

APPLICANT COPY

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JANDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JANDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALE

--- STORM CONNECTION

--- SANITARY CONNECTION

W- WATER CONNECTION

H- HYDRO CONNECTION

DOUBLE CATCH BASIN

CATCH BASIN

HYDRANT

VALVE AND CHAMBER

ENTRANCE DOOR LOCATION

GARAGE DOOR LOCATION

ENGINEERED FILL LOT

SANITARY MANHOLE

STORM MANHOLE

COMMON UTILITY BOX

SWALE LOCATION

SWALE DIRECTION

● STREET LIGHT

▲ TRANSFORMER

▣ CABLE TV PEDESTAL

■ BELL PEDESTAL

□ HYDRO METER

◇ GAS METER

⊞ AIR-CONDITIONING UNIT

⊞ SUMP PUMP

F.F.LR. FINISHED FLOOR ELEVATION

T.WALL. TOP OF FOUNDATION WALL

F.SLAB. FIN. BASEMENT FLOOR SLAB

U/FTG. UNDERSIDE FOOTING ELEVATION

100.00 PROPOSED 3:1 SLOPE

(100.00) PROPOSED GRADE

SW EXISTING GRADE

×100.00 PROPOSED SWALE GRADE

TOWN OF EAST GWILLIMBURY

BUILDING STANDARDS BRANCH

These plans have been reviewed for compliance with the ZONING BY-LAW.

Without written approval of the Building Department.

All work must comply with the Ontario Building Code, as amended. These reviewed documents and the Building Permit are valid for the following period:

CARONDALE SQUARE

THESE DOCUMENTS WERE REVIEWED

EXAMINED BY: [Signature]

DATE: JAN 28 2019

5m CONC. SIDEWALK

1.50m CONC. SIDEWALK

1.60m CONC. SIDEWALK

264.11

264.50

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265.70

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APPLICANT COPY

TOWN OF EAST GWILLIMBURY
BUILDING STANDARDS BRANCH
THIS PERMIT APPLICATION HAS BEEN
REVIEWED FOR COMPLIANCE WITH
THE ZONING BY-LAW

REVIEWED BY: [Signature]
DATE: JAN 17 2019

45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

ARCHITECTURAL REVIEW & APPROVAL

DEC 12 2018

John C. Williams Limited, Architect

LOT GRADING

REVIEWED	☒
REVIEWED AS MODIFIED	☐
REVISE AND RE-SUBMIT FOR REVIEW	☐
NOT REVIEWED	☐

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.
Builder to verify lateral elevations prior to digging foundation.

Date: Dec 11th 2018 By: [Signature]

Town of East Gwillimbury
Engineering Department
Reviewed Lot Grading

Date: January 8, 2019

Signature: [Signature]

NOTE:
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AND HIS OWN EXPENSE.

NOTE:
BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

SCALE 1:250

SECONDO VALES ESTATES INC.

PROJ. No. 17-41 MUNICIPAL ADDRESS

LOT No. 8

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Butler [Signature] 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

REG. PLAN
PLAN OF SUBDIVISION OF PART OF PART OF LOT 11, CONCESSION 2, TOWN OF EAST GWILLIMBURY (GEOGRAPHIC TOWNSHIP OF EAST GWILLIMBURY) REGIONAL MUNICIPALITY OF YORK REGISTERED PLAN 65M-

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

--- STORM CONNECTION

--- SANITARY CONNECTION

W- WATER CONNECTION

H- HYDRO CONNECTION

DOUBLE CATCH BASIN

CATCH BASIN

HYDRANT

VALVE AND CHAMBER

△ ENTRANCE DOOR LOCATION

▲ GARAGE DOOR LOCATION

* ENGINEERED FILL LOT

● SANITARY MANHOLE

○ STORM MANHOLE

MAIL COMMUNITY MAILBOX

○ DOWNSPOUT LOCATION

→ SWALE DIRECTION

● STREET LIGHT

▲ TRANSFORMER

▣ CABLE TV PEDESTAL

▣ BELL PEDESTAL

▣ HYDRO METER

▣ GAS METER

▣ AIR-CONDITIONING UNIT

SP SUMP PUMP

F.FLR. FINISHED FLOOR ELEVATION

T.WALL. TOP OF FOUNDATION WALL

F.SLAB. FIN. BASEMENT FLOOR SLAB

U/FTG. UNDERSIDE FOOTING ELEVATION

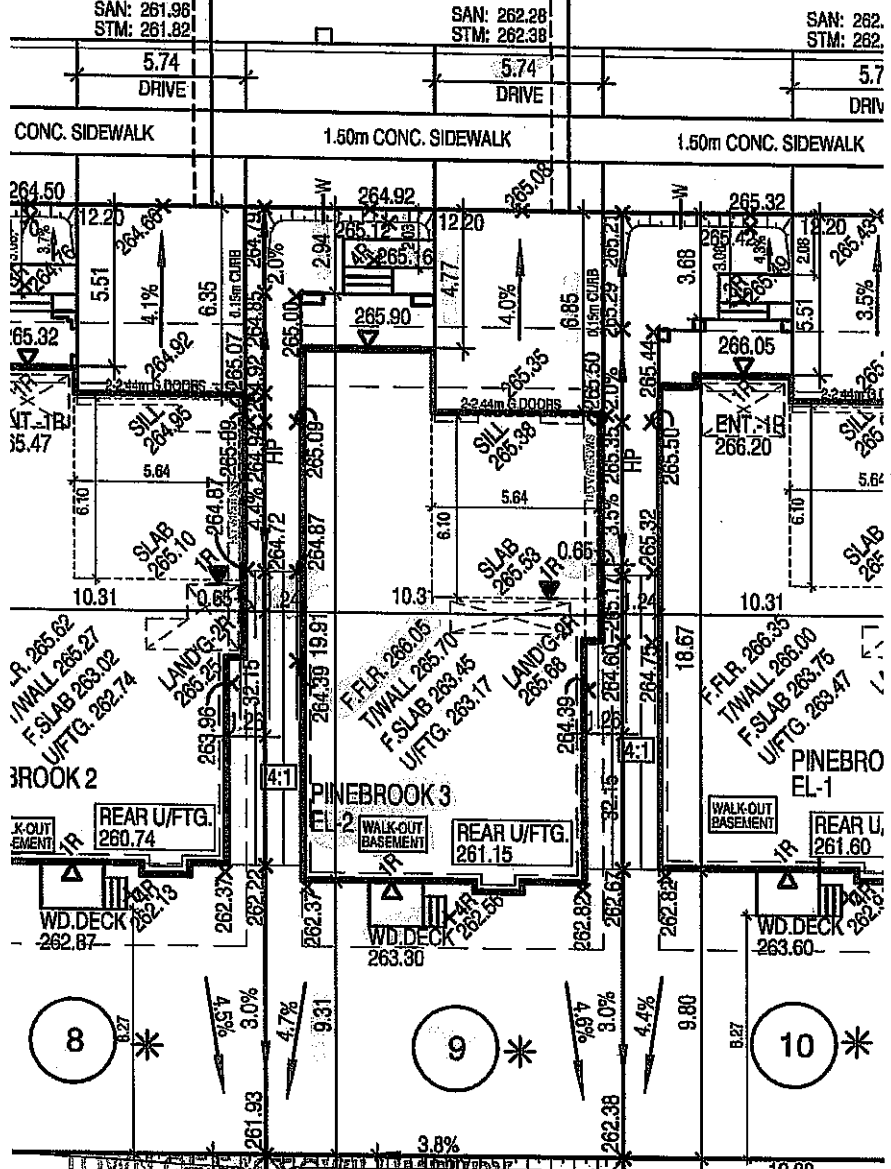
PROPOSED 3:1 SLOPE

100.00 PROPOSED GRADE

(100.00) EXISTING GRADE

SW ×100.00 PROPOSED SWALE GRADE

CARONDALE SQUARE



APPLICANT COPY

TOWN OF EAST GWILLIMBURY
BUILDING STANDARDS BRANCH
THIS PERMIT APPLICATION HAS BEEN
REVIEWED FOR COMPLIANCE WITH
THE ZONING BY-LAW
REVIEWED BY
DATE JAN 17 2019

45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (felling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

ARCHITECTURAL REVIEW & APPROVAL
DEC 12 2018
John G. Williams Limited, Architect

LOT GRADING

wsp

REVIEWED
REVIEWED AS MODIFIED
REVISE AND RE-SUBMIT FOR REVIEW
NOT REVIEWED

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.
Builder to verify lateral elevations prior to digging foundation.
Date Dec 11th 2018 By *Mustafa Ma*

These plans have been reviewed for use with the
directions as noted. No other changes may be made
without written approval of the Building Department.
All work must comply with the Ontario Building Code,
recommended. These reviewed documents and the
Building Permit must be kept on site at all times.

NOTE:
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS,
STREET LIGHTS, TRANSFORMERS AND OTHER
SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED,
BUILDER IS TO RELOCATE AND HIS OWN EXPENSE.

NOTE:
BUILDER TO VERIFY SANITARY AND STORM INVERT
ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

2019
Date January 8, 2019
Signature: *[Signature]*

SCALE 1:250
5m 0m 5m 10m

SECONDO VALES ESTATES INC.

PROJ. No. 17-41 MUNICIPAL ADDRESS

LOT No. 9

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUAIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.
Walter Botter *[Signature]* 21037 BCIN
NAME SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763 BCIN
FIRM NAME BCIN

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

REG. PLAN

PLAN OF SUBDIVISION OF PART OF PART OF LOT 11, CONCESSION 2, TOWN OF EAST GWILLIMBURY (GEOGRAPHIC TOWNSHIP OF EAST GWILLIMBURY) REGIONAL MUNICIPALITY OF YORK REGISTERED PLAN 65A-

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
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TOWN OF EAST GWILLIMBURY

Building Department

These plans have been reviewed for use with the Building Department. No other changes may be made without the approval of the Building Department. These reviewed documents must comply with the Ontario Building Code. These documents were reviewed and approved by the Building Department on 1/22/2019.

STORM CONNECTION

SANITARY CONNECTION

WATER CONNECTION

HYDRO CONNECTION

DOUBLE CATCH BASIN

CATCH BASIN

HYDRANT

VALVE AND CHAMBER

ENTRANCE DOOR LOCATION

GARAGE DOOR LOCATION

ENGINEERED FLOOR

SANITARY MANHOLE

STORM MANHOLE

COMMUNITY MAILBOX

DOWNSPOUT LOCATION

SWALE DIRECTION

STREET LIGHT

TRANSFORMER

BELL PEDESTAL

HYDRO METER

GAS METER

SUMP PUMP

FINISHED FLOOR ELEVATION

FOUNDATION WALL

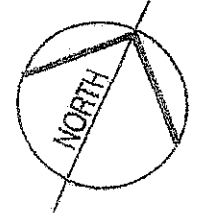
UNDERSEMENT FLOOR SLAB

UNDERSE FLOOR ELEVATION

PROPOSED SLOPE

EXISTING GRADE

PROPOSED SWALE GRADE

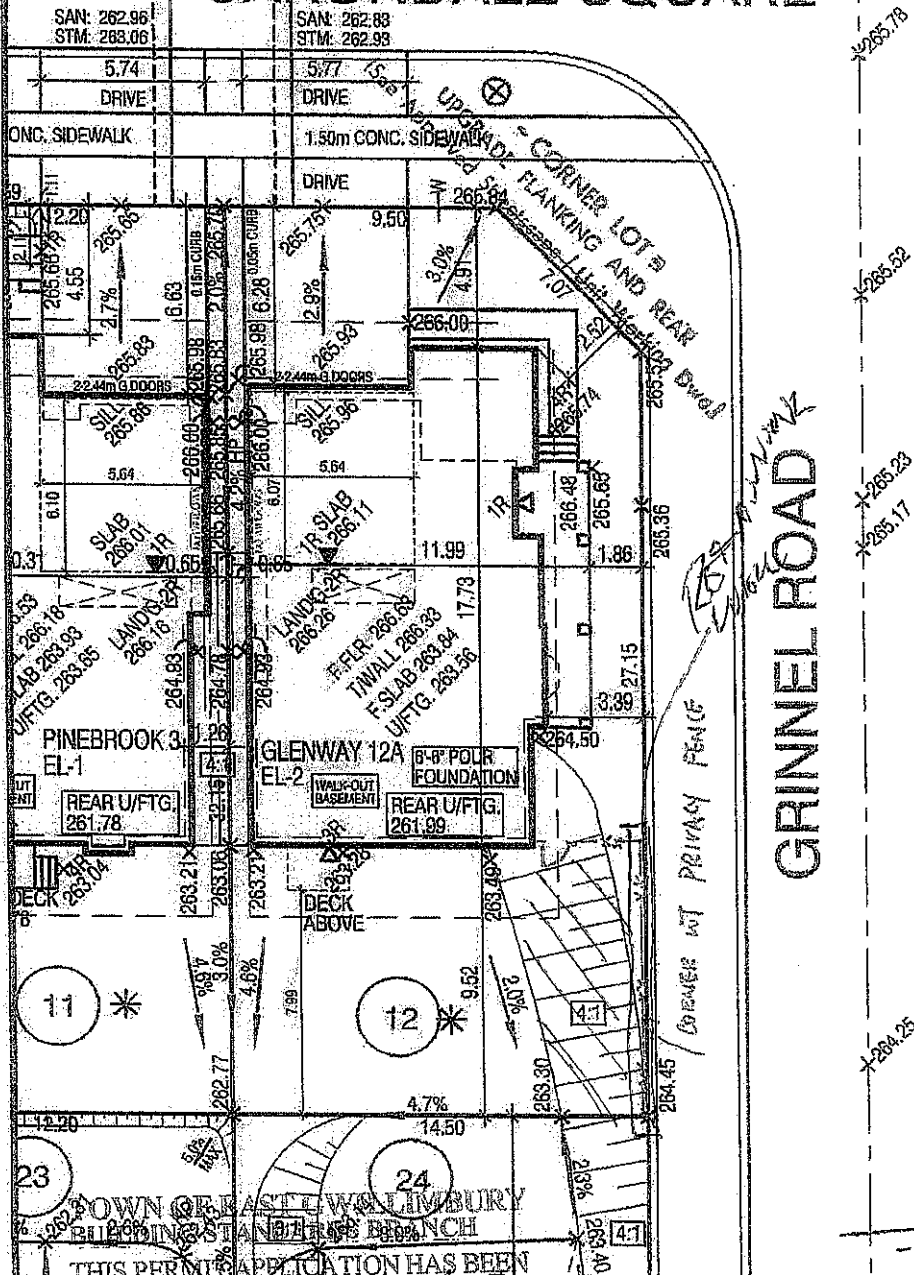


EXAMINED BY: *[Signature]*

DATE: JAN 22 2019

CARONDALE SQUARE

APPLICANT COPY



45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 09 2019

John G. Williams Limited, Architect

LOT GRADING

wsp

REVIEWED ☒

REVIEWED AS MODIFIED ☐

REVISE AND RE-SUBMIT FOR REVIEW ☐

NOT REVIEWED ☐

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect. Builder to verify lateral elevations and proposed foundation.

Date: _____

PROFESSIONAL ENGINEER

A. C. MAN

100232212

Jan 8/2019

PROVINCE OF ONTARIO

TOWN OF EAST GWILLIMBURY
BUILDINGS STANDARDS BRANCH
THIS PERMIT APPLICATION HAS BEEN
REVIEWED FOR COMPLIANCE WITH
THE ZONING BY-LAW

REVIEWED BY: *[Signature]*

NOTE: DATE: JAN 22 2019
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS,
STREET LIGHTS, TRANSFORMERS AND OTHER
SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED,
BUILDER IS TO RELOCATE AND HIS OWN EXPENSE.

NOTE:
BUILDER TO VERIFY SANITARY AND STORM INVERT
ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

Town of East Gwillimbury
Engineering Department
Reviewed Lot Grading

Date: Jan 10 2019
Signature: *[Signature]*

5		
4	JAN. 7, 2019	ADDED DECK ABOVE IN THE REAR YARD & RE-ISSUED FOR PERMIT
3	OCT. 17, 2018	REMOVED FIREPLACE & RE-ISSUED FOR PERMIT
2	OCT. 16, 2018	ISSUED FOR PERMIT
1	OCT. 12, 2018	ISSUED FOR ENGINEERS GRADING REVIEW.

REVISIONS:

Greenpark

SCALE 1:250

5m 0m 5m 10m

SECONDO VALES ESTATES INC.

PROJ. No. 17-41

LOT No. 12

MUNICIPAL ADDRESS

BILD

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.2 of the Building Code.

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

10 INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.2 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

jardin
DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

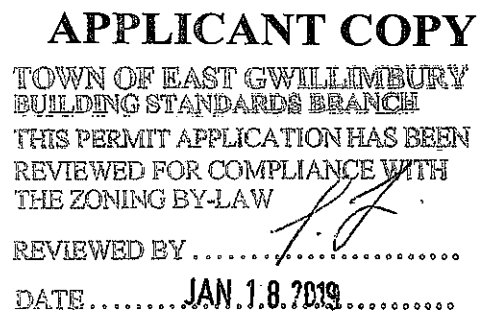
PLAN OF SUBDIVISION OF PART OF PART OF LOT 11,
CONCESSION 2, TOWN OF EAST GWILLIMBURY
(GEOGRAPHIC TOWNSHIP OF EAST GWILLIMBURY REGIONAL MUNICIPALITY
OF YORK) REGISTERED PLAN 65M

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE ARCHITECT'S BUILDING DRAWINGS OR CHARTER FOR FURTHER INFORMATION.

AS CONSTRUCTED IN THIS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUBSEQUENT CONSTRUCTION TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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John G. Williams Limited, Architect

05/29/2018	ISSUED FOR PERMIT
07/29/2018	ISSUED FOR ENGINEERS GRADING REVIEW.

① 姓名: 李國棟 (Li Guodong) ② 職稱: 工程師 (Engineer)

		SCALE 1:250 		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code Walter Botter  21031 NAME SIGNATURE BCIN		jardin DESIGN GROUP INC. 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: Info@jardindesign.ca	
SECONDO VALES ESTATES INC.						REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code jardin design group inc. 27763 FIRMA NAME BCIN	
PROJ. No. 17-41		MUNICIPAL ADDRESS					
LOT No. 22							
REG. PLAN		PLAN OF SUBDIVISION OF PART OF PART OF LOT 11, CONCESSION 2, TOWN OF EAST GUILMBURY (GEOGRAPHIC TOWNSHIP OF EAST GUILMBURY) REGIONAL MUNICIPALITY OF YORK REGISTERED PLAN 65M-		THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.		AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.	

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--- STORM CONNECTION

--- SANITARY CONNECTION

W- WATER CONNECTION

H- HYDRO CONNECTION

□ DOUBLE CATCH BASIN

□ CATCH BASIN

○ HYDRANT

⊗ VALVE AND CHAMBER

△ ENTRANCE DOOR LOCATION

▲ GARAGE DOOR LOCATION

* ENGINEERED FILL LOT

● SANITARY MANHOLE

○ STORM MANHOLE

MAIL COMMUNITY MAILBOX

○ DOWNSPOUT LOCATION

→ SWALE DIRECTION

● STREET LIGHT

▲ TRANSFORMER

⊠ CABLE TV PEDESTAL

■ BELL PEDESTAL

⊠ HYDRO METER

⊠ GAS METER

⊠ AIR-CONDITIONING UNIT

⊠ SLUMP PUMP

F.FLR. FINISHED FLOOR ELEVATION

T.WALL TOP OF FOUNDATION WALL

F.SLAB FIN. BASEMENT FLOOR SLAB

U/FTG. UNDERSIDE FOOTING ELEVATION

TTT PROPOSED 3:1 SLOPE

100.00 PROPOSED GRADE

(100.00) EXISTING GRADE

SW PROPOSED SWALE GRADE

NORTH

GRINNEL ROAD

TOWN OF EAST GWILLIMBURY
BUILDING STANDARDS DEPARTMENT
THIS PERMIT APPLICANT HAS BEEN
REVIEWED FOR COMPLIANCE WITH
THE ZONING BY-LAW
REVIEWED BY
DATE JAN 18 2019

TOWN OF EAST GWILLIMBURY
Engineering Department
Reviewed Lot Grading
Date: January 8 2019
Signature: [Signature]

45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
DEC 12 2018
John G. Williams Limited, Architect

TOWN OF EAST GWILLIMBURY
FIRE BREAK LOT
No construction above first floor subfloor level approved by the Town of East Gwillimbury Building Department
These plans have been reviewed for use with the instructions as noted. No other changes may be made without written approval of the Building Department.
All work to be done in accordance with the Ontario Building Code, as amended. These reviewed documents are to be kept on site at all times.
THESE DOCUMENTS WERE REVIEWED AND EXAMINED BY [Signature] JAN 28 2019
REVIEWED []
REVISED []
REVISE AND RE-SUBMIT FOR REVIEW []
NOT REVIEWED []
This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.
Builder to verify lateral elevations prior to digging foundation.
Date Dec 11/2018 By [Signature]

NOTE:
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AND HIS OWN EXPENSE.

NOTE:
BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

REVISIONS:

5		
4		
3	DEC. 5, 2018	ISSUED FOR PERMIT
2	NOV. 29, 2018	ADJUSTED FOOTPRINT & RE-ISSUED FOR ENGINEERS GRADING REVIEW.
1	NOV. 29, 2018	ISSUED FOR ENGINEERS GRADING REVIEW.

Greenpark

SCALE 1:250
5m 0m 5m 10m

SECONDO VALES ESTATES INC.

PROJ. No. 17-41 MUNICIPAL ADDRESS

LOT No. 34

REG. PLAN

PLAN OF SUBDIVISION OF PART OF PART OF LOT 11, CONCESSION 2, TOWN OF EAST GWILLIMBURY (GEOGRAPHIC TOWNSHIP OF EAST GWILLIMBURY) REGIONAL MUNICIPALITY OF YORK REGISTERED PLAN 65M-

BILD

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
Walter Botter 21037
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code
Jardin design group inc. 27763
FIRM NAME BCIN

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.