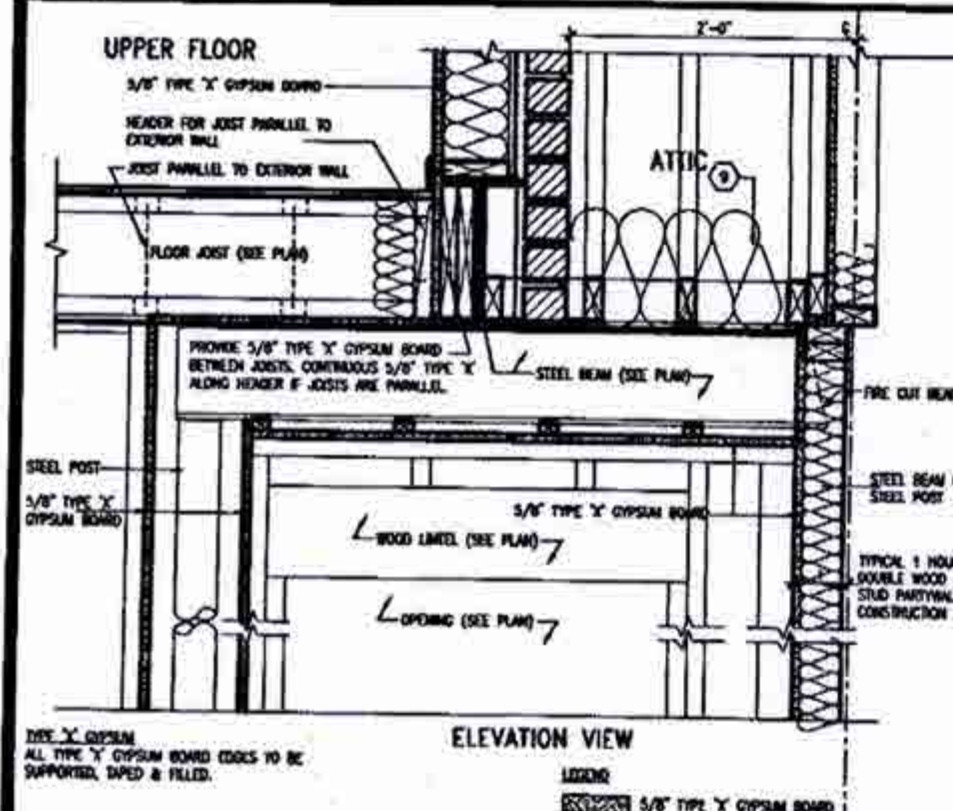
1 SECTION THRU FIRE RATED WALL
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



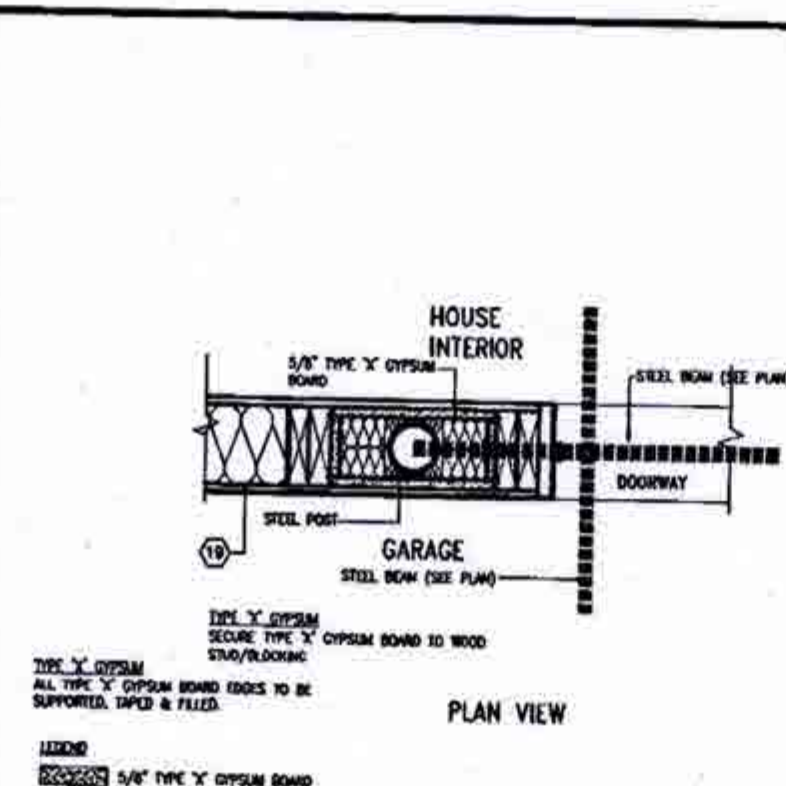
2 RATED STEEL BEAM OVER GARAGE
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



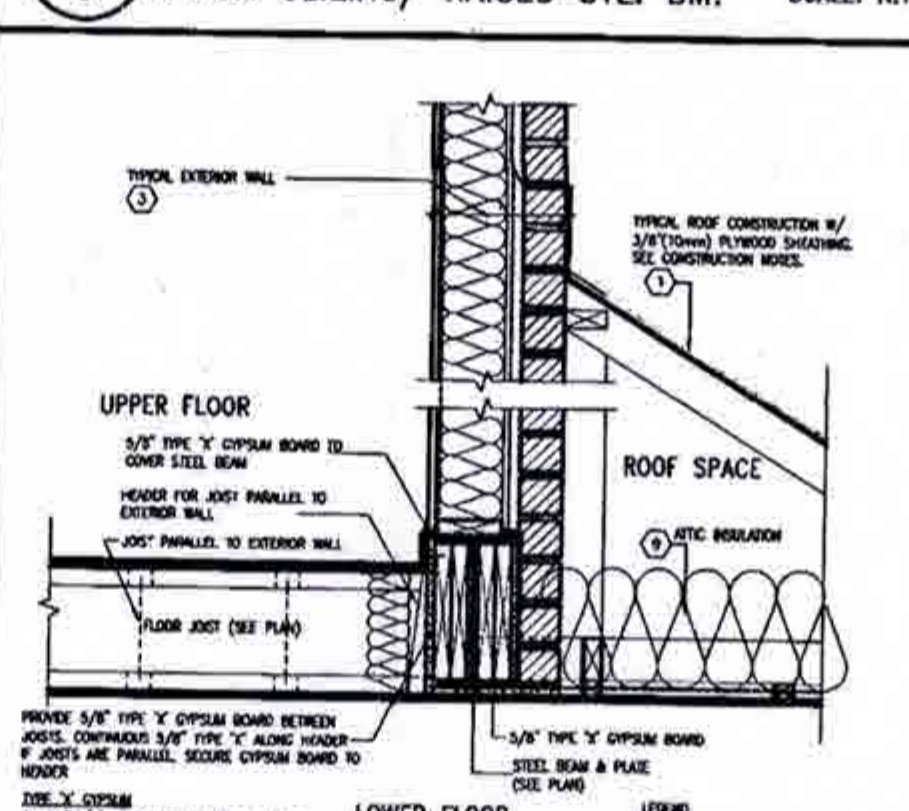
3 RATED STEEL POST POCKET
8 SCALE: N.T.S.



4 SECTION THRU FIRE RATED WALL
8 FLUSH CEILING/ RAISED STL. BM. SCALE: N.T.S.



5 RATED STEEL POST POCKET
8 SCALE: N.T.S.



6 RATED STEEL BEAM OVER LIVING SPACE
8 FLUSH CEILING/ RAISED STEEL BM. SCALE: N.T.S.



W Architect Inc.
DESIGN CONTROL REVIEW
OCT 17 2018
FINAL BY: *CEE*
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JUL 27 2018

HEMLOCK 4
COMPLIANCE PACKAGE 'A1'



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	JULY 23/18	GW
2	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
3	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
4	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
5	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
6	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
7	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
8	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
9	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
10	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
11	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
12	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
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14	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
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16	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
17	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
18	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
19	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW
20	REVISED PER CLIENT/ENGINEER COMMENTS	JULY 20/18	GW

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v3design.com

V3 DESIGN

Greenpark.
MINNISALE HOMES CORP.
BRAMPTON

HEMLOCK 4
9.15m Semi
18012
A8

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