

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x18" CONCRETE PAD
F2 = 36"x16" CONCRETE PAD
F3 = 30"x12" CONCRETE PAD
F4 = 24"x12" CONCRETE PAD
F5 = 18"x18" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x18" CONCRETE PAD
F2 = 40"x16" CONCRETE PAD
F3 = 34"x14" CONCRETE PAD
F4 = 28"x12" CONCRETE PAD
F5 = 18"x18" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 48"x18" CONCRETE PAD
F2 = 40"x16" CONCRETE PAD
F3 = 32"x14" CONCRETE PAD
F4 = 26"x12" CONCRETE PAD
F5 = 17"x17" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-6% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'12" x 3'12" x 14" (50x50x6) + 2'2" x 8" SPR
WL2 = 4'3" x 3'12" x 14" (100x50x6) + 2'2" x 8" SPR
WL3 = 5'3" x 3'12" x 14" (125x50x6) + 2'2" x 8" SPR
WL4 = 6'3" x 3'12" x 14" (150x50x6) + 2'2" x 8" SPR
WL5 = 6'4" x 3'8" (150x100x10) + 2'2" x 12" SPR
WL6 = 5'3" x 3'12" x 14" (125x50x6) + 2'2" x 12" SPR
WL7 = 5'3" x 3'12" x 14" (125x50x6) + 3'2" x 10" SPR
WL8 = 5'3" x 3'12" x 14" (125x50x6) + 3'2" x 12" SPR
WL9 = 6'4" x 3'8" (150x100x10) + 3'2" x 12" SPR

WOOD LINTELS:

WB1 = 2'2" x 8" SPRUCE BEAM
WB2 = 3'2" x 8" SPRUCE BEAM
WB3 = 2'2" x 10" SPRUCE BEAM
WB4 = 3'2" x 10" SPRUCE BEAM
WB5 = 2'2" x 12" SPRUCE BEAM
WB6 = 3'2" x 12" SPRUCE BEAM
WB7 = 5'2" x 12" SPRUCE BEAM
WB8 = 4'2" x 8" SPRUCE BEAM
WB9 = 4'2" x 10" SPRUCE BEAM
WB10 = 4'2" x 10" SPRUCE BEAM
WB11 = 4'2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'12" x 3'12" x 14" (50x50x6)
L2 = 4'3" x 3'12" x 14" (100x50x6)
L3 = 5'3" x 3'12" x 14" (125x50x6)
L4 = 6'3" x 3'12" x 14" (150x50x6)
L5 = 6'4" x 3'8" (150x100x10)
L6 = 7'4" x 3'8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)



ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.plugin safely.ca

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-6" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" EXTERIOR)
4 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

LEGEND:

- BUILDING FACE < 4'-0" (1.2m)
(AS MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

CERTIFIED MODEL PRE-APPROVED

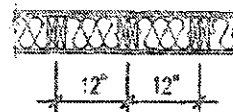
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY *AS S. SNELL*
DATE *13 JULY 23/19*
FILE # *BARTON 4 - ELEV. 1, 2*

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE
FOR ALL MANDATORY INSPECTIONS. REFER TO
ATTACHED BUILDING PERMIT FOR DETAILS

A COMPLETE SET OF REVIEWED DRAWINGS &
SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME
DURING CONSTRUCTION AS PER O.B.C.

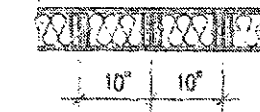
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT. C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 16'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT.
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.
OSB SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7. 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

AREA CALCULATIONS EL-1

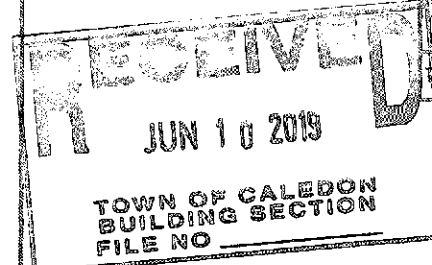
FIRST FLOOR AREA	=	1195 Sq. Ft.
SECOND FLOOR AREA	=	1503 Sq. Ft.
TOTAL FLOOR AREA	=	2698 Sq. Ft.
ADD OPEN AREAS	=	12 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2710 Sq. Ft.
GROUND FLOOR COVERAGE	=	1195 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1632 Sq. Ft.
	=	151.6 Sq. m.
COVERAGE W/O PORCH	=	1572 Sq. Ft.
	=	145.0 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1195 Sq. Ft.
SECOND FLOOR AREA	=	1503 Sq. Ft.
TOTAL FLOOR AREA	=	2698 Sq. Ft.
ADD OPEN AREAS	=	12 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2710 Sq. Ft.
GROUND FLOOR COVERAGE	=	1195 Sq. Ft.
GARAGE COVERAGE / AREA	=	377 Sq. Ft.
PORCH COVERAGE / AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1632 Sq. Ft.
	=	151.6 Sq. m.
COVERAGE W/O PORCH	=	1572 Sq. Ft.
	=	145.0 Sq. m.

BARTON 4 ELEV. 1		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	593.00	69.00	12.28%
LEFT SIDE	1160.00	69.00	5.95%
RIGHT SIDE	1170.00	42.00	3.59%
REAR	557.00	120.00	21.54%
TOTAL	3480.00	300.00	8.76%

BARTON 4 ELEV. 2		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	593.00	75.00	13.32%
LEFT SIDE	1160.00	69.00	5.95%
RIGHT SIDE	1170.00	42.00	3.59%
REAR	557.00	120.00	21.54%
TOTAL	3480.00	306.00	8.87%



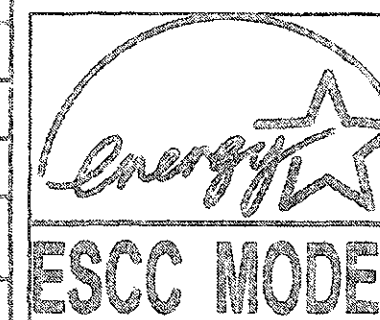
APPLICANT COPY

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R50)
MINIMUM RSI (R) VALUE	
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
MINIMUM RSI (R) VALUE	
EXPOSED FLOOR	5.46 (R31)
MINIMUM RSI (R) VALUE	
WALLS ABOVE GRADE	4.75 (R22+RS)
MINIMUM RSI (R) VALUE	
BASEMENT WALLS	3.52 (R20 BLANKET)
MINIMUM RSI (R) VALUE	
EDGE OF BELOW GRADE SLAB	1.76 (R10)
< 60mm BELOW GRADE	
MINIMUM RSI (R) VALUE	
SLAB < 60mm BELOW GRADE	1.76 (R10)
MINIMUM RSI (R) VALUE	
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR ® ZONE 2 (ER 28UHV 1.4)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	MIN 96% AFUE
MINIMUM AFUE	
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	TIER 2 75% SRE ENERGY STAR ® HRV TO BE
MINIMUM EFFICIENCY	INTERCONNECTED TO THE FURNACE FAN
	MUST BE BALANCED INDICATING ON HIGH
	SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE
	EFFICIENCY
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42
	OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH@0.18 NLIR)
	ATTACHED LEVEL 1 (3.0 ACH@0.26 NLIR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF
	RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

MAR 21 2019



ENERGY STAR - V 17

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Central
Project is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

2710

11.0m LOTS

BARTON 4
ELEVATION 1 & 2

ENERGY STAR

O.REG. 332/12

STROUD INC.



FOR STRUCTURAL ONLY

THE DRAWINGS SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE PLANS. NO OTHER PERSONS SHALL BE HELD RESPONSIBLE FOR THE
USE OF A PROFESSIONAL ENGINEER'S SEAL OR FOR THE APPROPRIATE
PROFESSIONAL STANDARDS BEFORE PROCEEDING WITH CONSTRUCTION.
AS OF STRUCTURED INVENTS MUST BE WEAR OF OR TO POLYMER
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO VERIFY OR
REVIEW THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
OBTAIN THE NECESSARY APPROVALS WITH THE CONTRACT
DOCUMENT.
THIS DRAWING IS A PRELIMINARY OF SERVICE. IT IS PROVIDED BY AND
IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3		
2	JUN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905-660-3377 FAX: 905-660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the building code.

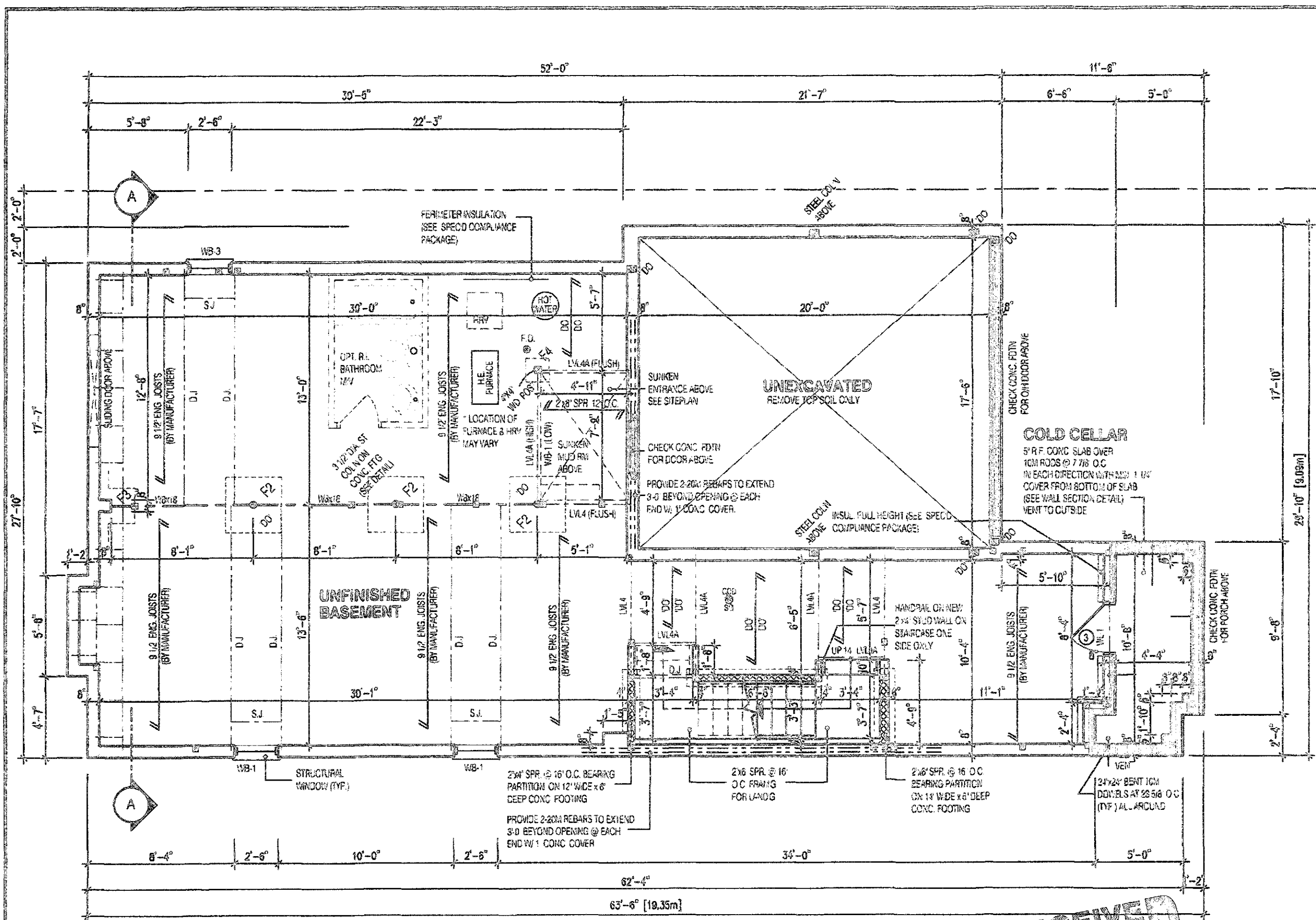
Water Boiler *Ube* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the building code.
Jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	
SCALE	3/16" = 1'-0"
PROJ. NO.	DWG. No.
18-18	0





2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.

B. MARINKOVIC
 REGISTERED PROFESSIONAL ENGINEER
 PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY

THE DESIGNER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR THE COMPLETION OF THE DESIGN. THE DESIGNER SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE DESIGN AND FOR THE COMPLETION OF THE DESIGN.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JUNE 25, 2019	REVISED L.V. PER CIVIL COMMENT RE ISSUED TO CLIENT
2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED FOR PRELIMINARY STAGE, ISSUED TO CLIENT

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUANTIFICATION INFORMATION
 Required unless design is submitted to Division C, Subsection 2.2.5 of the Ontario Building Code.

Walter Boller 21031
 NAME SIGNATURE BCN

REGISTRATION INFORMATION
 Required unless design is submitted to Division C, Subsection 2.2.4 of the Ontario Building Code.

jardin design group inc. 27763
 FIRM NAME BCN

BASEMENT PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	---

SCALE: 3/16" = 1'-0"

PROJ. NO.	DWG. NO.
08-18	1A

RECEIVED
 JUL 11 2019
 TOWN OF CALEDON
 FILE NO. 2018-001

NOTE:
 REFER TO SHEET NO. 0-1 FOR UNIL. BEAMS AND DOOR SIZE

NOTE:
 SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7" 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
 SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

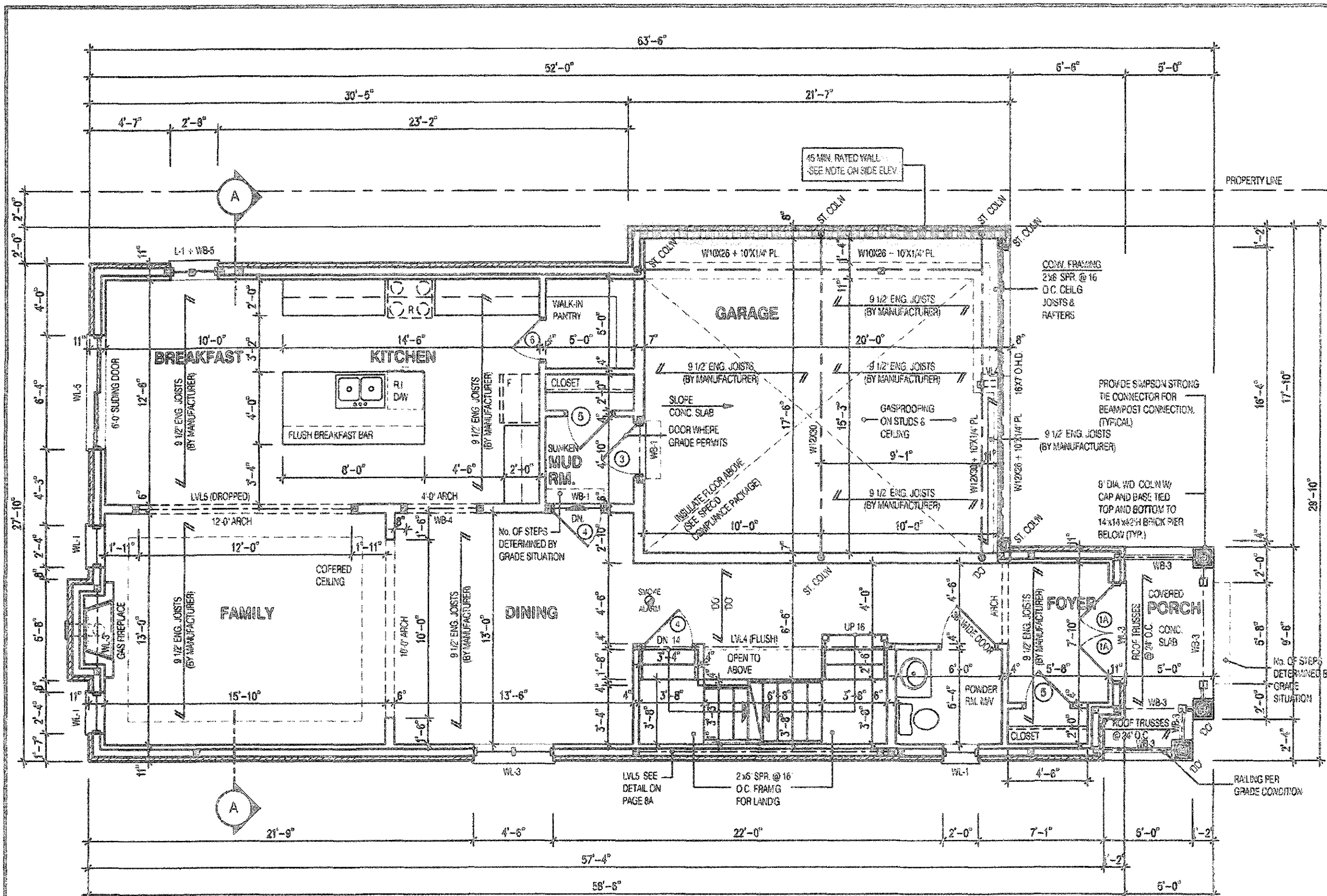
NOTE:
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

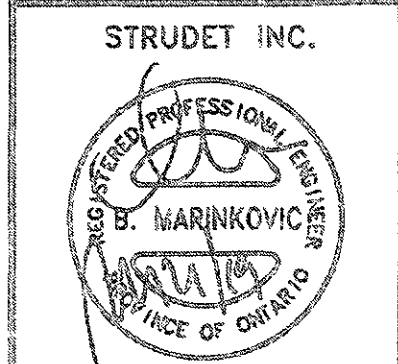
- BUILDING FACE < THAN 4'-0" (1.2m) (MIN. PRE RATING REQ.)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL PLATE FOR STEEL COLUMN ABOVE
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER DRAIN

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

[Signature]
 Designer



2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF WORK.

ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ADEQUACY OF SURVEY, STRENGTH, OR LOADS OF EXISTING STRUCTURES OR FOR CONSTRUCTION OF STRUCTURES PRIOR TO THE ISSUANCE OF APPROVED PERMIT. DESIGN TO THE APPROPRIATE ENGINEERING STANDARDS SHALL BE PROVIDED BY THE CONTRACTOR.

UNLESS OTHERWISE SPECIFIED, THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT A CONTRACT DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ADEQUACY OF THE CONSTRUCTION OF THE STRUCTURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE COUNTRY DOCUMENTS.

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No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3		
2	JUN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO FREEDOM OF INFORMATION ACT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

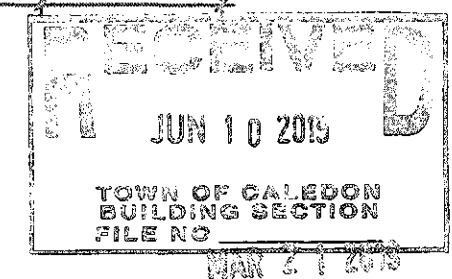
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

Water Butler 21031
NAME SIGNATURE
REGISTRATION INFORMATION
Registered unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

jardin design group inc. 27763
FIRM NAME BCN

FIRST FLOOR PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	---
SCALE	3/16" = 1'-0"
PROJ. No.	08-18
DWG. No.	2A

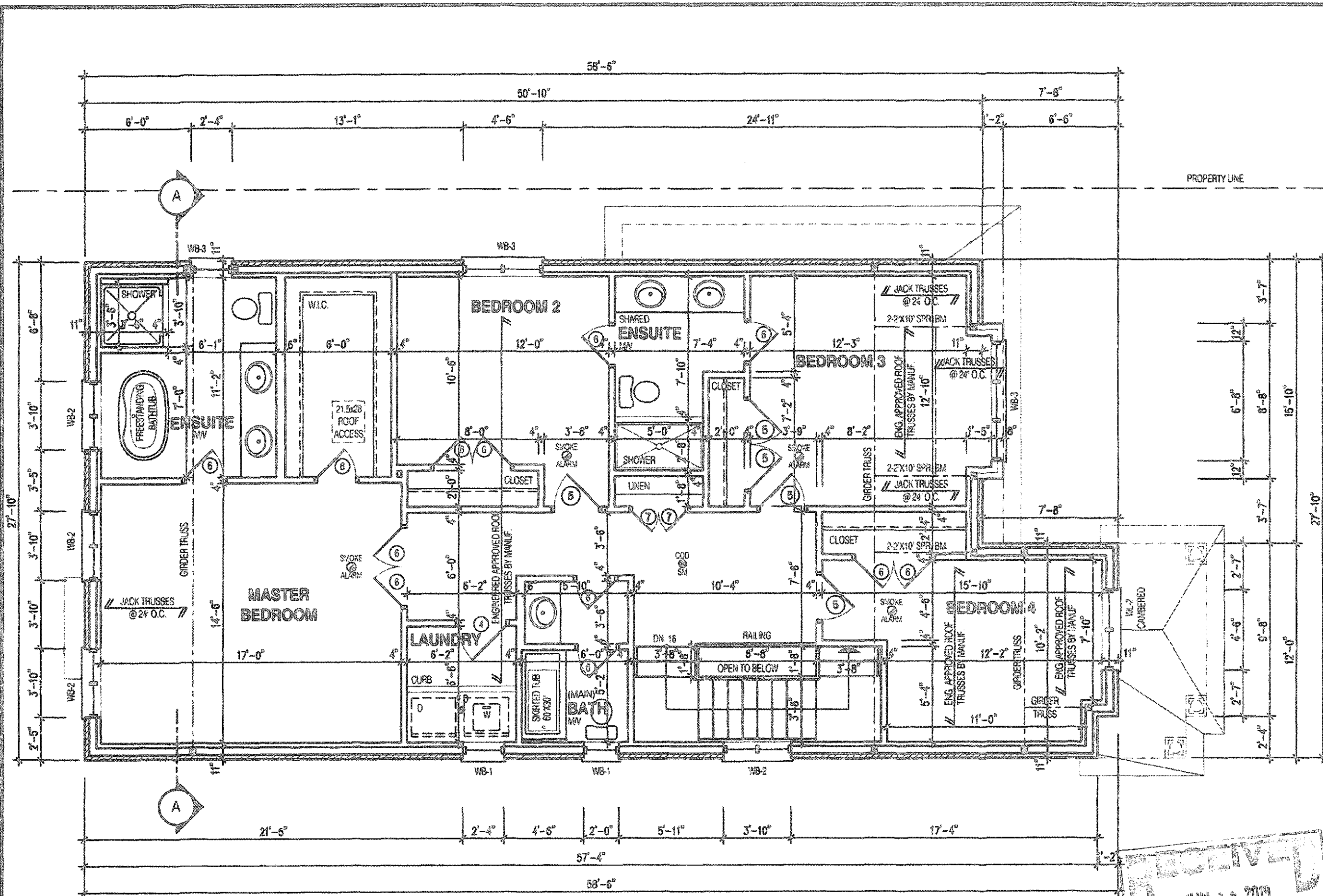


MAY 21 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (planning) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WHITMAN LTD. ARCHITECT
ARCHITECTURAL CONTROL SYSTEM
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUN 10, 2019
The undersigned hereby certifies that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- 8-8-8 BUILDING FACE < THAN 4-0 (1.2m)
(45 MM. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Council
Architect is not responsible in any way for
examining or approving site (lotting) plans or
various drawings with respect to any zoning or
building code or permit matter or that any
houses can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JORDIN DESIGN GROUP INC. ARCHITECTURAL
DESIGNER
DATE: 2019.07.12

2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

STRUDET INC.

FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT GROUP
AND PRIOR TO COMMENCEMENT OF WORK.

ARCHITECT GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE PLANS AND FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS FOR THE PROPOSED CONSTRUCTION.
NO CONSTRUCTION SHALL BE PERMITTED PRIOR TO OBTAINING
A PERMIT.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY ARCHITECT
GROUP INC. FOR THE EXCLUSIVE USE OF THE CLIENT. IT IS NOT TO BE
REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN
CONSENT OF ARCHITECT GROUP INC.

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2	JUN 17 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.co

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
2.2.4 of the building code.

Walter Butler 21031
NAME SIGNATURE BCN

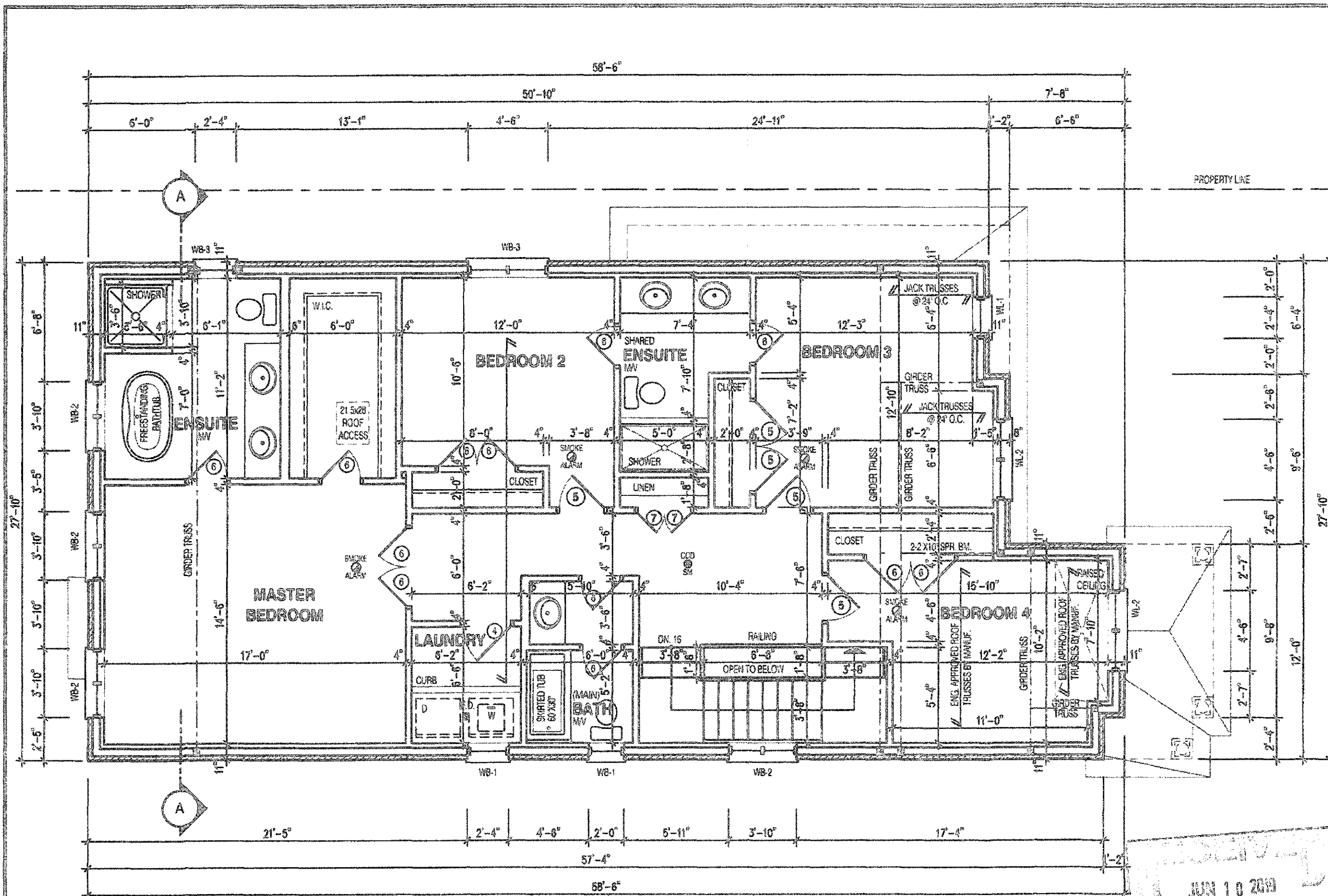
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
2.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCN

SECOND FL. PLAN EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	---
SCALE	3/16"=1'-0"
PROJ. No	08-18
DWG. No.	3

BILD



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE 2010 BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER

LEGEND:

- BUILDING FIRE RATING < THAN 4-0' (12m)
(AS MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility
to ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Contract
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
plans can be properly built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
Caledon.

JOHN C. WILKINS LTD. ARCHITECT
ARCHITECTURAL, CONSTRUCTION
AND INTERIOR

APPROVED BY: JOHN C. WILKINS
DATE: MAY 14, 2018
This drawing is the property of John C. Wilkins Ltd. and is not to be
reproduced or used for any other project without the written
consent of John C. Wilkins Ltd.

2710	
11.0m LOTS	
BARTON 4 (GR)	
ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
STRUDET INC.	
FOR STRUCTURAL ONLY	
THE CONTRACTOR SHALL ENSURE THAT ALL DIMENSIONS AND CONSTRUCTIONS ON THE SITE PROCEED AS SHOWN ON THIS PLAN. ANY DISCREPANCY SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THIS PLAN. ANY DISCREPANCY OR CONFLICT SHALL BE REPORTED TO THE OWNER OF THE PROJECT PRIOR TO THE COMMENCEMENT OF WORK. AS CONSTRUCTION PROCEEDS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN OR GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN. THIS DRAWING IS AN INSTRUMENT OF SERVICE, AS PROVIDED BY THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF JARDIN DESIGN GROUP INC.	
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2	JAN 17, 2018 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED FOR PRECONSTRUCTION STAGE, ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:
Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. Walter Boller 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. Jardin design group inc. 27763 FIRM NAME BCIN	
SECOND FL. PLAN EL-2	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE	AREA
T	---
SCALE	3/16" = 1'-0"
PROJ. No.	CHG. No.
08-18	3A

2710

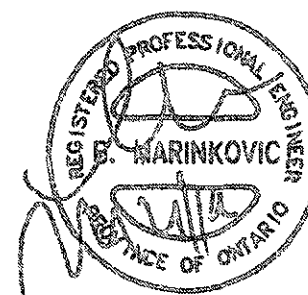
11.0m LOTS

BARTON 4 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT OR GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

ARCHITECT'S GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ON THESE DRAWINGS OR FOR CONSTRUCTION STANDARDS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING STANDARDS BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 16, 2018 COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT
DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

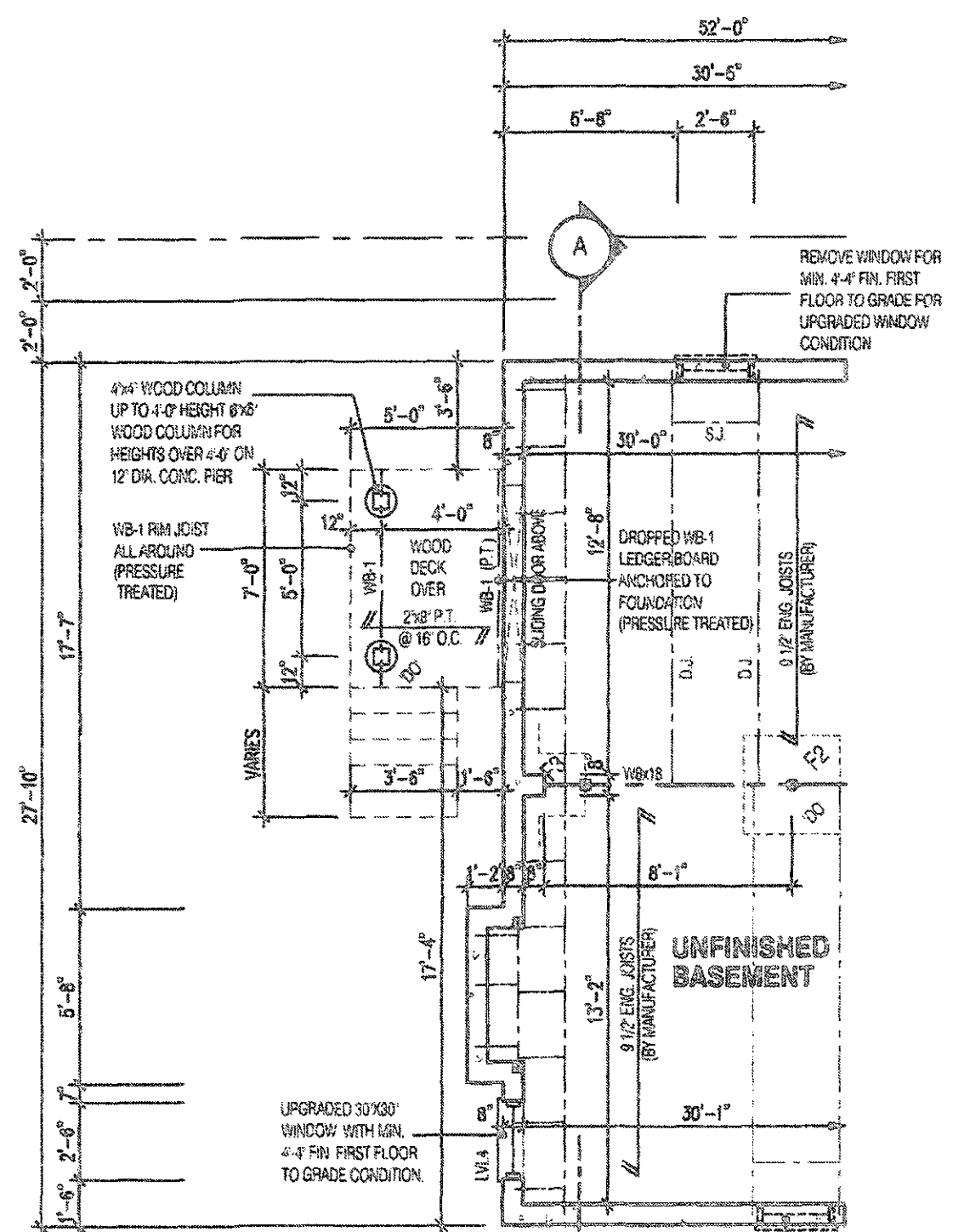
QUANTIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Water Boiler 21031
NAME: [Signature] SIGNATURE: [Signature] BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.
jardin design group inc. 27763
FIRM NAME: [Signature] BCIN

DECK CONDITION EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE: T AREA: ---
SCALE: 3/16" = 1'-0"
PROJ. NO.: 08-18 DWG. NO.: 3-1

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

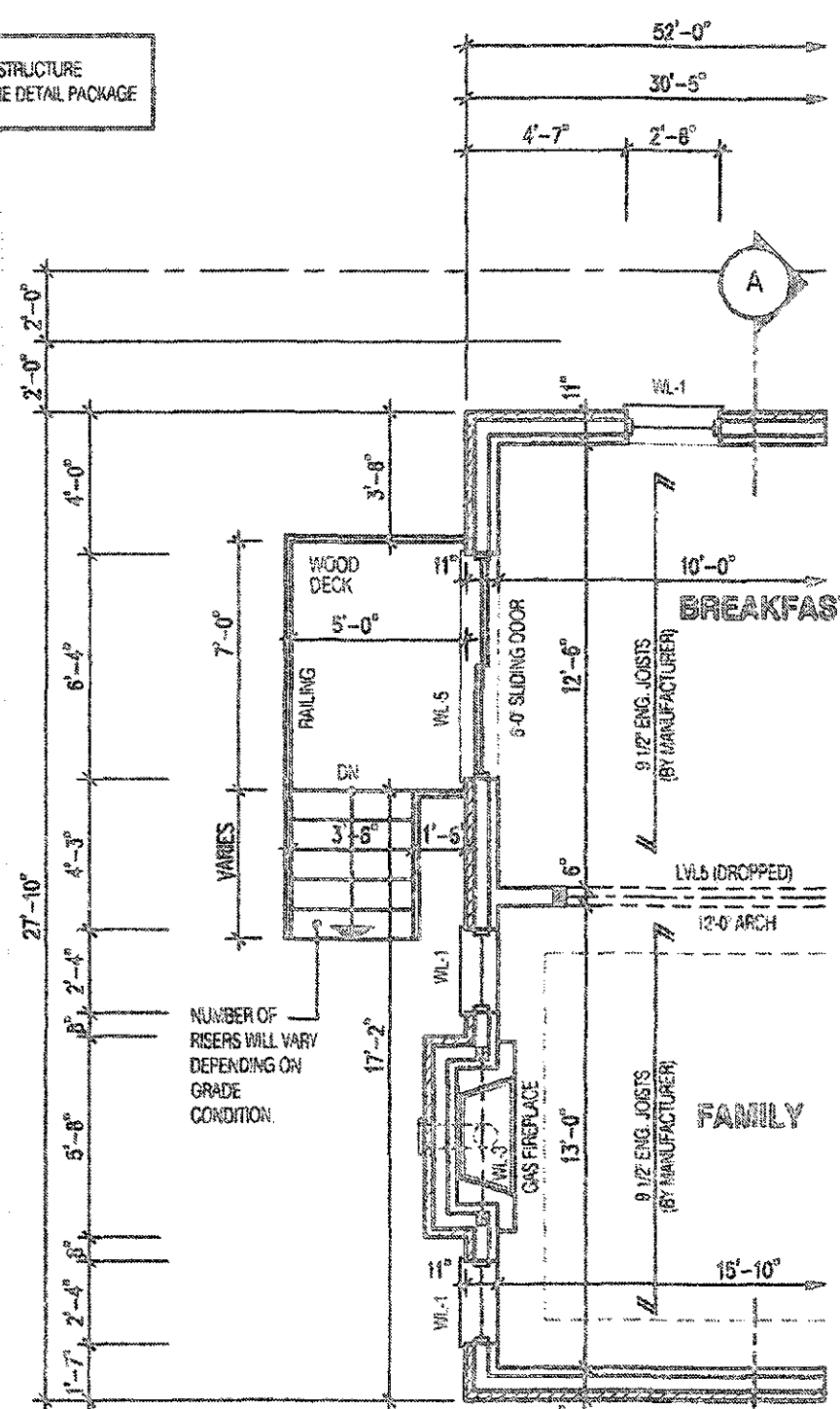


NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-1

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



NOTE:

SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-1

LEGEND:

- BLD BUILDING FACE < 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (building) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: [Signature]

NOTE:

WHEN VENEER CUT IS GREATER THAN
26" A 10' POURED CONC. FOUNDATION
WALL IS REQUIRED. (FOUNDATION PLAN
TO BE REVIEWED IN CONJUNCTION WITH
SITE PLAN)

NOTE:

REFER TO SHEET NO. 0 - FOR LINTEL BEAMS AND DOOR SIZE

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS
PROVIDE 1 ROW BRIDGING FOR SPANS OF 9'-7" 2 ROWS FOR SPANS GREATER THAN 7'

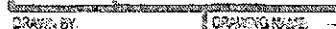
NOTE:

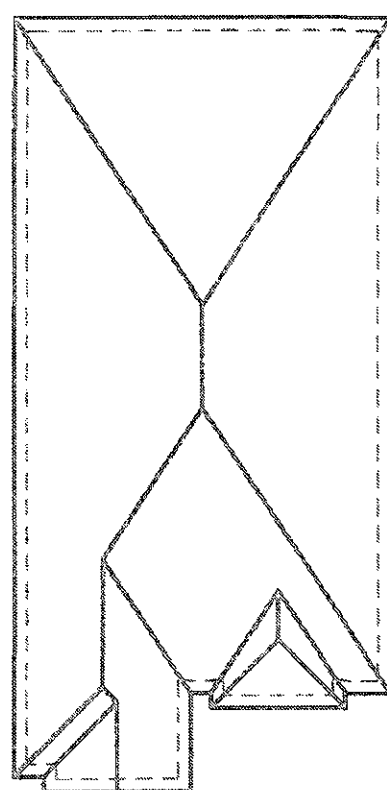
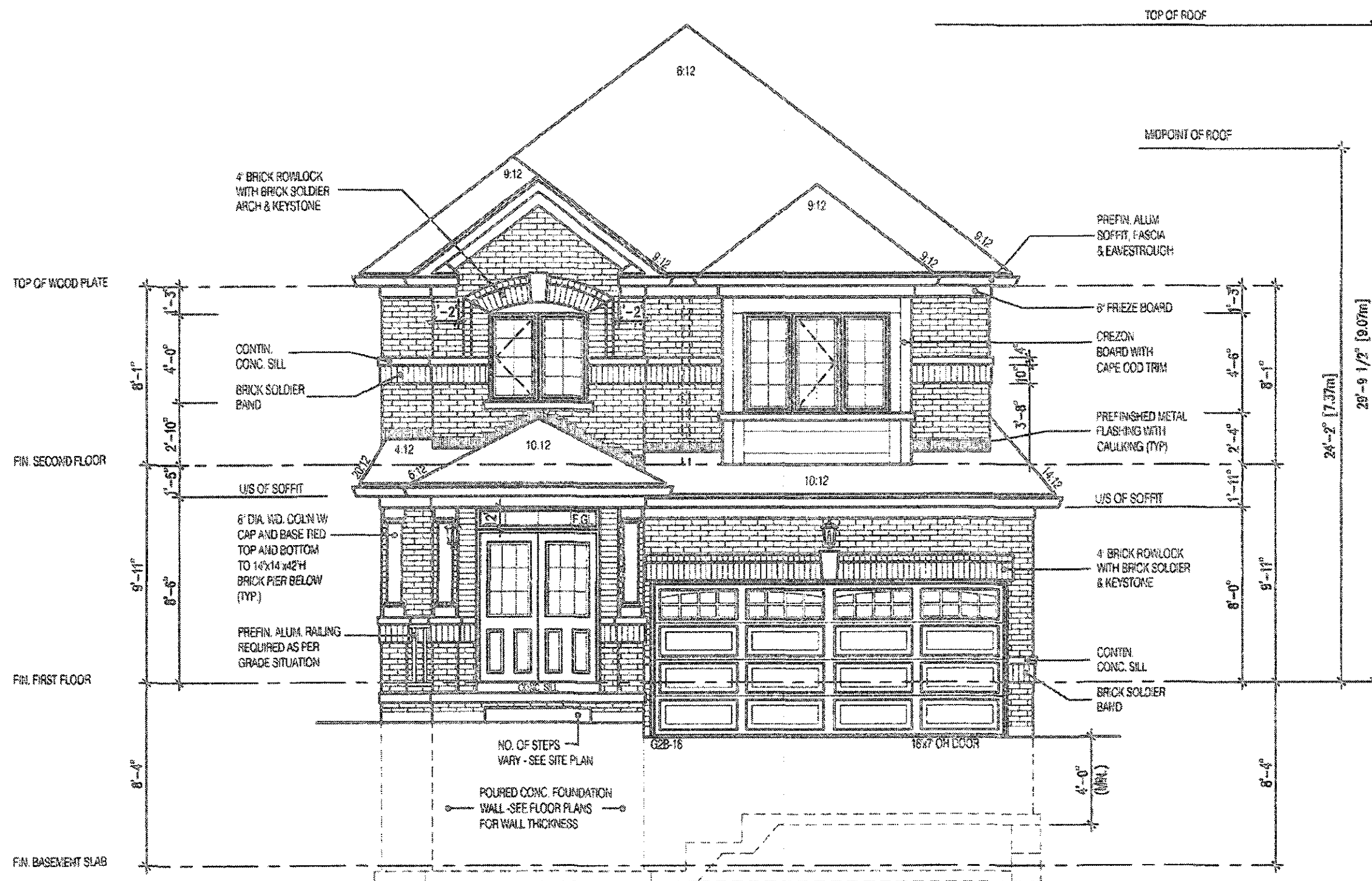
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

THE STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CANADIAN BUILDING CODE









ROOF PLAN
N.T.S.

BARTON 4
ELEV-1

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL OF THE DATA AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION
AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT GROUP
NO PRIOR TO COMMENCEMENT OF WORK.
ARCHITECT GROUP INC. SHALL BE RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STAKE PLACEMENT, AND PROPERTY LINES SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION OF STAKE PLACEMENT TO THE
ISSUANCE OF A BUILDING PERMIT. REGARDING THE APPROPRIATE
CHANGING OF DATA BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED MATERIALS MUST BE REPORTED AS TO FOUR NO
REDUCTIONS
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
CONSTRUCTION OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONSTRUCTION OR SUBSEQUENT DAMAGE TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE COPIED

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2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Building Code

Walter Boiter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code

jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

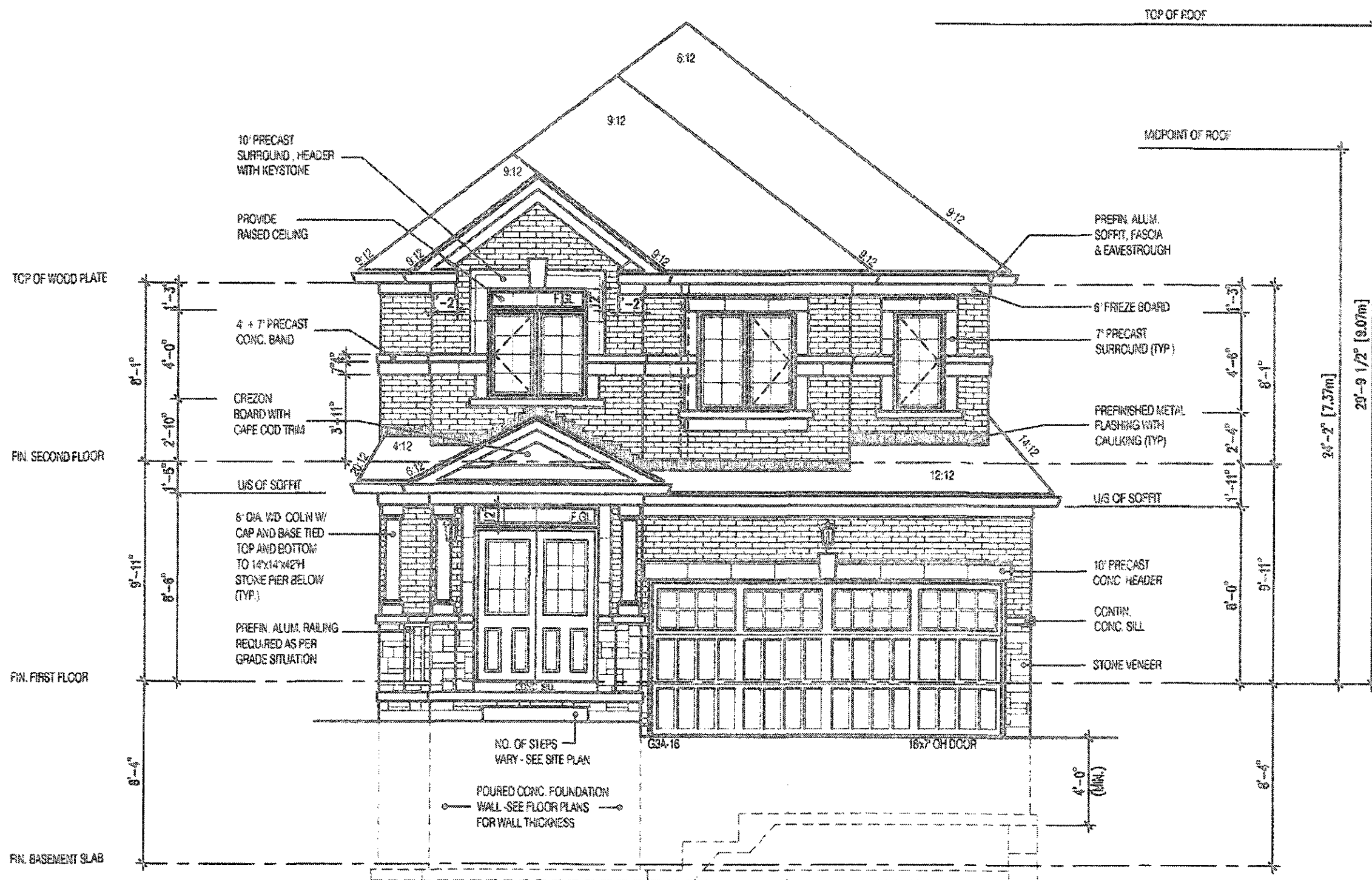
TYPE T AREA
SCALE 3/16" = 1'-0"
PROJ. No 08-18 DWG No 4

MAR 21 2019

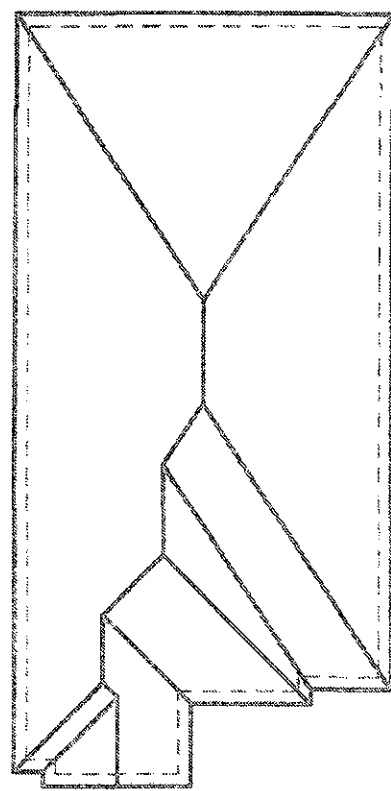
It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The General
Architect is not responsible in any way for
examining or approving site (plot) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL DESIGN, REVIEW
AND APPROVAL
APPROVED BY
DATE MAY 21, 2019
The undersigned is a duly qualified and licensed
Professional Member of the Association of
Professional Engineers and Architects of
Ontario.



**BARTON 4
ELEV-2**



**ROOF PLAN
N.T.S.**

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

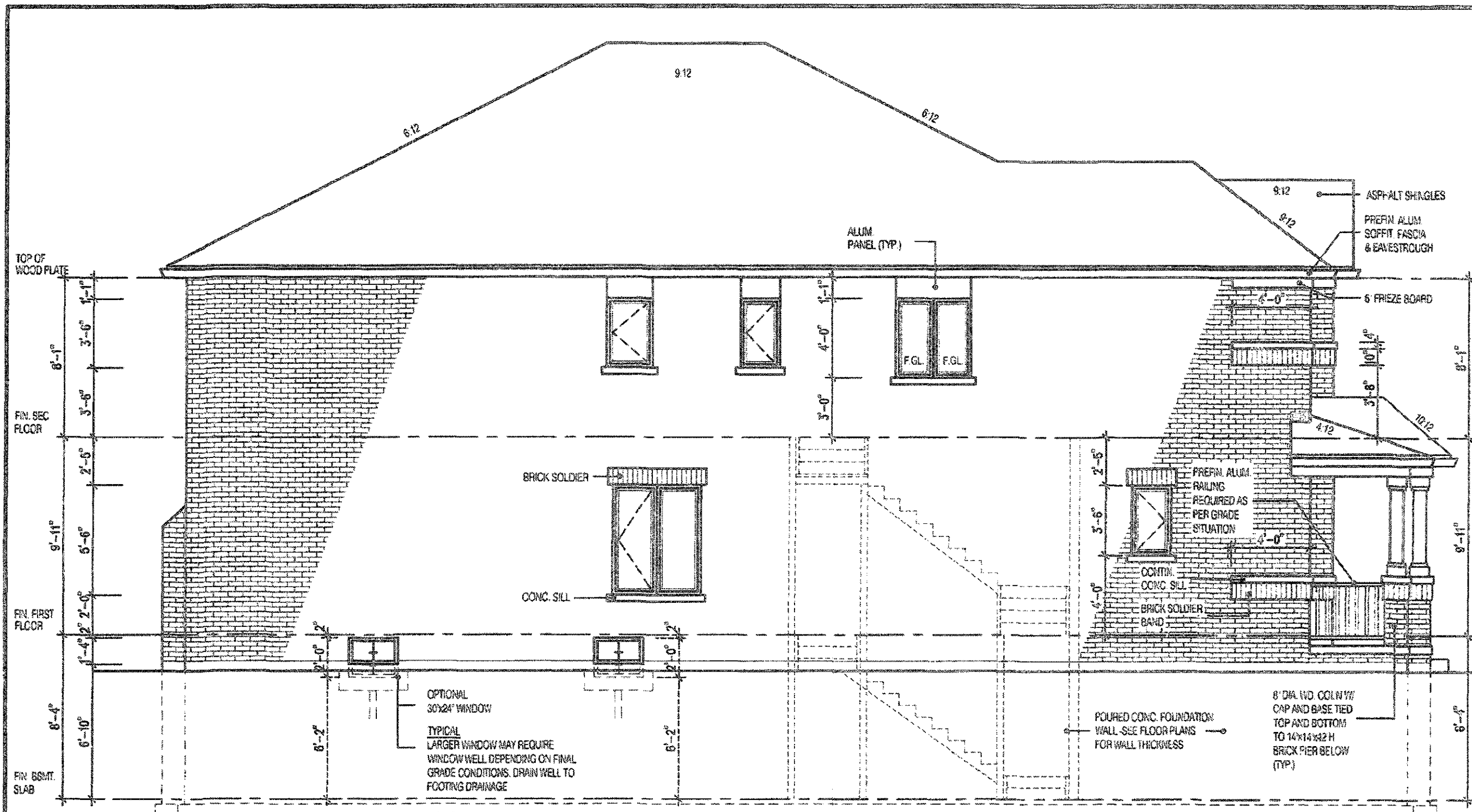
MAR 29 2018

It is the builder's canonical responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Arch. Act is not responsible in any way for examining or approving any (internal) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING
AND APPRAISAL
APPROVED BY: [Signature]
DATE: MAY 22, 2018
The City of Caledon hereby certifies that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2710	
11.0m LOTS	
BARTON 4 (GR)	
ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THE CUSTOMER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION OR ANY OTHER DRAWINGS OR FOR CONSTRUCTION ERRORS PRIOR TO THE SIGNATURE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE BUILDING DEPARTMENT BEFORE PROCEEDING WITH CONSTRUCTION. AS CONTRACTED, ARCHITECTS MUST BE VERIFIED PRIOR TO POLARIS REPORTING. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT DETAIL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUBSEQUENT TO OTHER CAUSES OF THE WORK IN ADDITION TO THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
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2	JAN. 17, 2018 ISSUED FOR BUILDING PERMIT
1	OCT. 16, 2018 COMPLETED PRECOORDINATION STAGE. ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required or as design is exempt under Division C, Subsection 3.2.5 of the Building Code.	
Walter Butler 21031 NAME SIGNATURE BCN	REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.
jardin design group inc. 27763 FIRM NAME BCN	
FRONT ELEVATION 2 LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
BILD	TYPE AREA T SCALE: 3/16" = 1'-0" PROJ. No. 08-18 Dwg. No. 4A



SIDE ELEVATION-1

UNPROTECTED OPENINGS

WALL AREA	1160
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDYARD)	81.2
ACTUAL GLASS AREA	52.6

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

UNPROTECTED OPENINGS WITH OPTIONAL 32"X24" WINDOWS

WALL AREA	1160
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDYARD)	81.2
ACTUAL GLASS AREA	55.5

2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUTURAL OR ENGINEERING INFORMATION OR INFORMATION PROVIDED BY OTHERS. THESE DRAWINGS OR FOR OTHERS' INSTRUCTIONS STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL VERIFY THE INFORMATION PROVIDED BY OTHERS.
AS CONSTRUCTED, DIMENSIONS MUST BE VERIFIED PRIOR TO FINISHING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBS. CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

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2	JAN. 17, 2010 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2010 COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.1 of the building code.

Walter Boffa 21091
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.1 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

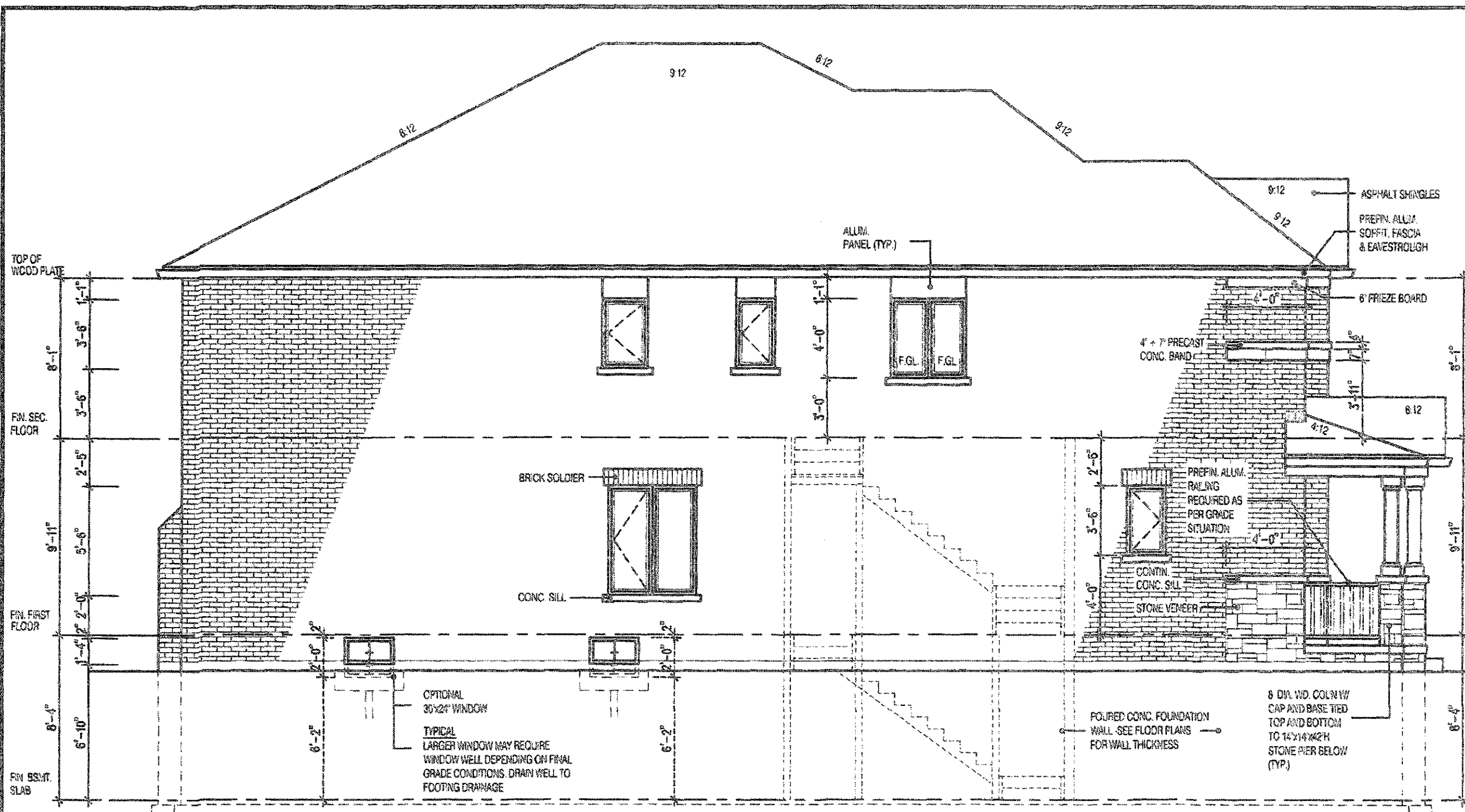
SIDE ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The General Architect is not responsible in any way for examining or approving site (loading) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL DESIGN, REVIEW
AND APPROVAL
DATE: 08/18/2010
PROJECT NO. 08-18
DRAWING NO. 5

TYPE AREA
T
SCALE: 3/16"=1'-0"
PROJ. NO. 08-18
DRAW. NO. 5



SIDE ELEVATION-2

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

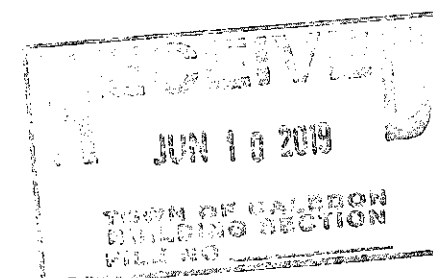
UNPROTECTED OPENINGS

WALL AREA	1160	⊕
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	81.2	⊕
ACTUAL GLASS AREA	52.6	⊕

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

**UNPROTECTED OPENINGS
WITH OPTIONAL 32\"X24\" WINDOWS**

WALL AREA	1160	⊕
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	81.2	⊕
ACTUAL GLASS AREA	55.5	⊕



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving the (redline) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

RYAN G. WILLIAMS P.E., ARCHITECT
ARCHITECTURAL DESIGN REVIEW
AND APPROVAL
DATE: MAY 28, 2019
PROJECT: 27763

2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND COORDINATE WITH ALL AGENCIES INVOLVED IN THE CONSTRUCTION OF THIS PROJECT. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUTURAL OR BUILDING INFORMATION SYSTEMS (BIM) DATA. THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, MEASUREMENTS MUST BE VERIFIED FROM TO POULING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR ITS SUBCONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED.

1 JUN 17 2019 ISSUED FOR BUILDING PERMIT
2 OCT 15 2019 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No.	DATE	WORK DESCRIPTION
1	OCT. 15, 2019	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
2	JUN. 17, 2019	ISSUED FOR BUILDING PERMIT

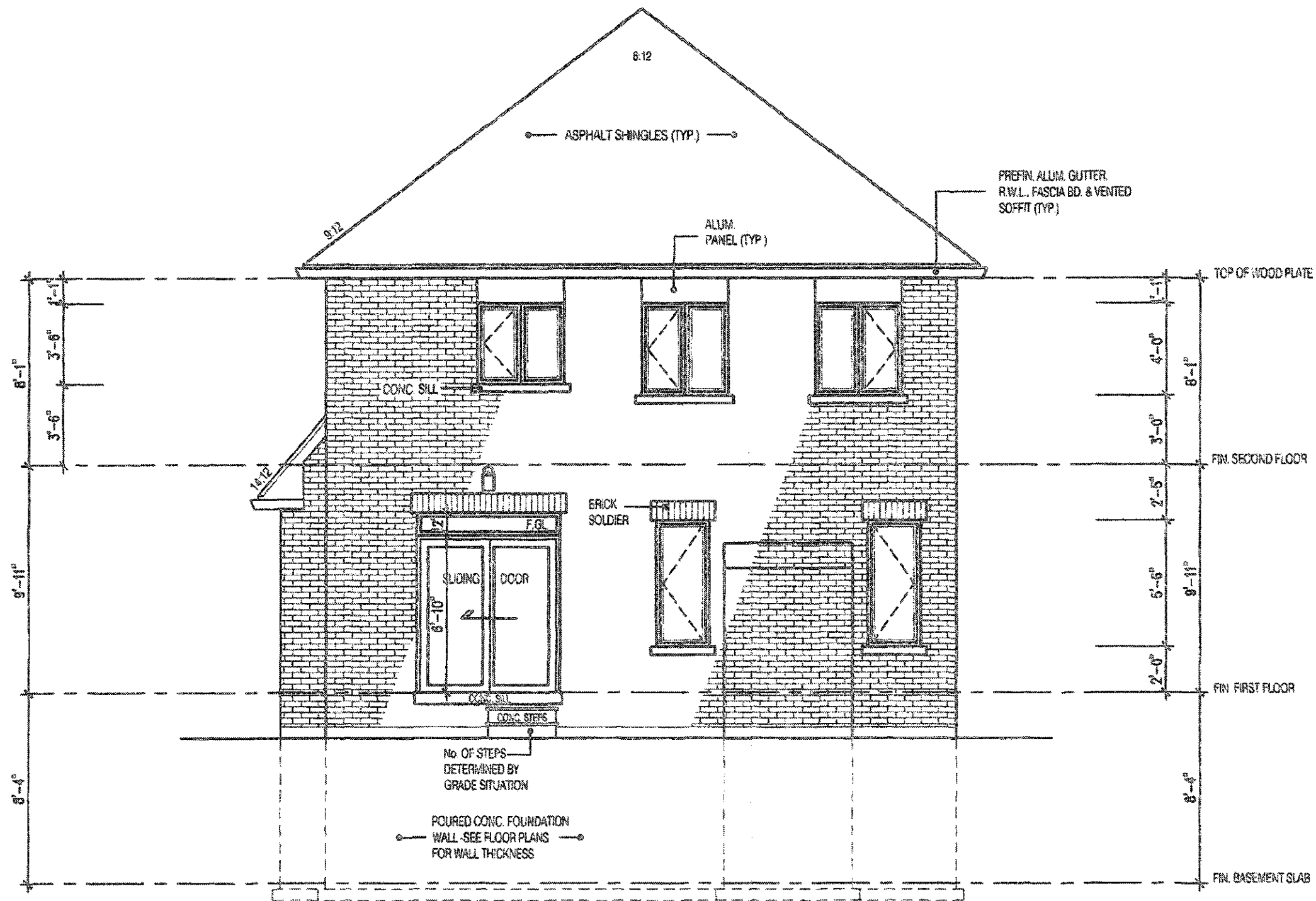
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.5 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

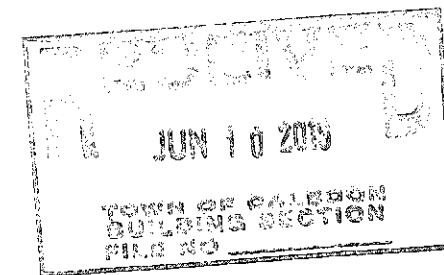
SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
TYPE T
SCALE 3/16"=1'-0"
PROJ. No. 08-18
DWG. No. 5A



REAR ELEVATION-1

THIS STRUCTURE MUST BE
DESIGNED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

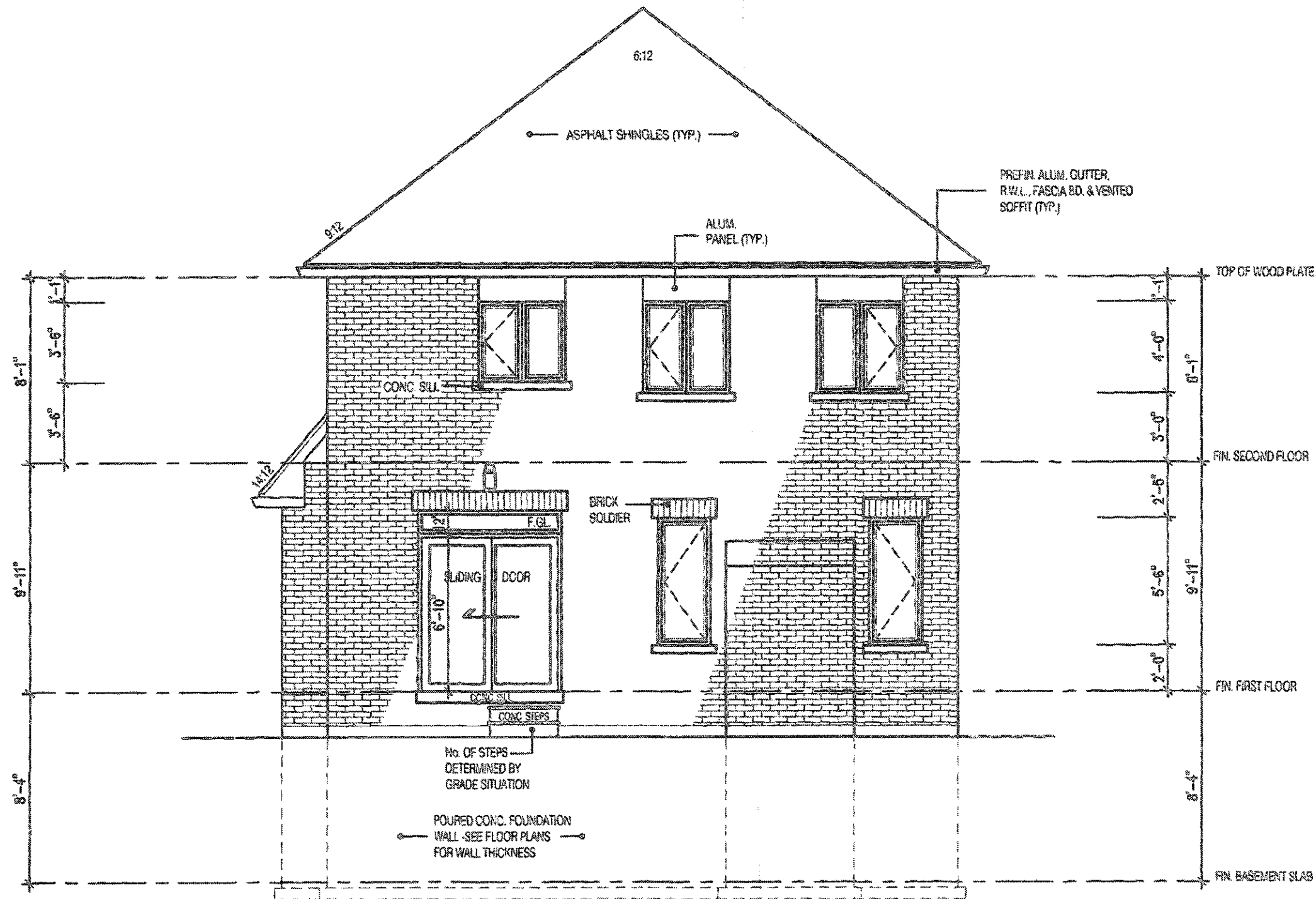


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (staking) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

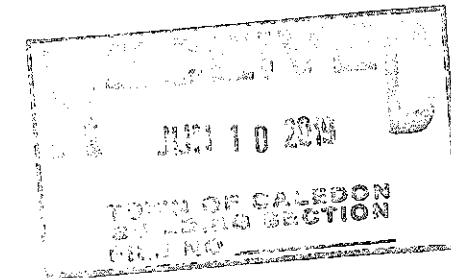
JOHN G. WILLIAMS LTD. ARCHITECTURAL CONSULTANTS
ARCHITECT
DATE: MAY 21, 2019
The client hereby certifies that the plans and drawings are for the construction of the building shown on the drawings and that the client is responsible for obtaining all necessary permits.

2710	
11.0m LOTS	
BARTON 4 (GR) ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO LAND DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. LAND DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, OR MECHANICAL INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION IN ACCORDANCE WITH THE INFORMATION HEREON. REFER TO THE APPROPRIATE ENGINEERING OR MECHANICAL DRAWINGS FOR CONSTRUCTION. NO CONSTRUCTION WORKS MUST BE PERFORMED PRIOR TO POURING FOOTINGS. LAND DESIGN GROUP INC. HAS NOT BEEN PREPARED TO OBTAIN OR GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR FOR THE CONSTRUCTION TO OBTAIN THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF LAND DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code. Walter Butler 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.6 of the Building Code. jardin design group inc. 27763 FIRM NAME BCIN	
REAR ELEVATION 1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE T	AREA
SCALE 3/16" = 1'-0"	
PROJ. No. 08-18	DWG. No. 6



REAR ELEVATION-2

THIS STRUCTURE MUST BE
BUILT ACCORDING TO THE
REQUIREMENTS OF
THE CANADIAN BUILDING CODE



2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN GROUP PRIOR TO THE BEGINNING OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, OR MECHANICAL INFORMATION SHOWN IN THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE EVIDENCE AND DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONTRACTED, INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ASSUMES ALL RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO OBTAIN THE NECESSARY PERMITS. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECONSTRUCTION STAGE, ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

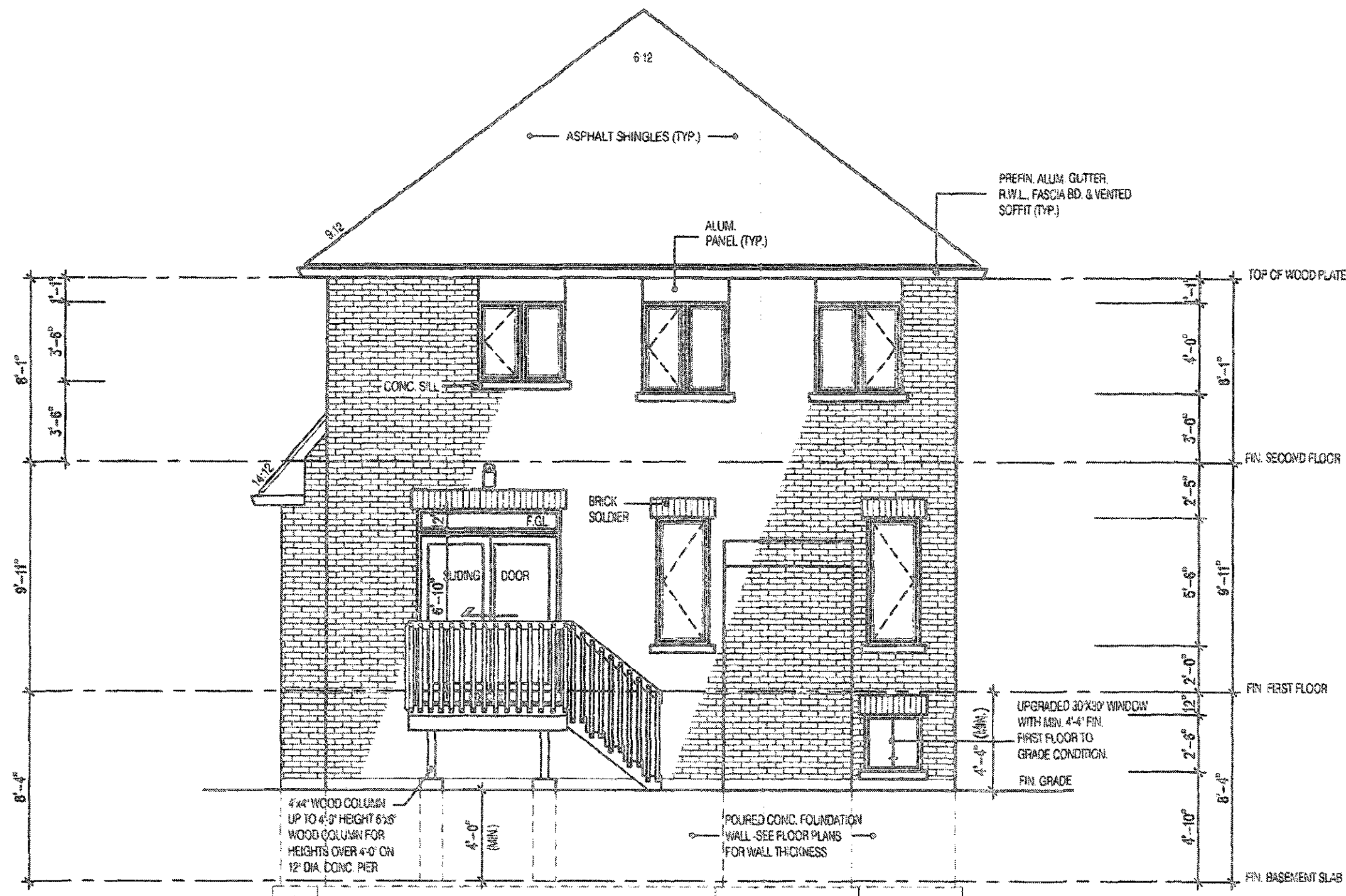
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.
NAME: **Walter Bortol** SIGNATURE: *Walter Bortol* 21037 BCN
REGISTRATION INFORMATION:
Required unless design is exempt under Division C, Subsection 3.2.6 of the Building Code.
jardin design group inc. 27763 BCN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site layout plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

FOR: G. WILFANG LTD. ARCHITECT
ARCHITECTURAL CONSULTANT
DESIGNED BY: *[Signature]*
DATE: **MAY 31, 2019**
The undersigned is a registered architect in the Province of Ontario and is duly qualified to prepare and certify these plans.

REAR ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON
TYPE: T AREA: —
SCALE: 3/16" = 1'-0"
PROJ. NO: 08-18 DRAW. NO: 6A



REAR ELEVATION 1 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE PROPOSED BUILDING CODE

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
existing drawings with respect to city zoning or
building code or zoning matter or that any
house can be properly built or located on its lot.

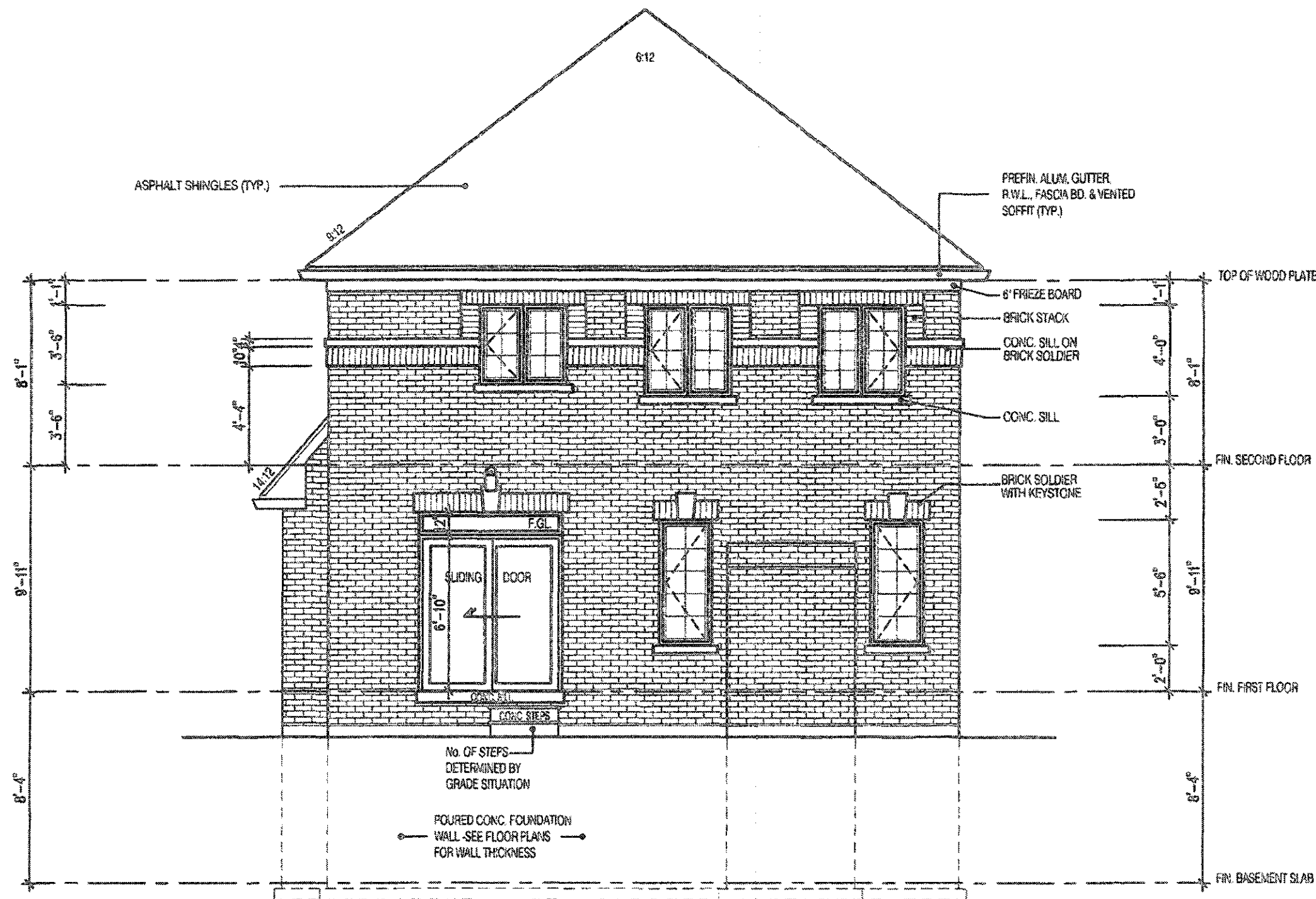
This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL:
APPROVED BY: *[Signature]*
DATE: MAY 21, 2019
This is a contract document and it is intended that
it shall be read in conjunction with the
contract documents.

2710	
11.0m LOTS	
BARTON 4 (GR)	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. SHALL REPRESENT FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SPECIALTIES FOR THE PROJECT. JARDIN DESIGN GROUP INC. SHALL BE RESPONSIBLE FOR THE DESIGN OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED HEIGHTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CUT OR GENERAL REVIEW OF THE WORK AND AS SUCH NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUBSEQUENT TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, AS PROVIDED BY AND OF THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT 15, 2018 COMPLETED TO RECOORDINATION STAGE. ISSUED TO CLIENT
No.	DATE WORK DESCRIPTION:
Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 1.2.3 of the building code. Walter Botter <i>[Signature]</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 1.2.4 of the building code. Jardin design group inc. 27763 FIRM NAME BCIN	
DECK CONDITION EL-1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
BILD TYPE T AREA --- SCALE 3/16" = 1'-0" PROJ. No. 08-18 DWG. No. 6-1	

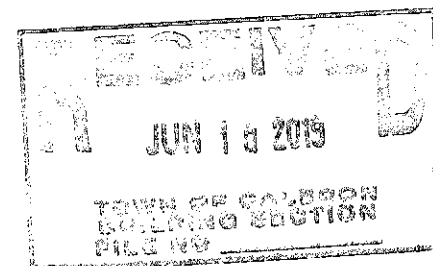
MAR 21 2019





**REAR ELEVATION-1
UPGRADE**

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. This Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 14, 2019

2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL IN THIS AND ALL CONDITIONS OF THE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION DEVIATIONS FROM THE LOCATION OF A BUILDING FOOTPRINT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, HEIGHTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS A COMMITMENT TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSURES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.3 of the building code.

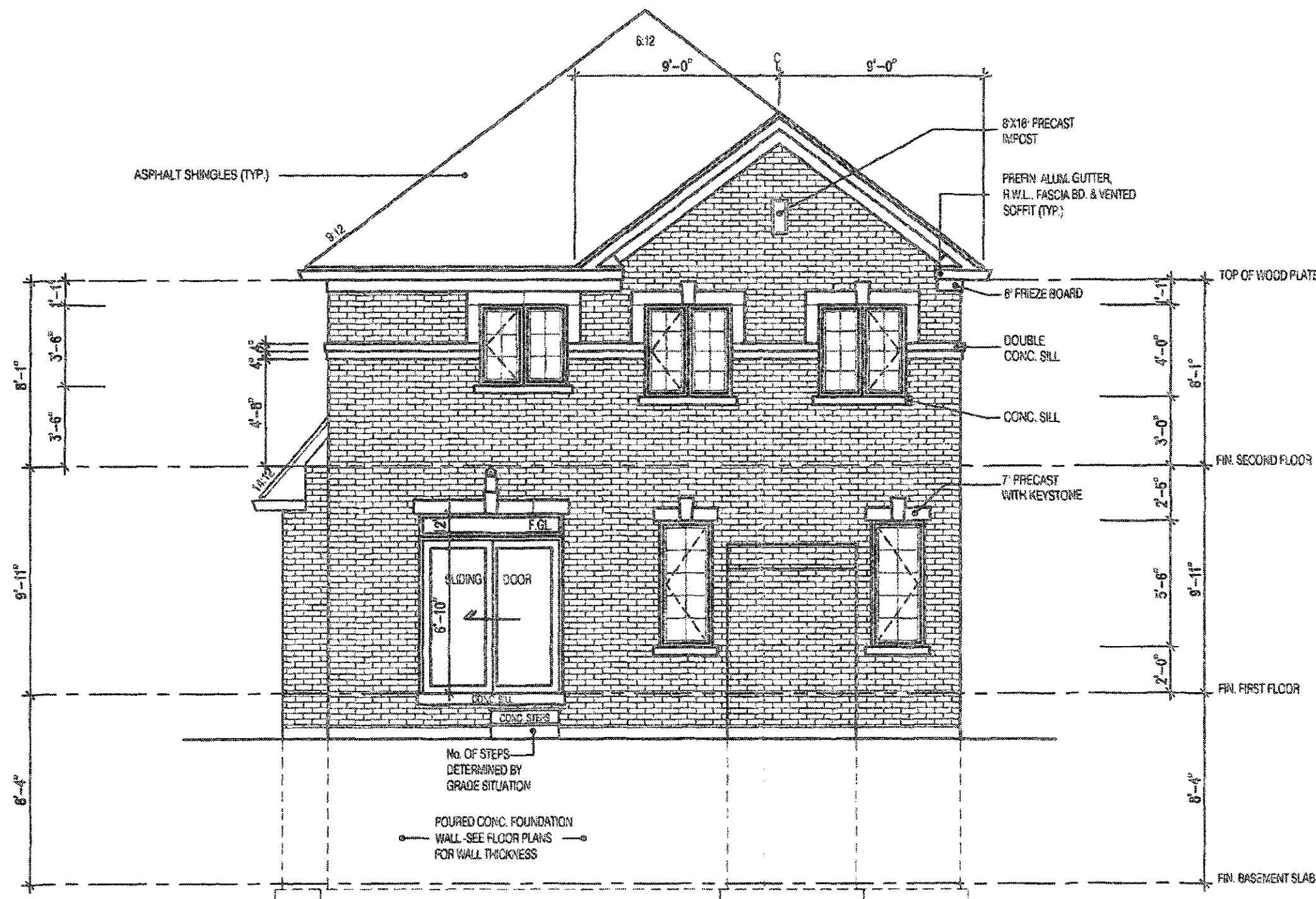
Walter Boller [Signature] 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
TYPE T AREA
SCALE: 3/16" = 1'-0"
PROJ. No. 08-18 DIV. No. 6-2



**REAR ELEVATION-2
UPGRADE**

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED ALL PROVISIONS OF
THE 2014 BUILDING CODE

2710

11.0m LOTS

**BARTON 4 (GR)
ELEVATION 2**

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR CIVIL ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Botter 21031
NAME SIGNATURE
jardin design group inc. 27763
FIRM NAME BCIN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

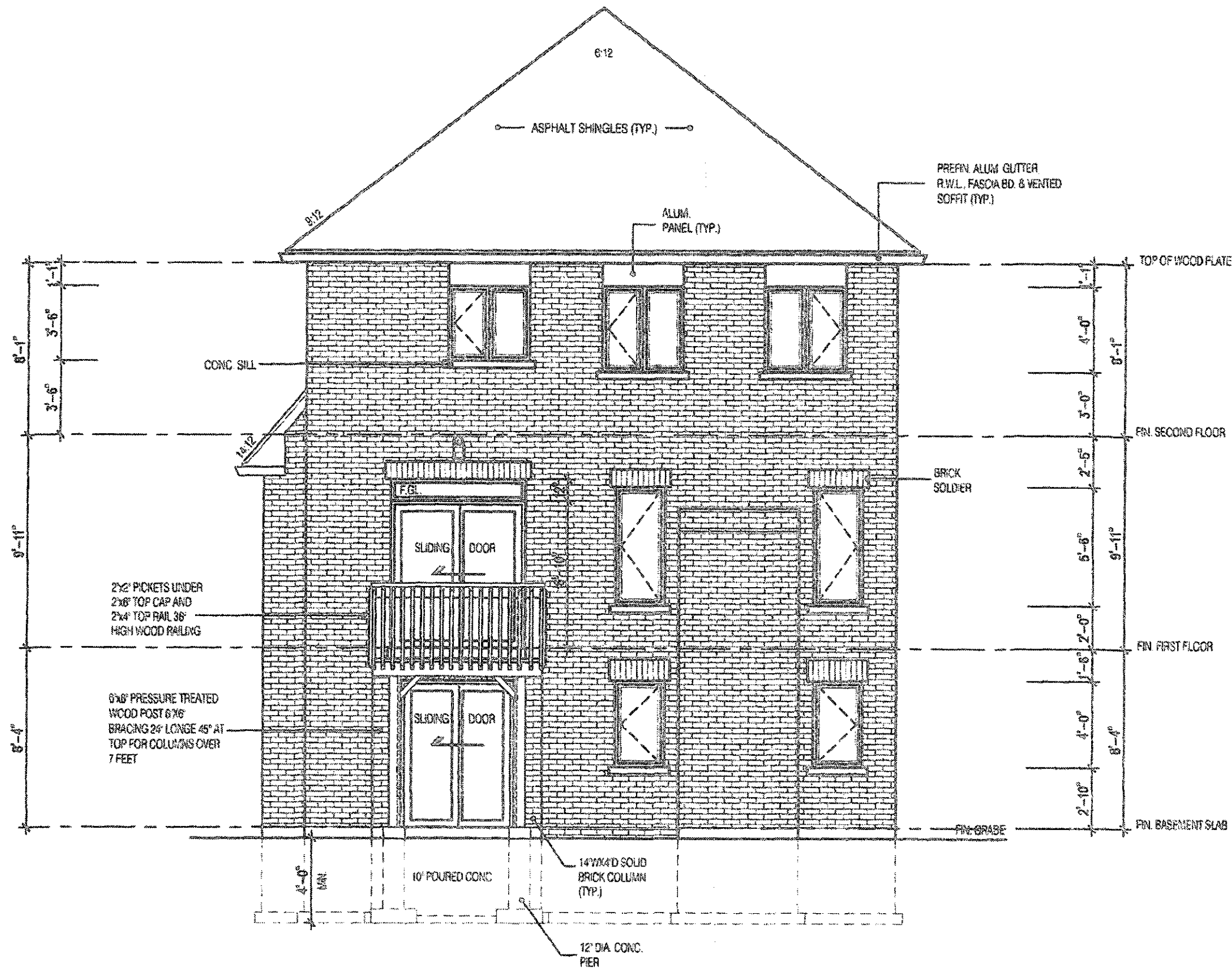
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN D. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
DATE: 11.1.2019
BY: [Signature]
This is a controlled document. It is not to be used for any other purpose without the written consent of the Architect.

**REAR ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON**

BILD
TYPE T AREA
SCALE: 3/16" = 1'-0"
PROJ. No. 08-18 DWG. No. 6A-2





REAR ELEVATION 2 FOR WALK-OUT / DECK CONDITON

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7-1 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

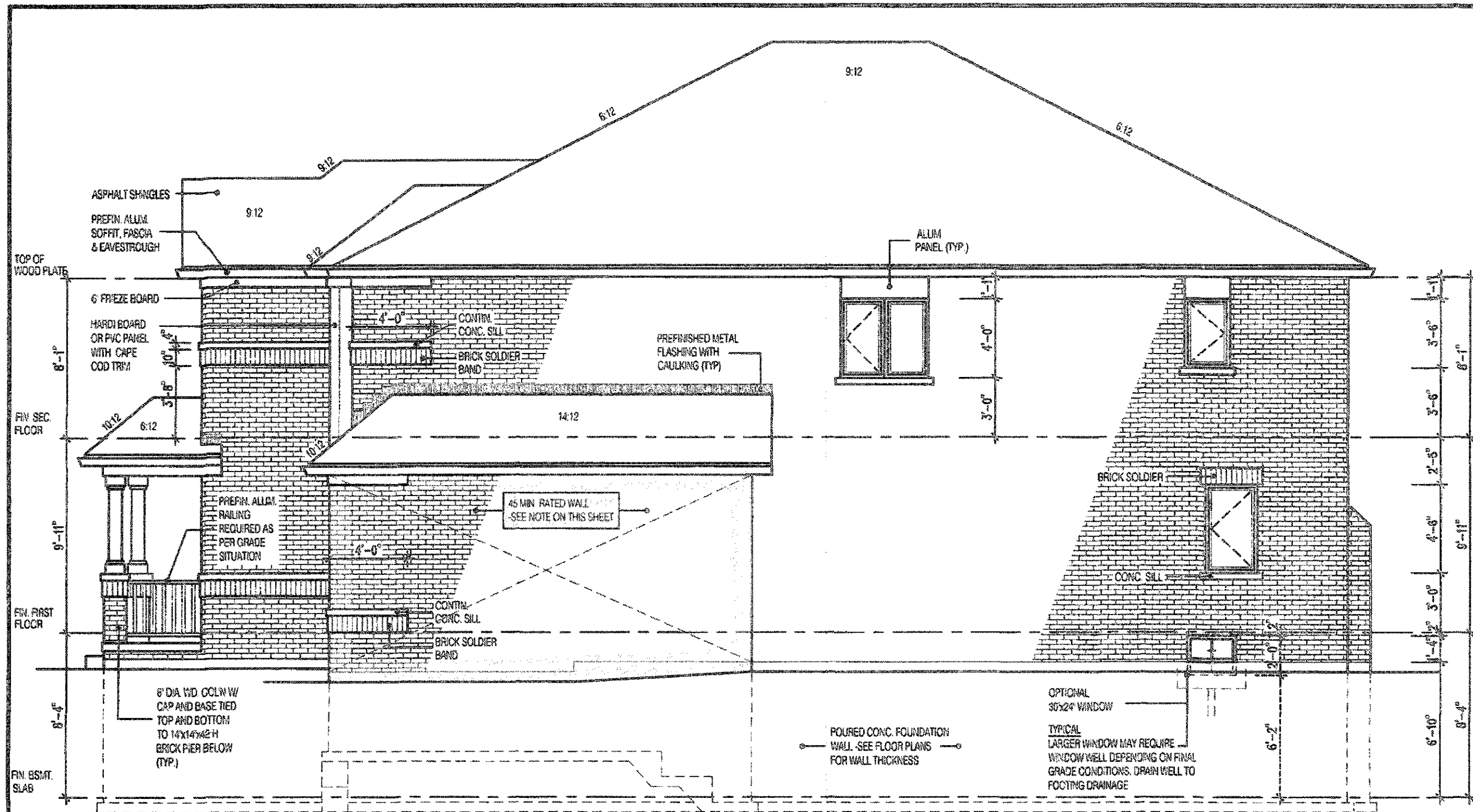
MAR 21 2019

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
overseeing or approving site (utility) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILHELMUS, P.E., ARCHITECT
AND ARCHITECTURAL CONSULTANT
AND APPROVAL
APPROVED BY
DATE MAY 15, 2019
This document is the property of the Architect and is to be used only for the project and site identified on the title block.

2710	
11.0m LOTS	
BARTON 4 (GR) ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COLORS ON THE EXISTING STRUCTURE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN GROUP PRIOR TO COMMENCEMENT OF WORK. UNION DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ENDORSED HEREIN UNLESS OTHERWISE SPECIFIED IN WRITING. THE DESIGN GROUP IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR OR SUB-CONTRACTOR TO THE APPROPRIATE AUTHORITIES. THE DESIGN GROUP SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR OR SUB-CONTRACTOR TO THE APPROPRIATE AUTHORITIES. UNION DESIGN GROUP INC. HAS NOT BEEN APPROVED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND IS PROVIDED BY AND IS THE PROPERTY OF UNION DESIGN GROUP INC. THIS DOCUMENT IS NOT TO BE REPRODUCED.	
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2	JAN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT
NO:	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code. Water Boiler UBE 21031 NAME SIGNATURE BCN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. jardin design group inc. 27763 FIRM NAME BCN	
WALK-OUT / DECK CONDITION EL-2	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
TYPE T	AREA
SCALE 3/16"=1'-0"	
PROJ. No. 08-18	DWG No. 6A-3



SIDE ELEVATION-1

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

UNPROTECTED OPENINGS

WALL AREA	1170	φ
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDYARD)	81.9	φ
ACTUAL GLASS AREA	32.3	φ

UNPROTECTED OPENINGS WITH OPTIONAL 32"X24" WINDOWS

WALL AREA	1170	φ
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDYARD)	81.9	φ
ACTUAL GLASS AREA	33.7	φ

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPERED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 80% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.8mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for overlooking or approving any (noting) plans or working drawings with respect to any zoning or building code or permit violation or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL DESIGN, REVIEW AND APPROVAL
DATE: 08-18-18
The undersigned has reviewed and approved the Architectural Design Guidelines and the plans for the proposed development.

2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP AND PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR OTHER TECHNICAL INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF A FIELDING PERMIT. REFER TO THE APPROPRIATE FIELDING PERMIT BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUBSEQUENT TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN ABSTRACT OF EVIDENCE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

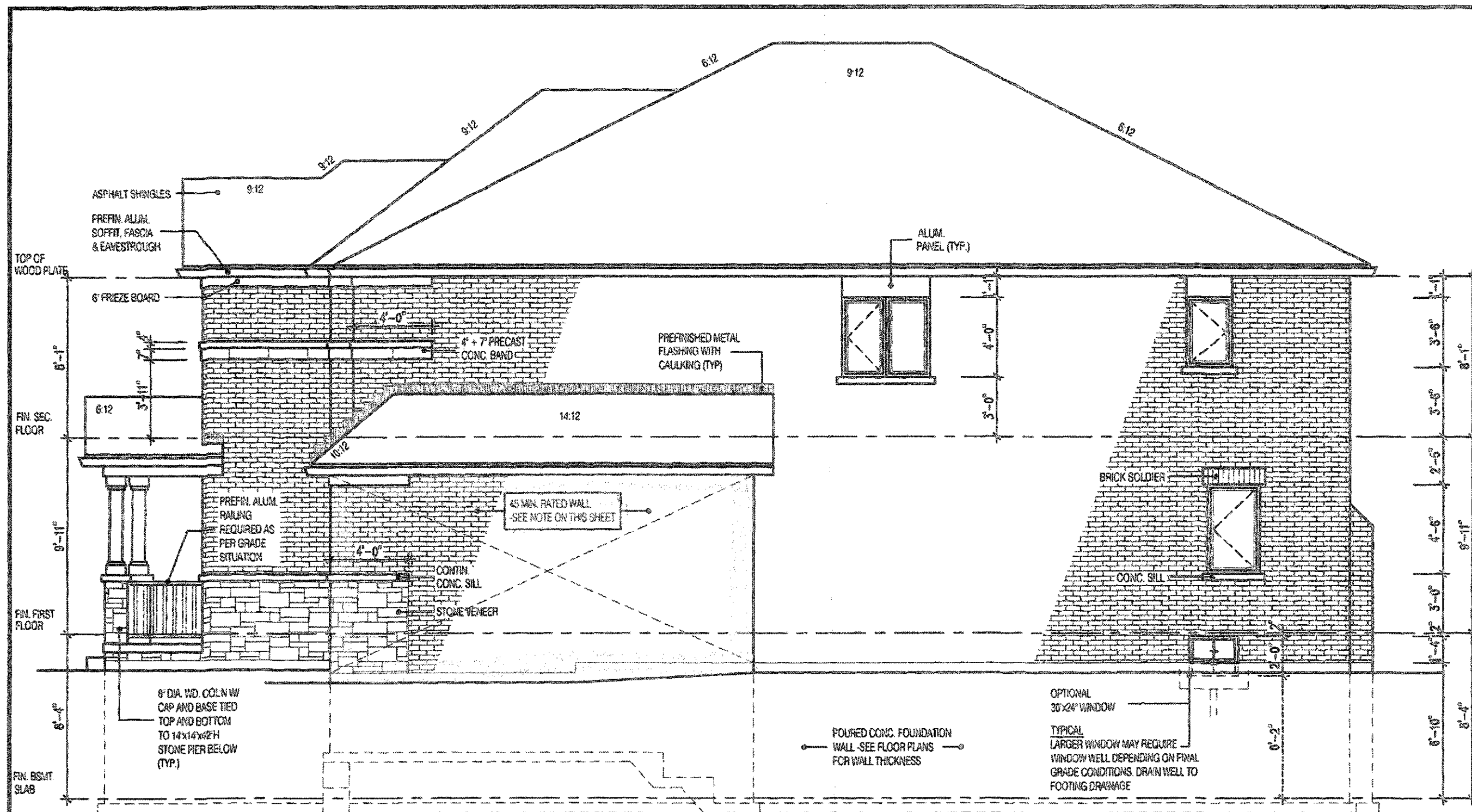
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the Building Code.

Walter Botter 21031
NAME SIGNATURE BCN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code
jardin design group inc. 27763
FIRM NAME BCN

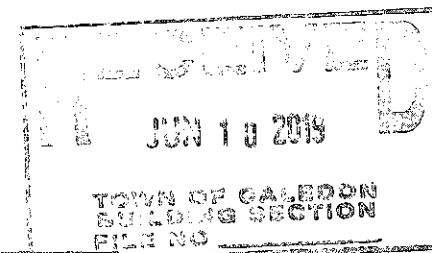
SIDE ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	---
SCALE	3/16" = 1'-0"
PROJ. No	08-18
DWG. No.	7



SIDE ELEVATION-2

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING.



UNPROTECTED OPENINGS

WALL AREA	1170
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	81.9
ACTUAL GLASS AREA	32.3

UNPROTECTED OPENINGS WITH OPTIONAL 32\"X24\" WINDOWS

WALL AREA	1170
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	81.9
ACTUAL GLASS AREA	33.7

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11\") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2\") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11\") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8\") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provision in the subdivision agreement. The Control Architect is not responsible in any way for (examining or approving site (posting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

Walter Boffa 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.4 of the building code
jardin design group inc. 27763
FIRM NAME BCN

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING, DESIGN AND APPROVAL
DATE MAY 21, 2019
The seal of the architect is required for all plans submitted for approval.

2710
11.0m LOTS
BARTON 4 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO LAND DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SUFFICIENCY OF EXISTING RECORD INFORMATION OR THESE DIMENSIONS FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEER'S DRAWINGS BEFORE PROCEEDING WITH WORK.

AS COMPLETED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN A FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR ITS CONSEQUENCES TO OBTAIN THE WORK IN ACCORDANCE WITH THE DESIGN DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECONSTRUCTION STAGE, ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.5 of the building code

Walter Boffa 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.4 of the building code
jardin design group inc. 27763
FIRM NAME BCN

SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	---
SCALE:	3/16\"=1'-0\"
PROJ. No	DWG. No
08-18	7A

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE MINIMUM BUILDING CODE

2710

11.0m LOTS

BARTON 4 (GR)
ELEVATION 1

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK FOR ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION PROVIDED ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. IT IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT TO PROVIDE THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, MEMBERS MUST BE VERIFIED PRIOR TO FILING PROFILES.

JARDIN DESIGN GROUP INC. HAS NOT BEEN ASKED TO CHECK OR CORRECT ANY OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CHECK OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

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2	JUN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Ontario C. Subsection 12.5 of the Building Code.

Walter Botter *WBE* 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Ontario C. Subsection 12.5 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	T	AREA	—
SCALE	3/16" = 1'-0"		
PROJ. No.	08-18	DWG. No.	8

THIS SIDE INDICATES
TALL WALL CONDITION

BOTTOM PLATE

STAIR BEYOND

3 PLY - 9 1/2" LVL FLUSH

TOP PLATE

B TALL WALL FRAMING

N.T.S.

STRUDET INC.



FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED ALL REQUIREMENTS OF
THE ONTARIO BUILDING CODE

SECTION A-A
ELEVATION 1

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Code and all applicable regulations and provisions including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

