

3045

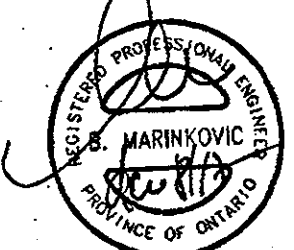
12.20m LOTS

PINEBROOK 2 (GR) ELEV. - 1, 2, & 3

ENERGY STAR

O.REG. 332/12

STREET INC.



FOR STRUCTURE ONLY

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS

20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

ASSUME THE LARGER FOOTINGS SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.f.) SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL IS USED, TO BE VERIFIED ON SITE.

FOUNDATION WALLS WITH ENGINEERING JOISTS OVER 16'-0" SPAN

24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

ENGINEERED FILL FOOTINGS

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x12"x16" CONCRETE PAD

F2 = 36"x8"x16" CONCRETE PAD

F3 = 30"x8"x12" CONCRETE PAD

F4 = 24"x4"x12" CONCRETE PAD

F5 = 18"x16"x8" CONCRETE PAD

REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART

90 KPa ENGINEERED FILL SOIL

F1 = 48"x16"x20" CONCRETE PAD

F2 = 40"x10"x16" CONCRETE PAD

F3 = 34"x8"x14" CONCRETE PAD

F4 = 28"x8"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 6'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

TOWN OF EAST GWILLIMBURY Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times. THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: [Signature]

DATE: NOV 23 2018

NOTE:

WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2-2" x 8" SPR. WL2 = 4" x 3 1/2" x 5/16" (100x90x6) + 2-2" x 8" SPR. WL3 = 5" x 3 1/2" x 5/16" (125x90x6) + 2-2" x 10" SPR. WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2-2" x 12" SPR. WL5 = 8" x 4" x 3/8" (180x100x10) + 2-2" x 12" SPR.

WL6 = 5" x 3 1/2" x 5/16" (125x90x6) + 2-2" x 12" SPR. WL7 = 5" x 3 1/2" x 5/16" (125x90x6) + 3-2" x 10" SPR. WL8 = 5" x 3 1/2" x 5/16" (125x90x6) + 3-2" x 12" SPR. WL9 = 8" x 4" x 3/8" (180x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM WB2 = 3-2" x 8" SPRUCE BEAM WB3 = 2-2" x 10" SPRUCE BEAM WB4 = 3-2" x 10" SPRUCE BEAM WB5 = 2-2" x 12" SPRUCE BEAM WB6 = 3-2" x 12" SPRUCE BEAM WB7 = 5-2" x 12" SPRUCE BEAM WB8 = 4-2" x 8" SPRUCE BEAM WB9 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) L2 = 4" x 3 1/2" x 5/16" (100x90x6) L3 = 5" x 3 1/2" x 5/16" (125x90x6) L4 = 6" x 3 1/2" x 3/8" (150x90x10) L5 = 8" x 4" x 3/8" (180x100x10) L6 = 7" x 4" x 3/8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184) LVL1 = 2-1 3/4" x 7 1/4" (2-45x184) LVL2 = 3-1 3/4" x 7 1/4" (3-45x184) LVL3 = 4-1 3/4" x 7 1/4" (4-45x184) LVL4A = 1-1 3/4" x 9 1/2" (1-45x240) LVL4 = 2-1 3/4" x 9 1/2" (2-45x240) LVL5 = 3-1 3/4" x 9 1/2" (3-45x240) LVL5A = 4-1 3/4" x 9 1/2" (4-45x240) LVL6A = 1-1 3/4" x 11 7/8" (1-45x300) LVL6 = 2-1 3/4" x 11 7/8" (2-45x300) LVL7 = 3-1 3/4" x 11 7/8" (3-45x300) LVL7A = 4-1 3/4" x 11 7/8" (4-45x300) LVL8 = 2-1 3/4" x 14" (2-45x356) LVL9 = 3-1 3/4" x 14" (3-45x356)

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR) 4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR) 5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR) 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR) 7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR) 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR) 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR) 10 = 2'-2-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR) 11 = 2'-2-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR) 12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

Table with 4 columns: ELEVATION, WALL FT², OPENING FT², PERCENTAGE. Rows for FRONT, LEFT SIDE, RIGHT SIDE, REAR, TOTAL.

Table with 2 columns: AREA CALCULATIONS EL-1, Values. Rows for GROUND FLOOR AREA, SECOND FLOOR AREA, TOTAL FLOOR AREA, ADD OPEN AREAS, ADD FIN. BASEMENT AREA, GROSS FLOOR AREA, GROUND FLOOR COVERAGE, GARAGE COVERAGE / AREA, PORCH COVERAGE / AREA, COVERAGE W/ PORCH, COVERAGE W/O PORCH.

Table with 4 columns: ELEVATION, WALL FT², OPENING FT², PERCENTAGE. Rows for FRONT, LEFT SIDE, RIGHT SIDE, REAR, TOTAL.

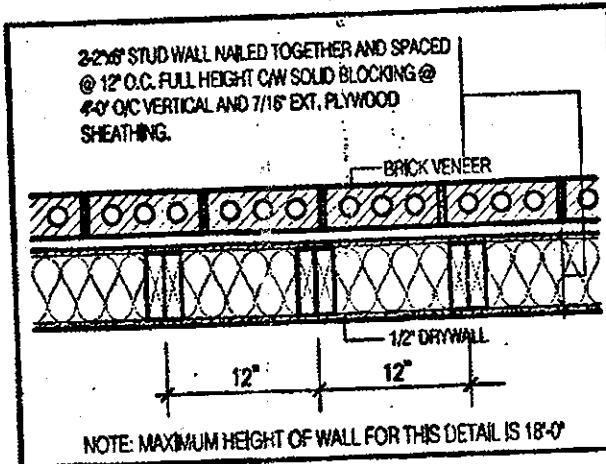
Table with 2 columns: AREA CALCULATIONS EL-2, Values. Rows for GROUND FLOOR AREA, SECOND FLOOR AREA, TOTAL FLOOR AREA, ADD OPEN AREAS, ADD FIN. BASEMENT AREA, GROSS FLOOR AREA, GROUND FLOOR COVERAGE, GARAGE COVERAGE / AREA, PORCH COVERAGE / AREA, COVERAGE W/ PORCH, COVERAGE W/O PORCH.

Table with 4 columns: ELEVATION, WALL FT², OPENING FT², PERCENTAGE. Rows for FRONT, LEFT SIDE, RIGHT SIDE, REAR, TOTAL.

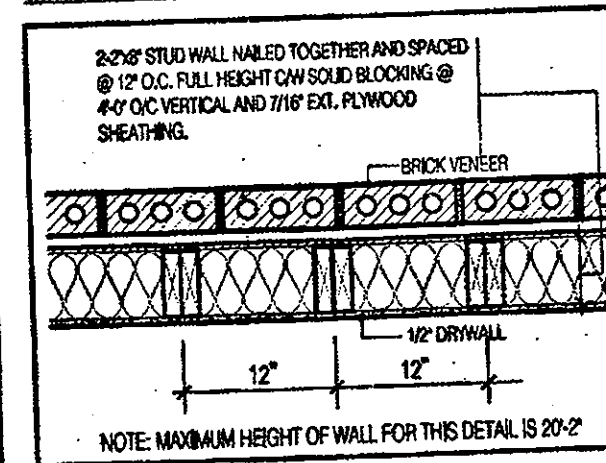
Table with 2 columns: AREA CALCULATIONS EL-3, Values. Rows for GROUND FLOOR AREA, SECOND FLOOR AREA, TOTAL FLOOR AREA, ADD OPEN AREAS, ADD FIN. BASEMENT AREA, GROSS FLOOR AREA, GROUND FLOOR COVERAGE, GARAGE COVERAGE / AREA, PORCH COVERAGE / AREA, COVERAGE W/ PORCH, COVERAGE W/O PORCH.

APPLICANT COPY

Table with 2 columns: COMPONENT, NOTE. Rows for CEILING WITH ATTIC SPACE, CEILING WITHOUT ATTIC SPACE, EXPOSE FLOOR, WALLS ABOVE GRADE, BASEMENT WALLS, EDGE OF BELOW GRADE SLAB, WINDOWS & SLIDING GLASS DOORS, SPACE HEATING EQUIPMENT, GAS FIREPLACE, HRV, HOT WATER TANK, DRAIN WATER HEAT RECOVERY, AIR TIGHTNESS MUST MEET MINIMUM, DUCT SEALING, LIGHTS.



TWO STOREY HEIGHT WALL DETAIL WITH BRICK VENEER N.T.S.



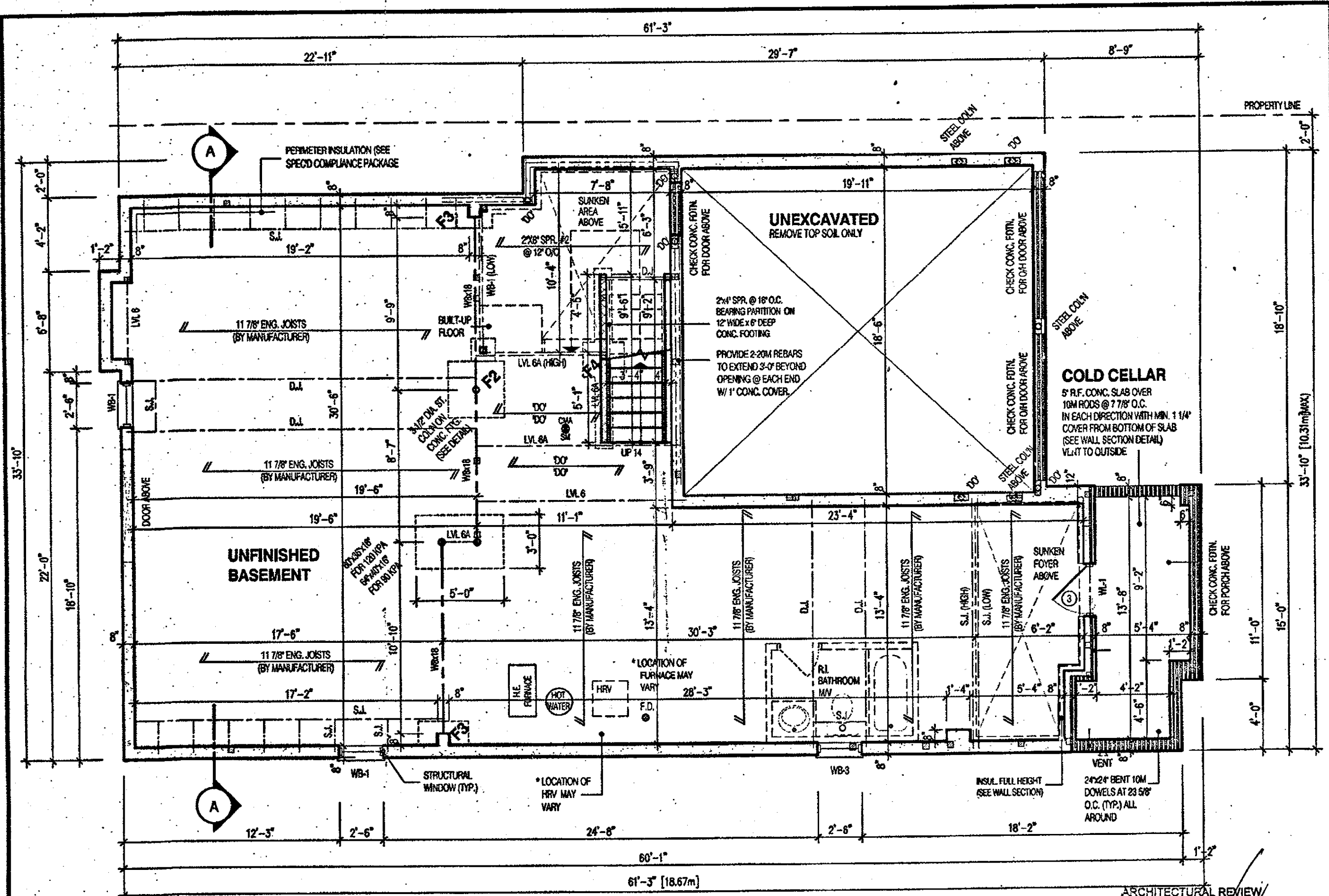
TWO STOREY HEIGHT WALL DETAIL WITH BRICK VENEER N.T.S.

Energy Star logo and ESCC MODEL ENERGY STAR - V 12.7

LEGEND: BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D), INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE, STL. PLATE FOR STEEL COLUMN ABOVE, LVL LAMINATED VENEER LUMBER, S.J. SINGLE JOIST, D.J. DOUBLE JOIST, T.J. TRIPLE JOIST, REPEAT NOTE, SHOWER WEEPERS

Table with 2 columns: No., DATE, WORK DESCRIPTION. Rows for NOV 1, 2018 (REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT) and NOV 30, 2017 (ISSUED FOR BUILDING PERMIT). Includes logo for JARDIN DESIGN GROUP INC and WALTER BOTTER UBE 21031.

TITLE SHEET SECOND VOLES ESTATES EAST GWILLIMBURY. Includes BILD logo and scale 3/16" = 1'-0".



3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 1
 ENERGY STAR
 O.REG. 332/12

STRUDET INC.
 REGISTERED PROFESSIONAL ENGINEER
 MARINKOVIC
 PROVINCE OF ONTARIO
 FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON-SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
 AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
 JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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3	NOV. 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:
Jardin
 DESIGN GROUP INC
 64 JARDIN DR, SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WBe* 21037
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
 JARDIN design group inc. 27763
 FIRM NAME BCIN

BASEMENT PLAN EL-1
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	AREA
T	
SCALE	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	1

TOWN OF EAST GWILLIMBURY
 Building Department
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THESE DOCUMENTS WERE REVIEWD AND EXAMINED BY: *[Signature]*
DATE: _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW AND APPROVAL
 TOWN OF EAST GWILLIMBURY
 Signed: *[Signature]*
 Date: **NOV 0 5 2018**
JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 0 2 2018

NOTE:
 REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
 SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
 SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- L.V. LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

3045

12.20m LOTS
PINEBROOK 2 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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3	NOV. 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
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1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

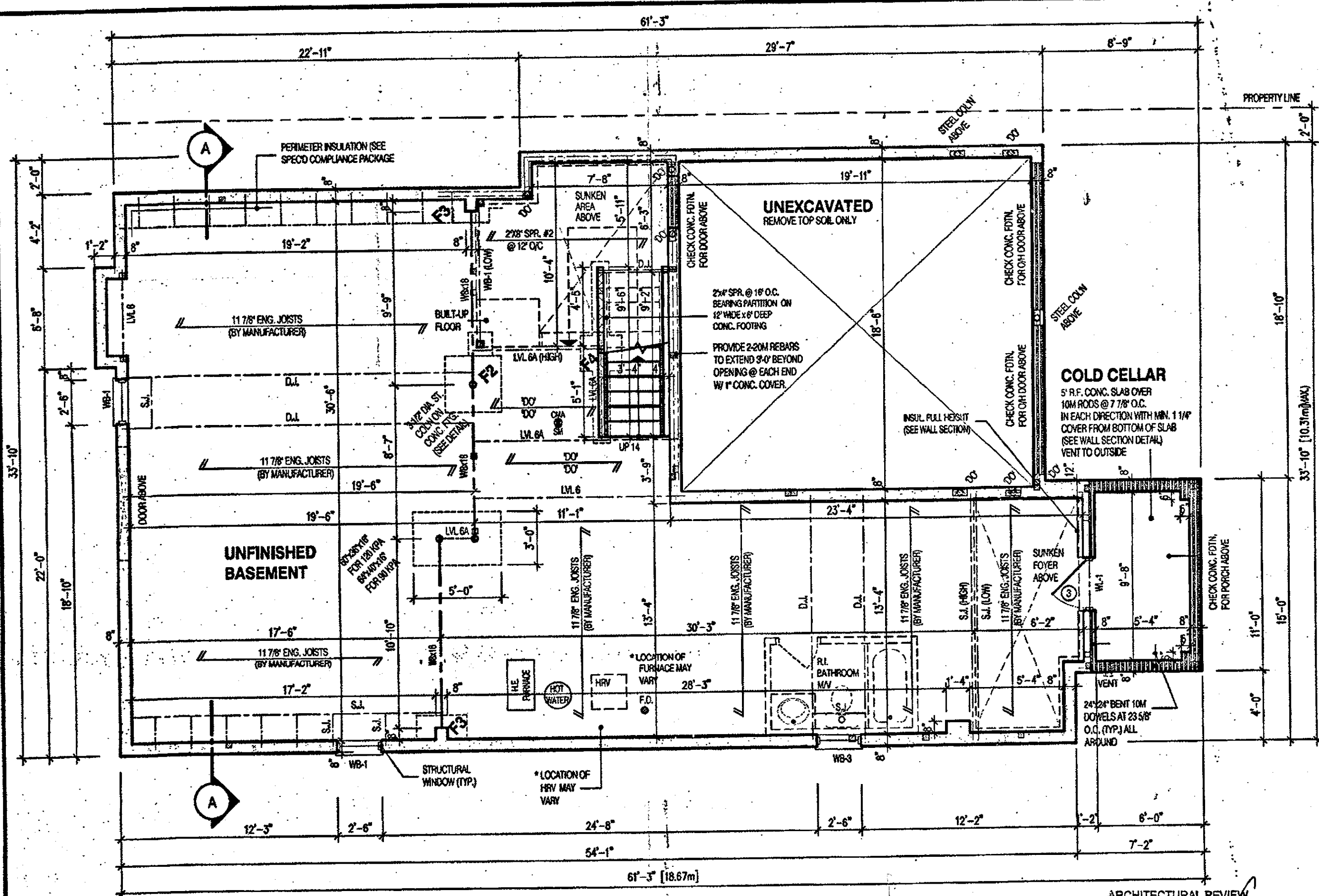
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-2
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	T	AREA
SCALE:	3/16"=1'-0"	
PROJ. No.	17-41	DRG. No.
		1A



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ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF EAST GWILLIMBURY
Signed: *John G. Williams*
Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

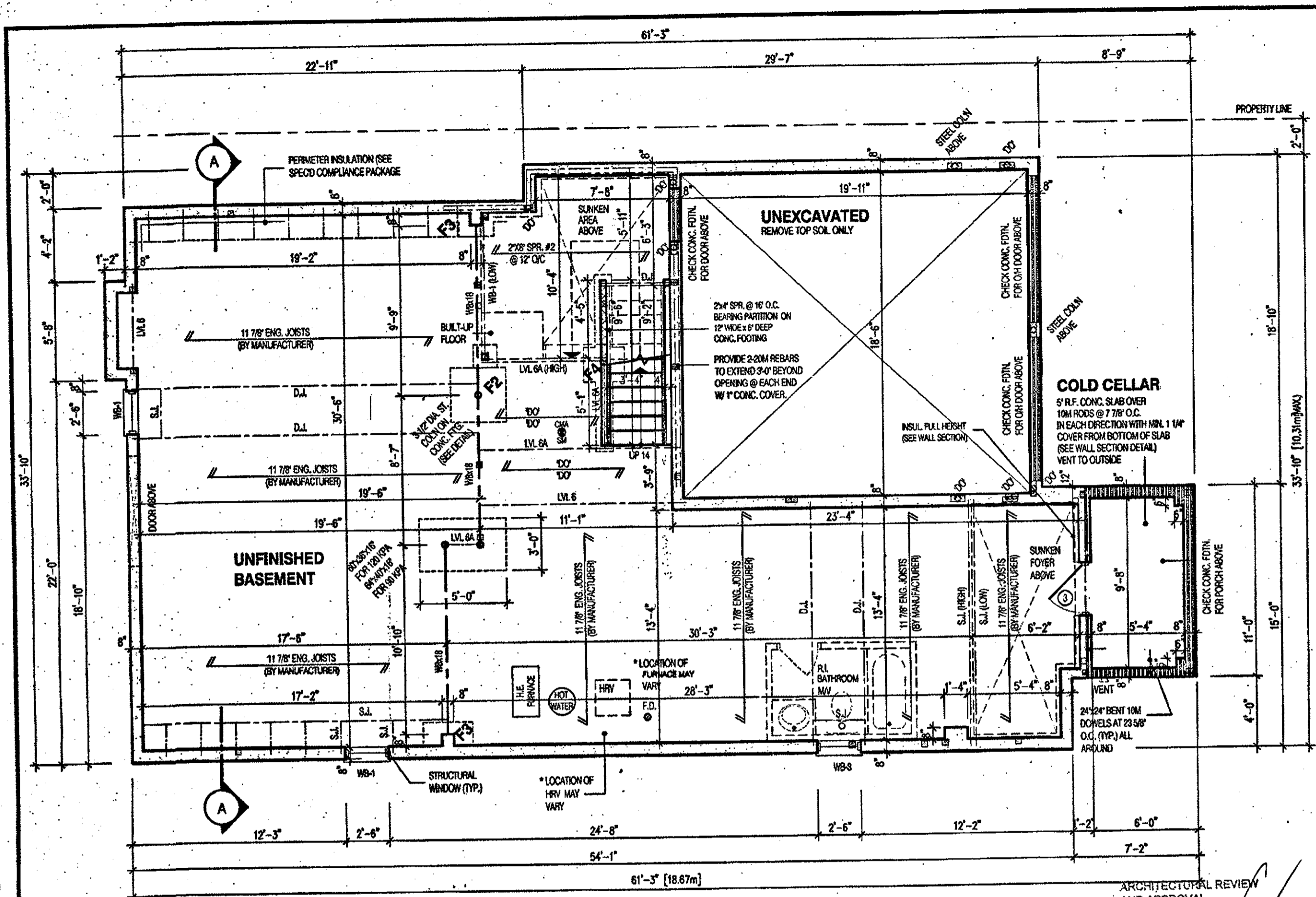
TOWN OF EAST GWILLIMBURY
Building Department

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NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE
NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7, 2 ROWS FOR SPANS GREATER THAN 7'
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NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
■ BUILDING FACE < THAN 4" (1.2m) (AS MIN. FIRE RATING REQ'D)
■ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
■ STL. PLATE FOR STEEL COLUMN ABOVE
■ LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
○ REPEAT NOTE
○ SHOWER WEEPERS



3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 3
 ENERGY STAR
 O.REG. 332/12



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3	NOV. 1, 2018	REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

jardin
 DESIGN GROUP INC
 64 JARDIN DR, SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 1.2.5 of the Building Code

Walter Botter *WBe* 21037
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
 FIRM NAME BCIN

BASEMENT PLAN EL-3
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

BILD
 TYPE T AREA
 SCALE 3/16" = 1'-0"
 PROJ. No. 17-41 DWG. No. 1B

TOWN OF EAST GWILLIMBURY
 Building Department
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ARCHITECTURAL REVIEW AND APPROVAL
 TOWN OF EAST GWILLIMBURY

Signed: _____
 Date: NOV 05 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 02 2018

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3045
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 PINEBROOK 2 (GR)
 ELEVATION 1
 ENERGY STAR
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2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
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jardin
 DESIGN GROUP INC
 64 JARDIN DR, SUITE 3A
 VAUGHAN ONT, L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

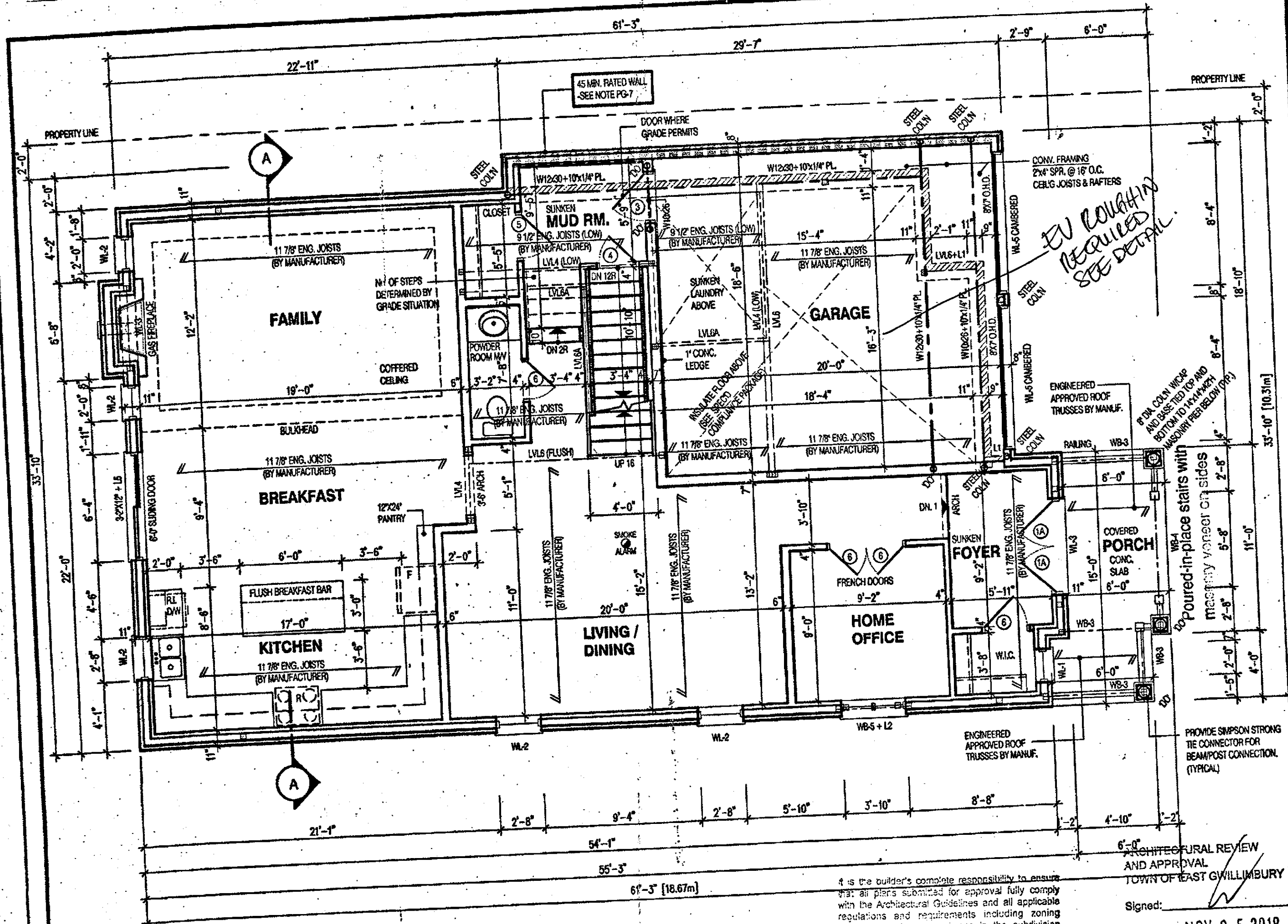
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21037
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
 FIRM NAME BCIN

FIRST FLOOR PLAN EL-1
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

	TYPE	T	AREA
	SCALE	3/16" = 1'-0"	
	PROJ. No.	17-41	DWG. No.



EV COLLATION REQUIRED SEE DETAIL.

poored-in-place stairs with masonry veneer on sides

TOWN OF EAST GWILLIMBURY
 Building Department
 These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.
 THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *[Signature]*
 DATE: _____

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Architectural Review and Approval
 TOWN OF EAST GWILLIMBURY
 Signed: *[Signature]*
 Date: NOV 0 5 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 0 2 2018

NOTE:
 REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

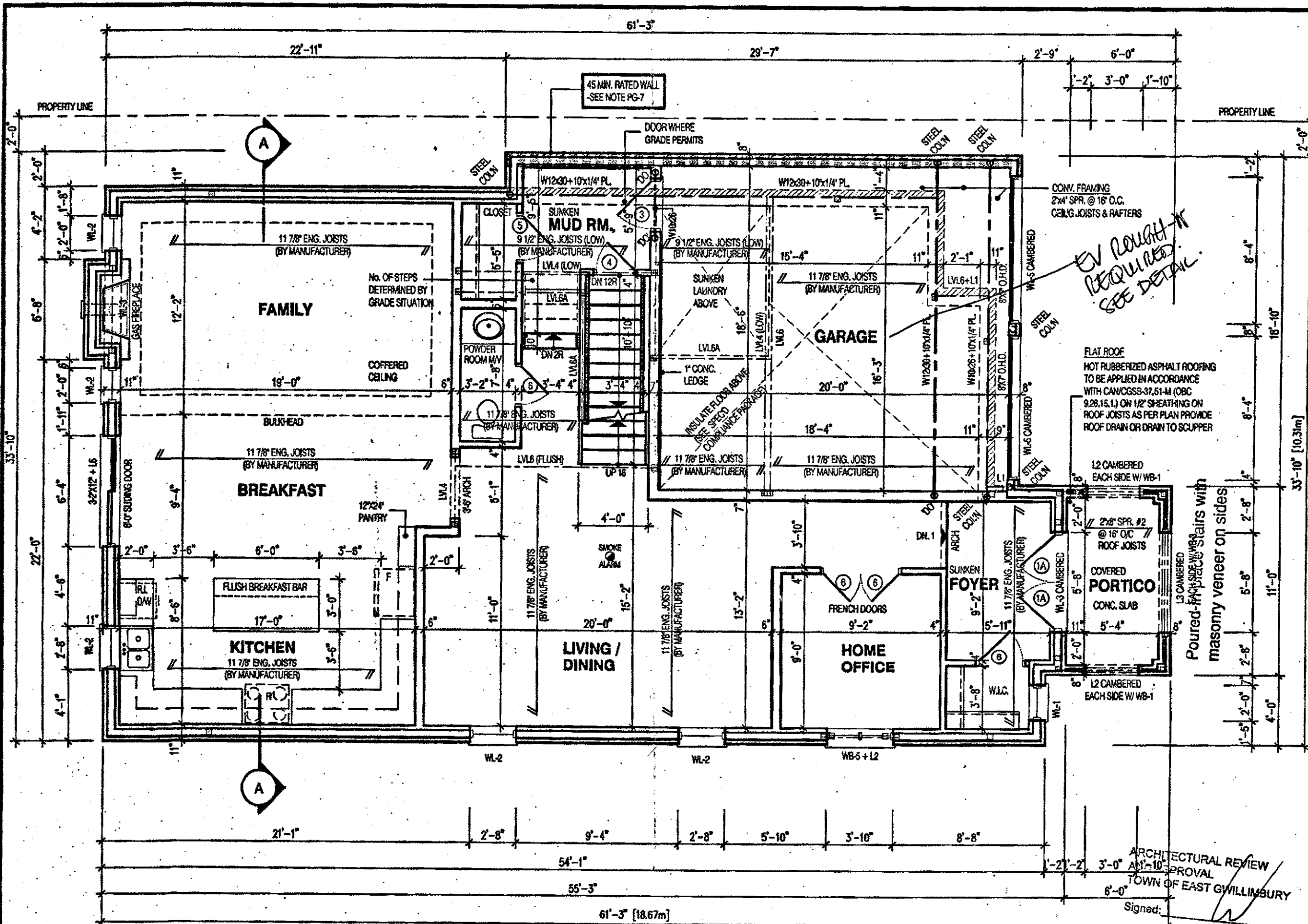
NOTE:
 SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 9'-2". ROWS FOR SPANS GREATER THAN 7'

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

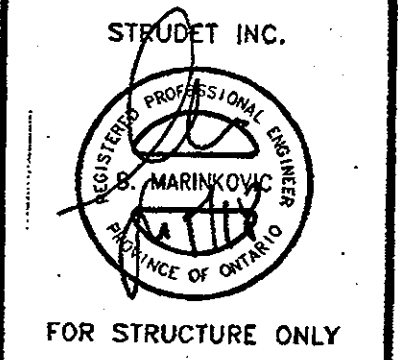
NOTE:
 SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

 BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 STL. PLATE FOR STEEL COLUMN ABOVE
 LAMINATED VENEER LUMBER
 S.I. SINGLE JOIST
 D.J. DOUBLE JOIST
 T.J. TRIPLE JOIST
 REPEAT NOTE
 SHOWER SWEEPERS



3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 2
 ENERGY STAR
 O.REG. 332/12



THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
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 AS CONSTRUCTED MEMBERS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
 JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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3	NOV. 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No. DATE: WORK DESCRIPTION:
Jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.
 Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
 Jardin design group inc. 27763
 FIRM NAME BCIN

FIRST FLOOR PLAN EL-2
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE T AREA
 SCALE: 3/16" = 1'-0"
 PROJ. No. 17-41 DWG. No. 2A

TOWN OF EAST GWILLIMBURY
 Building Department
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DATE: _____

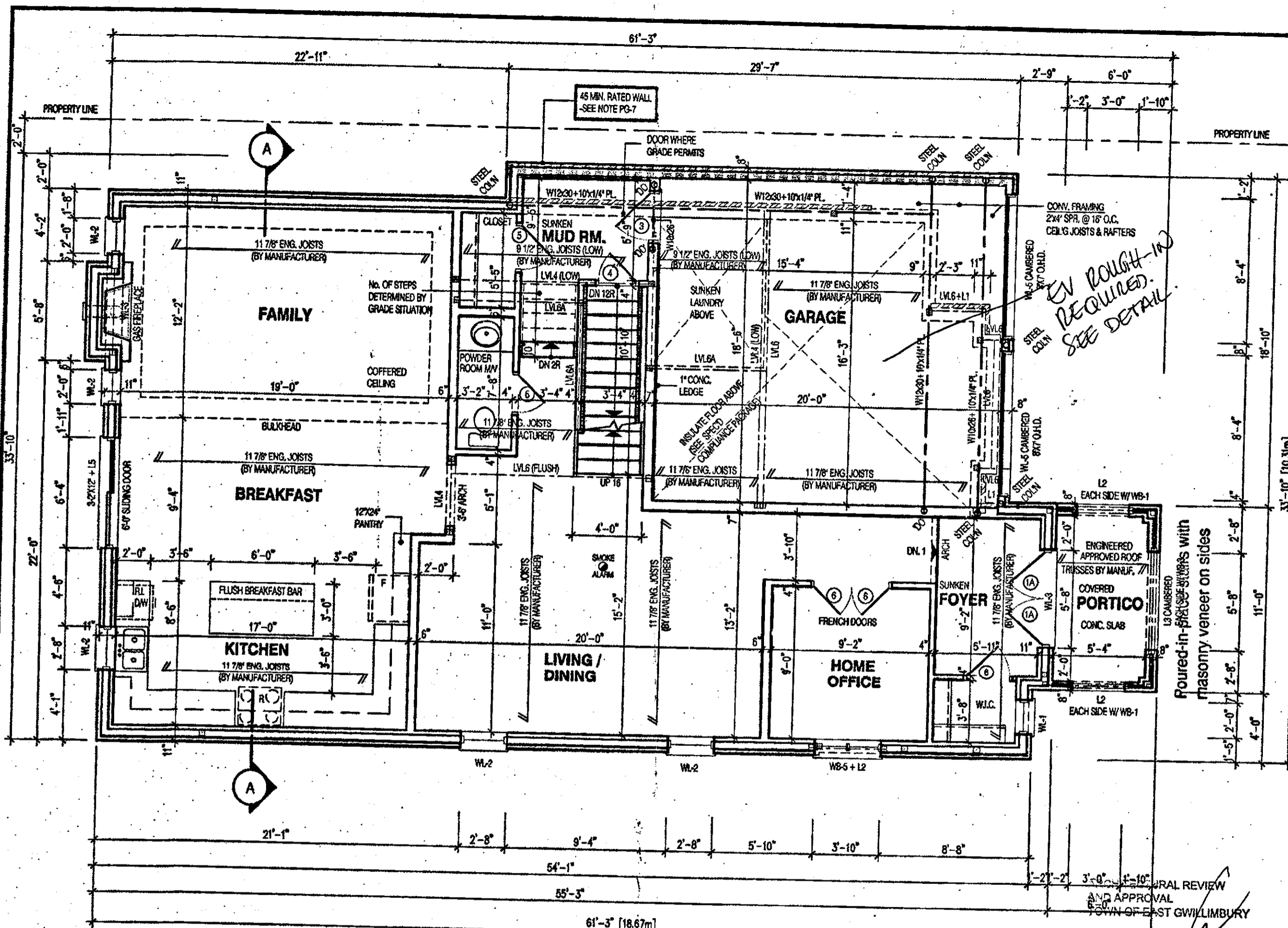
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- NOTE:**
 REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE
- NOTE:**
 SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'
- NOTE:**
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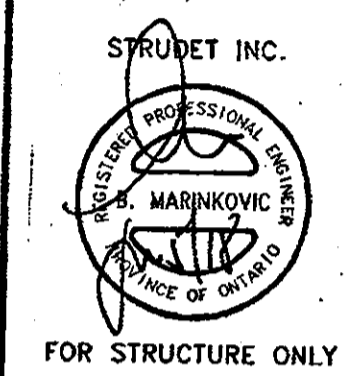
- NOTE:**
 SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
- NOTE:**
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL
- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

ARCHITECTURAL REVIEW APPROVAL
 TOWN OF EAST GWILLIMBURY
 Signed: _____
 Date: NOV 05 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 02 2018



3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 3
 ENERGY STAR
 O.REG. 332/12



FOR STRUCTURE ONLY
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3	NOV. 1, 2018	REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No. DATE: WORK DESCRIPTION:
Jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

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 Walter Botter *WBE* 21037
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
Jardin design group inc. 27763
 FIRM NAME BCIN

FIRST FLOOR PLAN EL-3
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	
T	AREA
SCALE: 3/16"=1'-0"	
PROJ. No.	DWG. No.
17-41	2B

TOWN OF EAST GWILLIMBURY
 Building Department
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JURAT REVIEW AND APPROVAL
 TOWN OF EAST GWILLIMBURY
 Signed: *[Signature]*
 Date: NOV 0 5 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 0 2 2018

NOTE:
 REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
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NOTE:
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NOTE:
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- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 1
 ENERGY STAR
 O.REG. 332/12



FOR STRUCTURE ONLY

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3	NOV. 1, 2018 REVISED TO ENERGY STAR
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

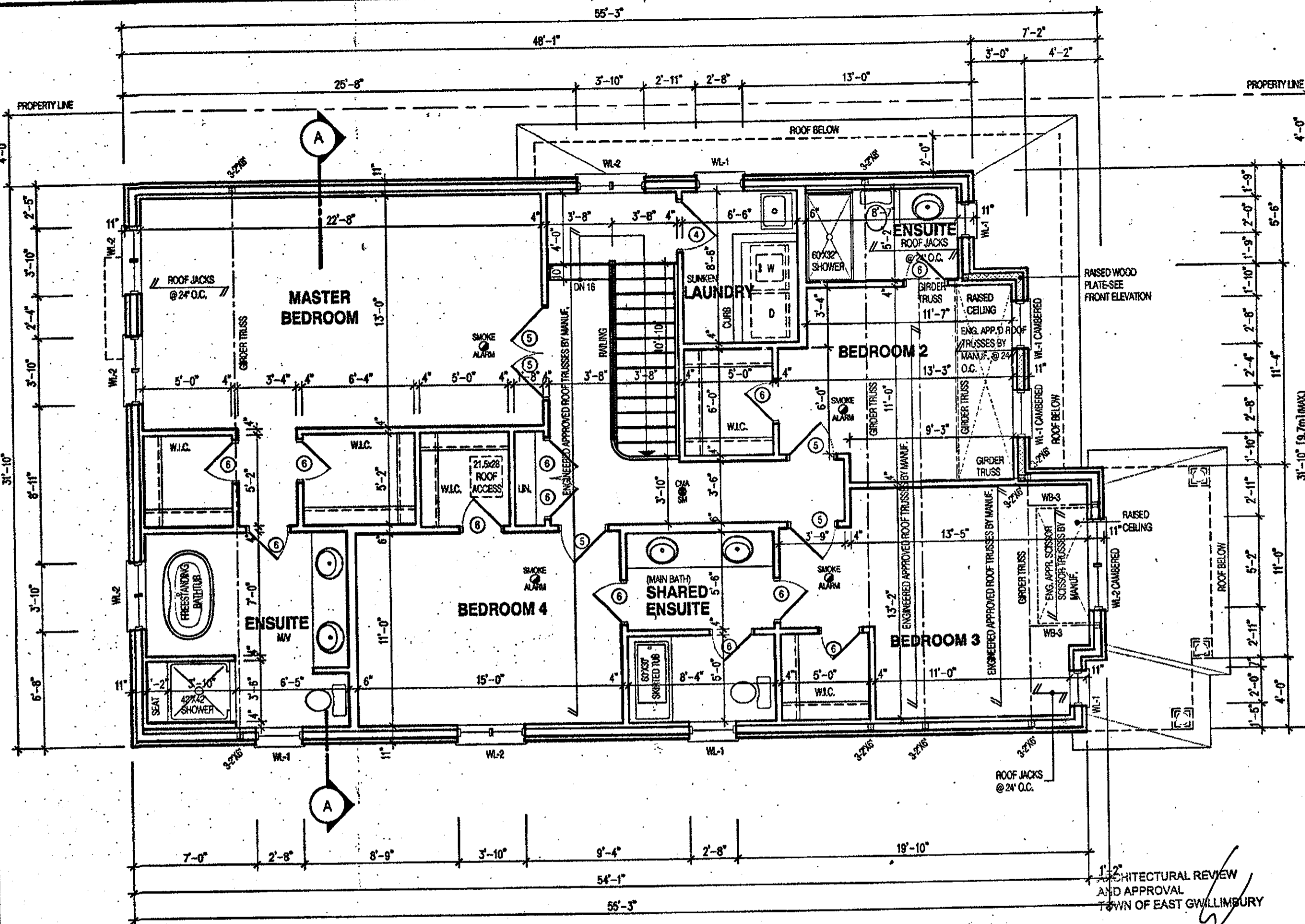
jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Boffer *Walter Boffer* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
 FIRM NAME: **jardin design group inc.** 27763
 BCIN

SECOND FL. PLAN EL-1
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		3



ARCHITECTURAL REVIEW AND APPROVAL
 TOWN OF EAST GWILLIMBURY
 Signed: _____
 Date: **NOV 05 2018**
JOHN G. WILLIAMS LIMITED
 ARCHITECT

TOWN OF EAST GWILLIMBURY
 Building Department
 These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.
THESE DOCUMENTS WERE REVIEWD AND EXAMINED BY: _____
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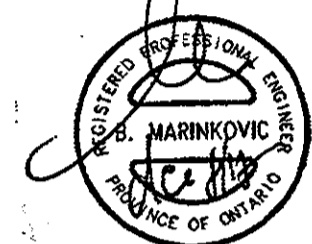
NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - SSD STL. PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

3045

12.20m LOTS
PINEBROOK 2 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRIDET INC.



FOR STRUCTURE ONLY

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3	NOV. 1, 2018	REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

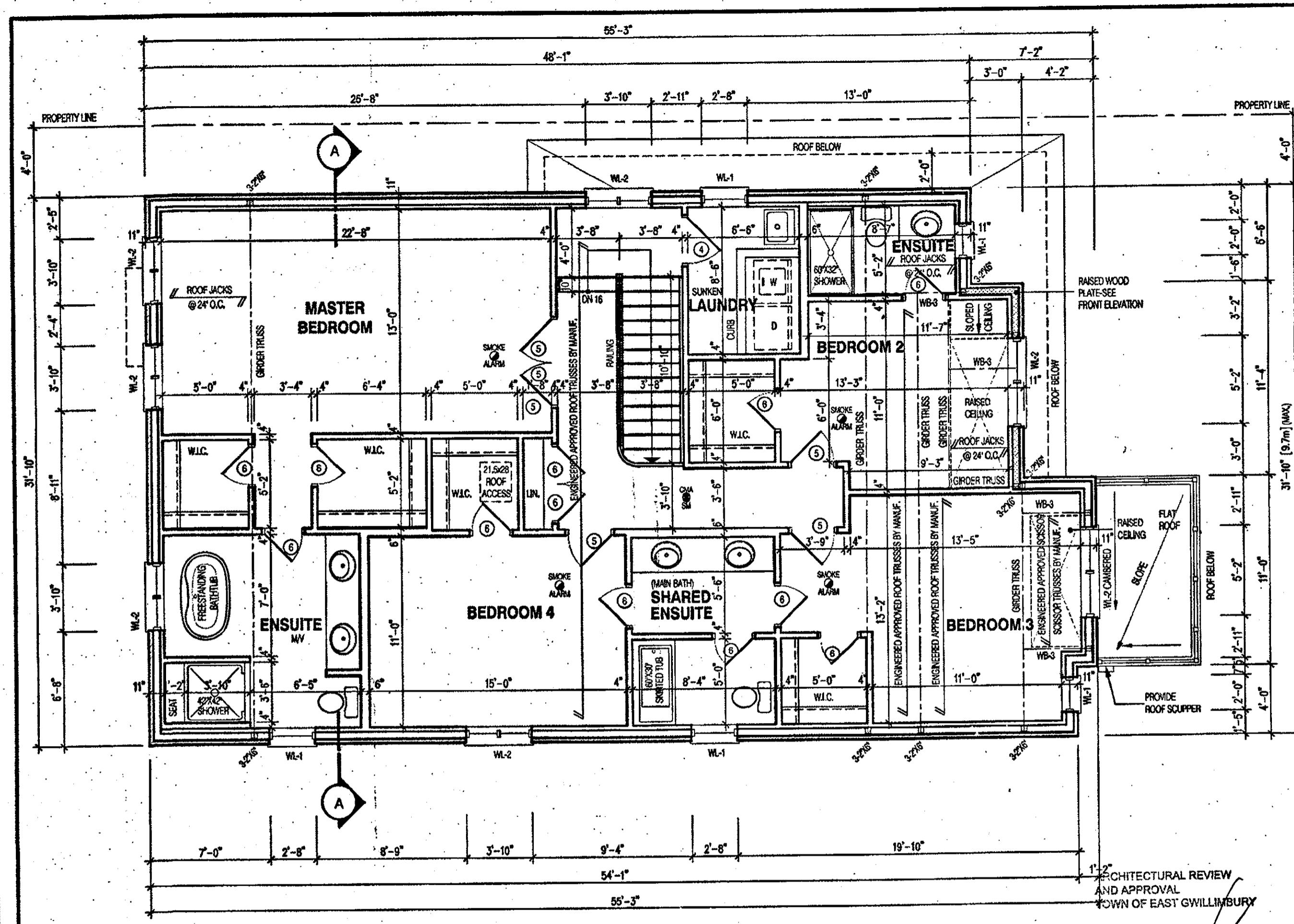
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.A of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2

SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	I	AREA
SCALE	3/16"=1'-0"	
PROJ. No.	17-41	DWG. No.
		3A



ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: *[Signature]*
Date: NOV 05 2018
WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

TOWN OF EAST GWILLIMBURY
Building Department
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 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 3
 ENERGY STAR
 O.REG. 332/12



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1	OCT. 18, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No. DATE: WORK DESCRIPTION:
jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

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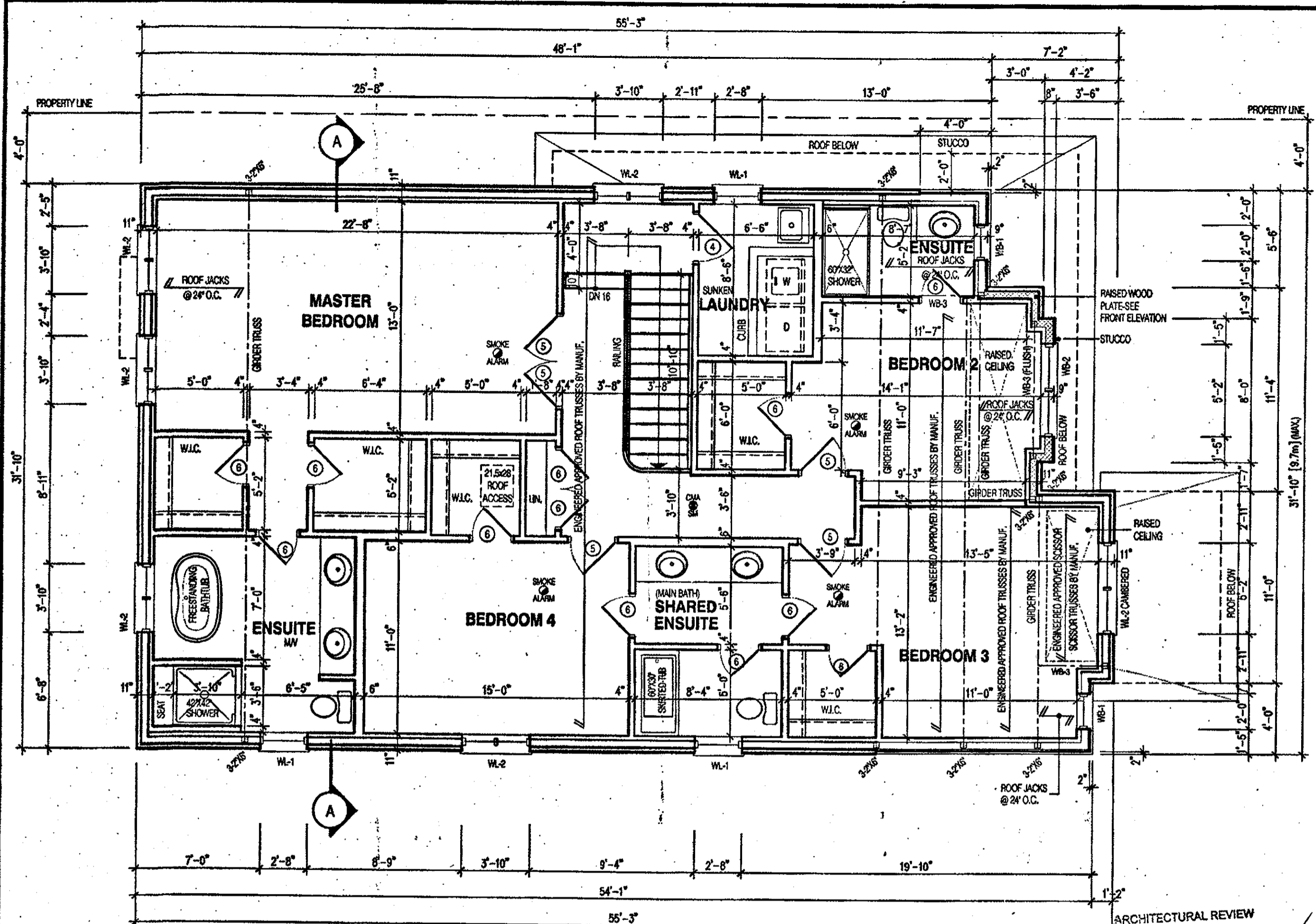
Walter Botter *Walter Botter* 21037
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
 Jardin design group inc. 27763
 FIRM NAME BCIN

SECOND FL. PLAN EL-3

SECONDO VALES ESTATES
 EAST GWILLIMBURY

	TYPE	AREA
	T	
	SCALE:	3/16"=1'-0"
	PROJ. NO.	DWG. No.
	17-41	3B



ARCHITECTURAL REVIEW
 AND APPROVAL
 TOWN OF EAST GWILLIMBURY

Signed: *John G. Williams*
 Date: NOV 05 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 02 2018

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TOWN OF EAST GWILLIMBURY
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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *[Signature]*

DATE: _____

3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 1
 ENERGY STAR
 O.REG. 332/12



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1	OCT. 19, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: _____ DATE: _____ WORK DESCRIPTION: _____

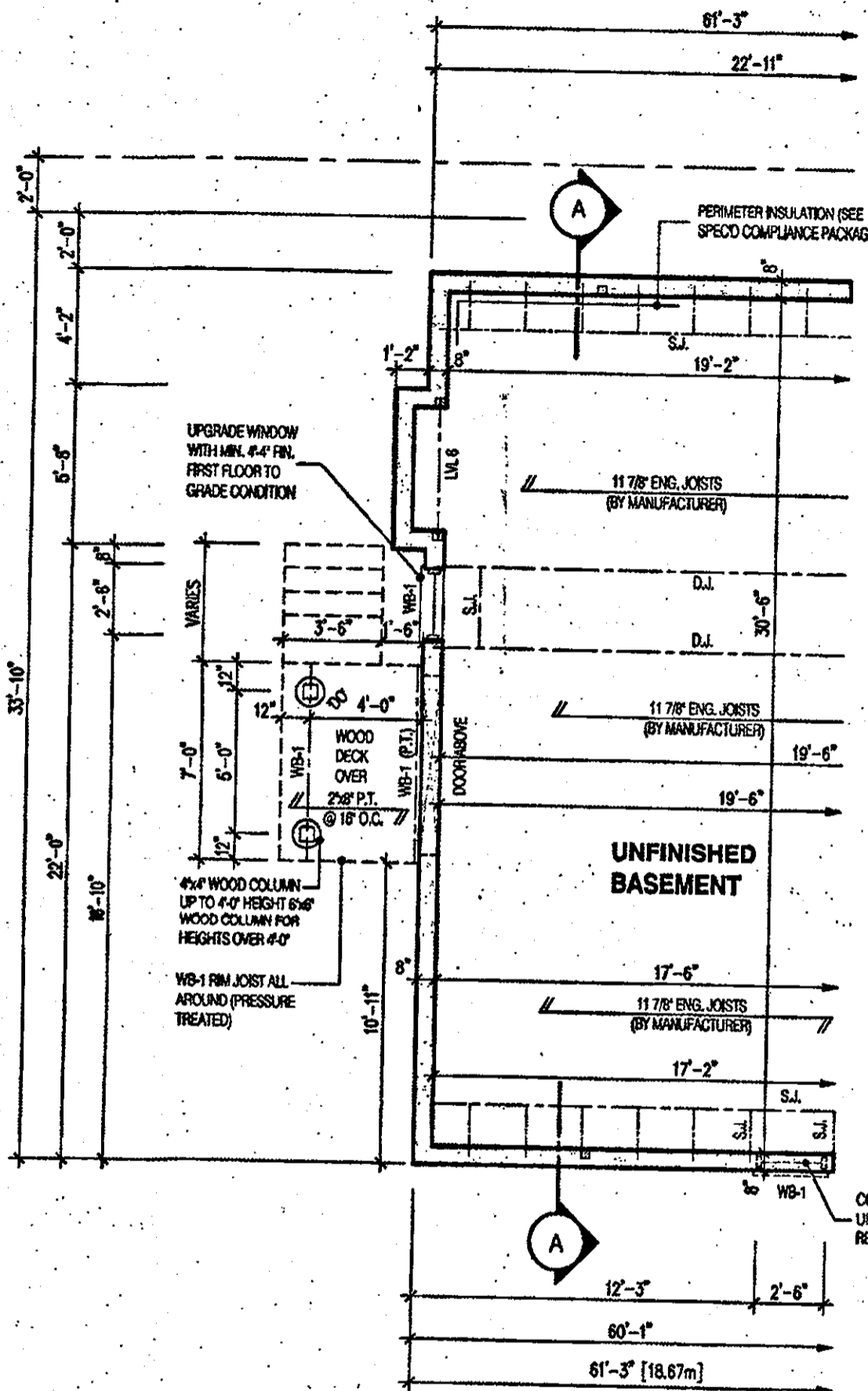
Jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.
 Watter Boffer *[Signature]* 21037
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
 Jardin design group inc. 27763
 FIRM NAME BCIN

DECK CONDITION EL-1
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	T	AREA
SCALE:	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		3-1

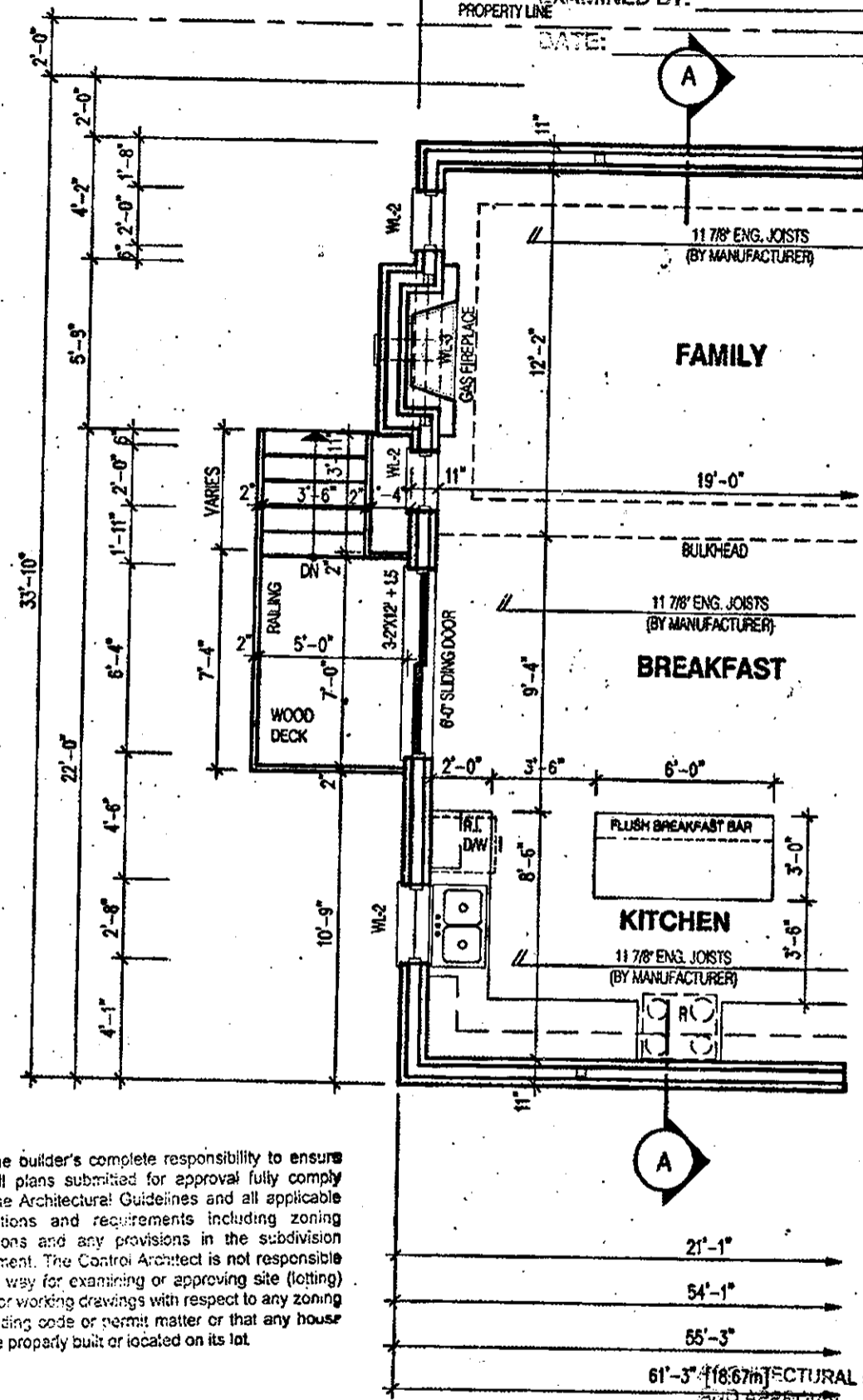


NOTE:
 SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

NOTE:
 SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-1

ARCHITECTURAL REVIEW AND APPROVAL
 TOWN OF EAST GWILLIMBURY

Signed: _____
 NOV 0 5 2018
 JARDIN G. WILLIAMS LIMITED

NOV 0 2 2018

Building Department
 These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: _____
 DATE: _____

3045

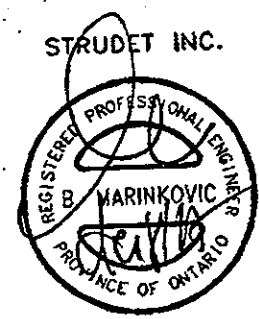
12.20m LOTS

PINEBROOK 2 (GR)

ELEVATION 2

ENERGY STAR

O.REG. 332/12



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
 AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
 JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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3	NOV. 1, 2018	REVISED TO ENERGY STAR ISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: _____ DATE: _____ WORK DESCRIPTION: _____

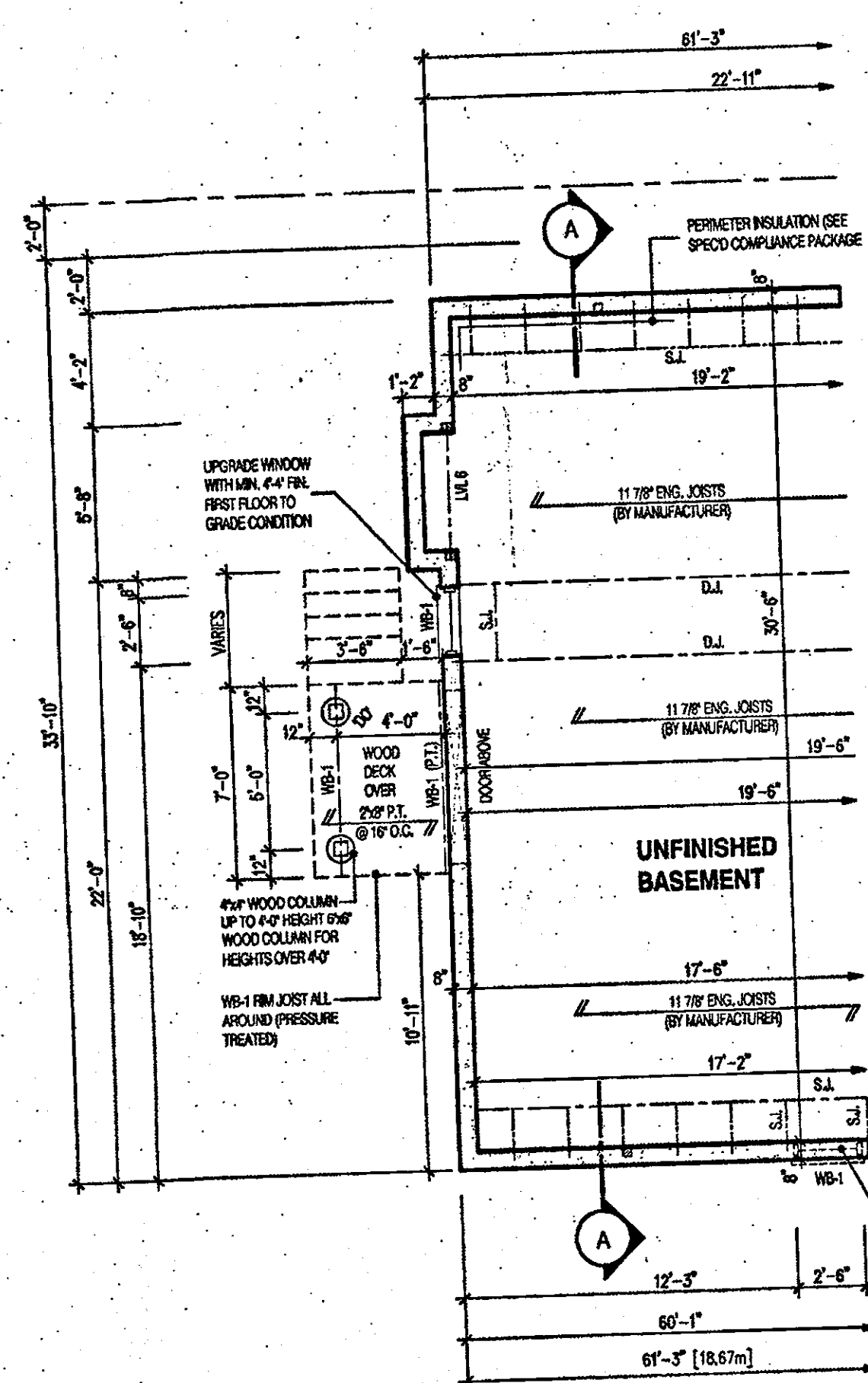
Jardin
 DESIGN GROUP INC
 64 JARDIN DR, SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, subsection 3.2.5 of the building code.

Walter Boffer *WBe* 21037
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, subsection 3.2.4 of the building code
 FIRM NAME **Jardin design group inc.** 27763 BCIN

DECK CONDITION EL-2
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

BILD	TYPE	T	AREA
	SCALE	3/16" = 1'-0"	
	PROJ. No.	17-41	DWG. No.
			3A-1



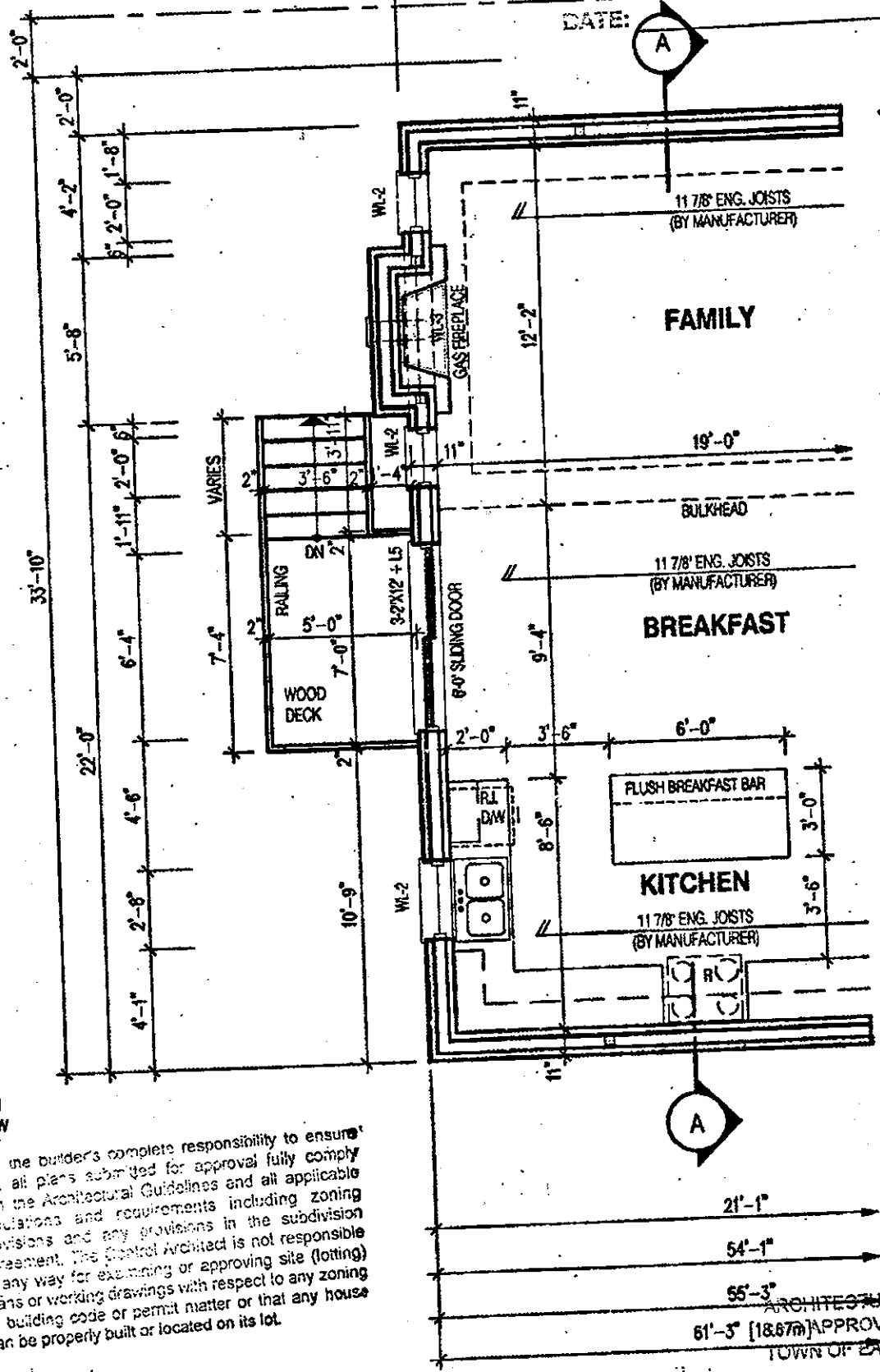
NOTE:
 SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-2

CONDITIONS WITH UPGRADE WINDOW REMOVE WINDOW

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

NOTE:
 SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-2

Signed: _____
 Date: NOV 0 5 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 0 2 2018

These plans have been reviewed for use with the conditions as noted. No other changes may be made without written approval of the Building Department. These plans must comply with the Ontario Building Code. These plans were reviewed and approved on 11/02/2018. THESE DOCUMENTS WERE REVIEWED AND APPROVED BY:

3045

12.20m LOTS

PINEBROOK 2

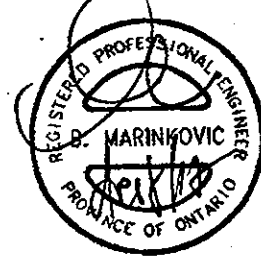
(GR)

ELEVATION 3

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR SITE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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3	NOV. 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

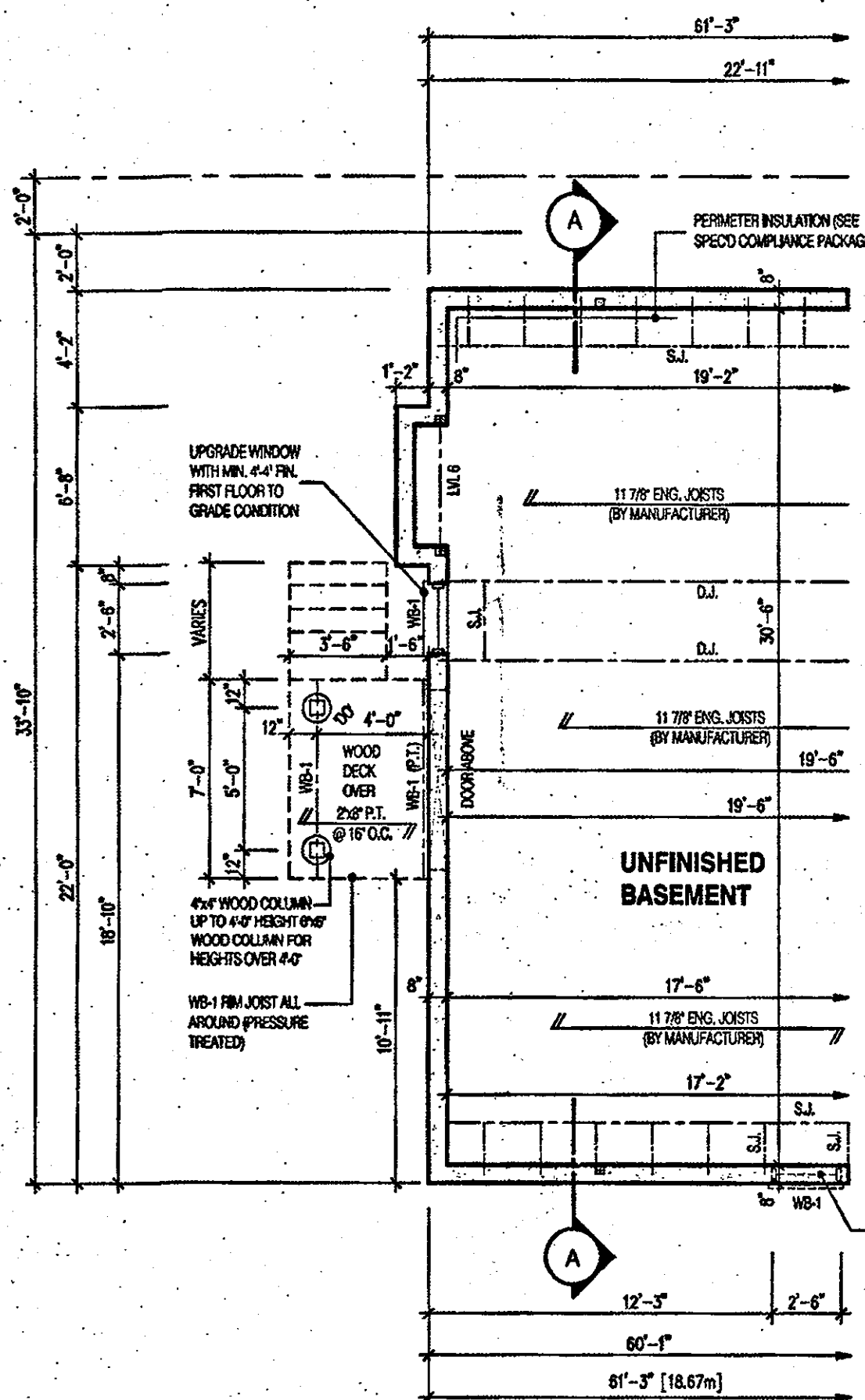
Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Signed: *Walter Botter*
Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT
NAME: Walter Botter SIGNATURE: 21031 BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
Jardin design group inc. 27763
FIRM NAME: BCIN

DECK CONDITION EL-3
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	3B-1



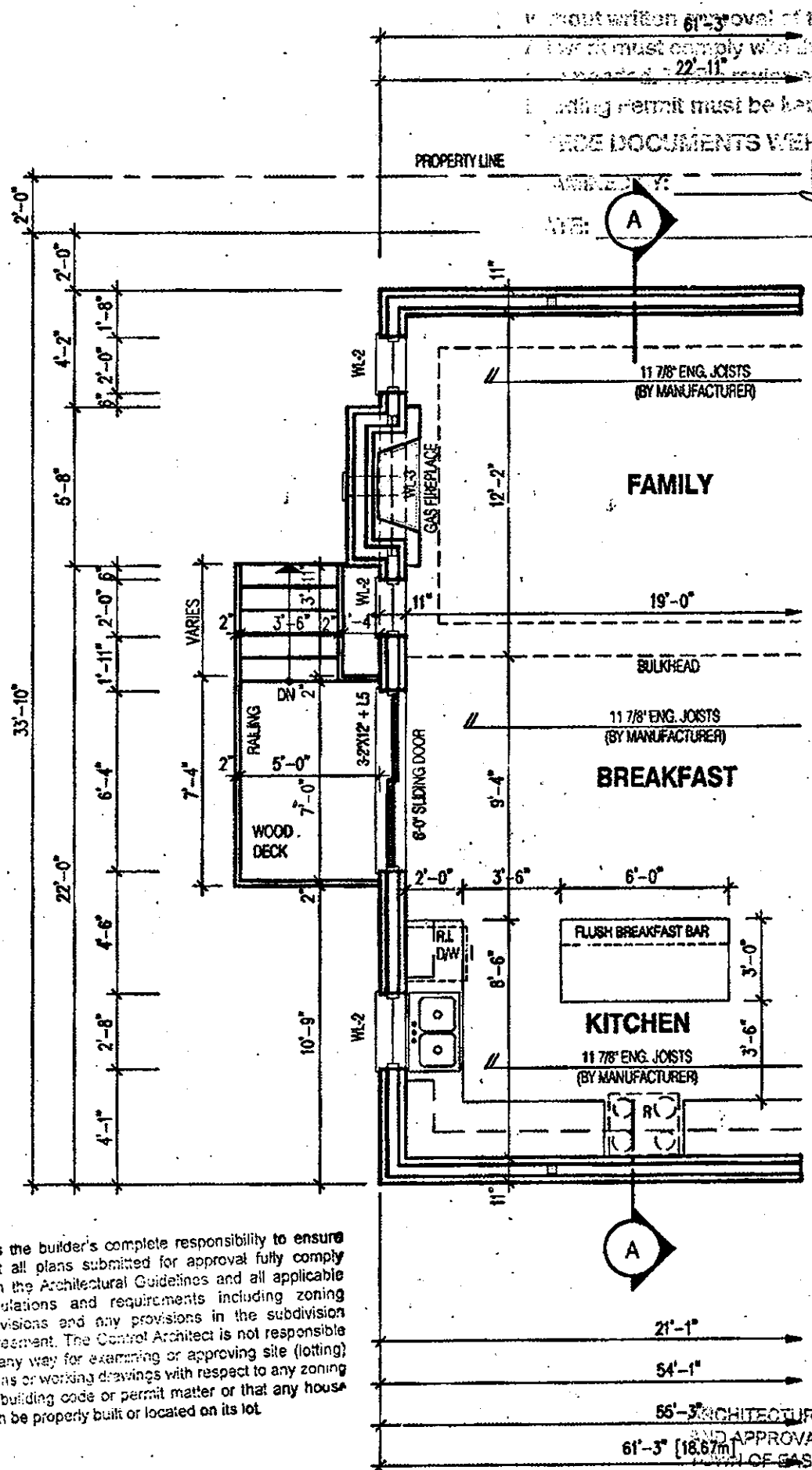
NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-3



Signed: *John G. Williams*
Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

3045

12.20m LOTS

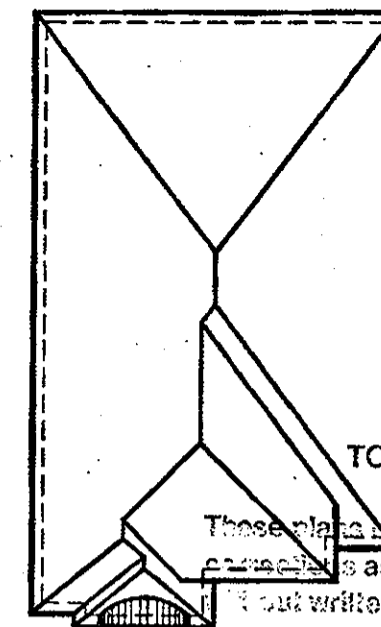
PINEBROOK 2 (GR) ELEVATION 1

ENERGY STAR

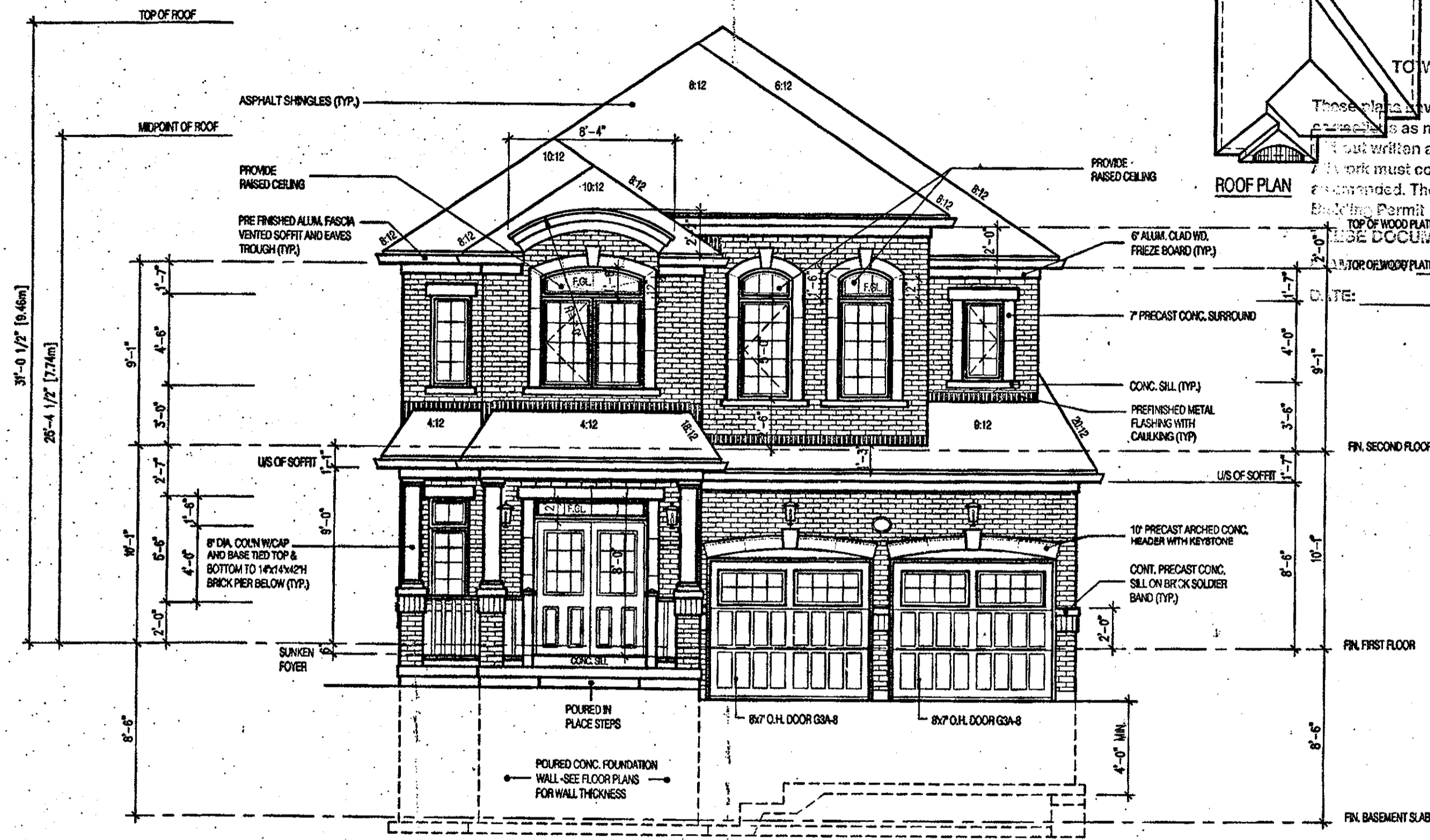
O.REG. 332/12

TOWN OF EAST GWILLIMBURY Building Department

These plans have been reviewed for use with the Building Department. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.



ROOF PLAN



PINEBROOK 2 FRONT ELEVATION 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW AND APPROVAL TOWN OF EAST GWILLIMBURY

Signed: _____ Date: NOV 0 5 2018 JOHN G. WILLIAMS LIMITED ARCHITECT

NOV 0 2 2018

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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3	NOV. 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 10, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

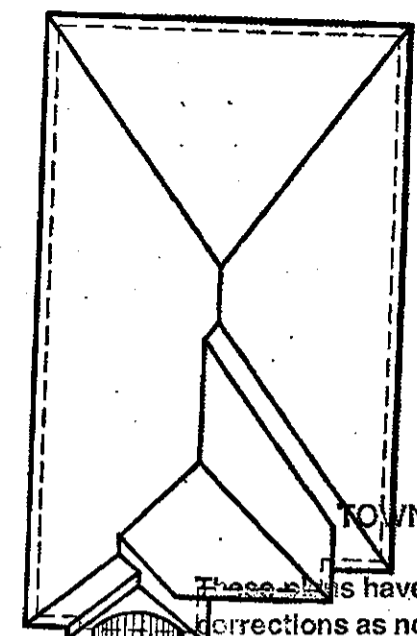
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

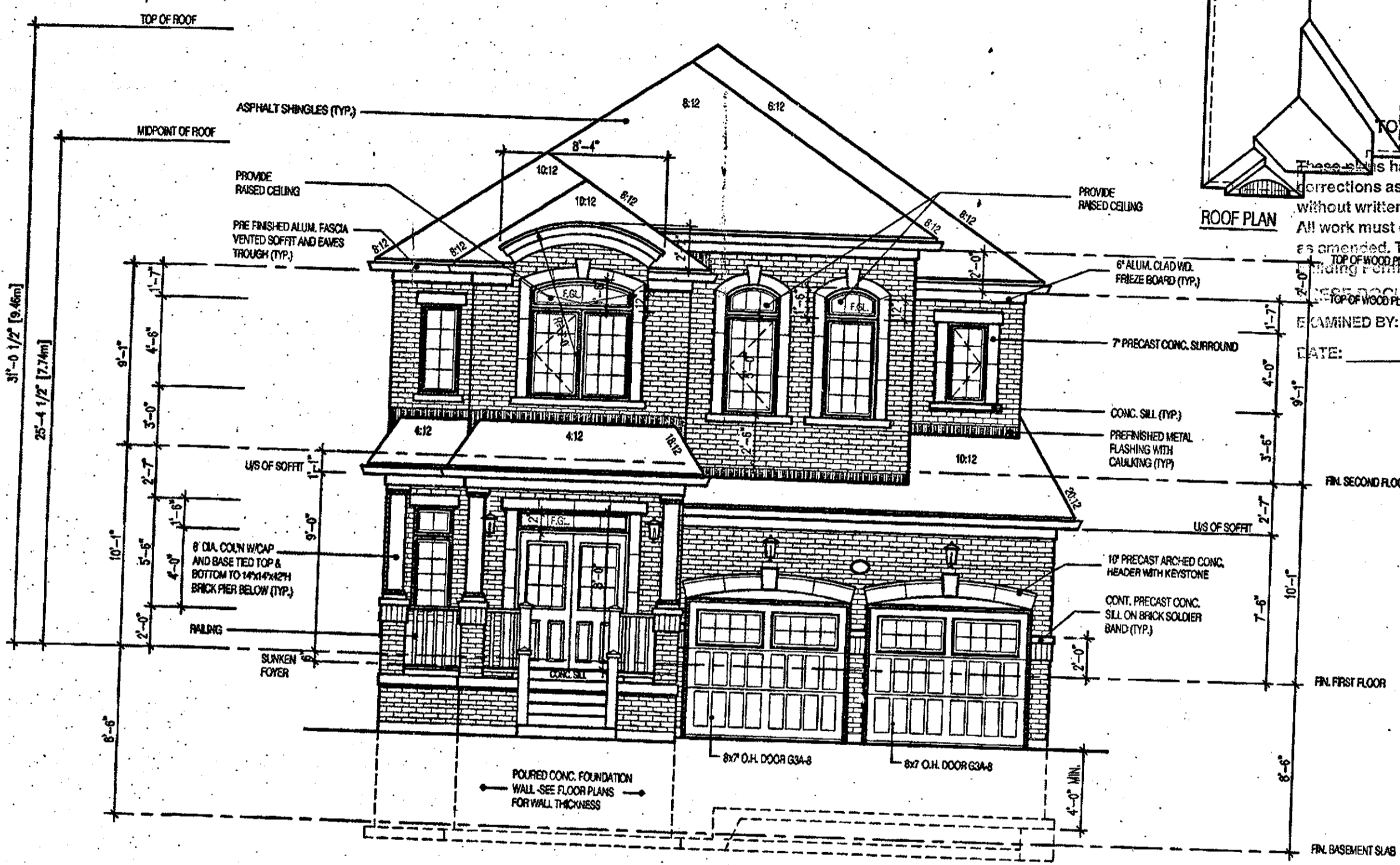
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
Jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION -1
SECONDO VALES ESTATES
EAST GWILLIMBURY

BILD	TYPE	T	AREA
	SCALE:	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.	4



ROOF PLAN



**PINEBROOK 2
FRONT ELEVATION 1
LOT 23**

LOT SPECIFIC CHANGES:
 - GARAGE ROOF SOFFIT DROPPED 12"
 - CHANGED GARAGE ROOF SLOPE TO 10:12

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY
Signed: _____
Date: **NOV 05 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

**3045
12.20m LOTS
PINEBROOK 2
(GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12**

TOWN OF EAST GWILLIMBURY
Building Department
These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the building permit must be kept on site at all times.

EXAMINED BY: *[Signature]*
DATE: _____

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY CORRECTIONS SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION PROVIDED BY OTHER PROVIDERS OR FOR CONSULTING SERVICES PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE REGULATIONS OR BUILDING DEPARTMENT PROVISIONS WITHIN THIS DRAWING DOES NOT CONSTITUTE AN ENDORSEMENT OF THE INFORMATION AS COASTAL BUILDING SERVICES HAS REVIEWED PRIOR TO ISSUING THIS DRAWING.
 JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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4	NOV. 1 2018	REVISED TO ENERGY STAR ISSUED FOR BUILDING PERMIT
3	AUG. 22, 2018	REVISED GRADE TO MATCH SITE
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. '8, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: _____ DATE: _____ WORK DESCRIPTION: _____
jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is done under Division C, Subsection 3.2.3 of the building code.
 Waffer Batten *[Signature]* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is done under Division C, Subsection 3.2.4 of the building code.
 Jardin design group inc. 27763
 FIRM NAME BCIN

FRONT ELEVATION -1
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	AREA
T	
SCALE	3/16"=1'-0"
PROJ. No.	DWG. No.
17-41	4

3045

12.20m LOTS

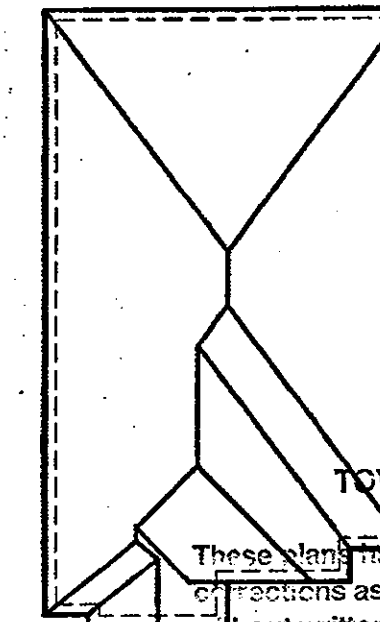
PINEBROOK 2

(GR)

ELEVATION 2

ENERGY STAR

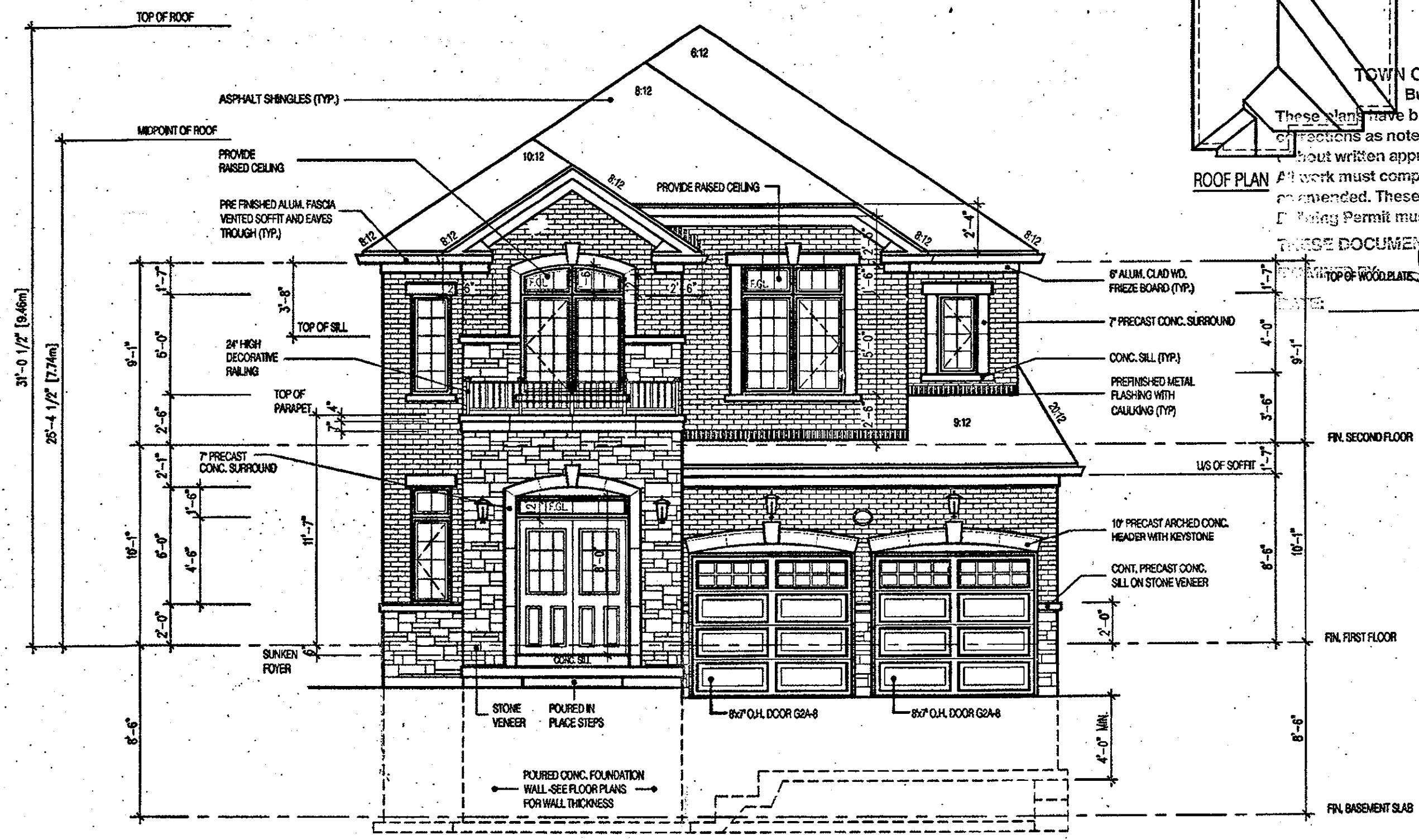
O.REG. 332/12



ROOF PLAN

TOWN OF EAST GWILLIMBURY Building Department

These plans have been reviewed for use with the conditions as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times. THESE DOCUMENTS WERE REVIEWED AND



PINEBROOK 2 FRONT ELEVATION 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____
Date: **NOV 05 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SUPPLY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INWARDS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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3	NOV. 1, 2018 REVISED TO ENERGY STAR
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

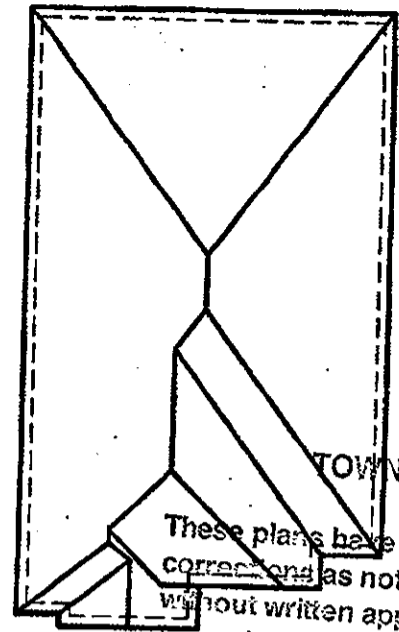
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.
Walter Butler *WBe* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
Jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION -2
SECONDO VALES ESTATES
EAST GWILLIMBURY

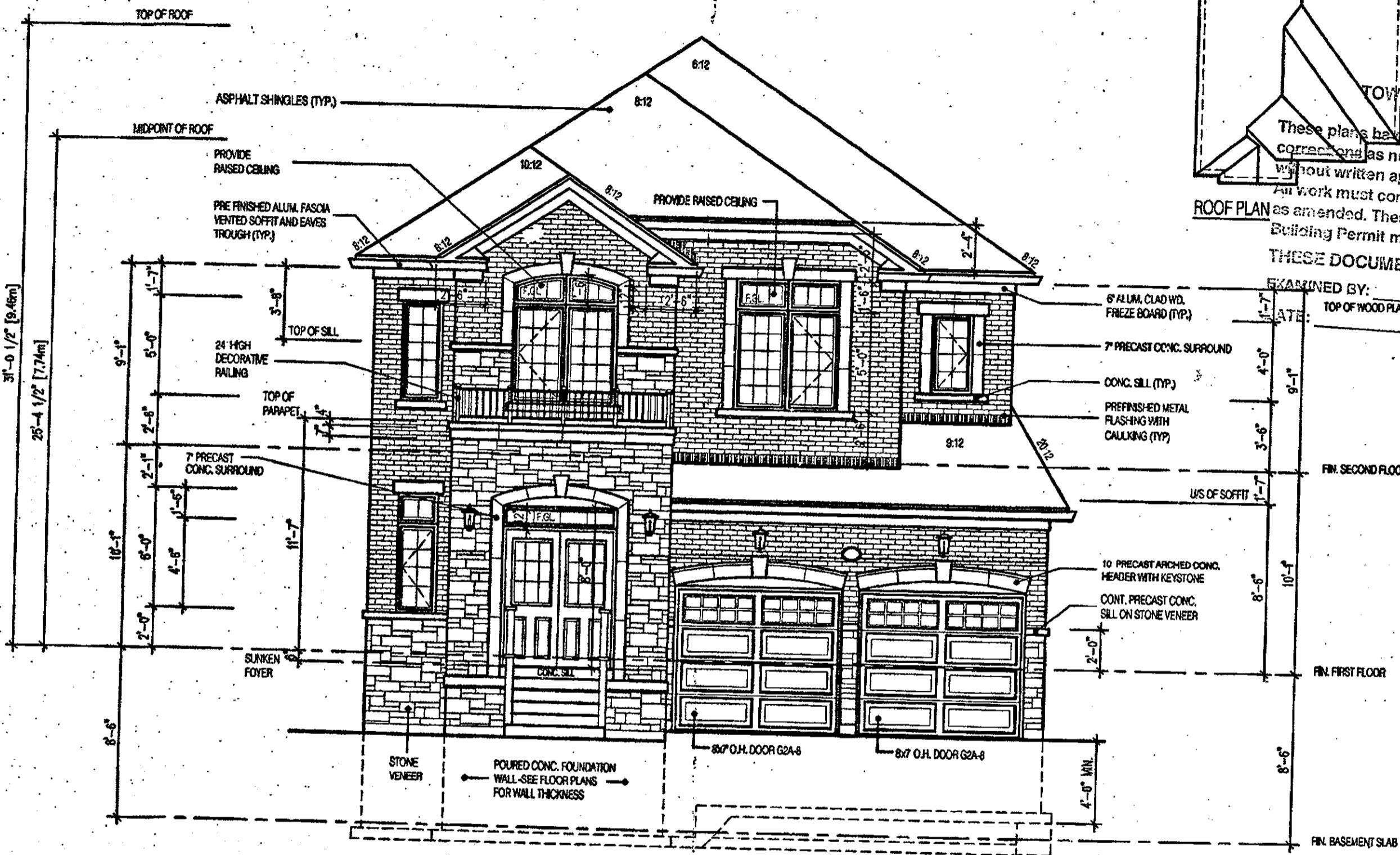
TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PROJ. NO.	17-41	DWG. NO. 4A



3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 2
 ENERGY STAR
 O.REG. 332/12



TOWN OF EAST GWILLIMBURY
 Building Department
 These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.
 THESE DOCUMENTS WILL BE REVIEWED AND



**PINEBROOK 2
 FRONT ELEVATION 2
 LOT 19**

LOT SPECIFIC CHANGES:
 -GARAGE ROOF SOFFIT DROPPED 12"

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
 AND APPROVAL
 TOWN OF EAST GWILLIMBURY
 Signed: _____
 Date: NOV 05 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 02 2018

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 AS COSTS INCREASED BY THE USE OF POLYMER CONCRETE
 JARDIN DESIGN GROUP INC IS NOT RESPONSIBLE TO CARRY OUT OR OBTAIN REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO COMPLY WITH ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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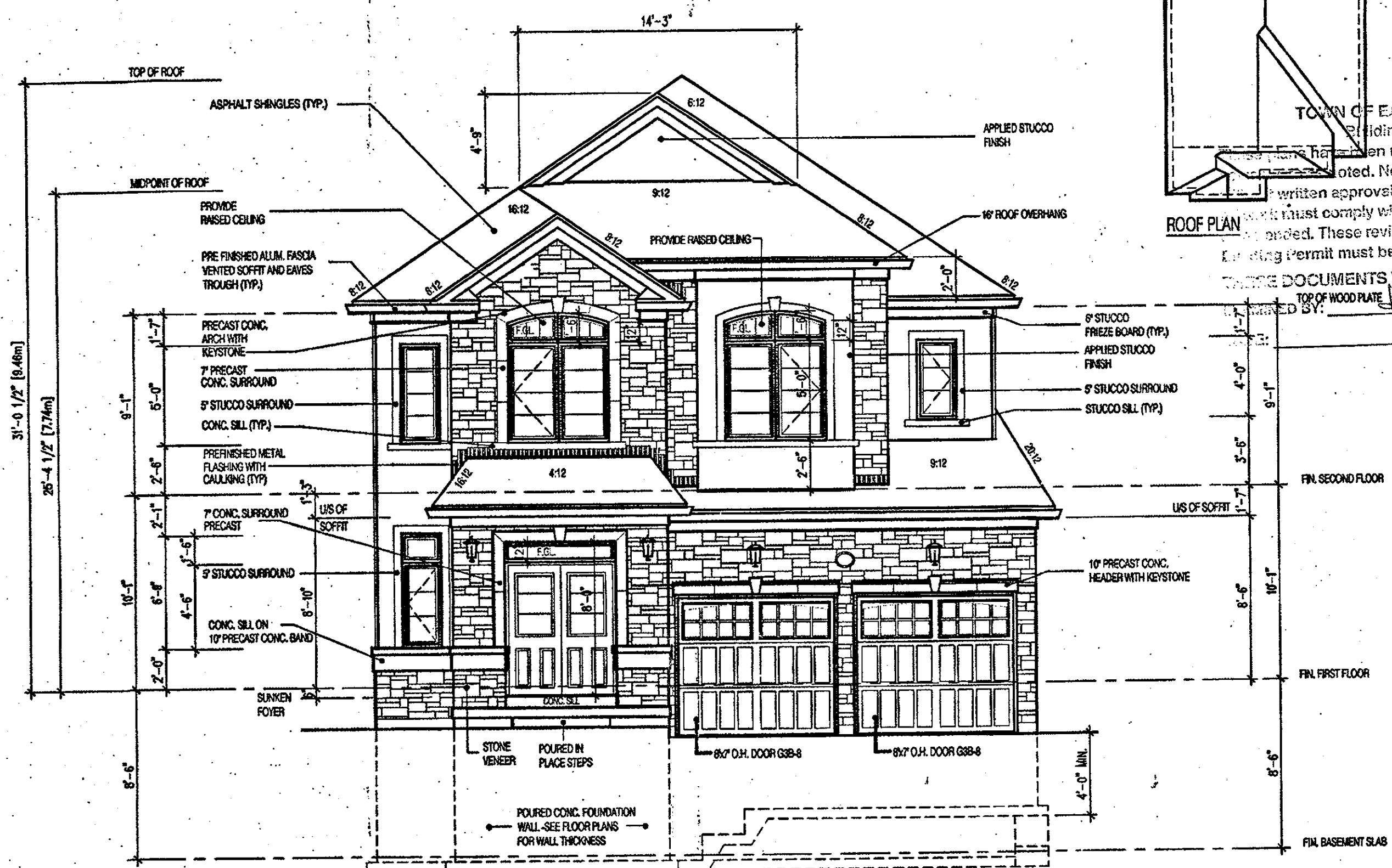
7	
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4	NOV. 1, 2018 REVISED TO ENERGY STAR
3	OCT. 1, 2018 REVISED FOR BUILDING PERMIT
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is completed under Division C, Subsection 3.2.5 of the building code.
 Signature: *Walter Botter* 21031
 NAME: Walter Botter SIGNATURE: [Signature] BCIN: [Blank]
 REGISTRATION INFORMATION
 Required unless design is completed under Division C, Subsection 3.2.4 of the building code.
 FIRM NAME: Jardin design group inc. 27763
 BCIN: [Blank]

FRONT ELEVATION -2
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. NO.	DWG. NO.
17-41	4A



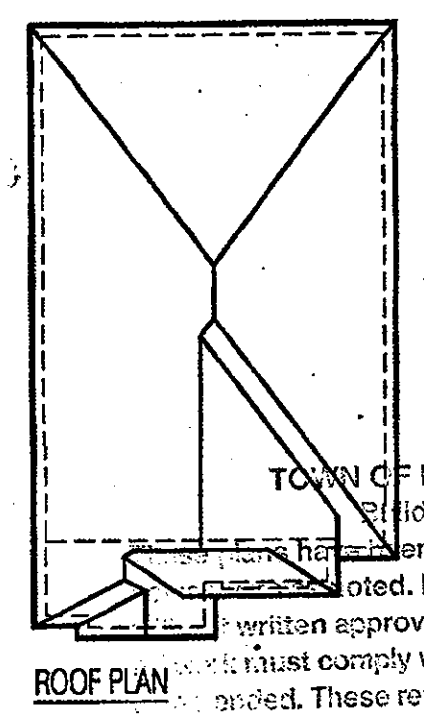
**PINEBROOK 2
FRONT ELEVATION 3**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for expanding or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____
Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018



TOWN OF EAST GWILLIMBURY
Building Department
These documents were reviewed and approved for use with the Building Department. No other changes may be made without the written approval of the Building Department. These reviewed documents and the Building Permit must be kept on site at all times.

3045
12.20m LOTS
PINEBROOK 2 (GR)
ELEVATION 3
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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3	NOV. 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.A of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION -3

SEONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	4B

3045

12.20m LOTS

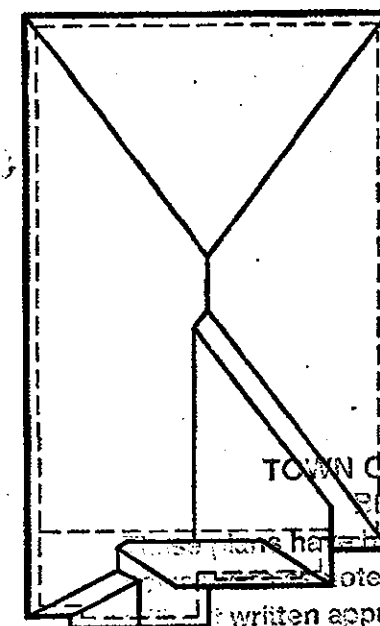
PINEBROOK 2

(GR)

ELEVATION 3

ENERGY STAR

O.REG. 332/12



TOWN OF EAST GWILLIMBURY

Building Department

These documents have been reviewed for use with the

Building Department. No other changes may be made

without the written approval of the Building Department.

These documents must comply with the Ontario Building Code,

and all applicable regulations. These reviewed documents and the

Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

APPROVED BY: [Signature]

TOP OF WOOD PLATE

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No.	DATE: WORK DESCRIPTION:
8	NOV. 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

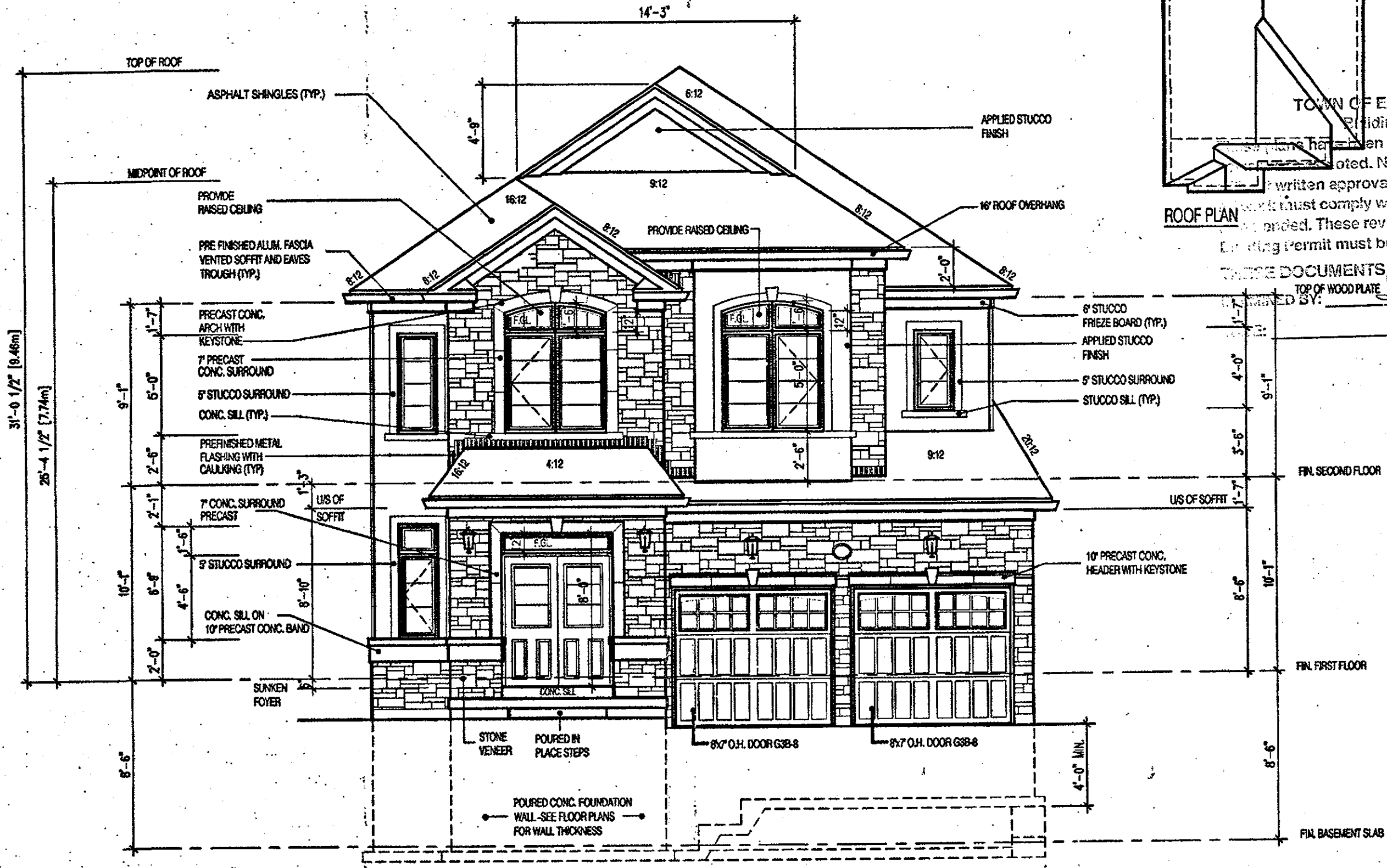
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION -3
SEONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DRG. No.
17-41	4B



PINEBROOK 2 FRONT ELEVATION 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for excavating or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____
Date: NOV 0 5 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

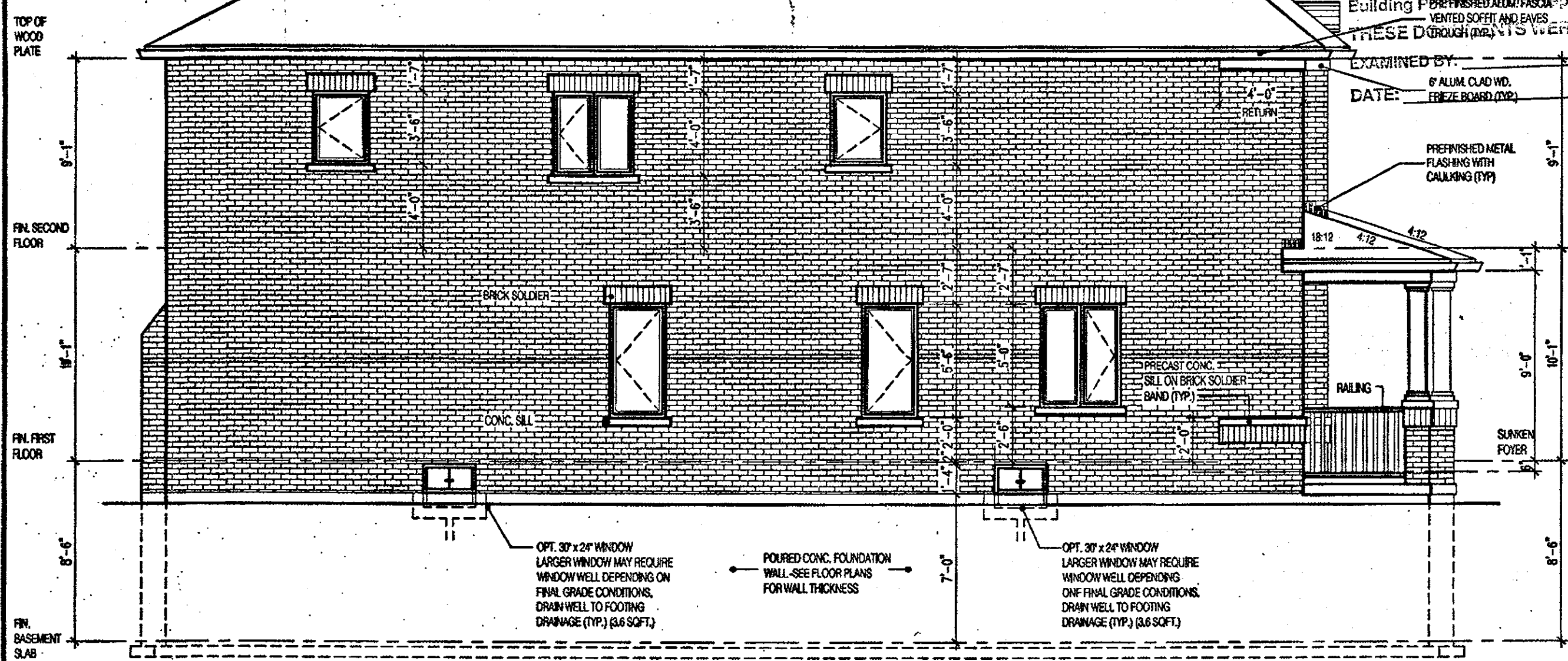
NOV 0 2 2018

3045
 12.20m LOTS
 PINEBROOK 2
 (GR)
 ELEVATION 1
 ENERGY STAR
 O.REG. 332/12

TOWN OF EAST GWILLIMBURY
 Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must conform with the Ontario Building Code, as amended. These reviewed documents and the Building Department's site at all times. THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: _____
 DATE: _____



**PINEBROOK 2
 SIDE ELEVATION 1**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

UNPROTECTED OPENINGS

WALL AREA	1170	+
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDNEYARD)	81.9	+
ACTUAL GLASS AREA	72.4	+

ARCHITECTURAL REVIEW
 AND APPROVAL
 TOWN OF EAST GWILLIMBURY

Signed: _____
 Date: **NOV 0 5 2018**
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 0 2 2018

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH YOUR WORK. AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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3	NOV. 1, 2018	REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

No: _____ DATE: _____ WORK DESCRIPTION: _____
jardin
 DESIGN GROUP INC
 64 JARDIN DR, SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
 Jardin design group inc. 27763
 FIRM NAME BCIN

SIDE ELEVATION-1
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

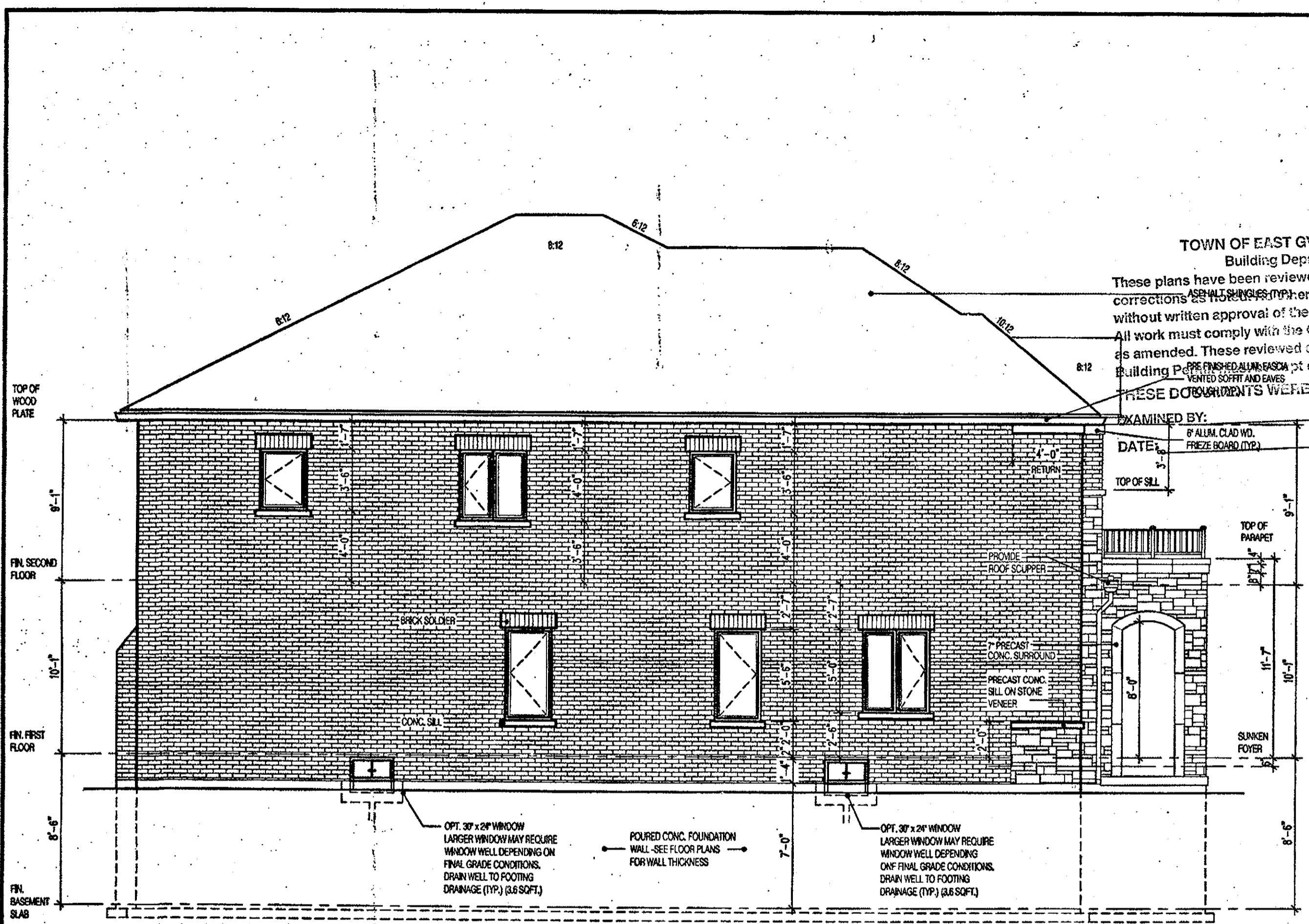
BILD	TYPE	T	AREA
	SCALE	3/16" = 1'-0"	
	PROJ. No.	17-41	DWG. No.
			5

3045
12.20m LOTS
PINEBROOK 2 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

TOWN OF EAST GWILLIMBURY
 Building Department

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EXAMINED BY: _____
 DATE: _____
 TOP OF SILL



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3	NOV. 1, 2018 REVISED TO ENERGY STAR ISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: _____ DATE: _____ WORK DESCRIPTION: _____
jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
 Jardin design group inc. 27763
 FIRM NAME BCIN

SIDE ELEVATION-2
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	5A

PINEBROOK 2
SIDE ELEVATION 2
UNPROTECTED OPENINGS

WALL AREA 1170 #
 ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDELYARD) 81.9 #
 ACTUAL GLASS AREA 72.4 #

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ARCHITECTURAL REVIEW AND APPROVAL
 TOWN OF EAST GWILLIMBURY
 Signed: _____
 Date: NOV 0 5 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 0 2 2018

3045

12.20m LOTS

PINEBROOK 2 (GR)

ELEVATION 3

ENERGY STAR

O.REG. 332/12

TOWN OF EAST GWILLIMBURY Building Department

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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: [Signature]

DATE: 6" ALUM. CLAD WD. FREEZE BOARD (TYP.)

4'-0" STUCCO RETURN 6" STUCCO FREEZE BOARD (TYP.)

APPLIED STUCCO FINISH

16:12 4:12

US OF SOFFIT

7" PRECAST CONC. SURROUND 8'-10"

CONC. SILL ON 10" PRECAST CONC. BAND

SUNKEN FOYER 7'-6" 10'-4"

8'-6"

8'-6"

8'-6"

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3	NOV. 1, 2018 REVISED TO ENERGY STAR
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter [Signature] 21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763

FIRM NAME BCIN

SIDE ELEVATION-3

SECONDO VALES ESTATES

EAST GWILLIMBURY

TYPE AREA

SCALE: 3/16" = 1'-0"

PROJ. No. DWG. No.

17-41 5B

PINEBROOK 2 SIDE ELEVATION 3

UNPROTECTED OPENINGS

WALL AREA	1170
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDYARD)	81.9
ACTUAL GLASS AREA	72.4

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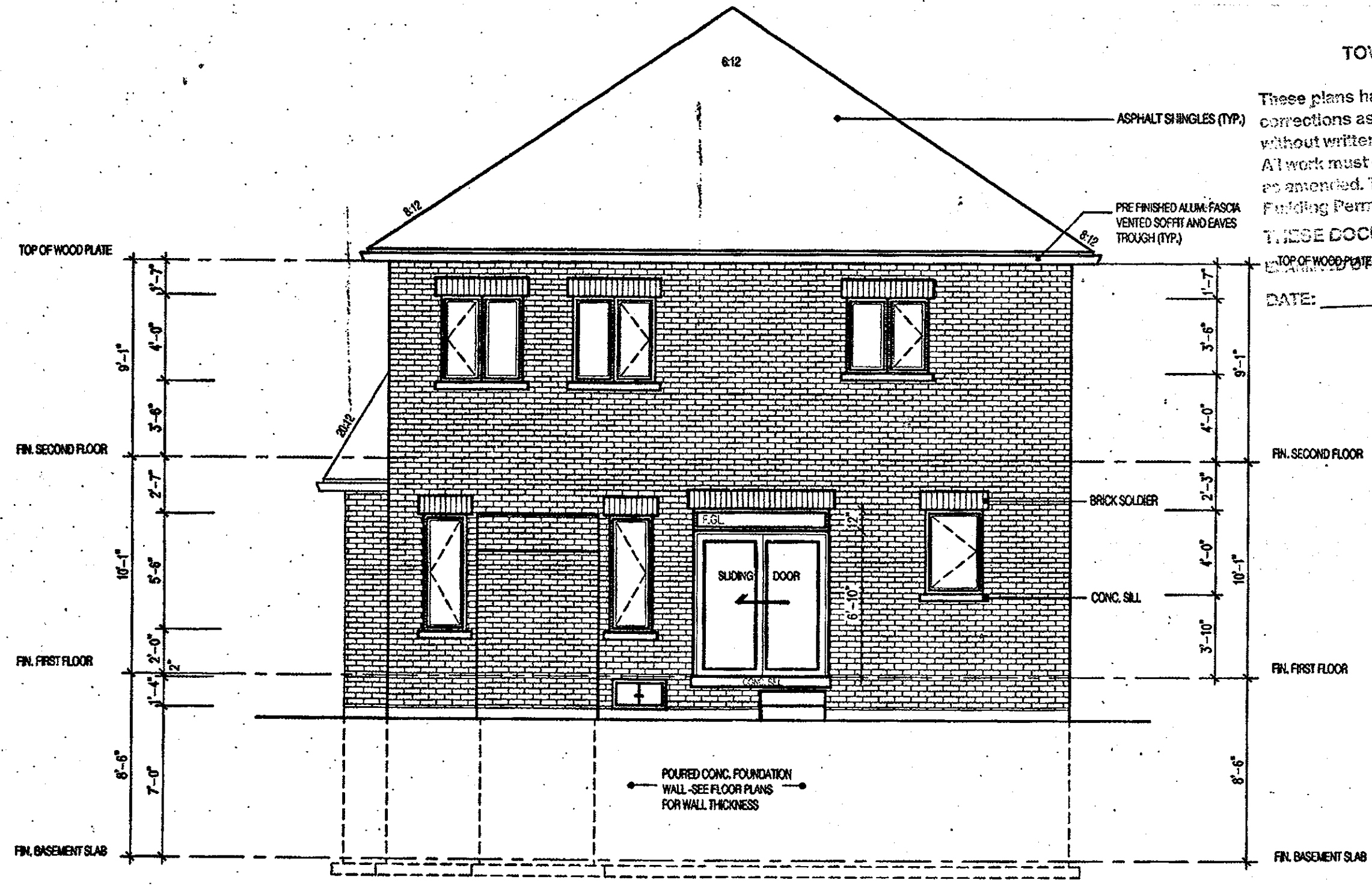
ARCHITECTURAL REVIEW AND APPROVAL TOWN OF EAST GWILLIMBURY

Signed: [Signature] NOV 0 5 2018 JOHN G. WILLIAMS LIMITED ARCHITECT

NOV 0 2 2018

TOP OF WOOD PLATE
FIN SECOND FLOOR
FIN FIRST FLOOR
FIN BASEMENT SLAB

3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 1
 ENERGY STAR
 O.REG. 332/12



TOWN OF EAST GWILLIMBURY
 Building Department
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DATE: _____

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No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin
 DESIGN GROUP INC
 64 JARDIN DR., SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WJB* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
 FIRM NAME BCIN

REAR ELEVATION-1
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	T	AREA	
SCALE	3/16"=1'-0"		
PROJ. No.	17-41	DWG. No.	6

**PINEBROOK 2
 REAR ELEVATION 1**

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ARCHITECTURAL REVIEW
 AND APPROVAL
 TOWN OF EAST GWILLIMBURY
 Signed: _____
 Date: NOV 0 5 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 0 2 2018

3045
 12.20m LOTS
 PINEBROOK 2
 (GR)
 ELEVATION 2
 ENERGY STAR
 O.REG. 332/12

TOWN OF EAST GWILLIMBURY
 Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *[Signature]*
 DATE: _____

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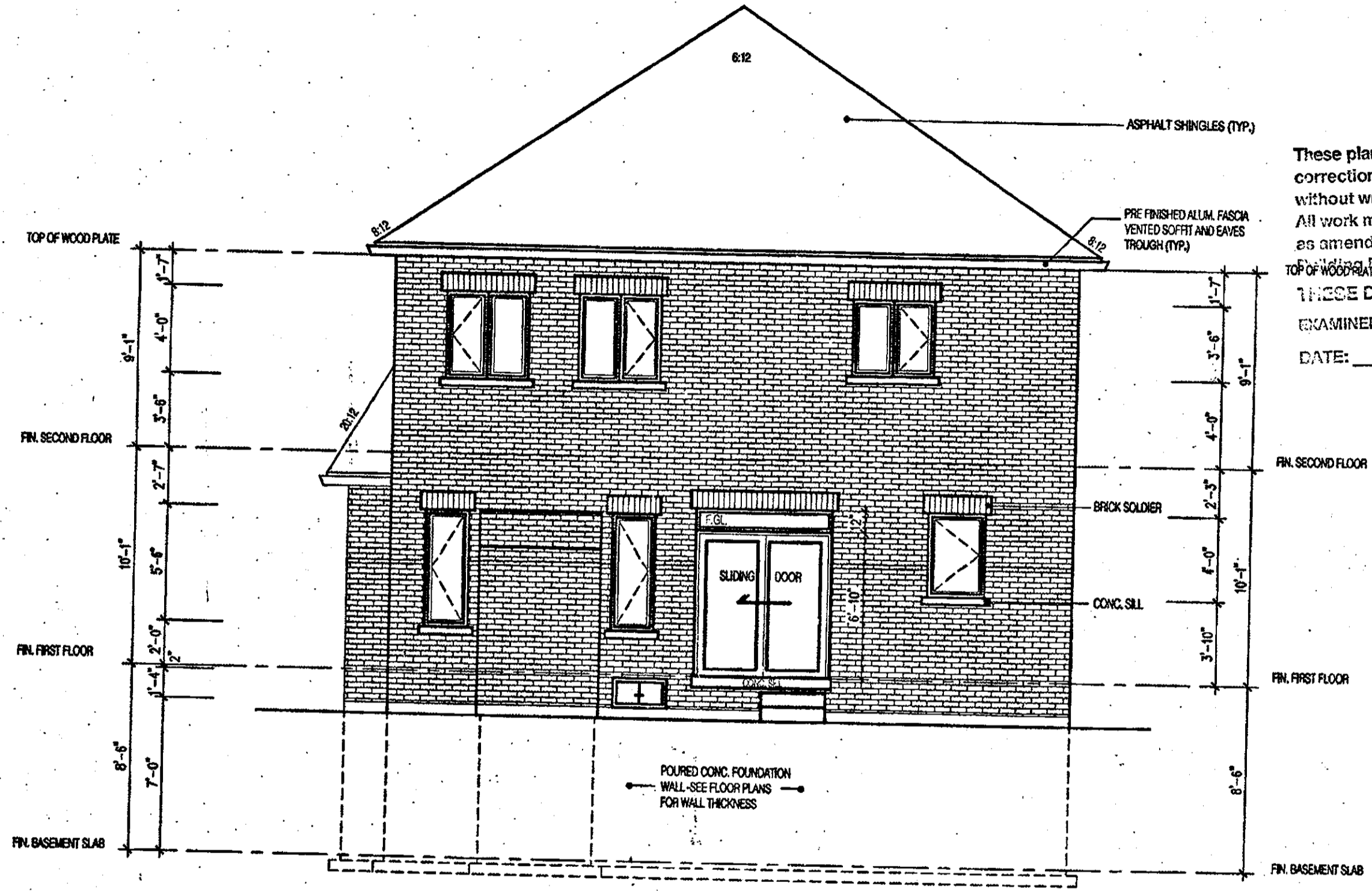
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3	NOV. 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
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No: _____ DATE: _____ WORK DESCRIPTION: _____
jardin
 DESIGN GROUP INC
 64 JARDIN DR, SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 OMBUDSMAN INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.
Walter Botter 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
Jardin design group inc. 27763
 FIRM NAME BCIN

REAR ELEVATION-2
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		6A



PINEBROOK 2
 REAR ELEVATION 2

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ARCHITECTURAL REVIEW
 AND APPROVAL
 TOWN OF EAST GWILLIMBURY
 Signed: _____
 Date: NOV 05 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 02 2018

3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 3
 ENERGY STAR
 O.REG. 332/12

TOWN OF EAST GWILLIMBURY
 Building Department

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THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *JR*
 DATE: _____

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3	NOV. 1, 2018 REVISED TO ENERGY STAR ISSUED FOR BUILDING PERMIT
2	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 18, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

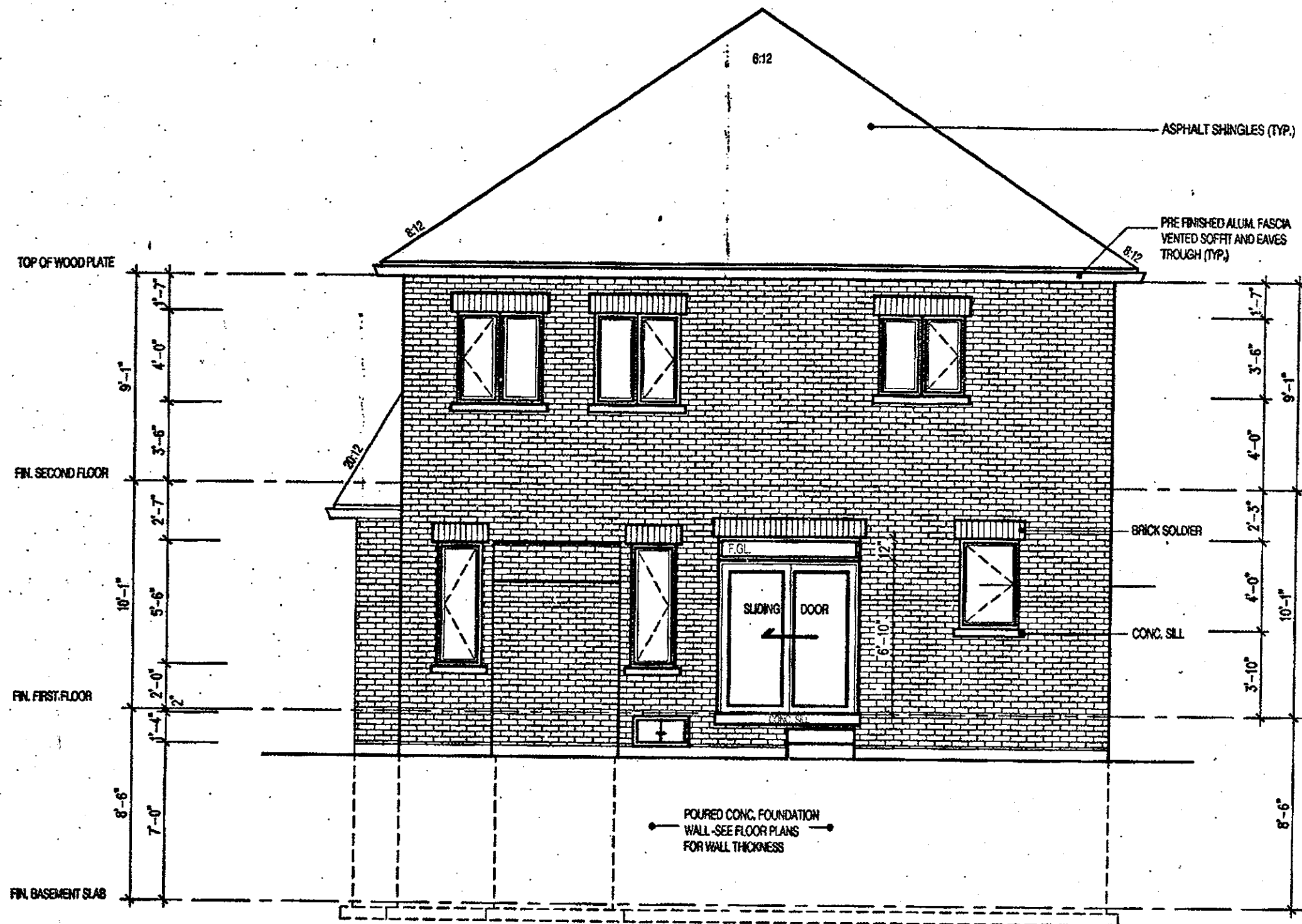
Walter Botter *Walter Botter* 21037
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
 FIRM NAME BCIN

REAR ELEVATION-3
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		6B



**PINEBROOK 2
 REAR ELEVATION 3**

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ARCHITECTURAL REVIEW
 AND APPROVAL
 TOWN OF EAST GWILLIMBURY

Signed: _____
 Date: NOV 0 5 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 0 2 2018

3045

12.20m LOTS

PINEBROOK 2 (GR) ELEVATION 1

ENERGY STAR

O.REG. 332/12

TOWN OF EAST GWILLIMBURY Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *JG*

DATE: _____

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

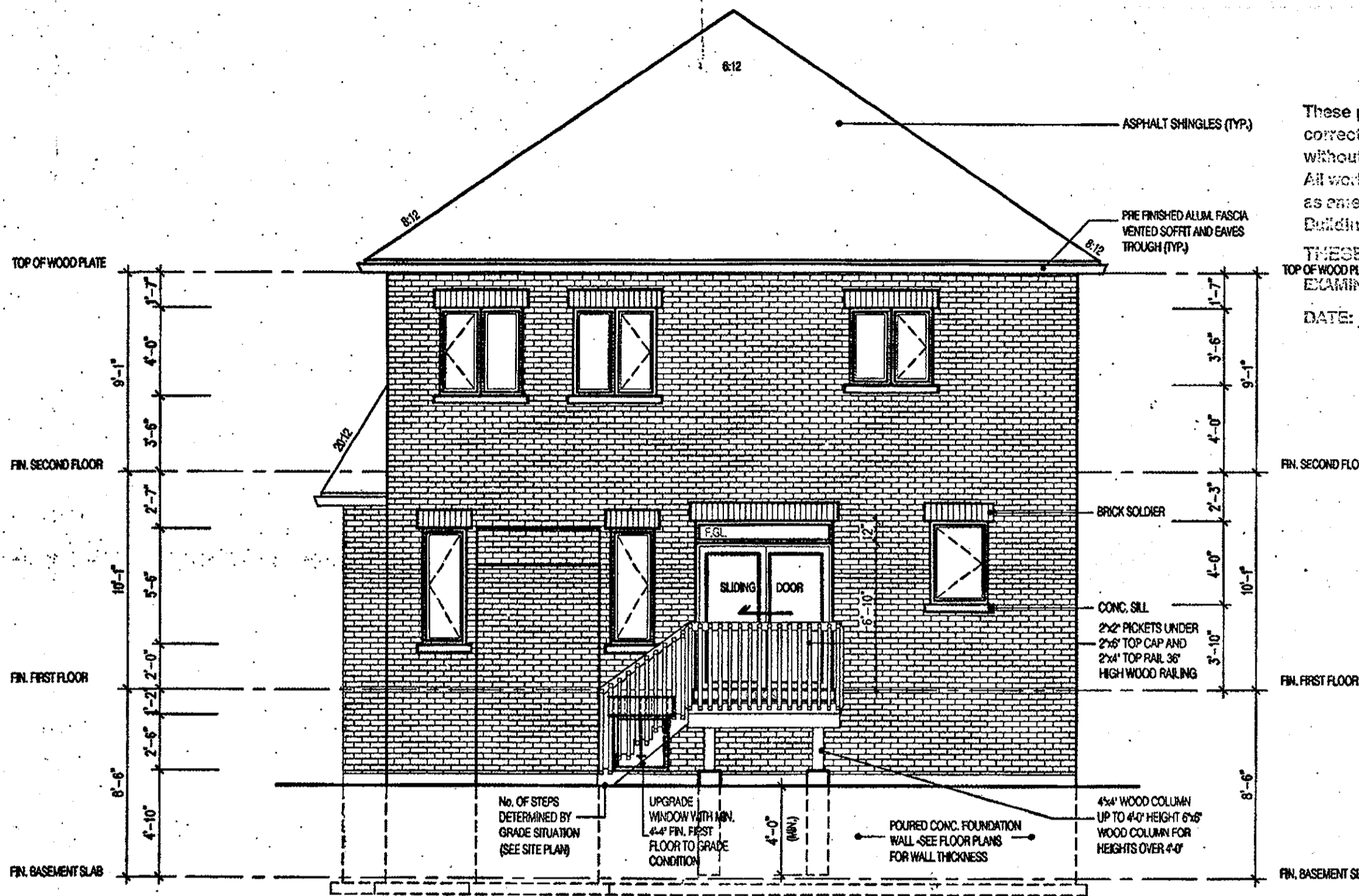
Walter Botter *Walter Botter* 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-1
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	6-1



**PINEBROOK 2
REAR ELEVATION 1
DECK CONDITON**

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ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF EAST GWILLIMBURY
Signed: _____
Date: **NOV 0 5 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

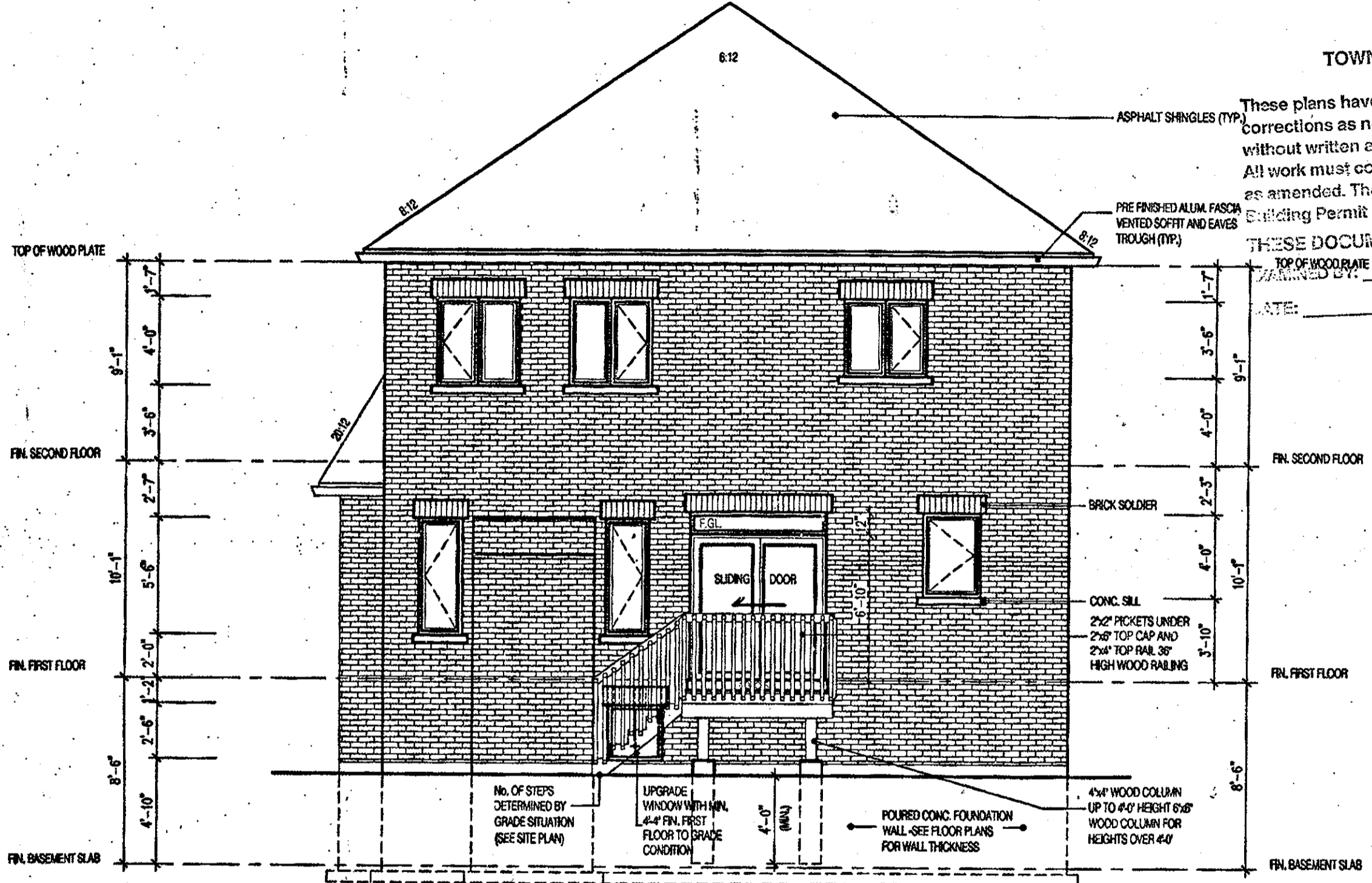
NOV 0 2 2018

3045
 12.20m LOTS
 PINEBROOK 2
 (GR)
 ELEVATION 2
 ENERGY STAR
 O.REG. 332/12

TOWN OF EAST GWILLIMBURY
 Building Department

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THESE DOCUMENTS WERE REVIEWED AND



**PINEBROOK 2
 REAR ELEVATION 2
 DECK CONDITON**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
 AND APPROVAL
 TOWN OF EAST GWILLIMBURY

Signed: _____
 Date: **NOV 05 2018**
 JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 02 2018

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1	OCT. 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
 FIRM NAME BCIN

DECK CONDITION EL-2
 SECONDO VALLS ESTATES
 EAST GWILLIMBURY

TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		6A-1



3045

12.20m LOTS

PINEBROOK 2 (GR) ELEVATION 3

ENERGY STAR

O.REG. 332/12

TOWN OF EAST GUILDFORD Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times. THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: *[Signature]*

DATE: _____

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No: _____ DATE: _____ WORK DESCRIPTION: _____

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

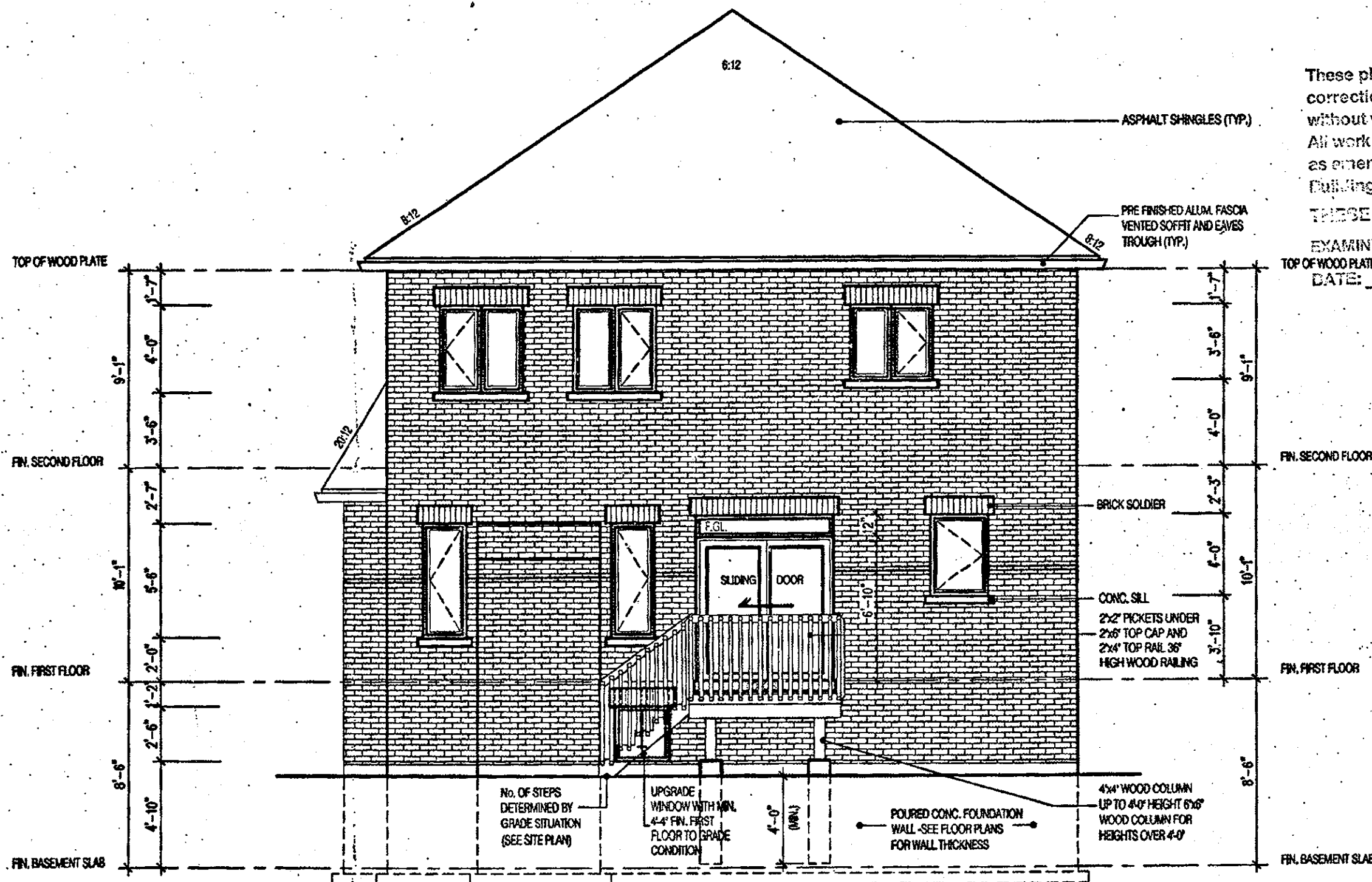
Jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-3
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. No:	DWG. No:
17-41	6B-1



NOV 02 2018



PINEBROOK 2 REAR ELEVATION 3 DECK CONDITON

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
TCWV OF EAST GWILLIMBURY

Signed: _____

Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

3045

12.20m LOTS

PINEBROOK 2 (GR) ELEVATION 1

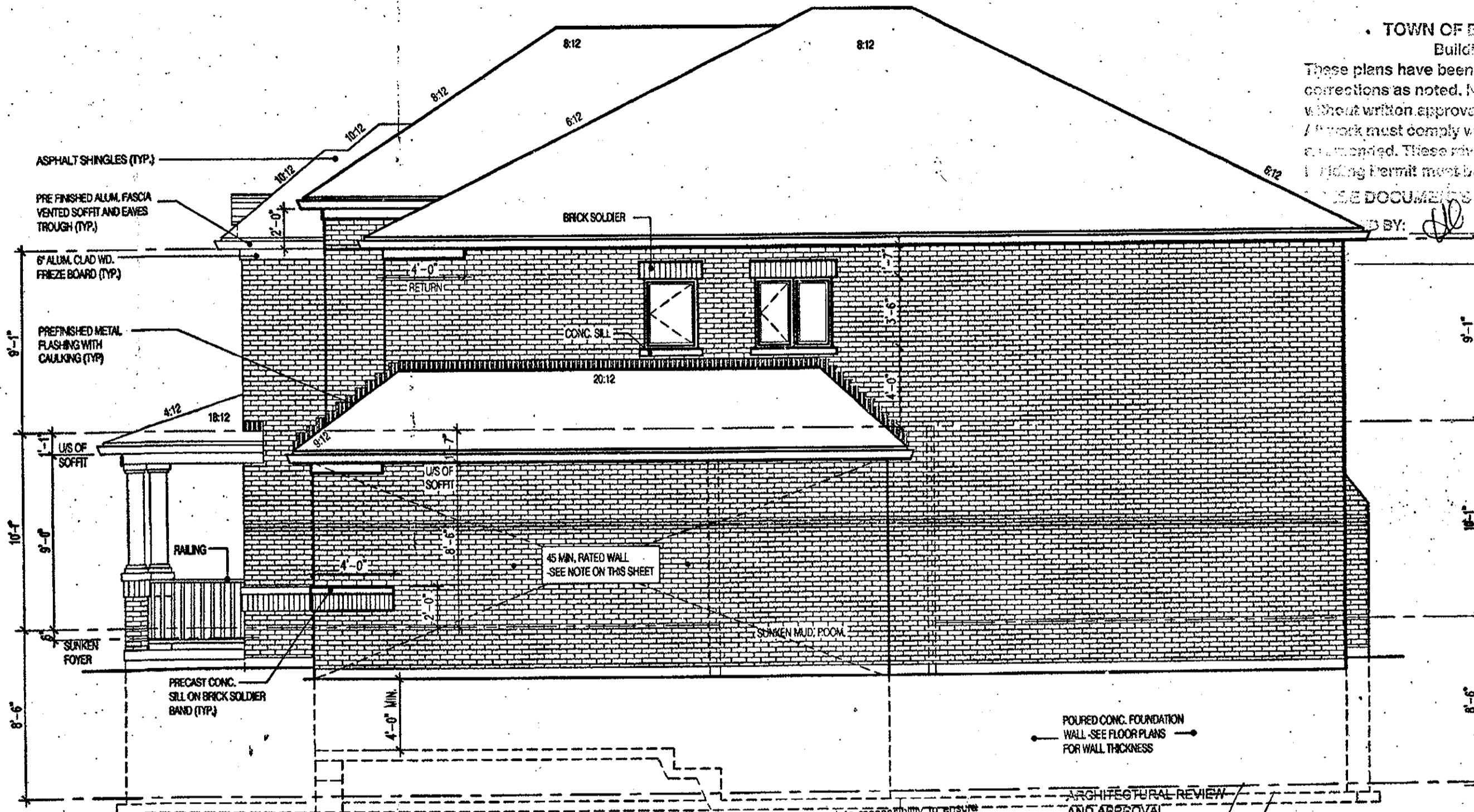
ENERGY STAR

O.REG. 332/12

TOWN OF EAST GWILLIMBURY Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. The work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be on site at all times.

DESIGNED BY: [Signature]



PINEBROOK 2 SIDE ELEVATION 1

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ARCHITECTURAL REVIEW AND APPROVAL TOWN OF EAST GWILLIMBURY

Signed: [Signature] Date: NOV 0 5 2018 JOHN G. WILLIAMS LIMITED ARCHITECT

NOV 0 2 2018

UNPROTECTED OPENINGS

WALL AREA	1206	✦
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDNEYARD)	84.4	✦
ACTUAL GLASS AREA	18.4	✦

HEADER/RIM JOIST LEVEL (FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE) 45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING. (REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION (FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE) 45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS (REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

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3	NOV 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
2	NOV 30, 2017 ISSUED FOR BUILDING PERMIT
1	OCT 19, 2017 ISSUED FOR ROOF AND FLOOR TRUSSES

No: DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

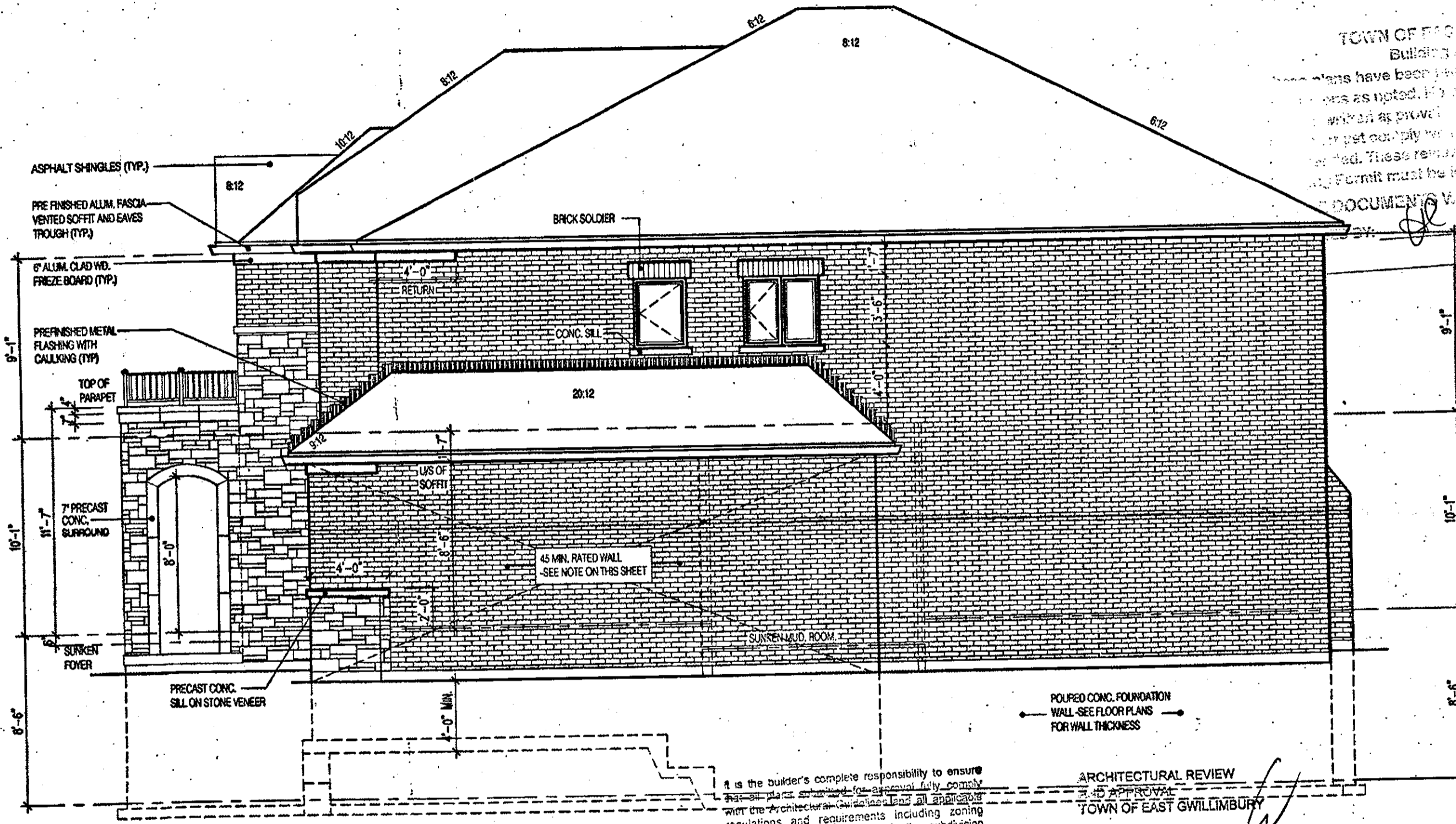
Walter Botter [Signature] 21031 NAME SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
Jardin design group inc. 27763 FIRM NAME BCIN

SIDE ELEVATION-1 SECONDO VALES ESTATES EAST GWILLIMBURY

TYPE	AREA
T	
SCALE	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	7

3045
12.20m LOTS
PINEBROOK 2
(GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

TOWN OF EAST GWILLIMBURY
 Building Department
 These plans have been prepared for use with the Building Department. Any changes may be made after approval by the Building Department. These plans must be on site at all times.
DOCUMENTS TO BE REVIEWED AND



PINEBROOK 2
SIDE ELEVATION 2

UNPROTECTED OPENINGS

WALL AREA	1200
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDNEYARD)	84.0
ACTUAL GLASS AREA	18.4

HEADER/RIM JOIST LEVEL
 (FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED AT HEADER
 PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.
 (REFER TO SUPPLEMENTARY STANDARD SB-2 23.

BRICK VENEER CONSTRUCTION
 (FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS
 (REFER TO SUPPLEMENTARY STANDARD SB-2 23.5.(2)

ARCHITECTURAL REVIEW
 AND APPROVAL
 TOWN OF EAST GWILLIMBURY
 Signed: _____
 Date: **NOV 05 2018**
JOHN G. WILLIAMS LIMITED
 ARCHITECT

NOV 02 2018

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No.	DATE	WORK DESCRIPTION
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4		
3	NOV. 1, 2018	REVISED TO ENERGY STAR PERMITTED FOR BUILDING PERMIT
2	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 19, 2017	ISSUED FOR ROOF AND FLOOR TRUSSES

Jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Registered unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Boffa *Walter Boffa* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Registered unless design is exempt under Division C, Subsection 3.2.4 of the building code
Jardin design group inc. 27763
 FIRM NAME BCIN

SIDE ELEVATION-2
SECONDO VALES ESTATES
EAST GWILLIMBURY

	TYPE	T
	SCALE:	3/16" = 1'-0"
	PROJ. NO.	17-41
	DWG. NO.	7A

3045

12.20m LOTS

PINEBROOK 2

(GR)

ELEVATION 3

ENERGY STAR

O.REG. 332/12

TOWN OF EAST GWILLIMBURY
Building Department

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DESIGNED BY: [Signature]

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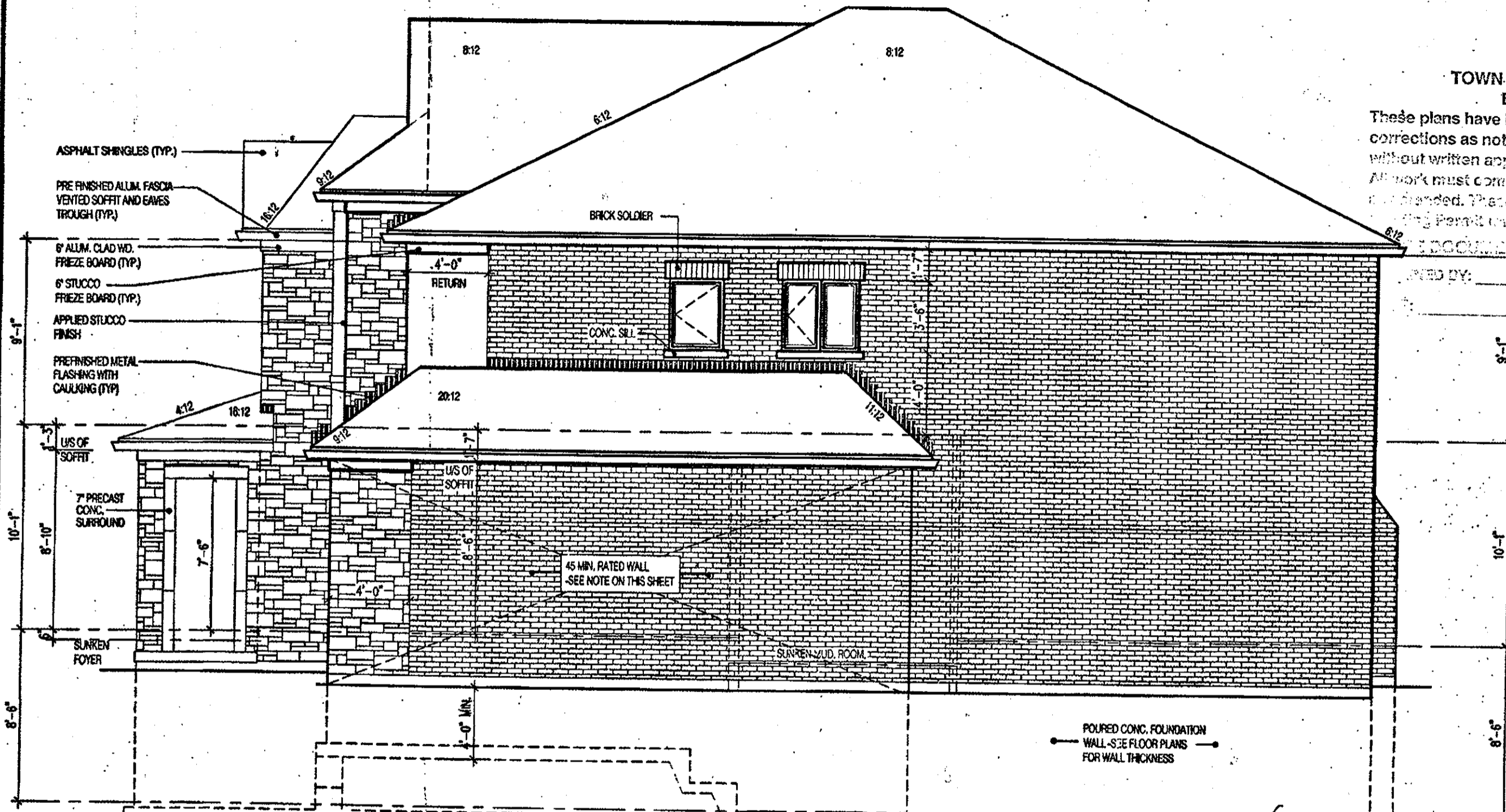
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WBe* 21031
NAME SIGNATURE BCN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCN

SIDE ELEVATION-3
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		7B



PINEBROOK 2 SIDE ELEVATION 3

UNPROTECTED OPENINGS

WALL AREA	1206
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDNEYARD)	84.4
ACTUAL GLASS AREA	18.4

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: [Signature]
Date: NOV 05 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

NOV 02 2018

HEADER/RIM JOIST LEVEL (FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.8mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.
(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION (FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS
(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

3045

12.20m LOTS

PINEBROOK 2
(GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

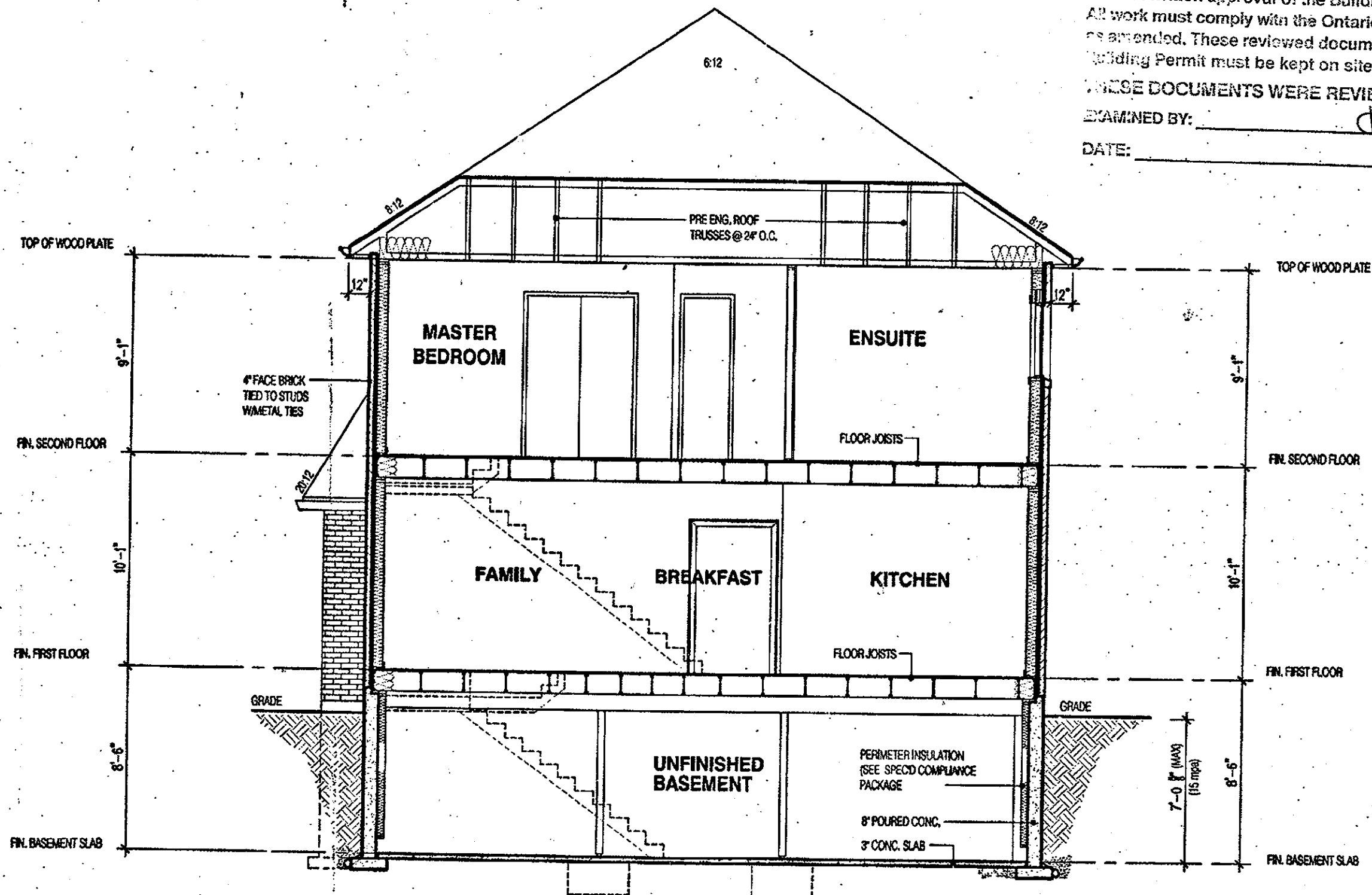
TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

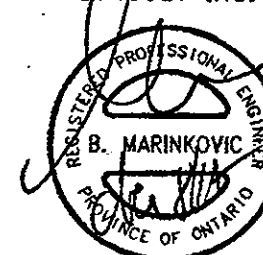
EXAMINED BY: *[Signature]*

DATE: _____



SECTION A-A
ELEVATION 1

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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2	NOV. 1, 2018	REVISED TO ENERGY STAR PERMITTED FOR BUILDING PERMIT
1	NOV. 30, 2017	ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code

Walter Botter *[Signature]* 21037
NAME SIGNATURE BCIN

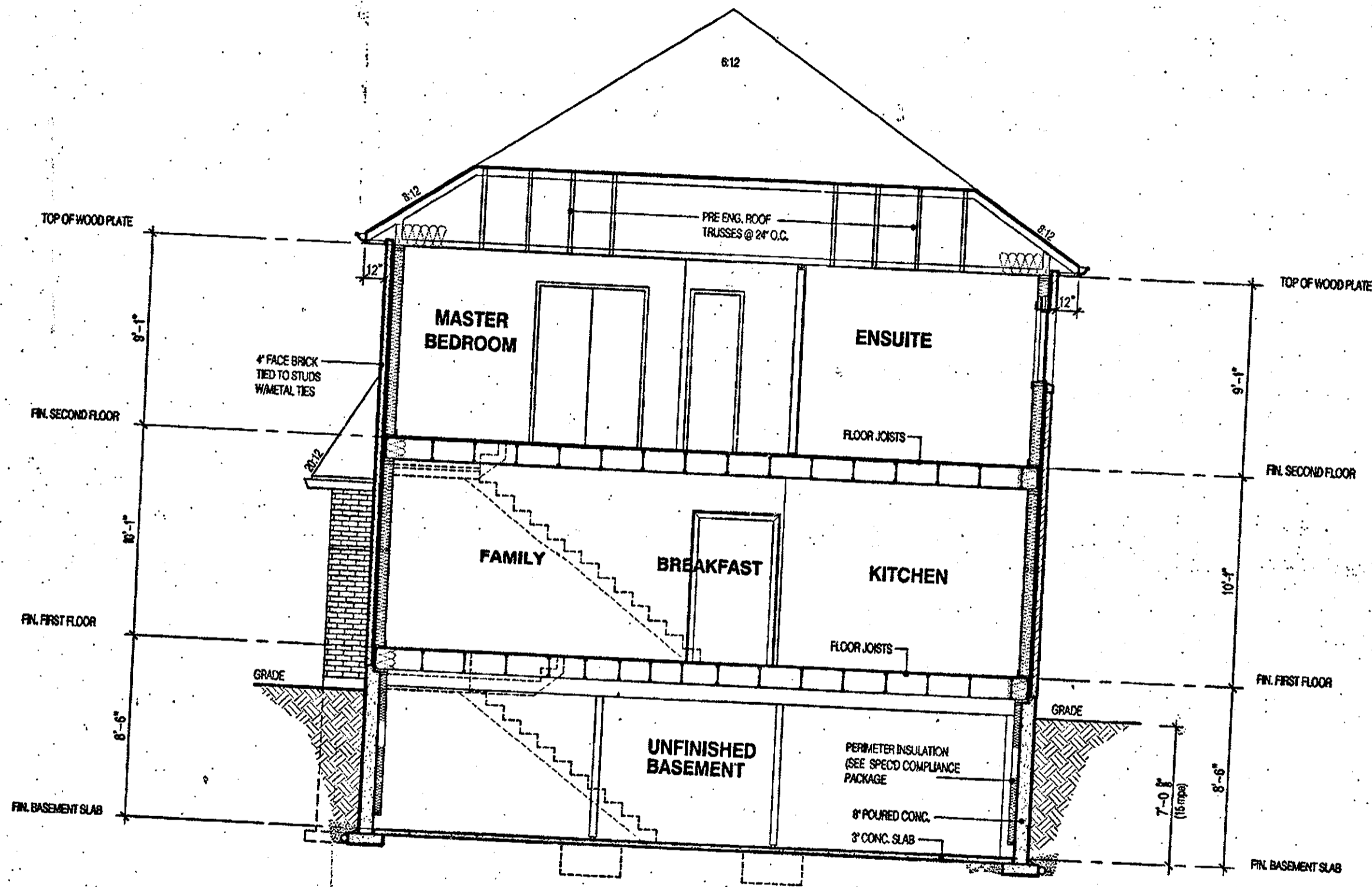
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEV.-1
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	T	AREA
SCALE:	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		8

NOV 02 2018



**SECTION A-A
ELEVATION 2**

TOWN OF EAST GWILLIMBURY
Building Department

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Department. All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: _____
DATE: _____

NOV 02 2018

3045
12.20m LOTS
PINEBROOK 2
(GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12



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2	NOV. 1, 2018 REVISED TO ENERGY STAR REISSUED FOR BUILDING PERMIT
1	NOV. 30, 2017 ISSUED FOR BUILDING PERMIT

No: _____ DATE: _____ WORK DESCRIPTION: _____

Jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Boffer *WBe* 21031
NAME SIGNATURE BCIN

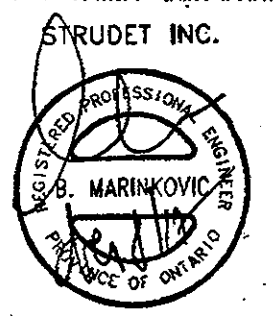
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEV.-2
SECONDO VALES ESTATES
EAST GWILLIMBURY

TYPE	T	AREA
SCALE	3/16" = 1'-0"	
PROJ. No.	17-41	DWG. No.
		8A

3045
 12.20m LOTS
 PINEBROOK 2 (GR)
 ELEVATION 3
 ENERGY STAR
 O.REG. 332/12



FOR STRUCTURE ONLY

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No: DATE: WORK DESCRIPTION:

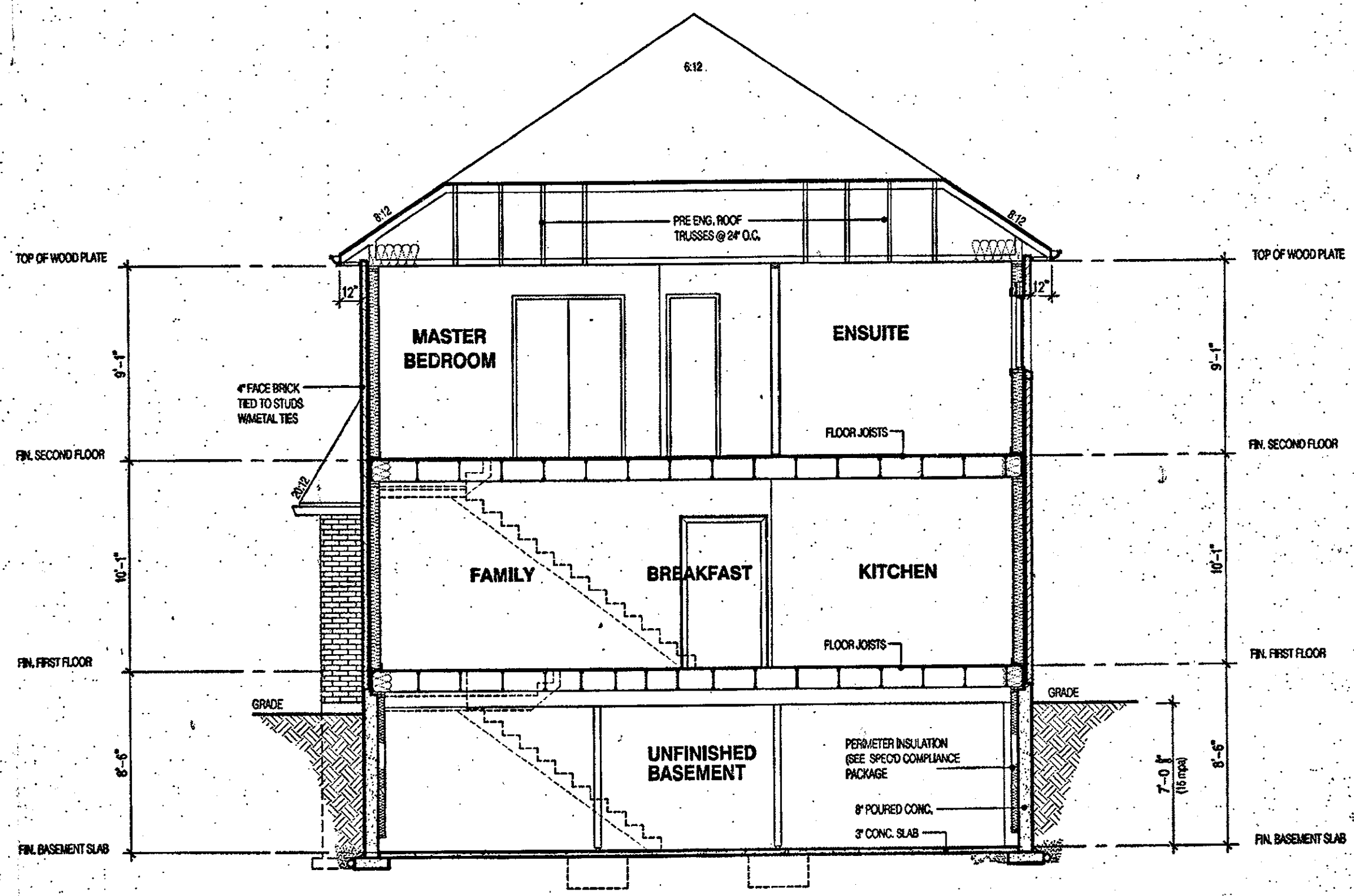
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 EMAIL: info@jardindesign.ca

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 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
 Jardin design group inc. 27763
 FIRM NAME BCIN

SECTION ELEV.-3
 SECONDO VALES ESTATES
 EAST GWILLIMBURY

TYPE	AREA
SCALE	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-41	8B



**SECTION A-A
 ELEVATION 3**

TOWN OF EAST GWILLIMBURY
 Building Department
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 THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY: *WJ*
 DATE: _____

NOV 02 2018