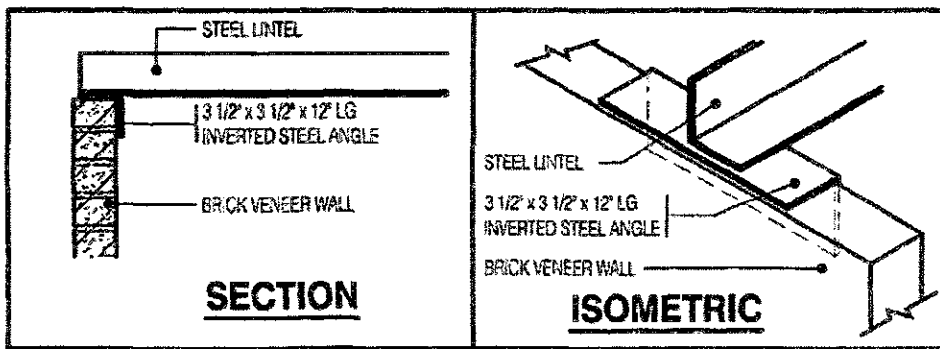




INVERTED STEEL ANGLE DETAIL

Scale: 3/4" = 1'-0"

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION
REVIEWED BY *JS SNEEL*
DATE *JULY 25/19*
FILE # *HORIZON 3E - ELEV. 1 & 2*

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

NOTE: OPT. CONC. DECK.
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2-2" x 6" SPR.
WL2 = 4" x 3 1/2" x 5/16" (100x90x6) + 2-2" x 8" SPR.
WL3 = 5" x 3 1/2" x 5/16" (125x90x6) + 2-2" x 10" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2-2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2-2" x 12" SPR.
WL6 = 5" x 3 1/2" x 5/16" (125x90x6) + 2-2" x 12" SPR.
WL7 = 5" x 3 1/2" x 5/16" (125x90x6) + 3-2" x 10" SPR.
WL8 = 5" x 3 1/2" x 5/16" (125x90x6) + 3-2" x 12" SPR.
WL9 = 6" x 4" x 3/8" (150x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM
WB6 = 3-2" x 12" SPRUCE BEAM
WB7 = 5-2" x 12" SPRUCE BEAM
WB10 = 4-2" x 8" SPRUCE BEAM
WB11 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 6)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 6)
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

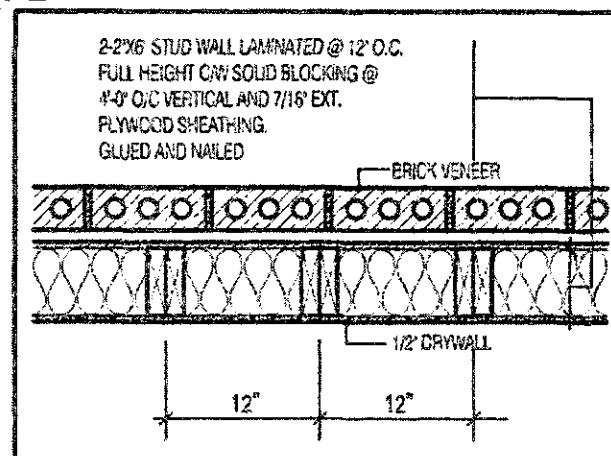
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-6" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-6" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
4 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10 = 2'-2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
11 = 2'-2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE
FOR ALL MANDATORY INSPECTIONS. REFER TO
ATTACHED BUILDING PERMIT FOR DETAILS

A COMPLETE SET OF REVIEWED DRAWINGS &
SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME
DURING CONSTRUCTION AS PER O.B.C.



FULL HEIGHT WALL DETAIL 1

WITH BRICK VENEER N.T.S.

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN

HORIZON 3E ELEV.-1 & 2		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	431.00	85.00	19.72 %
LEFT SIDE	884.00	0.00	0.00 %
RIGHT SIDE	884.00	41.00	4.64 %
REAR	415.00	111.00	26.75 %
TOTAL	2614.00	237.00	9.07 %

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

APPLICANT COPY

FEB 06 2019

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HVAC MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR ® HVAC TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TDS42
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.19 NLR) ATTACHED LEVEL 1 (3.5 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

AREA CALCULATIONS EL-1 & 2	
GROUND FLOOR AREA	= 890 Sq. Ft.
SECOND FLOOR AREA	= 882 Sq. Ft.
TOTAL FLOOR AREA	= 1772 Sq. Ft.
ADD OPEN AREAS	= 8 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 1780 Sq. Ft.
GROUND FLOOR COVERAGE	= 890 Sq. Ft.
GARAGE COVERAGE / AREA	= 412 Sq. Ft.
PORCH COVERAGE / AREA	= 138 Sq. Ft.
COVERAGE W/ PORCH	= 1440 Sq. Ft.
	= 133.75q m
COVERAGE W/O PORCH	= 1302 Sq. Ft.
	= 120.9 Sq. m.

STRUDET INC.



FOR STRUCTURE ONLY



ESCC MODEL

ENERGY STAR - V 17

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JUN 05 2019

18-18 0

1780
TOWNHOUSE
HORIZON 3E
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED EVENTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7	
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2	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECONDO VALES 17-41
No.	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the Building Code.

Walter Botter 27031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL ---
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 0

PAD FOOTING 120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS FOR HORIZONS

REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

120 KPa NATIVE SOIL

- 20"x6" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED.)
24"x8" CONCRETE STRIP FOOTINGS (WITH REINF.) BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS - WITH REINF., AS NOTED ON PLANS
32"x8" CONCRETE STRIP FTGS BELOW EXT. WALLS - WITH REINF. (UNLESS OTHERWISE NOTED.)
32"x8" CONCRETE STRIP FOOTINGS - WITH REINF., BELOW PARTY WALLS

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.
(REFER TO ENG. FILL FOOTING DETAIL)

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

NOTE:

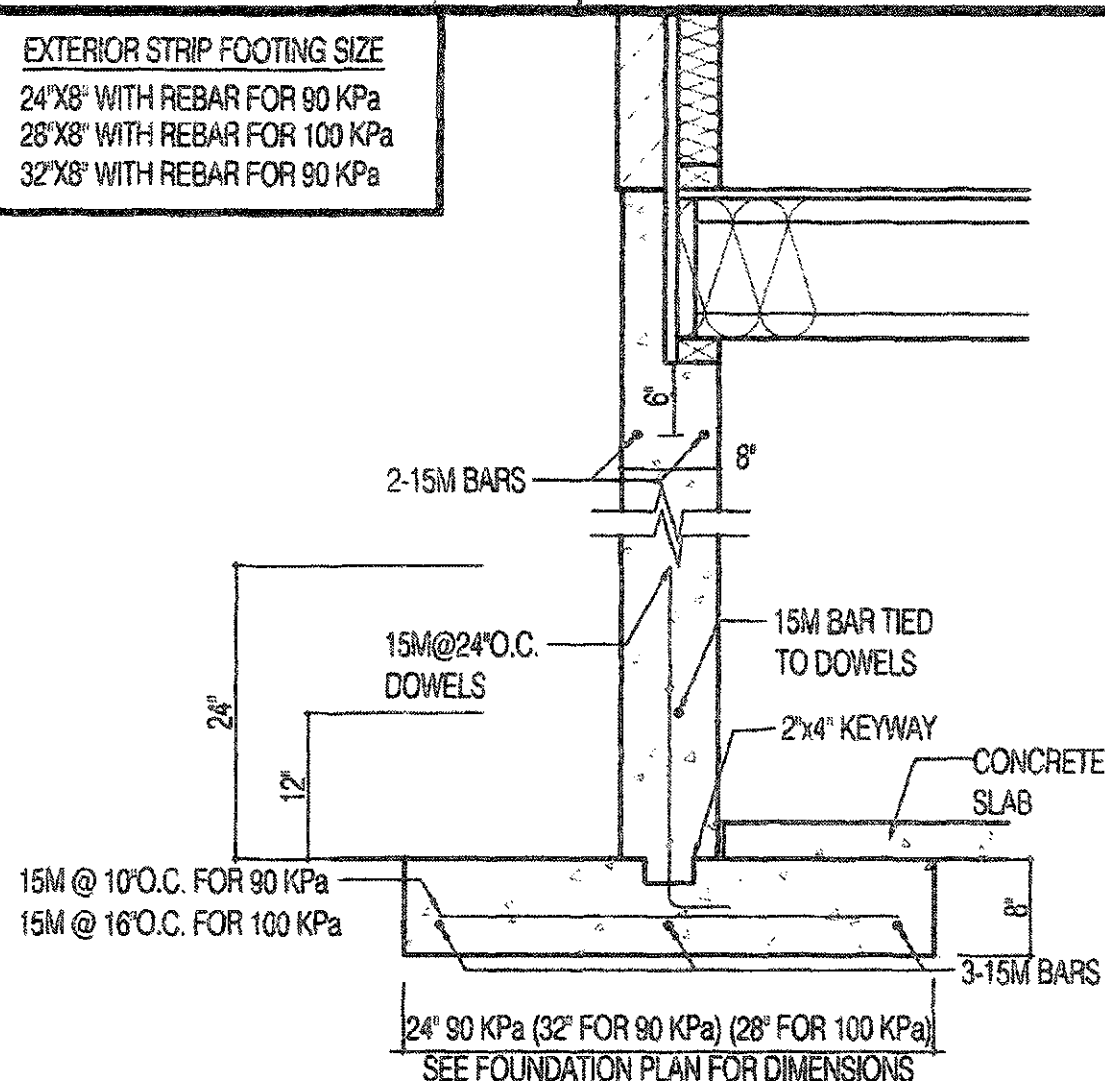
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

RECEIVED
JUL 18 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

EXTERIOR STRIP FOOTING SIZE

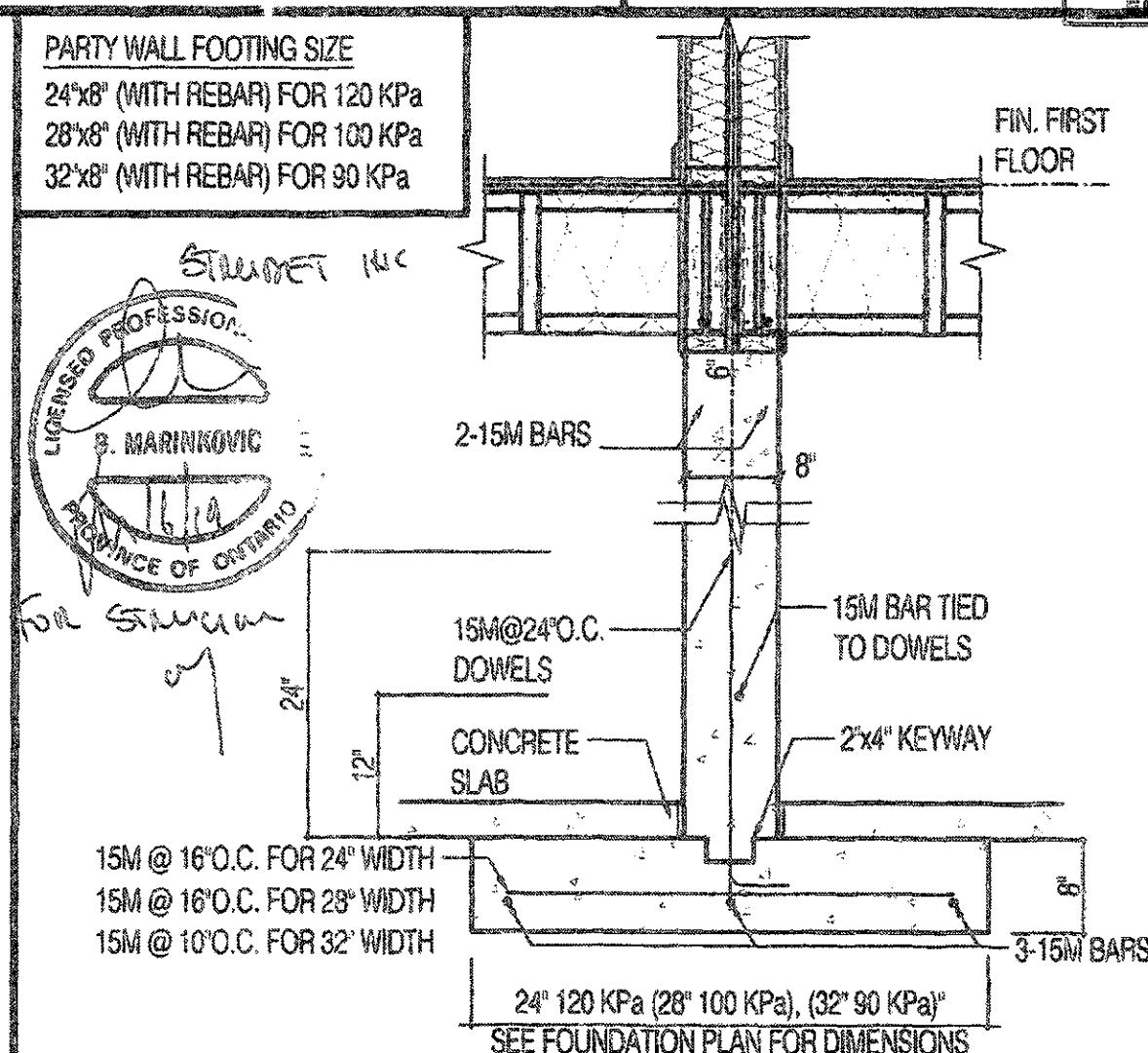
- 24"x8" WITH REBAR FOR 90 KPa
28"x8" WITH REBAR FOR 100 KPa
32"x8" WITH REBAR FOR 90 KPa



EXTERIOR STRIP FOOTINGS

PARTY WALL FOOTING SIZE

- 24"x8" (WITH REBAR) FOR 120 KPa
28"x8" (WITH REBAR) FOR 100 KPa
32"x8" (WITH REBAR) FOR 90 KPa



PARTY WALL FOOTINGS

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

JUL 16 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for overlooking or approving any (footing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1780

TOWNHOUSE

**HORIZON 3E
ELEVATION 1 & 2**

ENERGY STAR

O.REG. 332/12

THE ONTARIO BUILDING CODE

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPLICABLE BUILDING CODES AND REGULATIONS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, ALL PARTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN A PROFESSIONAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

7	
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1	JULY 11, 2019 ADDED FOOTING SIZE PAGE TO DRAWING SET
No.	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION VERIFICATION
Required unless design is exempt from Section C, Subsection 2.3 of the Building Code.

Walter B... 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.3.4 of the Building Code.
jardin design group inc. 27763
FIRM NAME BCIN

FOOTING SIZES/DETAILS

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 0-1

1780
TOWNHOUSE
HORIZON 3E
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SITE DATA OR EXISTING CONDITIONS SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED BEFORE THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS FOR THE PROPOSED WORK.

AS CONDITIONS CHANGING MUST BE REPORTED PRIOR TO ANY FOOTING.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE DRAWINGS AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IT IS PREPARED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

7
6
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3 JUL 11 2019 REVISED PER CITY COMMENTS
2 DEC 13 2018 ISSUED FOR BUILDING PERMIT
1 JUL 24 2018 CAME FROM SECOND DRAWS

No. DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

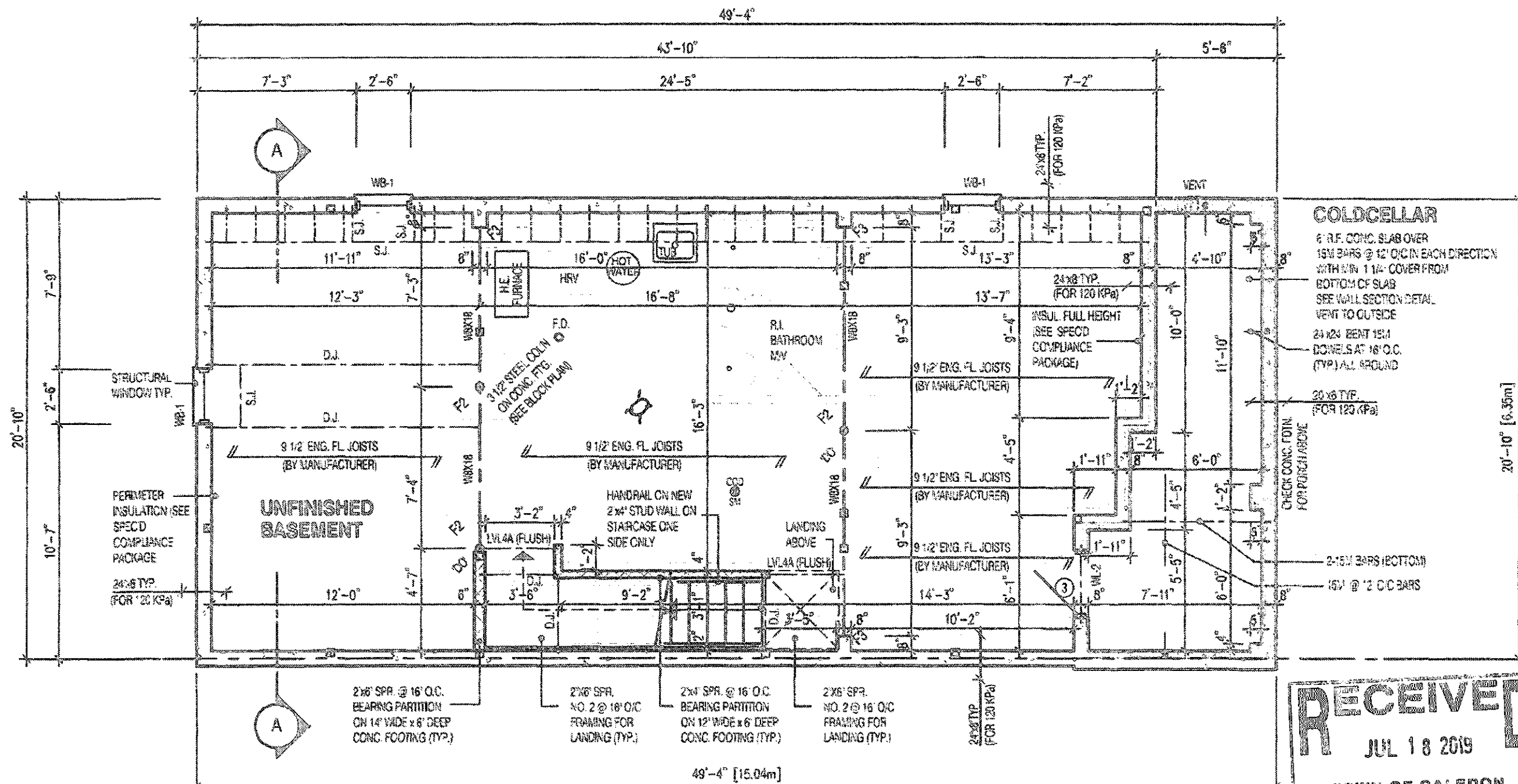
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is completed by Robert C. Subramanian
3.2.5 of the Code

Walter Zotto: 27031
NAME SIGNATURE BOY
REGISTRATION INFORMATION
Licensed unless design is completed by Robert C. Subramanian
3.2.5 of the Code
jardin design group inc. 27743
FIRM NAME BOY

BSMT. PLAN EL-1 & 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJECT 18-18
DRAWING 1



RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUL 16 2019

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

NOTE: REFER TO SHEET NO. 4-1 FOR LINTEL, BEAMS AND DOOR SIZE NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 3'-7". 2 ROWS FOR SPANS GREATER THAN 7' NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER	NOTE: SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: - BUILDING FACE < THAN 4'0" (1.2m) (45 MIN. FIRE RATING REQD) - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE - STL. PLATE FOR STEEL COL IN ABOVE LAMINATED VENEER LUMBER - S.J. SINGLE JOIST - D.J. DOUBLE JOIST - T.J. TRIPLE JOIST - REPEAT NOTE - SHOWER WEEPS
--	---	--

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for obtaining or approving a building permit or for working drawings with respect to any zoning or building code or permit matter or that any house can be properly called or located on lot.

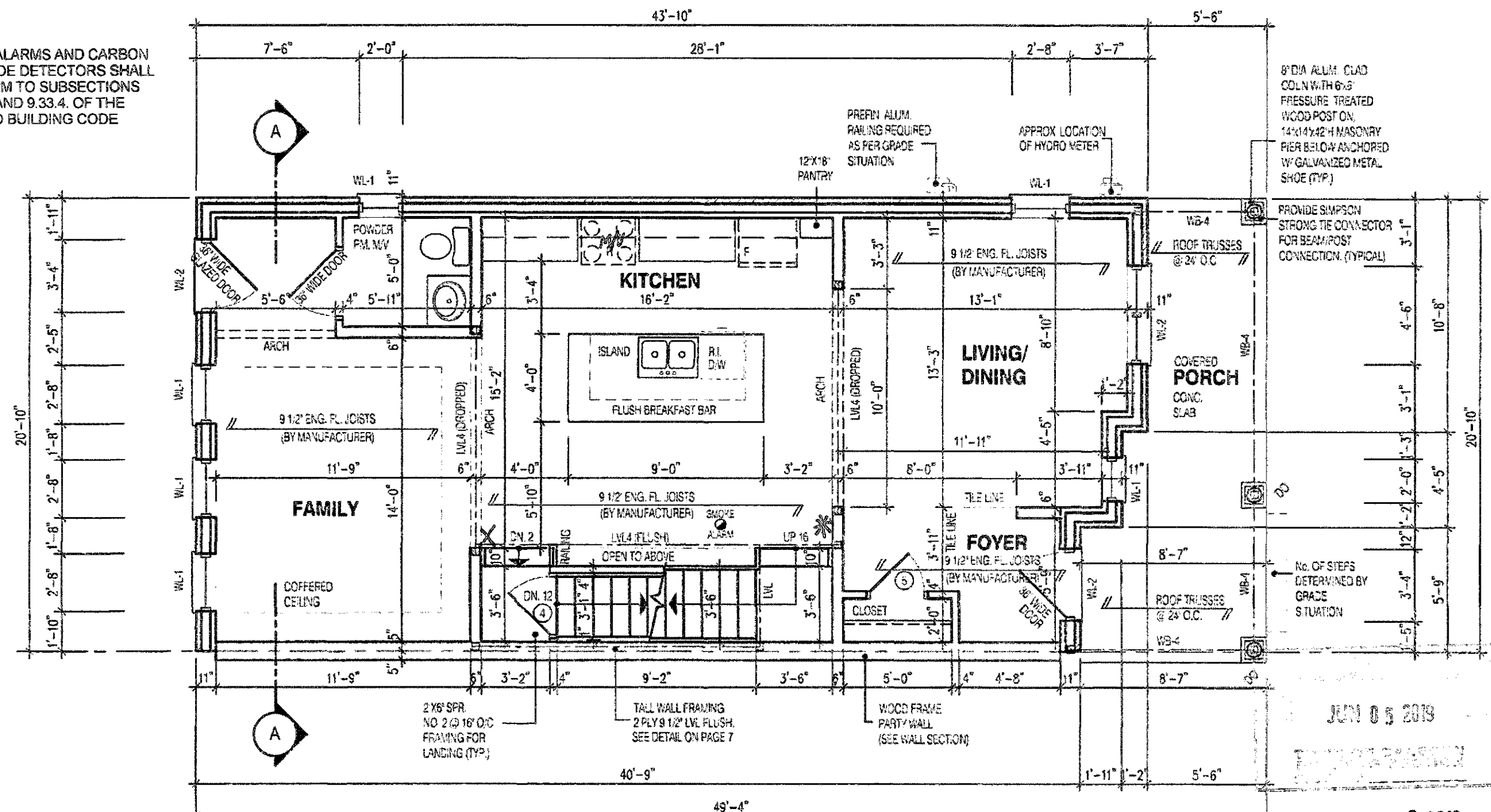
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: JUL 16 2019
BY: [Signature]

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BLOCK PLAN DRAWINGS.

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE



ELEV-1 TH 96-5
ELEV-2 TH 95-1

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

* - 3-WAY SWITCH CONTROLLING LIGHT OVER STAIRS
X - 1-WAY SWITCH MINIMUM CONTROLLING LIGHT OVER BASEMENT STAIRS

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7'. 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1780
TOWNHOUSE
HORIZON 3E
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SUPPLY, STRUCTURAL OR FINISHING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE RECEIPT OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

NO CONSTRUCTION INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR'S SUBS CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2016 CAME FROM SECOND DRAWS 17-51
NO	DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division E, 5.5 subsection 3.2.5 of the Building Code.

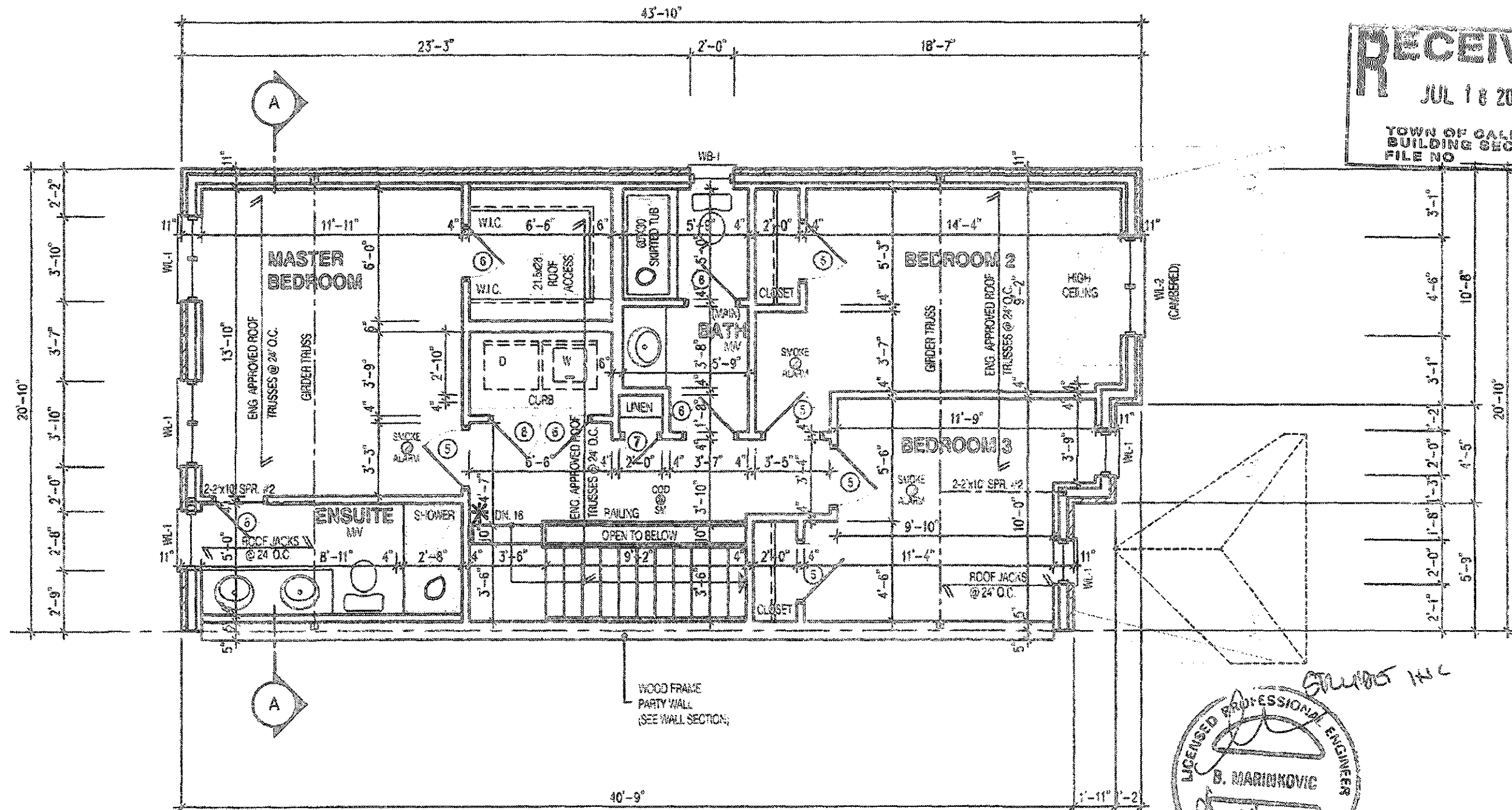
Walter Batten *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FL. PLAN EL-1 & 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL	----
SCALE	3/16"=1'-0"
PROJ. NO.	18-18
DWG. NO.	2



RECEIVED
JUL 16 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

1780
TOWNHOUSE
HORIZON 3E
ELEVATION 1 & 2
ENERGY STAR
O/REG. 332/12

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF BUILDING INFORMATION SYSTEM (BIM) DATA OR INFORMATION PROVIDED BY OTHERS. THESE DRAWINGS ARE FOR CONSTRUCTION PURPOSES ONLY. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. JARDIN DESIGN GROUP INC. SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND DOES NOT ACCEPT ANY LIABILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY JARDIN DESIGN GROUP INC. TO THE CLIENT. IT IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

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3	JULY 11, 2019 REVISED PER CITY COMMENTS
2	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECOND DRAWS
	17-41
No.	DATE WORK DESCRIPTION

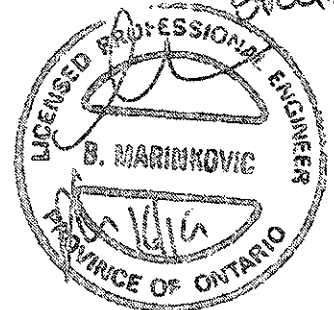
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION:
Required unless design is done by a Licensed Professional Engineer or Architect.

Walter Botten
NAME SIGNATURE
REGISTRATION INFORMATION:
Required unless design is done by a Licensed Professional Engineer or Architect.
jardin design group inc. 27763
PROFESSIONAL ENGINEER

SEC. FL. PLAN EL-1 & 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
18-18 3



FOR STAMP

- LEGEND:**
- BUILDING FACE < 10' (3.05m) (45 MIN. FIRE RATING REQ.)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL. ABOVE LAMINATED VENEER CLIMBER
 - SJ SINGLE JOIST
 - DL DOUBLE JOIST
 - TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER KEEPER

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BLOCK PLAN DRAWINGS.

ELEV-1
TH 96-5
ELEV-2
TH 95-1

O- WATERPROOF WALL FINISH
AS PER OBC DIV. B. 9.29.2.1.

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

2007
TOWNHOUSE
HORIZON 3E
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND FOUNDATION PRIOR TO COMMENCEMENT OF WORK.
 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION OBTAINED FROM THESE DRAWINGS OR FOR CONSTRUCTION ERRORS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE TOWN OF CALEDON BUILDING DEPARTMENT FOR FURTHER INFORMATION.
 AS CONSTRUCTION UNWARRANTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OBTAINED FROM THESE DRAWINGS.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OBTAINED FROM THESE DRAWINGS OR FOR CONSTRUCTION ERRORS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE TOWN OF CALEDON BUILDING DEPARTMENT FOR FURTHER INFORMATION.
 AS CONSTRUCTION UNWARRANTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OBTAINED FROM THESE DRAWINGS.

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3	JUNE 20, 2018	ADDED SHEET TO SET ISSUED FOR BUILDING PERMIT
2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECONDO VALES 17-41

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the code.

Walter Bollen *Walter Bollen* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Jardin design group inc. 27763
 FIRM NAME BCIN

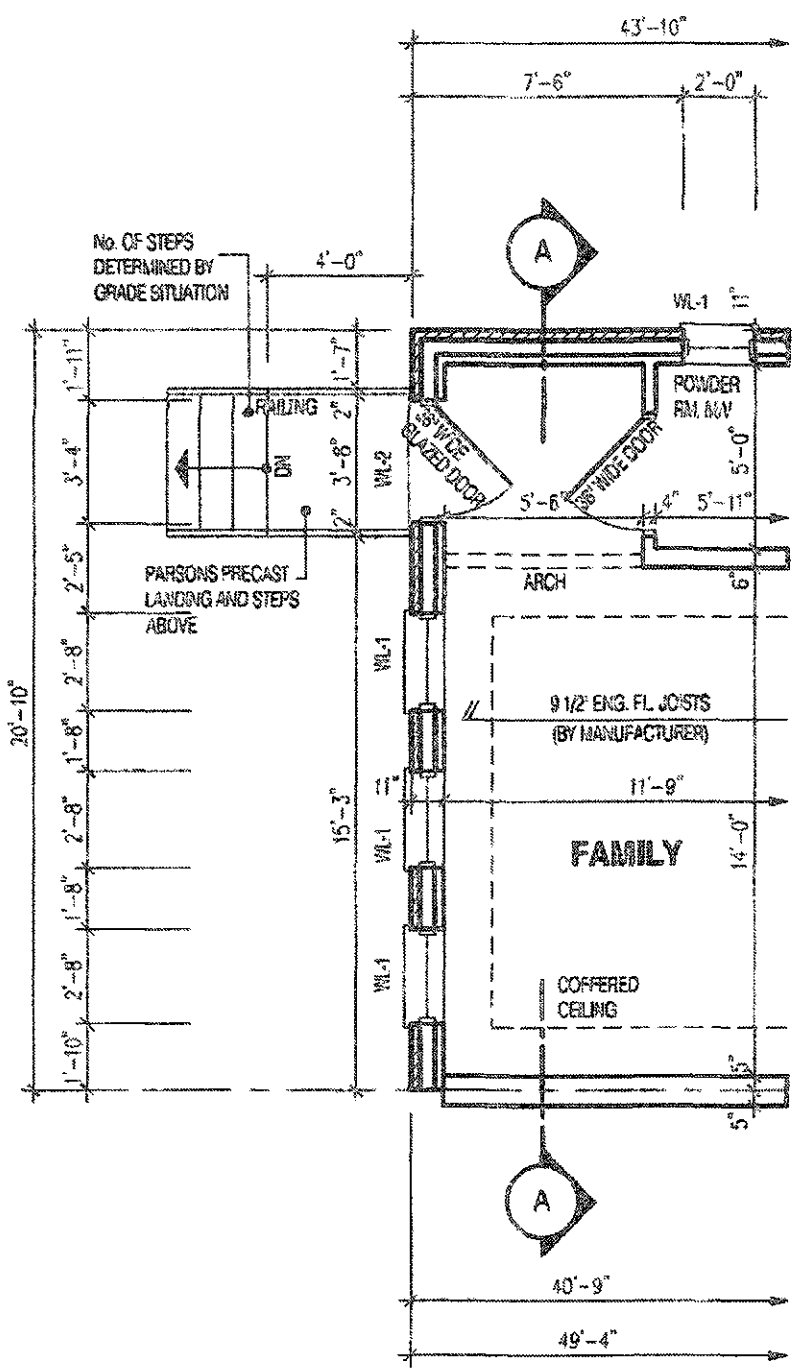
DECK CONDITION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL: —
 SCALE: 3/16" = 1'-0"
 PROJ. NO. 18-18
 DIV. NO. 3-1

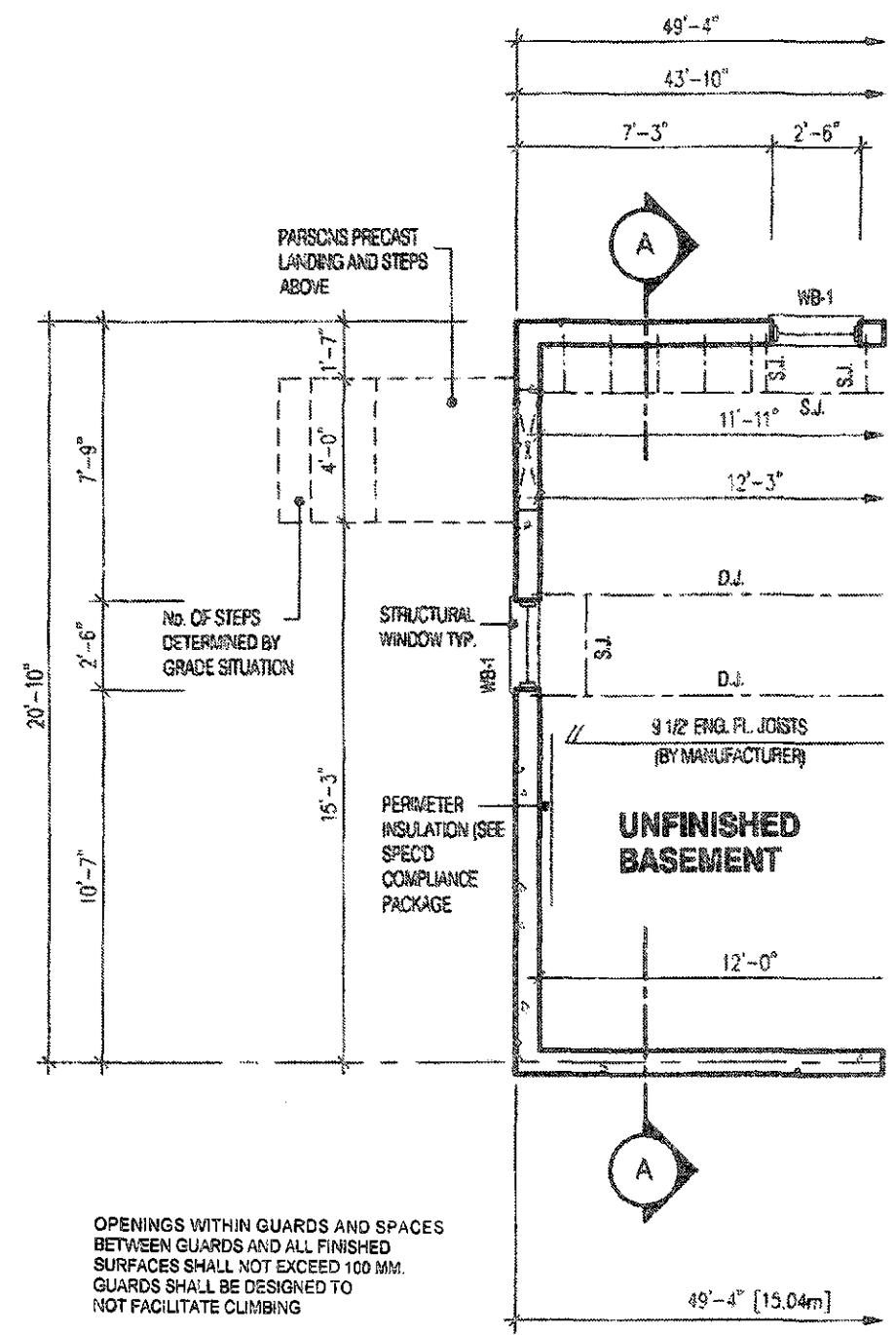
RECEIVED
 JUL 11 2018
 TOWN OF CALEDON
 BUILDING DEPARTMENT

NOTE:
 SUBFLOOR TO BE 5/8" OSB ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

JUN 20 2018



PARTIAL FIRST FLOOR LAYOUT FOR PARSON DECK CONDITION



PARTIAL BASEMENT LAYOUT FOR PARSON DECK CONDITION

NOTE:
 SUBFLOOR TO BE 3/4" OSB ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
 REFER TO SHEET NO. 0-1 FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:
 SPACE CONVENTIONAL FLOOR JOISTS @ 12 O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 3-7, 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
 SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

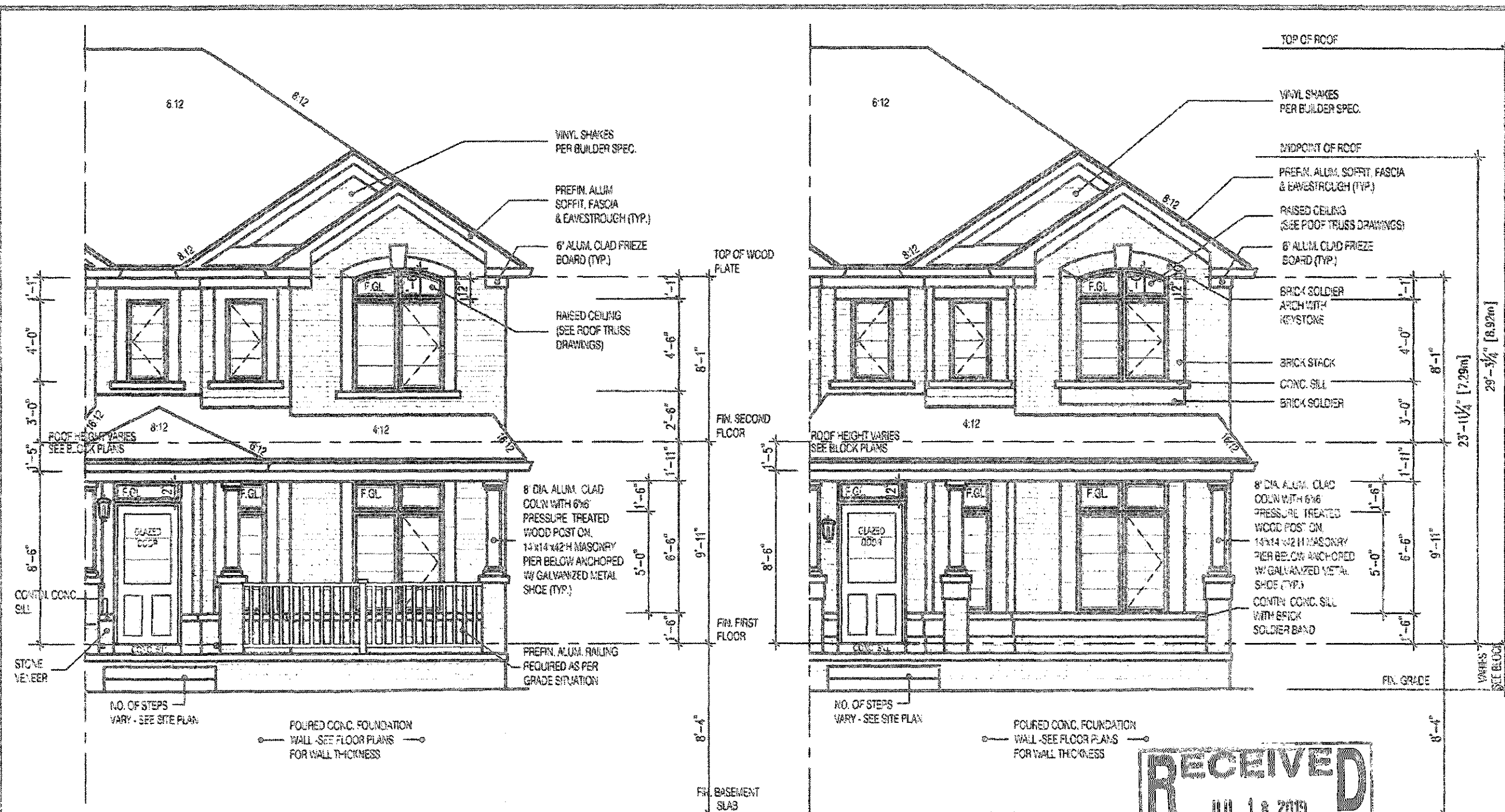
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWING WEAPERS

STRUDET INC.
 REGISTERED PROFESSIONAL ENGINEER
 MARINKOVIC
 FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (existing) plans, or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD. ARCHITECT
 ARCHITECTURAL DESIGN REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: JUN 25, 2018
 The stamp on this plan is valid only if the plan is signed by a professional engineer or architect.



**HORIZON 3E
FRONT ELEV-2
TH 95-1
(REVERSE)**

**THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE**

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

**HORIZON 3E
FRONT ELEV-1
TH 96-5**

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUL 16 2019

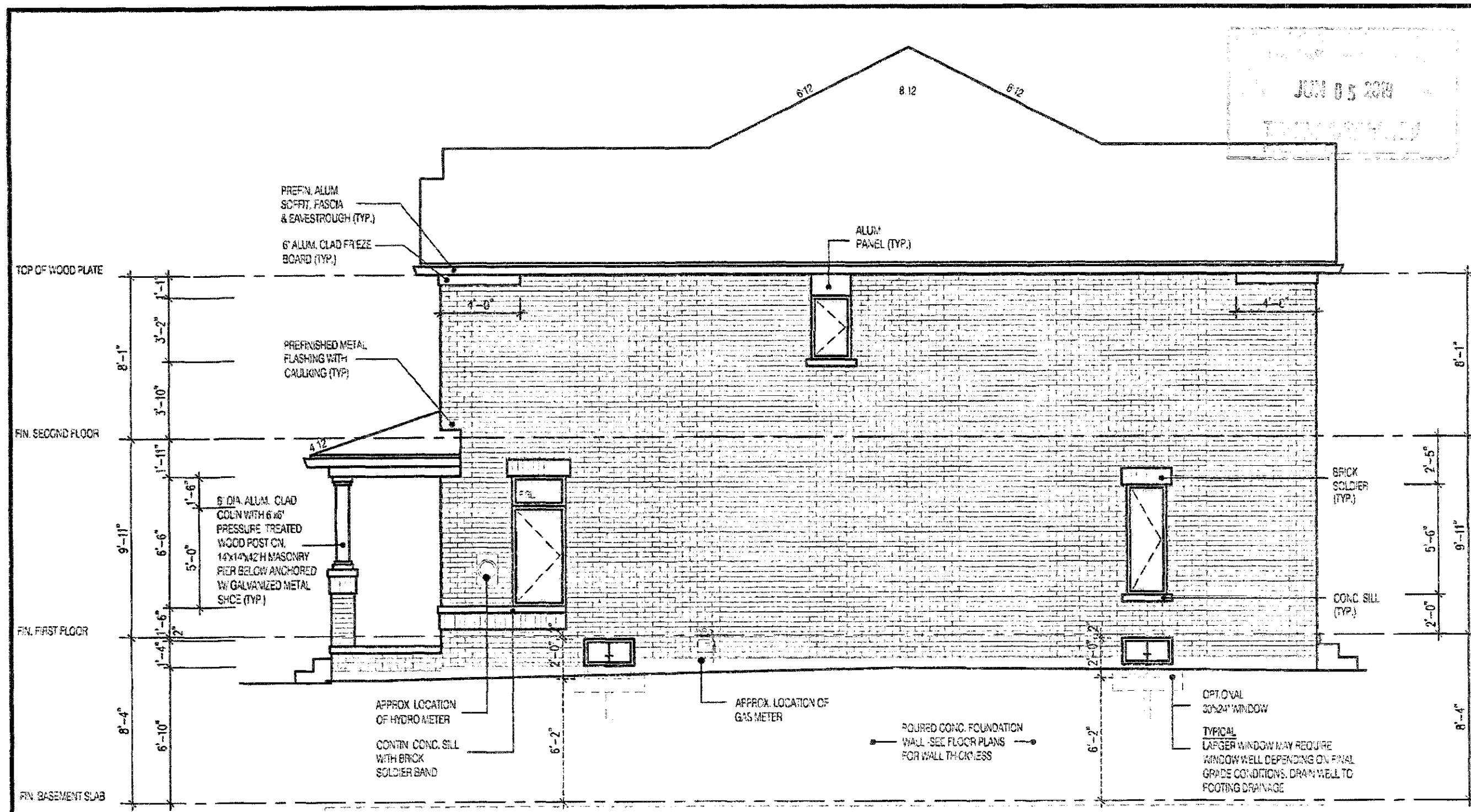
NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any variations
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site planning plans or
relying on plans in respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL (REV.)
AND REVIEW
APPROVED BY: *[Signature]*
DATE: JUL 16 2019
This document is to be used only for the project
identified on the title block. It is not to be
reproduced or used for any other project.

1780	
TOWNHOUSE	
HORIZON 3E	
ELEVATION 1 & 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, OR ENGINEERING INFORMATION PROVIDED IN THESE DRAWINGS OR FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED IN THESE DRAWINGS. AS CONSTRUCTION PROCEEDS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN OR OBTAIN FOR THE TOWN OF CALEDON ANY PERMITS OR APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY JARDIN DESIGN GROUP INC. TO THE CLIENT FOR THE PROJECT IDENTIFIED HEREIN. THIS DRAWING IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF JARDIN DESIGN GROUP INC.	
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3	JULY 11, 2019 REVISED PER CITY COMMENTS
2	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECOND DRAWS
No.	DATE WORK DESCRIPTION
Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P5 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION VERIFICATION Required unless design is signed under Division C.5 subsection 11.3 of the code. Walter Boller <i>[Signature]</i> 21031 NAME SIGNATURE BCN REGISTRATION NUMBER Required unless design is signed under Division C.5 subsection 11.3 of the code. Jardin design group inc. 27763 FIRM NAME BCN	
FRONT ELEV. 1 & 2	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
BILD	
CODE	—
SCALE	3/16" = 1'-0"
DATE	18-18
REV	4



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

UNPROTECTED OPENINGS	
WALL AREA	884
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDEYARD)	61.8
ACTUAL GLAZED AREA	32.0
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	35.0

HORIZON 3E
SIDE ELEV.-2
TH 96-5

FEB 06 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

1780
TOWNHOUSE
HORIZON 3E
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONFORMING TO SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS AND CONFORMING TO SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. HAS NOT BEEN AFFILIATED TO OBTAIN ANY OTHER PERMITS OR INSURANCE AND HAS NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR ANY OTHER PARTY TO OBTAIN ANY OTHER PERMITS OR INSURANCE AND HAS NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR ANY OTHER PARTY TO OBTAIN ANY OTHER PERMITS OR INSURANCE.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY JARDIN DESIGN GROUP INC. FOR THE CLIENT'S USE ONLY. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

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2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECOND VALES 17-41

No: DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.co

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Batten

21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc.

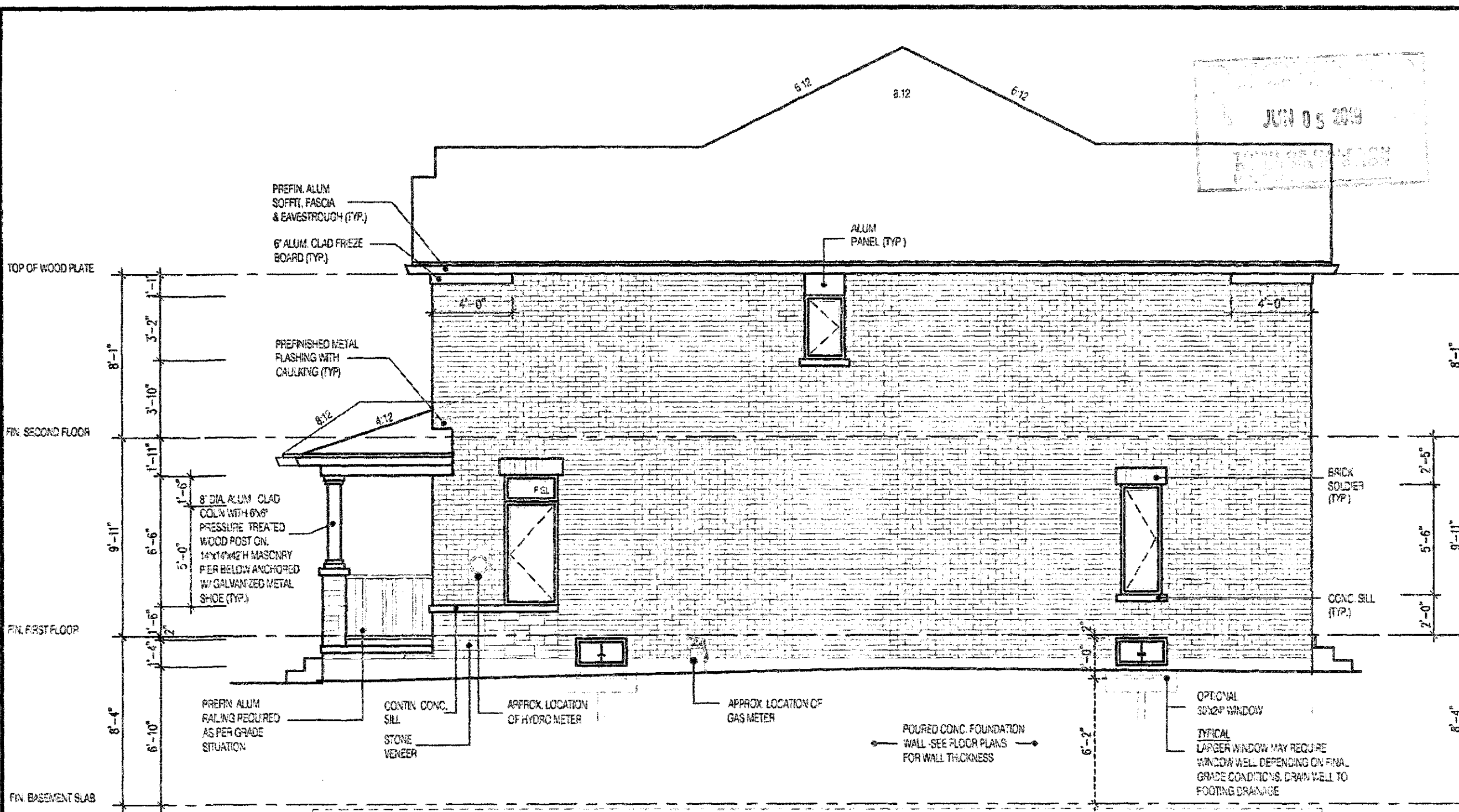
27763

FIRM NAME BCIN

SIDE ELEVATION EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16"=1'-0"
PROJ. No. 18-18
Dwg. No. 5



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

UNPROTECTED OPENINGS

WALL AREA	884	⊕
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDEYARD)	61.8	⊕
ACTUAL GLAZED AREA	32.0	⊕
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	35.0	⊕

HORIZON 3E SIDE ELEV.-2 TH 95-1 (REVERSE)

FEB 06 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (letting) plans or working drawings with respect to any zoning or building code or permit matter or that any reuse can be properly used or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1780
TOWNHOUSE
HORIZON 3E
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH ANY ADJ. AS NOTATED/NOTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A CENTRAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OF SUB-CONTRACTOR TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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2	DEC 13, 2018 / ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 / CAME FROM SECONDO VALES 17-41

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

CHANGATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

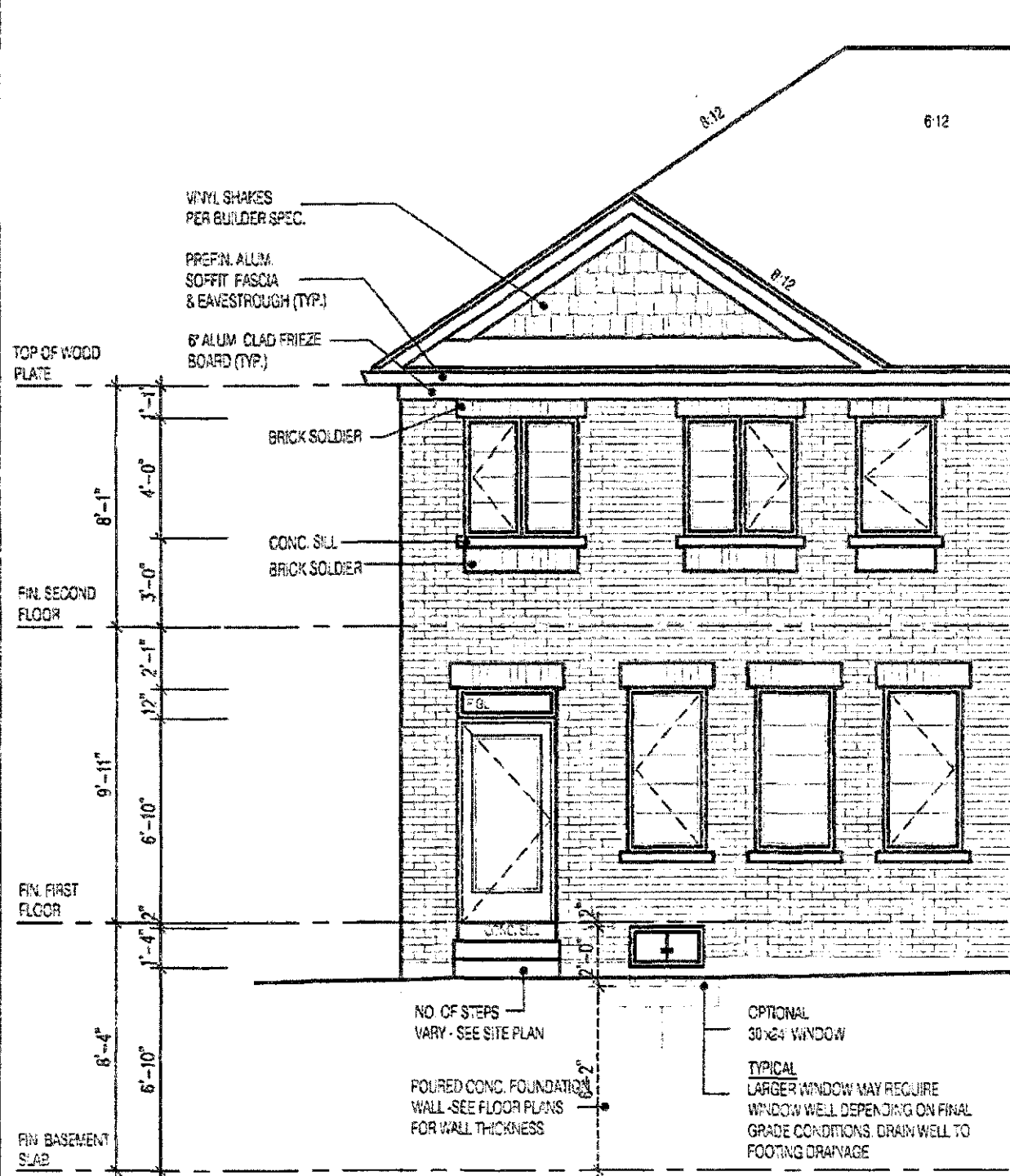
Walter Batten *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

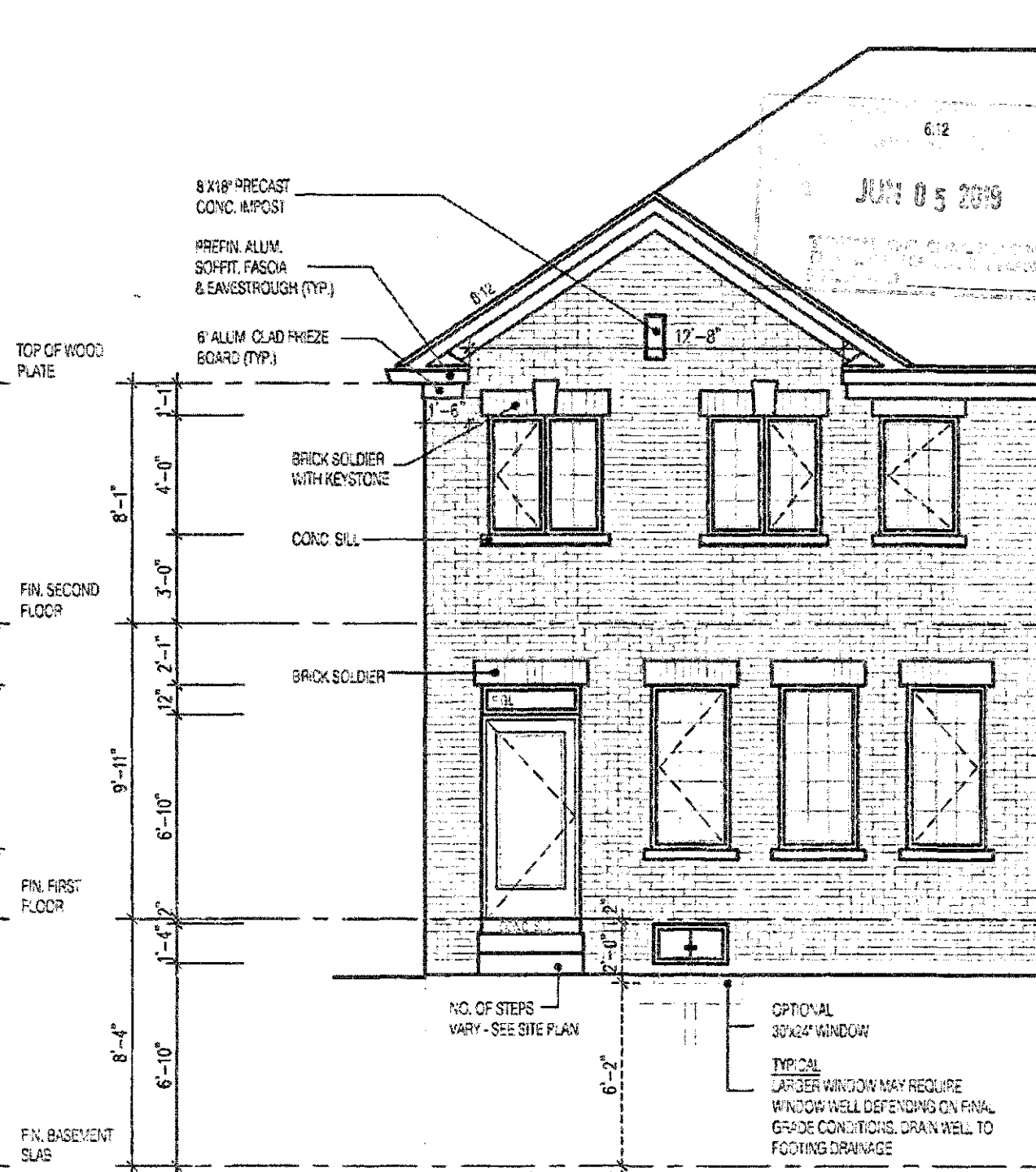
jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

	MODEL	---
	SCALE	3/16" = 1'-0"
	PROJ. No.	18-18
	DWG. No.	5A



**HORIZON 3E
REAR ELEV-2
TH 95-1
(REVERSE)**



**HORIZON 3E
REAR ELEV-1
TH 96-5**

FEB 06 2019

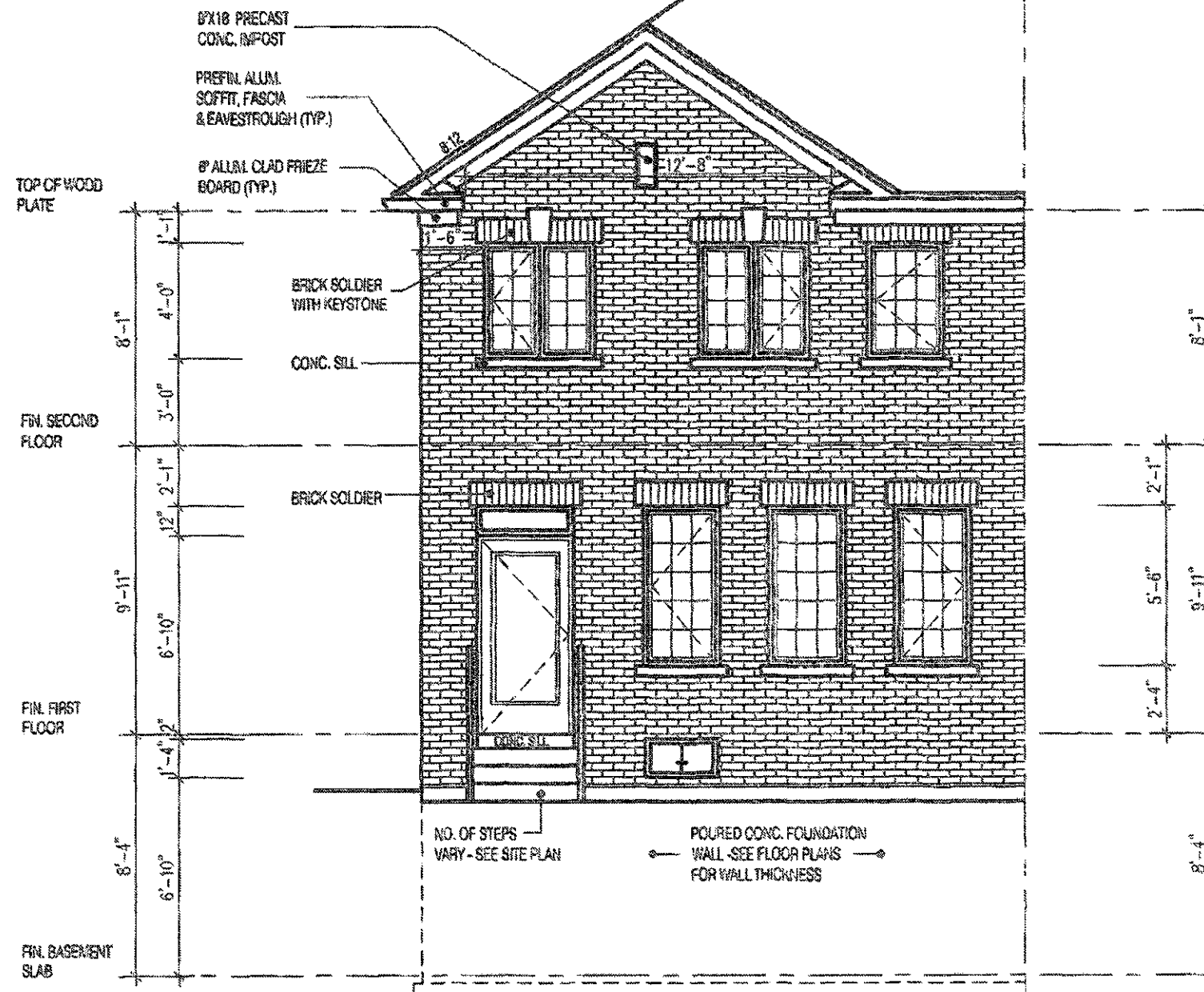
NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1780	
TOWNHOUSE	
HORIZON 3E	
ELEVATION 1 & 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUT, OR OF EXISTING AND ADJACENT PROPERTIES. THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE SIGNATURE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, THIS MUST BE VIEWED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBS CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECONDO VALES 1741
No	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. OR ALTERNATE INFORMATION Required unless design is exempt under Division C, Subsection 1.2.5 of the building code. Walter Botter <i>WBe</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 1.2.4 of the building code. jardin design group inc. 27763 FIRM NAME BCIN	
REAR ELEVATION	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL --- SCALE 3/16" = 1'-0" PROJ. NO. 18-18 DWS. NO. 6	

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

HORIZON 3E REAR ELEV-1 TH 96-5

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

RECEIVED
JUL 11 2018
TOWN OF CALEDON
BUILDING SECTION

JUN 20 2018

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (filling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL DESIGN REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUN 20, 2018
This certificate is only valid if the project is completed within the time frame specified on the certificate.

2007 TOWNHOUSE HORIZON 3E ELEVATION 1 & 2 ENERGY STAR O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF WORK.

THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE ACCURATE INFORMATION ON THE BASIS OF THE INFORMATION PROVIDED TO HIM BY THE CLIENT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE ACCURATE INFORMATION ON THE BASIS OF THE INFORMATION PROVIDED TO HIM BY THE CLIENT.

THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE ACCURATE INFORMATION ON THE BASIS OF THE INFORMATION PROVIDED TO HIM BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE ACCURATE INFORMATION ON THE BASIS OF THE INFORMATION PROVIDED TO HIM BY THE CLIENT.

THIS DRAWING IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

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2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECOND VALES 17-41

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Batten [Signature] 21031

NAME SIGNATURE BCIN

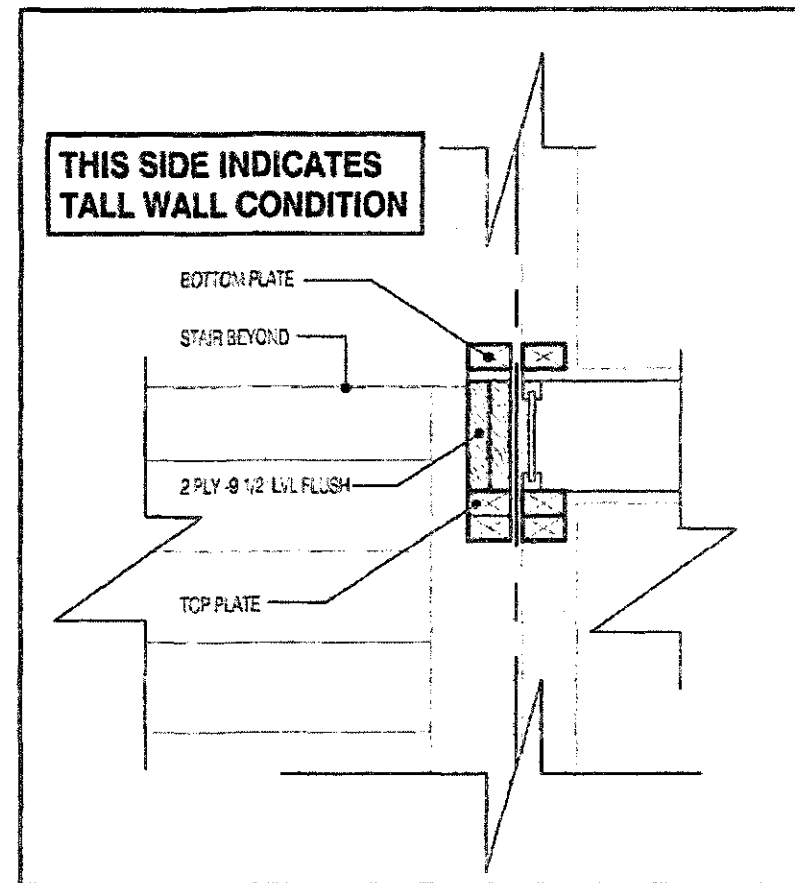
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763

FROM NAME BCIN

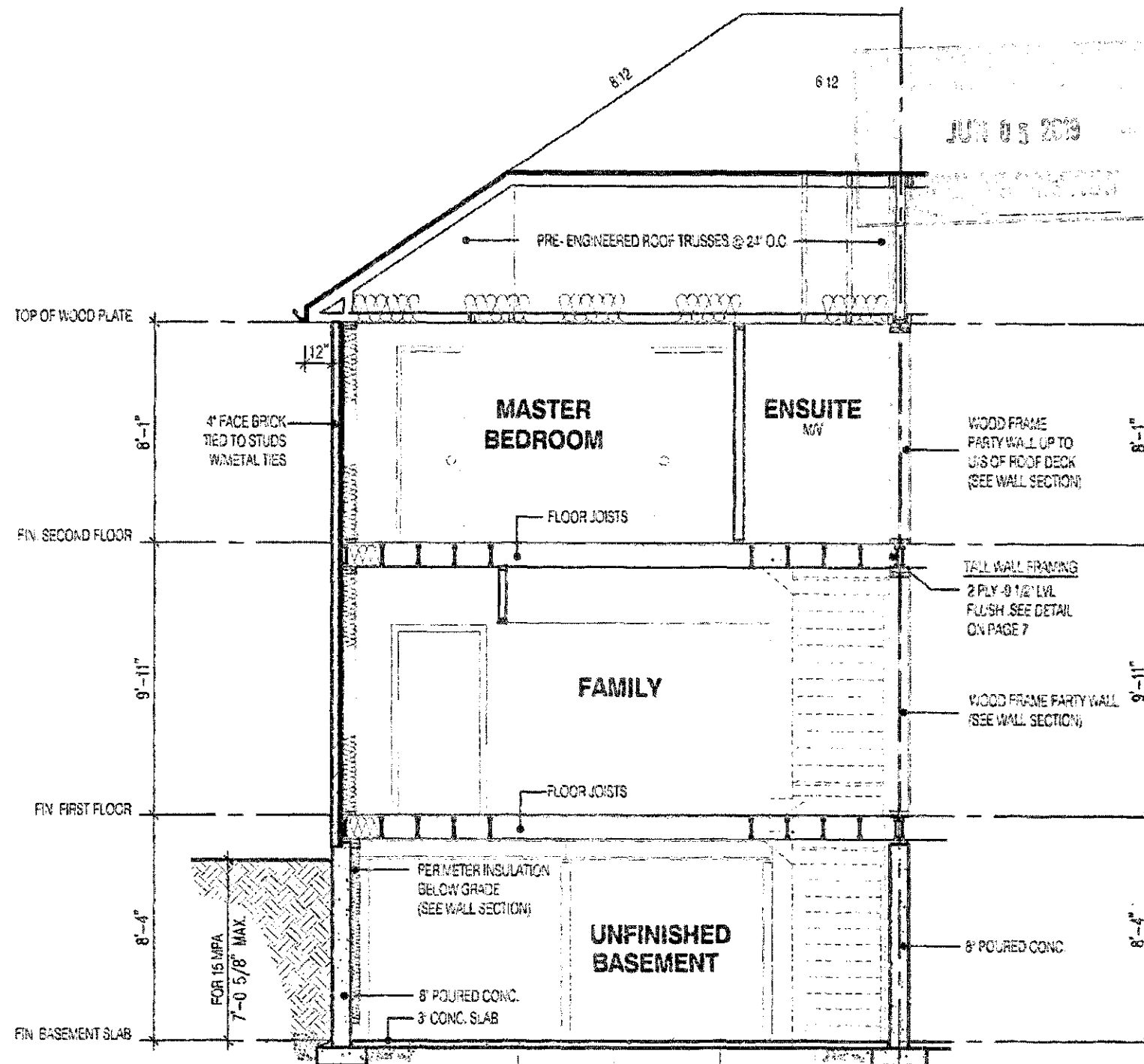
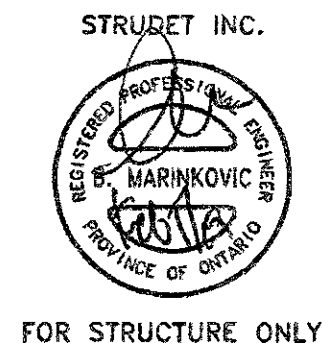
DECK CONDITION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. NO. 18-18
DWG. NO. 6-1



B TALL WALL FRAMING
N.T.S.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



SECTION A-A

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1000 MM

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

1780	
TOWNHOUSE	
HORIZON 3E	
ELEVATION 1 & 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS ON-SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR EXISTING INFORMATION SHOWN ON THESE PLANS. ANY INFORMATION FOR CONSTRUCTION MUST BE OBTAINED FROM THE RESURVEY OF A BUILDING PARTY. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS FOR PROCEEDING WITH WORK. AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECOND DRAWS 17-41
No.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code. Walter Botter <i>WBE</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code. jardin design group inc. 27763 FIRM NAME BCIN	
SECTION	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL --- SCALE 3/16" = 1'-0" PROJ. No. 18-18 DWG. No. 7	

FOR GAS METER BOX INSTALLATION
REFER ALSO TO ENBRIDGE GAS UTILITIES
DRAWINGS & SPECIFICATIONS

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

COLUMN PER BUILDER SPEC.
PRECAST CONCRETE COPING

MASONRY VENEER

T.O. GAS METER BOX

FIN. FIRST FLOOR

AS PER GRADING CONDITION

T.O. FOUNDATION

FIN. GRADE

LINE OF FOUNDATION WALL

CUT 2" PVC CONDUIT FLUSH W/
FOUNDATION WALL

45 DEGREE STANDARD ELBOW
SLEEVE BY OTHERS

HOUSE FOUNDATION
WALL

CONDUIT TO BE
ENCASED WITH MIN. 2"
CONCRETE COVER

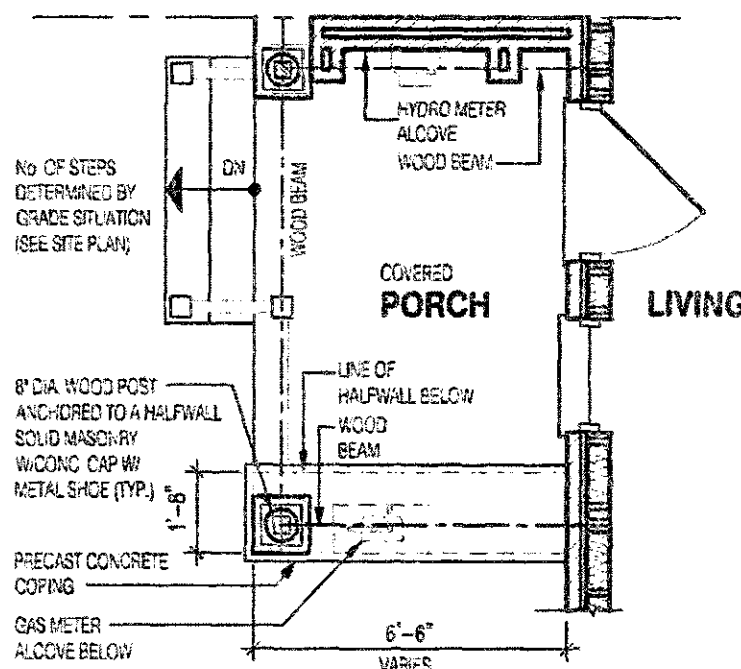
FIN. BASEMENT SLAB

1'-0" MINIMUM HORIZONTAL DIFFERENCE
FROM OTHER SERVICE PIPES

ELEVATION OF RECESSED WALL FOR GAS METER AT PORCH

Scale: 3/8" = 1'-0"

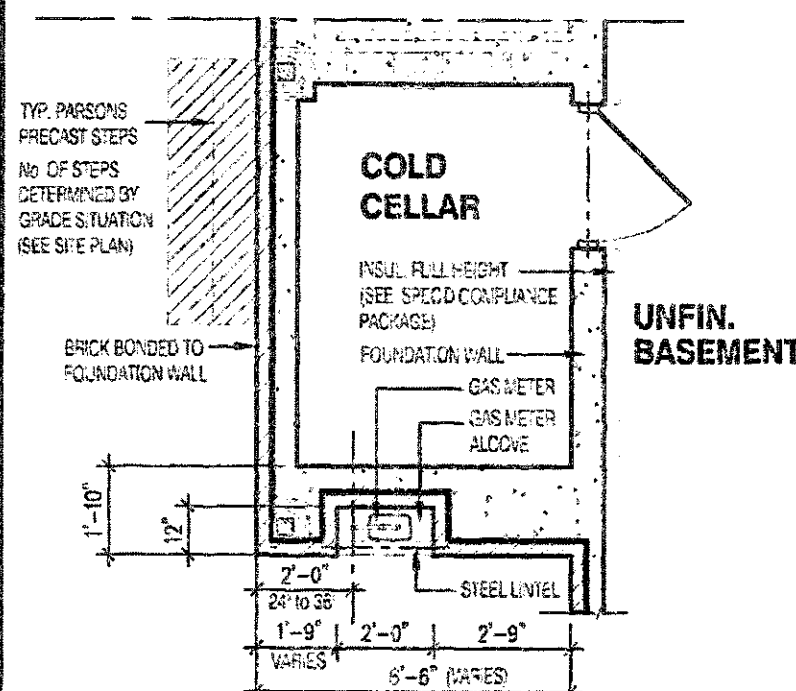
D-1



PLAN OF RECESSED WALL FOR GAS METER AT PORCH

Scale: 1/4" = 1'-0"

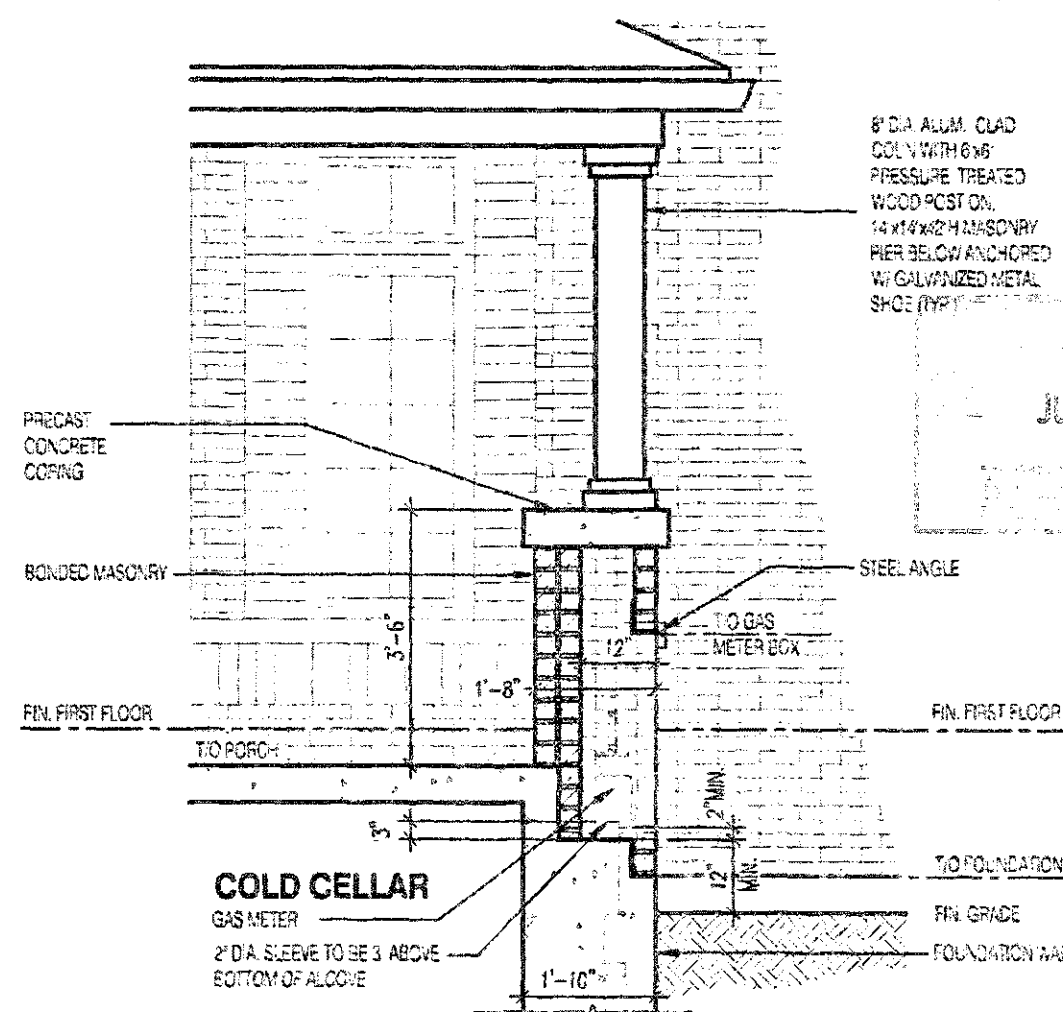
D-2



SECTION OF RECESSED WALL FOR GAS METER BY AT PORCH

Scale: 1/4" = 1'-0"

D-3



SECTION OF RECESSED WALL FOR GAS METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

1780

TOWNHOUSE

HORIZON 3E

ELEVATION 1 & 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STATUTORY OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION INFORMATION SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.

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1	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
No.	DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 650-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Accredited unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Boffel *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

GAS METER DETAIL

LAMBERTS LANE PHASE 2

TOWN OF CALEDON

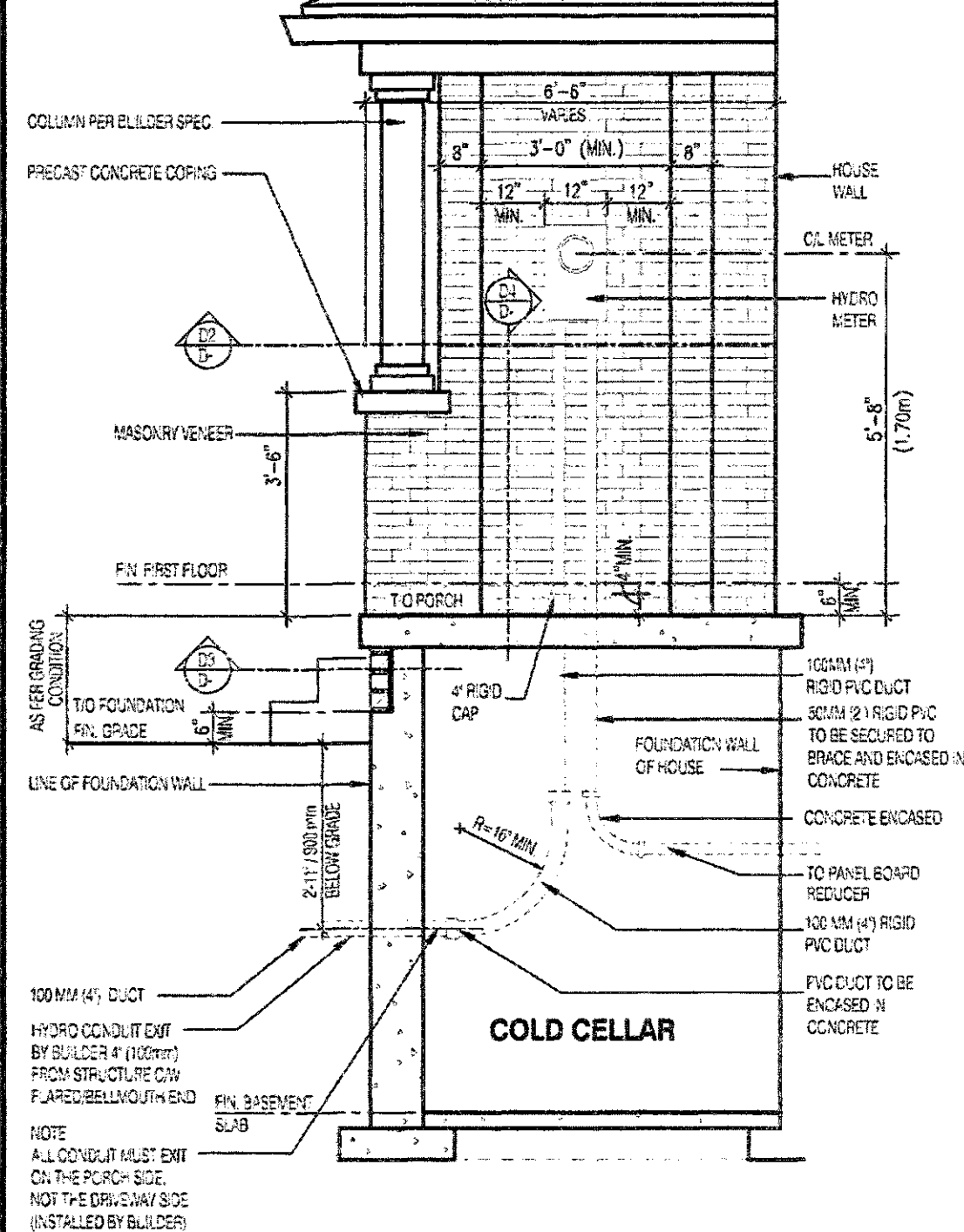
MODEL	
SCALE	AS NOTED
PROJ. No.	18-18
DWG. No.	8



FEB 06 2019

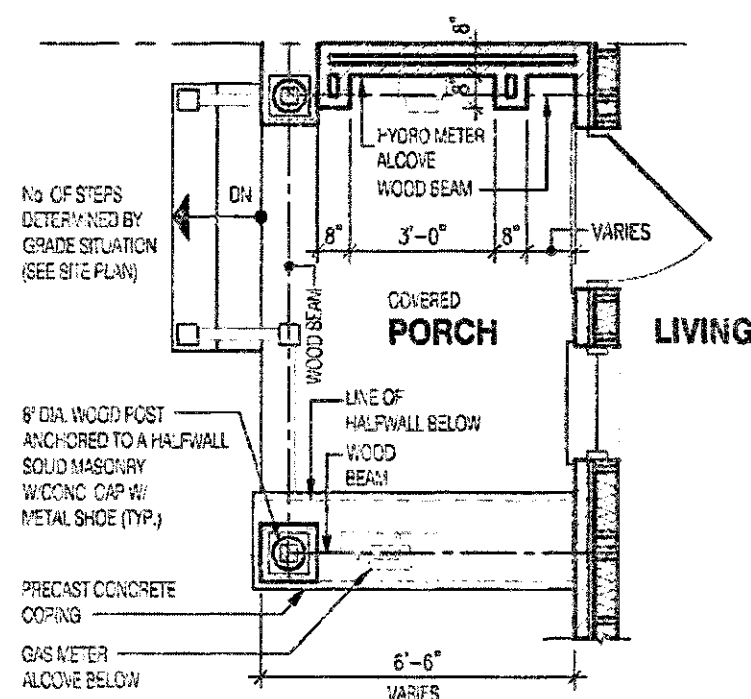
1. METER BASES TO BE SURFACE MOUNTED
2. REFER TO DU-03-209.2 DETAIL 3 FOR CAP DETAIL
3. REFER TO DU-03-209.2 & DU-03-209-0300 FOR ADDITIONAL INSTALLATION OF PVC BEYOND FOUNDATION WALL
4. RIGID PVC TRAVELING THROUGH COLD CELLAR SHOULD BE ENCASED IN CONCRETE.

~~THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CURRENT BUILDING CODE~~



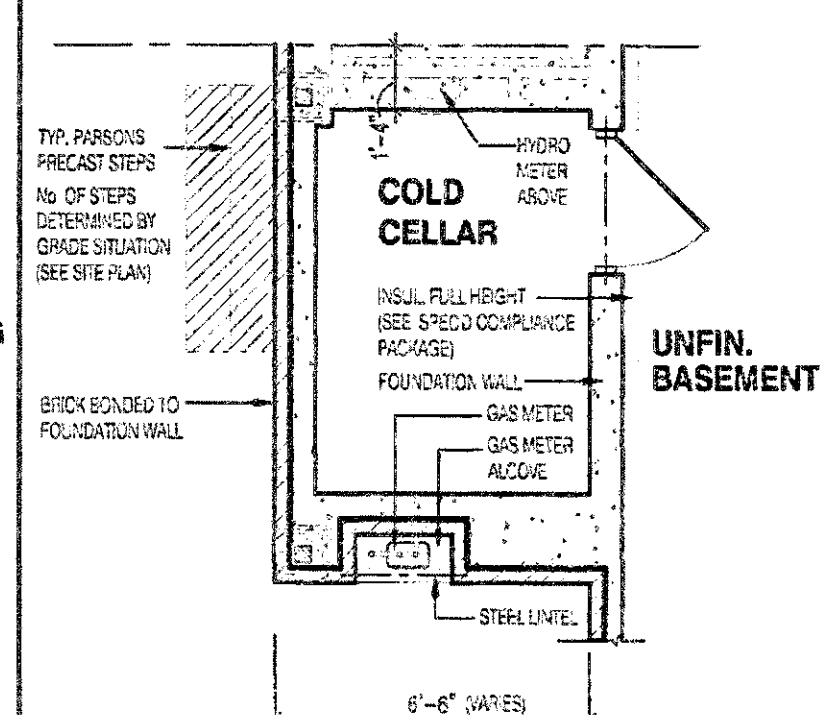
**ELEVATION OF RECESSED WALL FOR HYDRO
METER AT PORCH**

Scale: 3/8" = 1'-0"



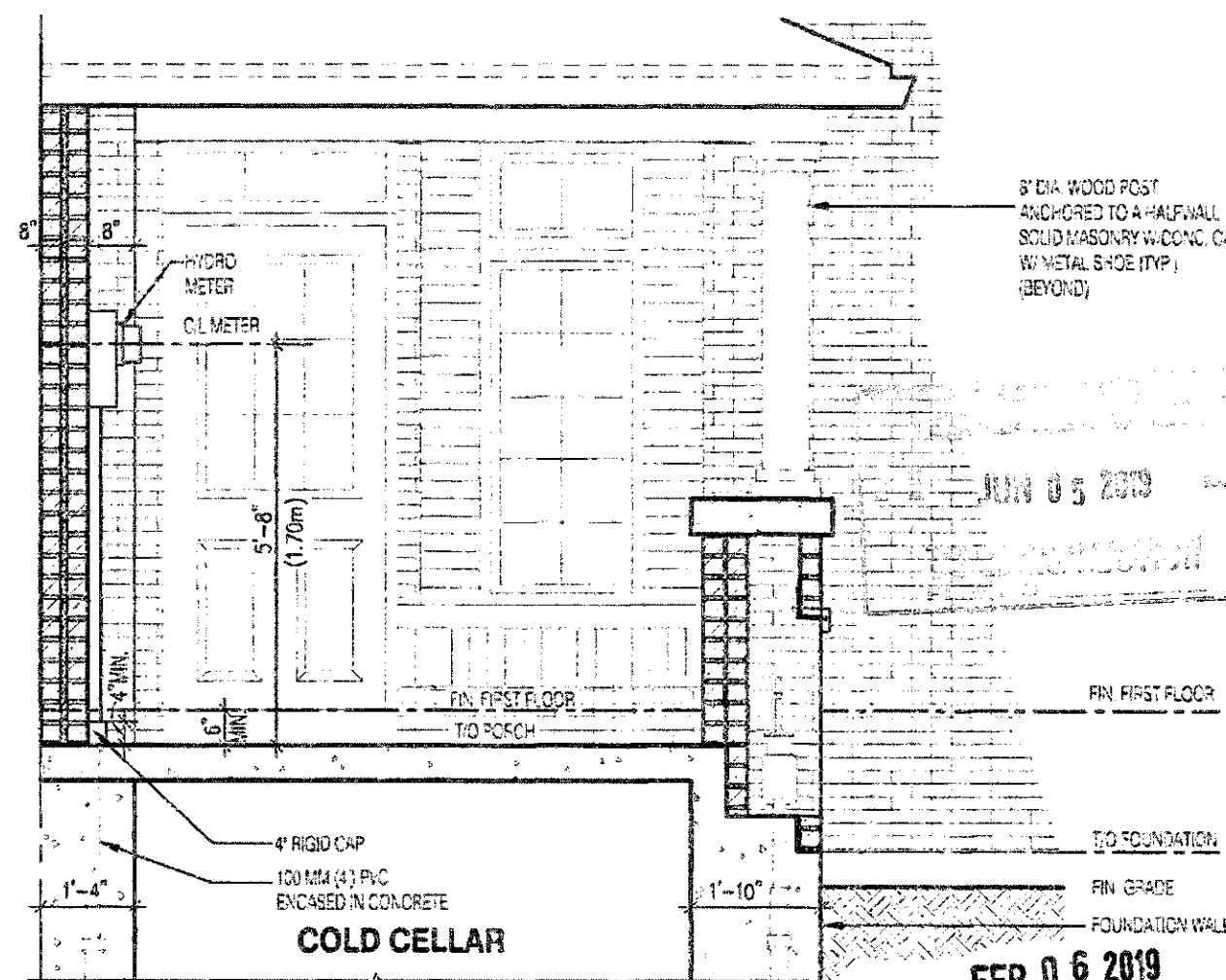
PLAN OF RECESSED WALL FOR HYDRO METER AT PORCH

Scale: $1/4" = 1'-0"$



**SECTION OF RECESSED WALL FOR HYDRO
METER BY AT PORCH**

Scale: 1/4" = 1'-0"



SECTION OF RECESSED WALL FOR HYDRO METER AT PORCH

Scale: $3/8" = 1'-0"$

THE CONTRACTOR SHALL OBTAIN AND MAINTAIN ALL NECESSARY PERMITS AND OBTAIN THE NECESSARY DESIGN INFORMATION FROM THE DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. ANY INFORMATION SHALL BE REPORTED TO JARVIS DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARVIS DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION MATERIALS PRIOR TO THE RESUME OF A BUILDING PERMIT. WHEN THE APPROPRIATE ENGINEERING DRAWINGS BECOME PROCESSED WITH WORK AS COMPLETED PERMITS MUST BE OBTAINED PRIOR TO TYPING FOOTINGS.

JARVIS DESIGN GROUP INC. HAS NOT GUARANTEED TO CARRY OUT GENERALITY OF THE WORK AND ASSUMES TO REPRESENT ONLY FOR THE WORK OF THE CONTRACTOR OR AS A CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, AS PROVIDED BY AND IS THE PROPERTY OF JARVIS DESIGN GROUP INC. IT IS AGRANTED NOT TO BE REPRODUCED.

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DEC.13 2018 ISSUED FOR BUILDING PERMIT

No.	DATE:	WORK DESCRIPTION:
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98	1/15/51	...
99	1/16/51	...
100	1/17/51	...

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Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
32.5 of the Act.

NAME	SIGNATURE	BCIN
Walter Botten	<i>[Signature]</i>	21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.7.4 of the building code

jardin design group inc.	27763
FIRM NAME	BCIN

HYDRO METER DETAIL

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

	MODEL
---	-------

AS NOTED

BILD*	3400 No.	2400 No.
	18-18	9