

O.REG. 332/12

**GARAGE
GALE 3A
BLOCK 51**

RECEIVED

NOV 06 2018

TOWN OF EAST GWILLIMBURY
BUILDING DEPARTMENT
ROLL #

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: _____

Date: **OCT 31 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT

STRUDET INC.



FOR STRUCTURE ONLY

NOTE:

FOR STRUCTURAL INFORMATION SEE BLOCK PLAN DRAWINGS

NOTE:

ALL GARAGE SLABS, PORCH SLABS,
STAIRS (EXPOSED CONC. FLAT WORK) TO
BE 32 MPa WITH 5-8% AIR ENTRAINMENT
FILL SLOPE TO FRONT AT 1% MIN.

GARAGE SLAB

100MM (4") 32MPa (4640psi) CONC. SLAB WITH 5-8%
AIR ENTRAINMENT ON OPT. 100mm (4") COARSE GRANULAR
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE
FILL SLOPE TO FRONT AT 1% MIN.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7	
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4	OCT. 24, 2018 REVISED BREEZEWAY WIDTH AS PER CITY COMMENTS
3	OCT. 17, 2018 REVISED DEPTH OF GARAGE TO 10'-1" AS PER CITY COMMENTS
2	DEC. 21, 2017 ISSUED FOR BUILDING PERMIT
1	OCT. 25, 2017 ISSUED TO CLIENT FOR REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

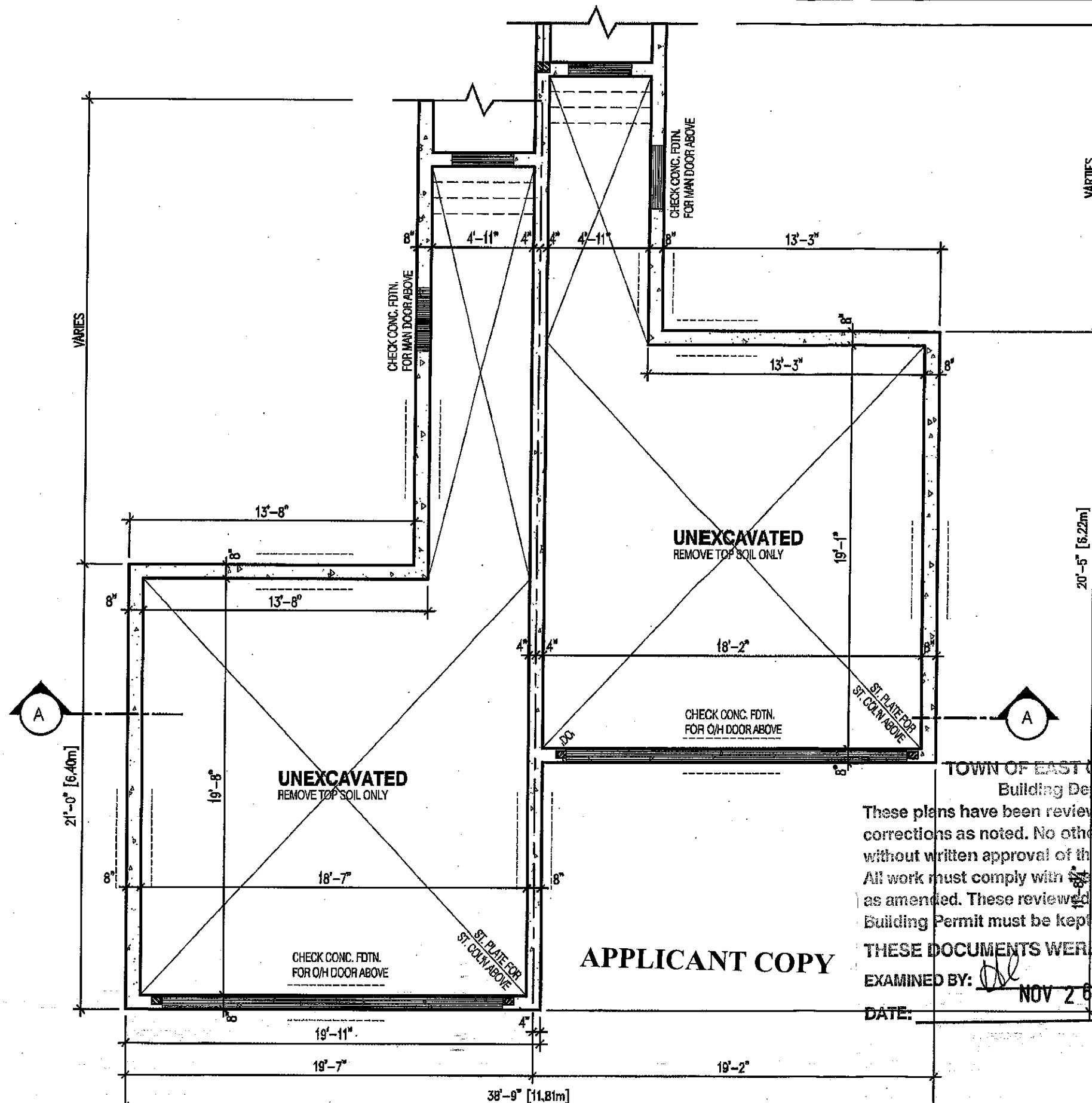
Walter Boffer 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

FOUNDATION PLAN
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: _____
SCALE: 3/16"=1'-0"
PROJ. No. 17-41 DWG. No. 1



**GALE 3A
ELEV. - 1**

**GALE 3A
ELEV. - 2**

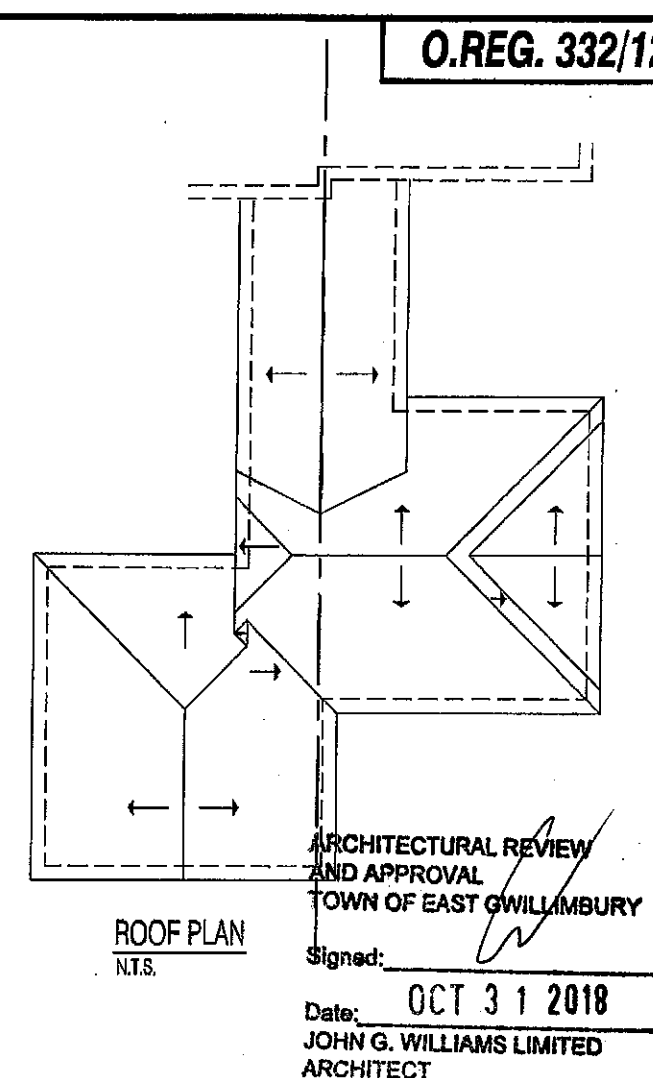
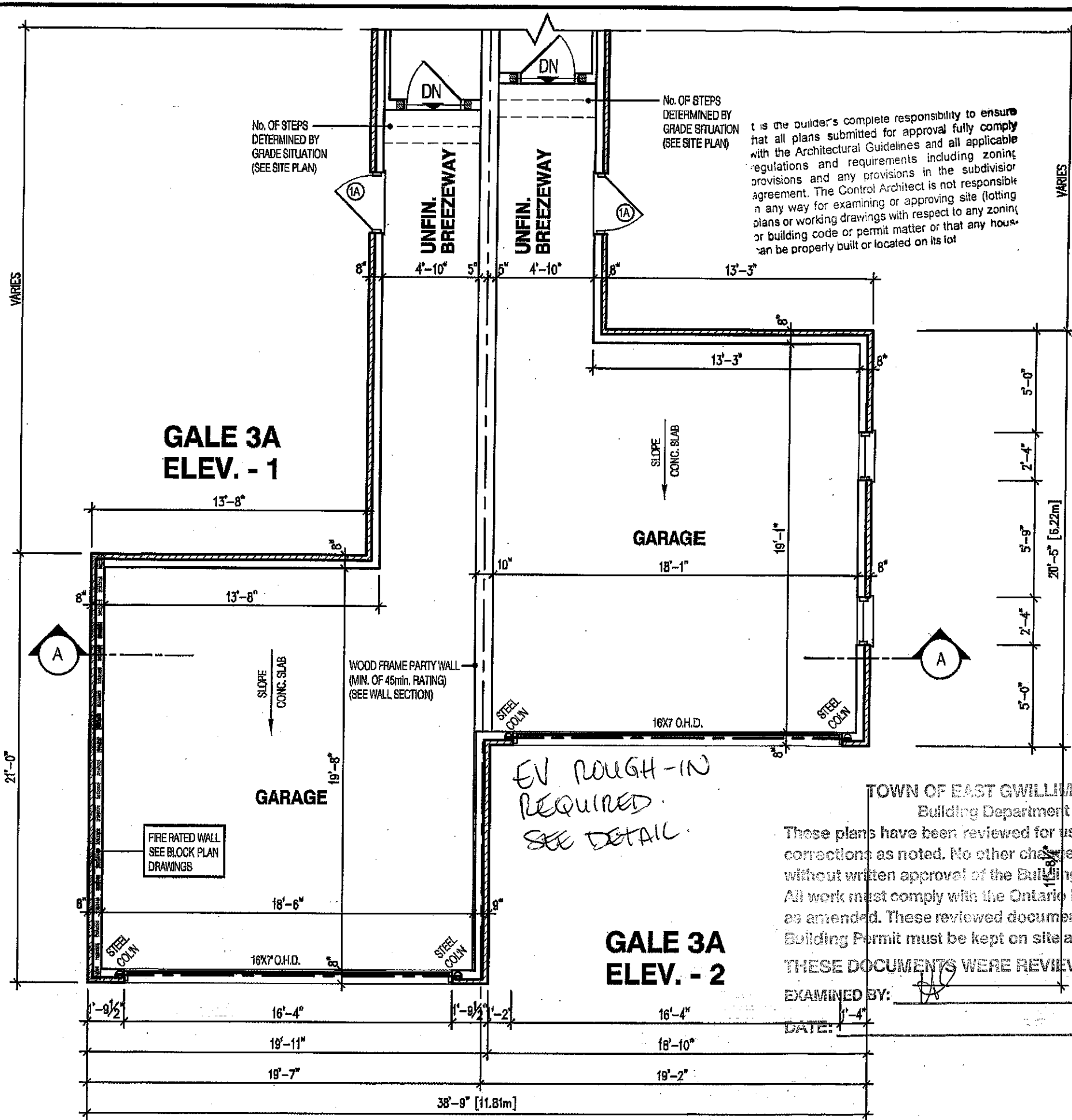
APPLICANT COPY

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corrections as noted. No other changes may be made
without written approval of the Building Department.
All work must comply with the Ontario Building Code,
as amended. These reviewed documents and the
Building Permit must be kept on site at all times.

THESE DOCUMENTS WERE REVIEWED AND

EXAMINED BY: *[Signature]* NOV 26 2018
DATE: _____

OCT 29 2018



O.REG. 332/12

**GARAGE
GALE 3A
BLOCK 51**

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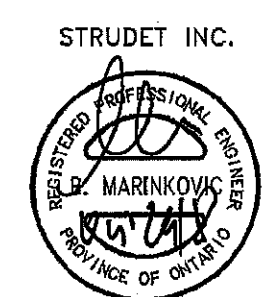
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7		
6		
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4	OCT. 24, 2018	REVISED BREEZEWAY WIDTH AS PER CITY COMMENTS
3	OCT. 17, 2018	REVISED DEPTH OF GARAGE TO 19'-1" AS PER CITY COMMENTS
2	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 25, 2017	ISSUED TO CLIENT FOR REVIEW

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: *[Signature]*
Date: **OCT 31 2018**
JOHN G. WILLIAMS LIMITED
ARCHITECT



FOR STRUCTURE ONLY

jardin
DESIGN GROUP INC
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VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

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Jardin design group inc. 27763
FIRM NAME BCIN

GARAGE PLAN
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: ----
SCALE: 3/16" = 1'-0"
PROJ. No. 17-41 DWG. No. 2

NOTE:
FOR STRUCTURAL INFORMATION SEE BLOCK PLAN DRAWINGS

NOTE:
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

GARAGE SLAB
100MM (4") 32MPa (#540psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100mm (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL SLOPE TO FRONT AT 1% MIN.

TOWN OF EAST GWILLIMBURY
Building Department

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THESE DOCUMENTS WERE REVIEWED AND
EXAMINED BY: *[Signature]*
DATE: **OCT 29 2018**

*EV ROUGH-IN
REQUIRED.
SEE DETAIL.*

O. REG. 332/12

**GARAGE
GALE 3A
BLOCK 51**

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3	APR. 19, 2018	ADDED "CAPE COD TRIM" REISSUED TO CLIENT
2	DEC. 21, 2017	ISSUED FOR BUILDING PERMIT
1	OCT. 25, 2017	ISSUED TO CLIENT FOR REVIEW
No.	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

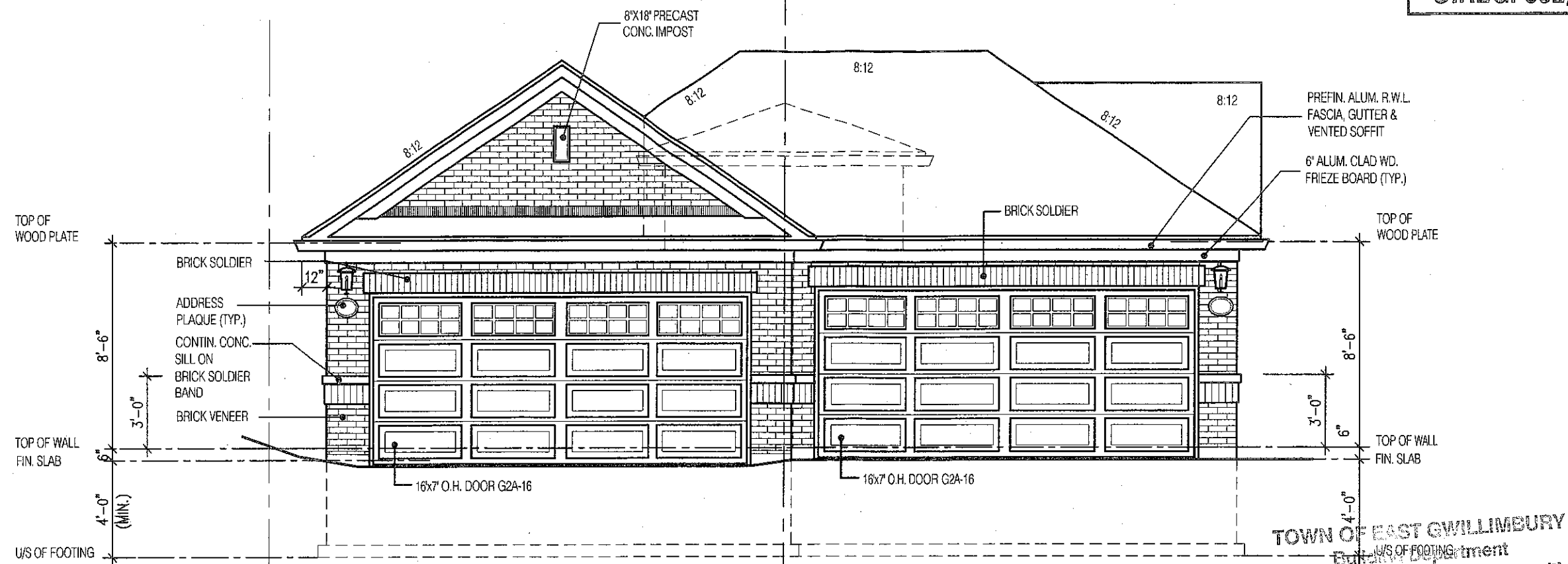
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter	<i>WLB</i>	21031
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code		
jardin design group inc.		27763
FIRM NAME		BCIN

FRONT & SIDE ELEV.
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

 BILD ®	MODEL:	
	SCALE: 3/16" = 1'-0"	
	PROJ. No.	DWG. No.



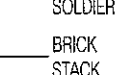
GALE 3A
FRONT ELEV. - 1

GALE 3A
FRONT ELEV. - 2

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THESE DOCUMENTS WERE REVIEWED AND

6" ALUM. CLAD WD.
FRIEZE BOARD (TYP.)



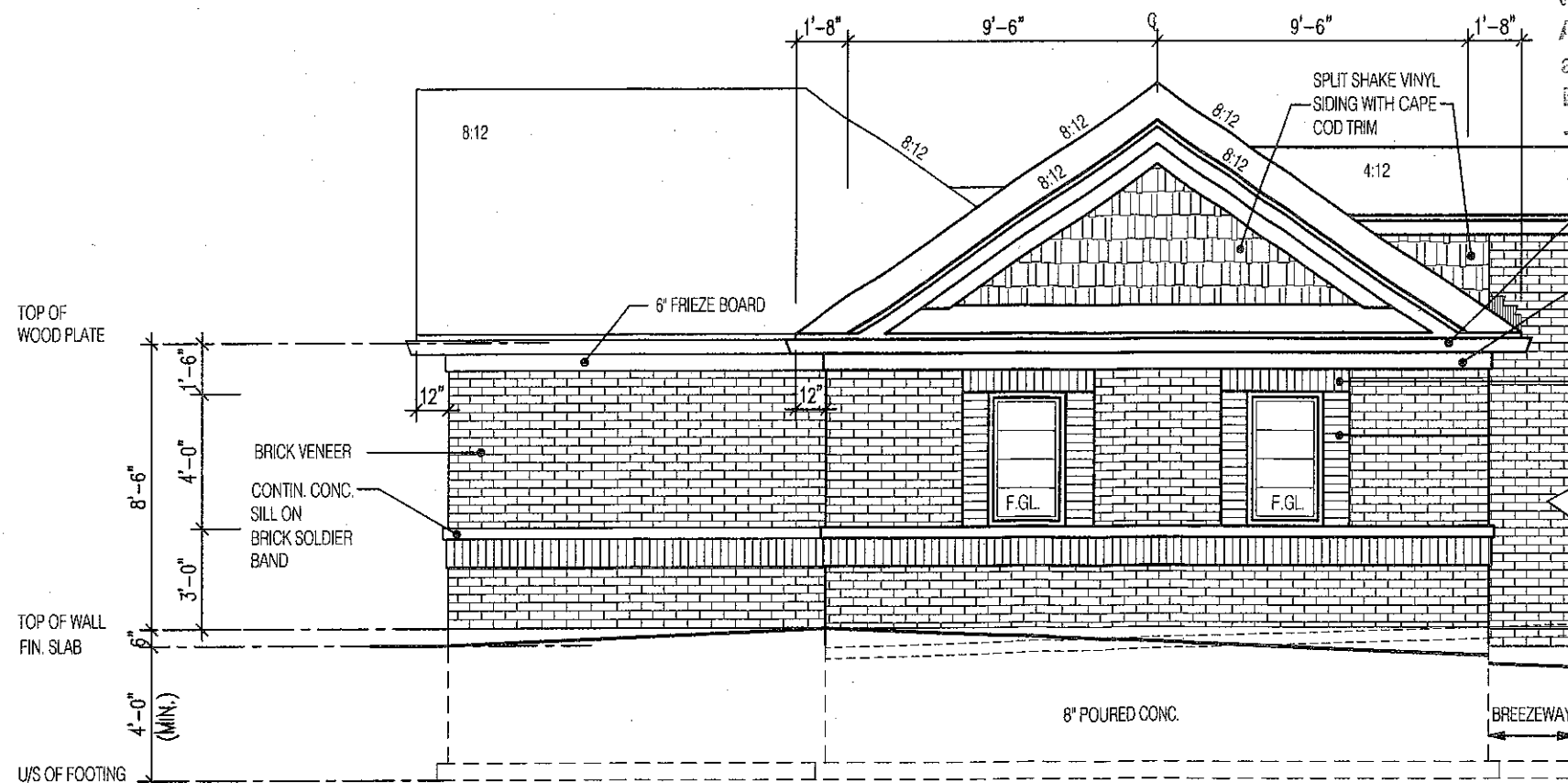
BRICK
SOLDIER

BRICK
STACK

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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GUILDFORD

Signed: _____
 Date: JUL 27 2018 APR 20 2018
 JOHN G. WILLIAMS LIMITED
 ARCHITECT



GALE 3A
SIDE ELEV. - 1

GALE 3A
SIDE UPGRADE ELEV. - 2

O.REG. 332/12

GARAGE GALE 3A BLOCK 51

TOWN OF EAST GWILLIMBURY
Building Department

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REVIEWED AND

SIGNED BY:

[Signature]

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No: DATE: WORK DESCRIPTION:

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64 JARDIN DR. SUITE 3A
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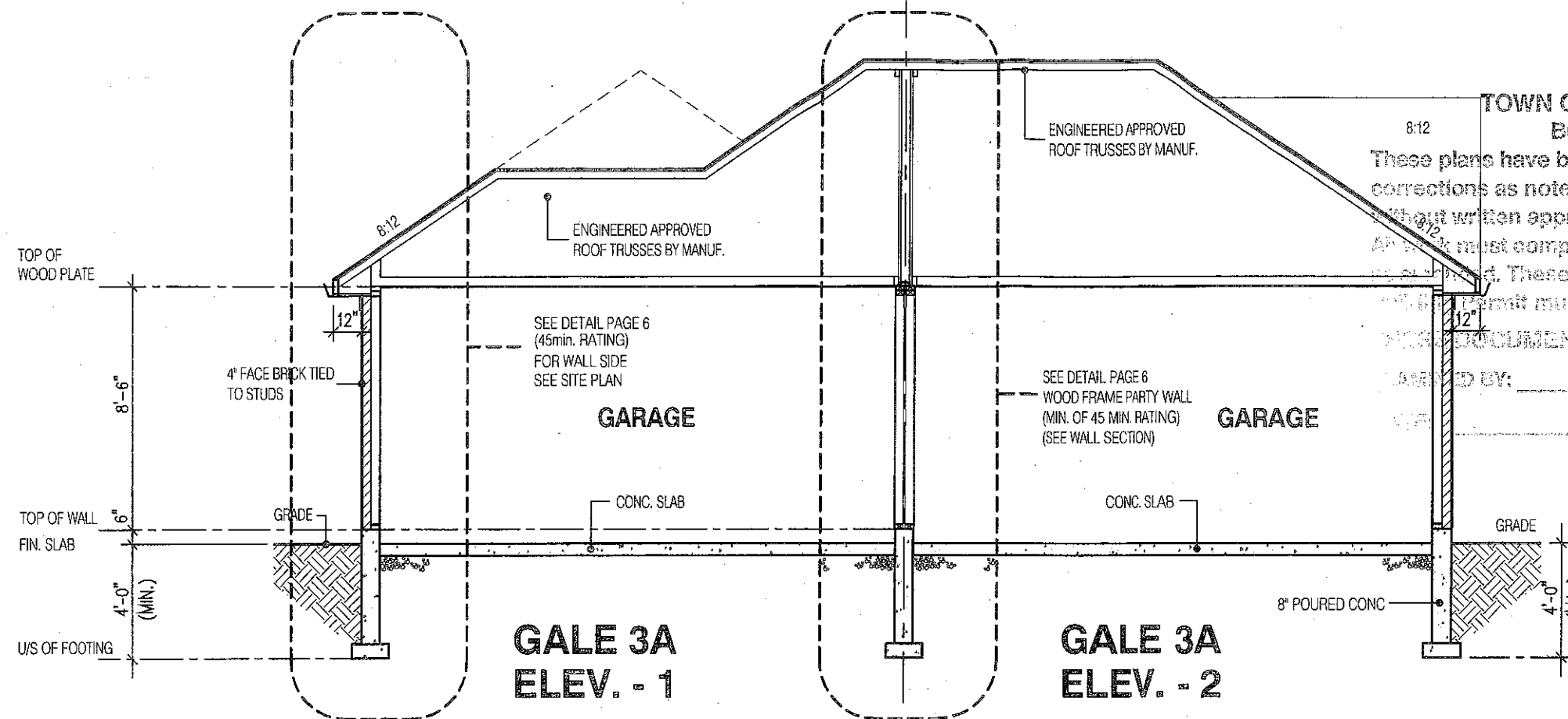
Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

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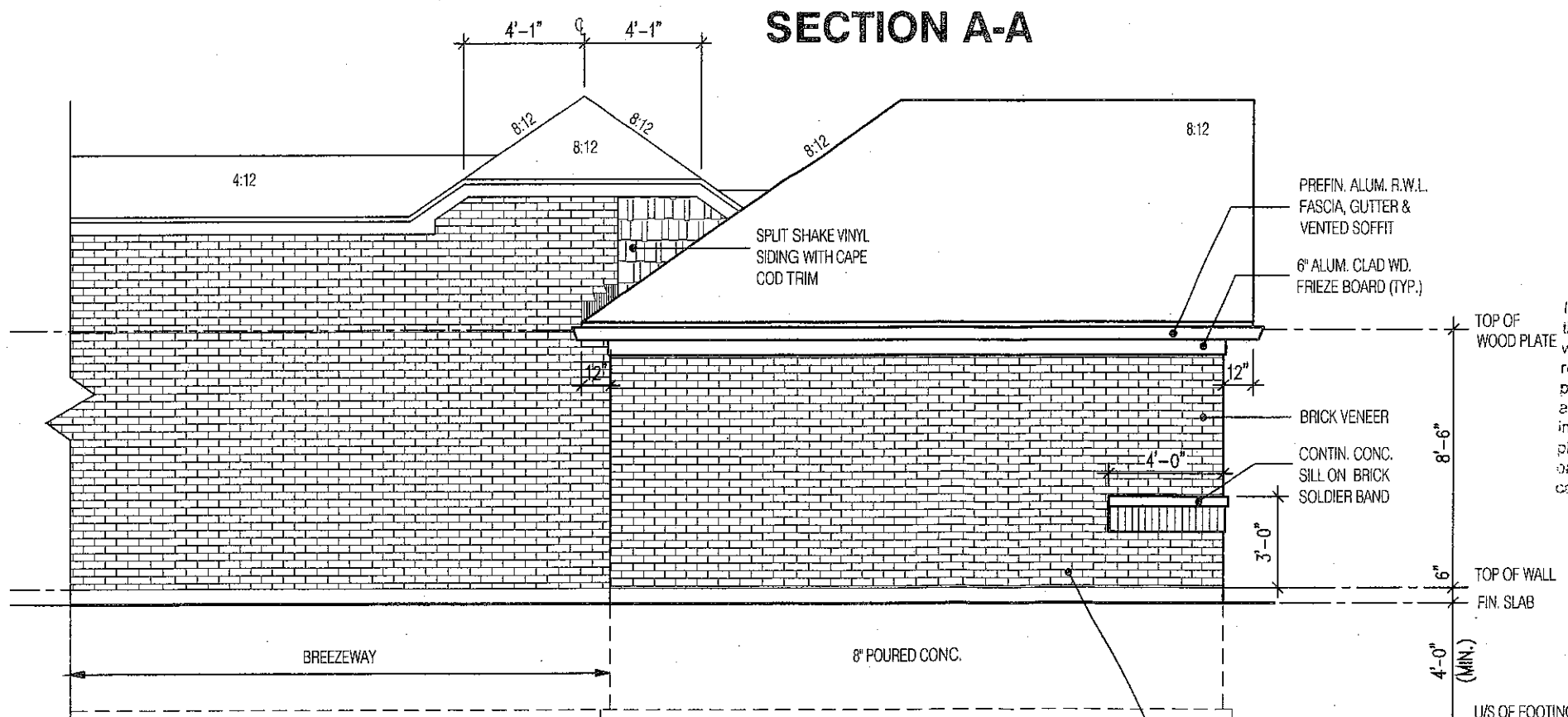
jardin design group inc. 27763
FIRM NAME BCIN

SECTION & SIDE ELEV.
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17.11 DWG. No. 1



SECTION A-A



GALE 3A
SIDE ELEV. - 1

FIRE RATED WALL
SEE BLOCK PLAN
DRAWINGS

STRUDET INC.



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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF EAST GWILLIMBURY

Signed: *[Signature]*
Date: JUL 27 2018
JOHN G. WILLIAMS LIMITED
ARCHITECT

APR 20 2018

O.REG. 332/12

GARAGE GALE 3A BLOCK 51

ROOF CONSTRUCTION

210 LB. (10.25kg/m²) ASPHALT SHINGLES, 3/8" (9.5 mm)
PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD
TRUSSES @ 24" (600 mm) o.c. MAX., 2"x4" (38X89 mm) TRUSS
BRACING @ 6'-0" (1830 mm) o.c. AT BOTTOM CHORD, PREFIN.
ALUM. FASCIA, VENTED SOFFIT, EAVESTROUGH, & RWL.

BRICK VENEER EXTERIOR WALL CONSTRUCTION (2"x4") (45min. RATING)

4" (90MM) FACE BRICK, 7/8"x7"x0.03" (22 X 180 X 0.76 mm)
GALV. METAL TIES @ 16" (400 mm) o.c. HORIZONTAL 24" (600
mm) o.c. VERTICAL, 1" (25 mm) AIR SPACE, APPROVED
SHEATHING PAPER ON 3/8" (9.5 mm) EXT. GRADE SHEATHING
ON 2"x4" (38 X 89 mm) STUDS @ 16" (400 mm) o.c.
(MAX. HGT. - 9'-10" (3000 mm)) WITH APPROVED DIAGONAL
WALL BRACING, 1/2" (13 mm) TYPE "X" GYPSUM BOARD. ALL
JOINTS TO BE TAPED AND SEALED. ALL EDGES TO BE
SUPPORTED. FASTENER TYPES AND SPACING SHALL
CONFORM TO CSA-A82.31-M.
PROVIDE WEEP HOLES @ 32" (800 mm) o.c. BOTTOM COURSE
AND OVER ALL OPENINGS. PROVIDE BASE WALL FLASHING
UP MIN. 6" (150 mm) BEHIND BUILDING PAPER.

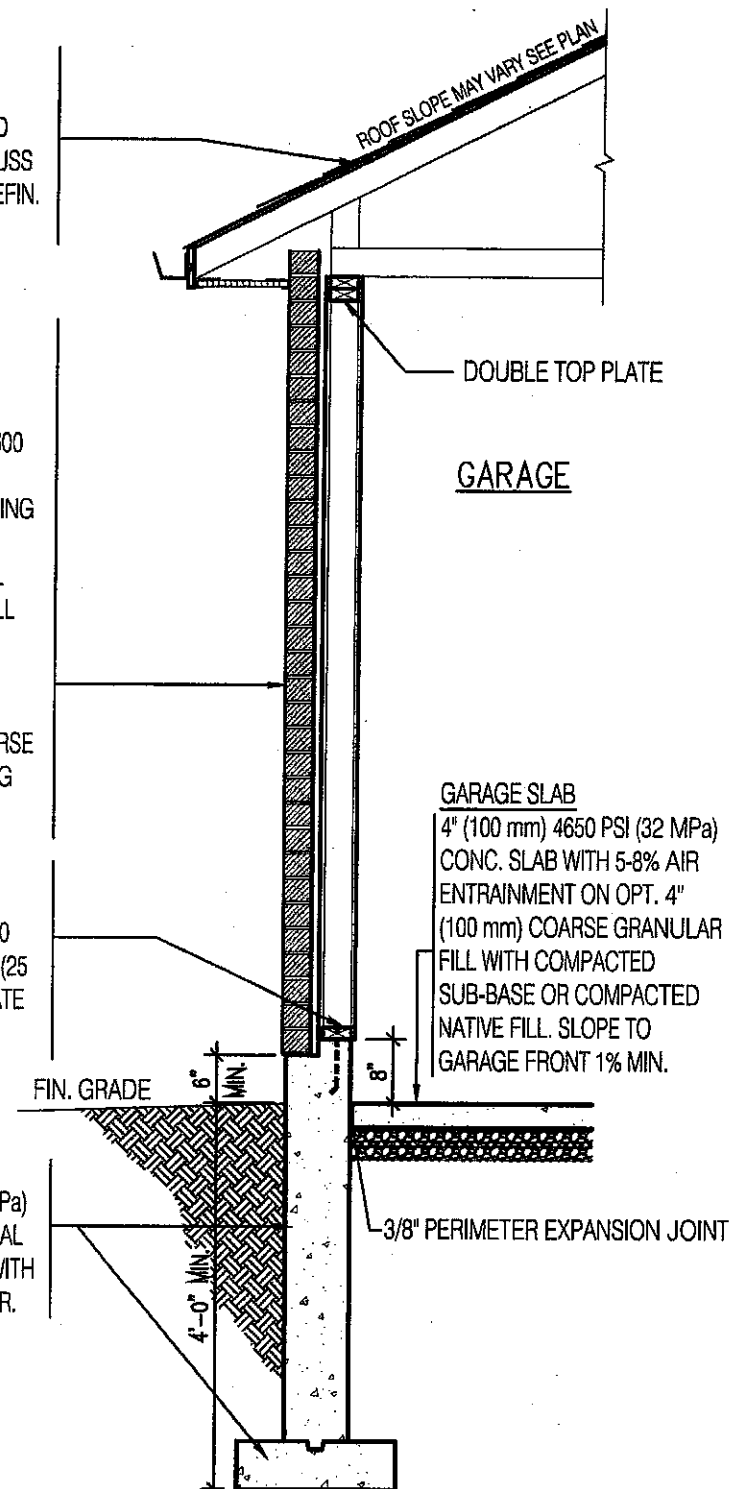
SILL PLATE

2" X 4" (38 mm X 89 mm) SILL PLATE WITH 1/2" (13 mm) DIA.
ANCHOR BOLTS 8" (200 mm) LONG, EMBEDDED MIN. 4" (100
mm) INTO CONC. @ 7'-10" (2400 mm) o.c.. CAULKING OR 1" (25
mm) MIN. MINERAL WOOL OR POLY GASKET BETWEEN PLATE
AND TOP OF FND'TN. WALL. USE MORTAR TO LEVEL SILL
PLATE WHEN REQUIRED.

FOUNDATION WALL/ FOOTING: OBC 9.15.3 & 9.15.4

8" (200 mm) POURED CONC. FND'TN. WALL 2200 PSI (15 MPa)
ON 20" x 6" POURED CONC. FOOTING TO REST ON NATURAL
UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH
MIN. BEARING CAPACITY OF 10.9 PSI (75 KPa) OR GREATER.

EXTERIOR WALL SECTION (45min. RATING)



TYPICAL ROOF CONSTRUCTION

1/2" TYPE "X" GYPSUM BOARD
TIGHTLY SEALED TO U/S OF
ROOF SHEATHING

2"x4" WOOD STUDS
AT MAX. 16" O.C.

DOUBLE TOP PLATE

PARTY WALL CONSTRUCTION (2"x4") (45min. RATING) OBC WALL TYPE W13f

TWO ROWS 2"x4" (38mmX89mm) WOOD STUDS EACH
SPACED 16" O.C ON SEPERATE 2"x4" (38mmX89mm)
SILL PLATES SET 1" APART.
1/2" TYPE "X" GYPSUM BOARD ON EACH SIDE.
ALL JOINTS TO BE TAPED AND SEALED. ALL EDGES
TO BE SUPPORTED. FASTENER TYPES AND SPACING
SHALL CONFORM TO CSA-A82.31-M.

SILL PLATE

SEPERATE 2" X 4" (38 mm X 89 mm) SET APART 1" SILL PLATE
WITH 1/2" (13 mm) DIA. ANCHOR BOLTS 8" (200 mm) LONG,
EMBEDDED MIN. 4" (100 mm) INTO CONC. @ 7'-10" (2400 mm)
o.c.. CAULKING OR 1" (25 mm) MIN. MINERAL WOOL OR POLY
GASKET BETWEEN PLATE AND TOP OF FND'TN. WALL. USE
MORTAR TO LEVEL SILL PLATE WHEN REQUIRED.

GARAGE SLAB

4" (100 mm) 4650 PSI (32 MPa) CONC. SLAB WITH 5-8% AIR
ENTRAINMENT ON OPT. 4" (100 mm) COARSE GRANULAR
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE
FILL. SLOPE TO GARAGE FRONT 1% MIN.

3/8" PERIMETER EXPANSION JOINT

8" POURED CONC.
FOUNDATION WALL

STRUDET INC.



FOR STRUCTURE ONLY

GARAGE

GARAGE

TOWN OF EAST GWILLIMBURY
Building Department

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DATE: _____



PARTY WALL SECTION

FEB 15 2010

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WALL SECTION
SECONDO VALES ESTATES
TOWN OF EAST GWILLIMBURY

MODEL: _____
SCALE: 3/16" = 1'-0"
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17-41 5

