

1877

TOWNHOUSE
HORIZON 3ES
ELEVATION 1

ENERGY STAR

O.REG. 332/12

AREA CALCULATIONS		EL-1
GROUND FLOOR AREA	=	939 Sq. Ft.
SECOND FLOOR AREA	=	931 Sq. Ft.
TOTAL FLOOR AREA	=	1870 Sq. Ft.
ADD OPEN AREAS	=	7 Sq. Ft.
ADD FIN. BASEMENT AREA	=	6 Sq. Ft.
GROSS FLOOR AREA	=	1877 Sq. Ft.
GROUND FLOOR COVERAGE	=	939 Sq. Ft.
GARAGE COVERAGE / AREA	=	412 Sq. Ft.
PORCH COVERAGE / AREA	=	310 Sq. Ft.
COVERAGE W/ PORCH	=	1661 Sq. Ft.
COVERAGE W/O PORCH	=	1351 Sq. Ft.
	=	1255 Sq. Ft.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
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3		
2	DEC 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECONDO VALES 17-41

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

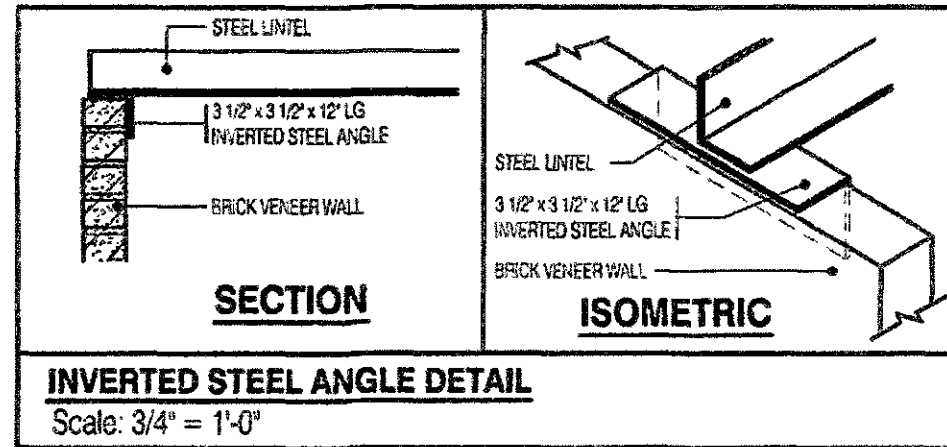
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18 Dwg. No. 0



INVERTED STEEL ANGLE DETAIL

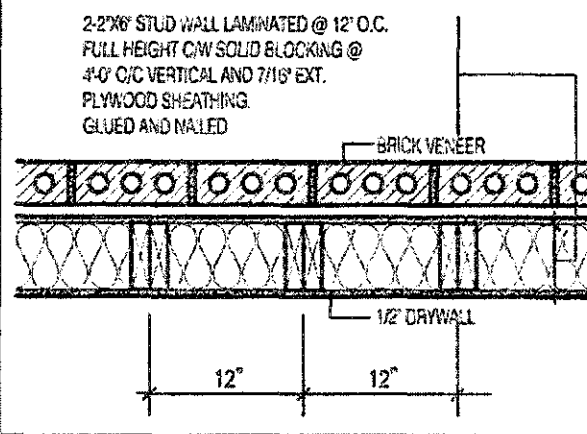
Scale: 3/4" = 1'-0"

DOOR SCHEDULE:

- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
- 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
- 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
- 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
- 4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS



FULL HEIGHT WALL DETAIL 1

WITH BRICK VENEER

N.T.S.

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN

HOLLAND 3ES ELEV.-1		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	486.00	65.00	17.70 %
LEFT SIDE	917.00	121.00	13.20 %
RIGHT SIDE	877.00	0.00	0.00 %
REAR	467.00	115.00	24.63 %
TOTAL	2747.00	322.00	11.72 %

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. PIPE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

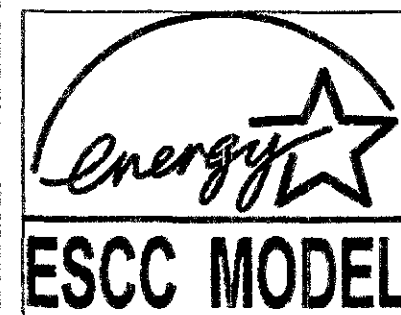
ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R60)
MINIMUM RSI (R) VALUE	
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
MINIMUM RSI (R) VALUE	
EXPOSE FLOOR	5.46 (R31)
MINIMUM RSI (R) VALUE	
WALLS ABOVE GRADE	4.75 (R22+R5)
MINIMUM RSI (R) VALUE	
BASEMENT WALLS	3.52 (R20 BLANKET)
MINIMUM RSI (R) VALUE	
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	1.76 (R10)
MINIMUM RSI (R) VALUE	
SLAB < 600mm BELOW GRADE	1.76 (R10)
MINIMUM RSI (R) VALUE	
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR @ ZONE 2 (PER 29/0V 1.4)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	MIN. 96% AFUE
MINIMUM AFUE	
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	TIER 2 75% SRE ENERGY STAR @ HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
MINIMUM EFFICIENCY	
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1" OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

STRUDET INC.



FOR STRUCTURE ONLY



ENERGY STAR - V 17

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY *S. SNELL*
DATE *JULY 25/19*
FILE # *HORIZON 3ES - ELEV. 1*

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

- WL1 = 3'12" x 3'12" x 1'4" (90x90x6) + 2'-2" x 8" SPR.
WL2 = 4' x 3'12" x 5'16" (100x90x6) + 2'-2" x 8" SPR.
WL3 = 5' x 3'12" x 5'16" (125x90x6) + 2'-2" x 10" SPR.
WL4 = 6' x 3'12" x 5'16" (150x90x10) + 2'-2" x 12" SPR.
WL5 = 6' x 4' x 3'8" (150x100x10) + 2'-2" x 12" SPR.
WL6 = 5' x 3'12" x 5'16" (125x90x6) + 2'-2" x 12" SPR.
WL7 = 5' x 3'12" x 5'16" (125x90x6) + 3'-2" x 10" SPR.
WL8 = 5' x 3'12" x 5'16" (125x90x6) + 3'-2" x 12" SPR.
WL9 = 6' x 4' x 3'8" (150x100x10) + 3'-2" x 12" SPR.

WOOD LINTELS:

- WB1 = 2'-2" x 8" SPRUCE BEAM
WB2 = 3'-2" x 8" SPRUCE BEAM
WB3 = 2'-2" x 10" SPRUCE BEAM
WB4 = 3'-2" x 10" SPRUCE BEAM
WB5 = 2'-2" x 12" SPRUCE BEAM
WB6 = 3'-2" x 12" SPRUCE BEAM
WB7 = 5'-2" x 12" SPRUCE BEAM
WB10 = 4'-2" x 8" SPRUCE BEAM
WB11 = 4'-2" x 10" SPRUCE BEAM

STEEL LINTELS:

- L1 = 3'12" x 3'12" x 1'4" (90x90x6)
L2 = 4' x 3'12" x 5'16" (100x90x6)
L3 = 5' x 3'12" x 5'16" (125x90x6)
L4 = 6' x 3'12" x 5'16" (150x90x10)
L5 = 6' x 4' x 3'8" (150x100x10)
L6 = 7' x 4' x 3'8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

- LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY SEPARATE INSPECTION APPLICATIONS MUST BE FILED FOR MORE INFORMATION PLEASE CALL ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR FIND A CONTRACTOR AT www.plugin safely.ca

PAD FOOTING 120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS FOR HORIZONS

REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

120 KPa NATIVE SOIL

- 20"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED.)
24"x8" CONCRETE STRIP FOOTINGS (WITH REINF.) BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS - WITH REINF., AS NOTED ON PLANS
32"x8" CONCRETE STRIP FTGS BELOW EXT. WALLS - WITH REINF. (UNLESS OTHERWISE NOTED.)
32"x8" CONCRETE STRIP FOOTINGS - WITH REINF., BELOW PARTY WALLS

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE :

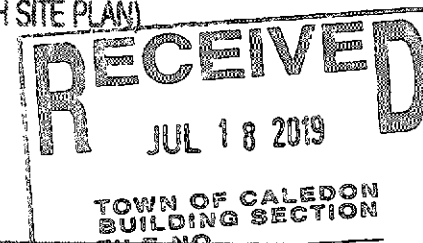
ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.
(REFER TO ENG. FILL FOOTING DETAIL)

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

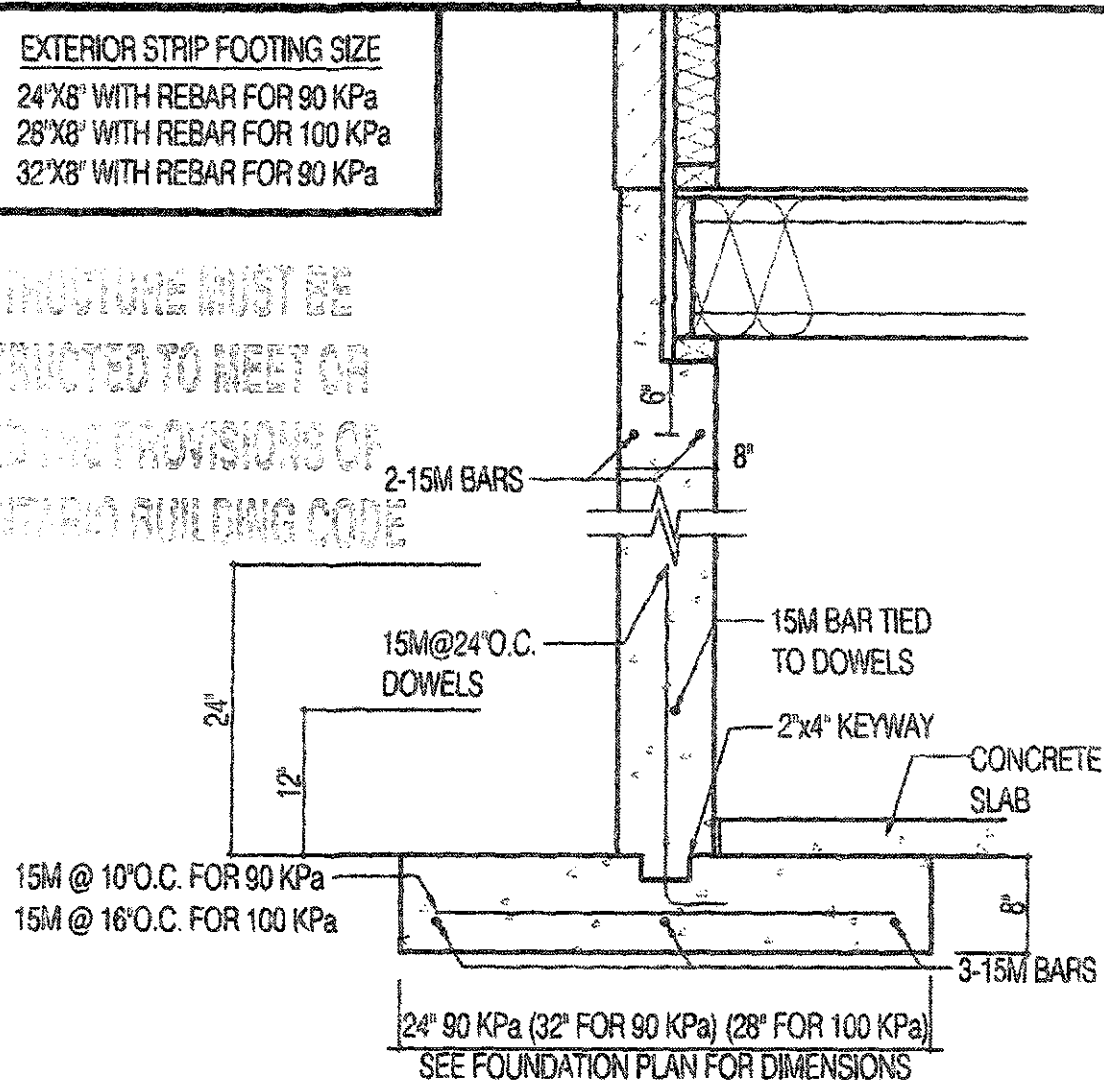
NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)



EXTERIOR STRIP FOOTING SIZE

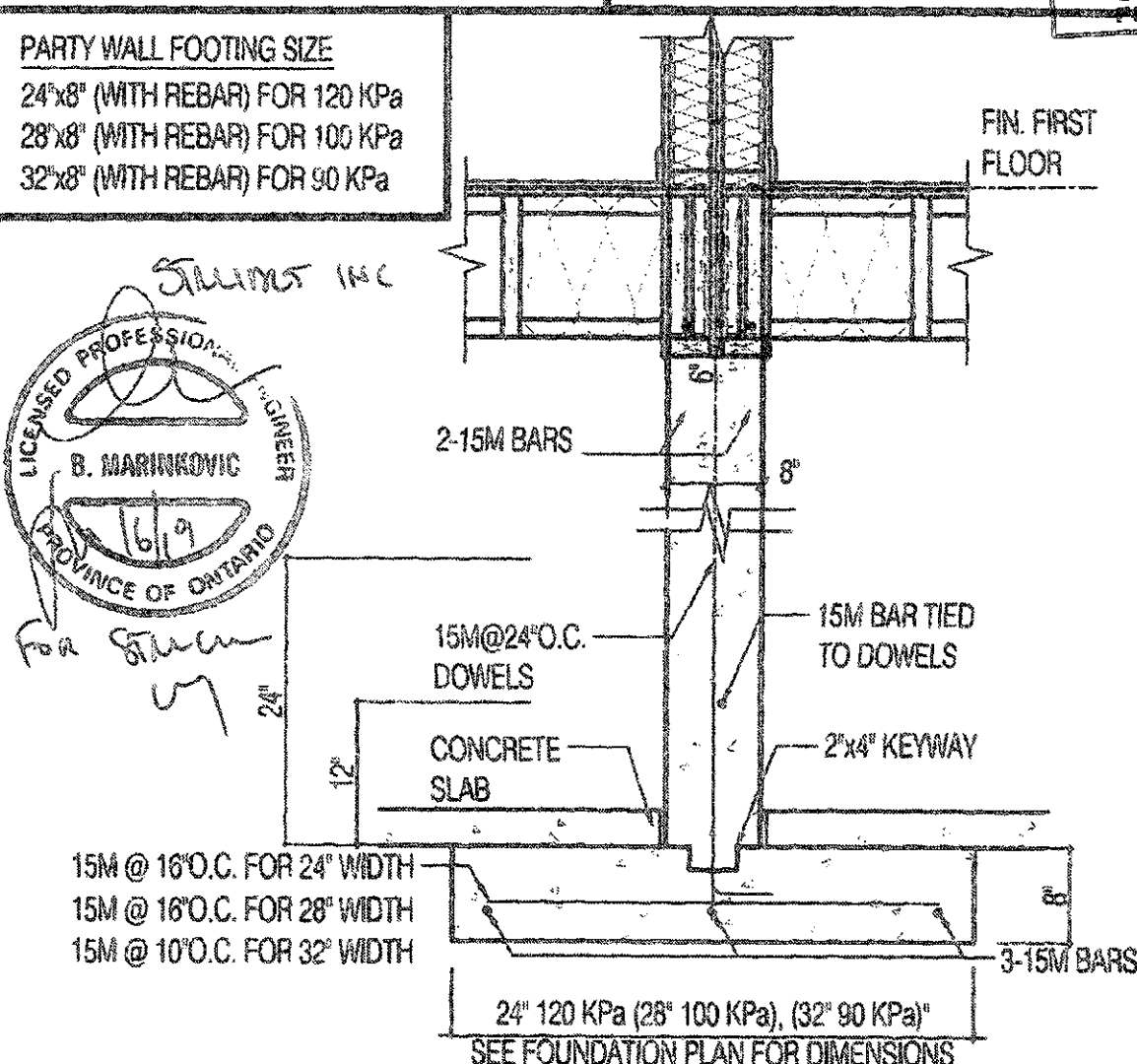
- 24"x8" WITH REBAR FOR 90 KPa
28"x8" WITH REBAR FOR 100 KPa
32"x8" WITH REBAR FOR 90 KPa



EXTERIOR STRIP FOOTINGS

PARTY WALL FOOTING SIZE

- 24"x8" (WITH REBAR) FOR 120 KPa
28"x8" (WITH REBAR) FOR 100 KPa
32"x8" (WITH REBAR) FOR 90 KPa



PARTY WALL FOOTINGS

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING :

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

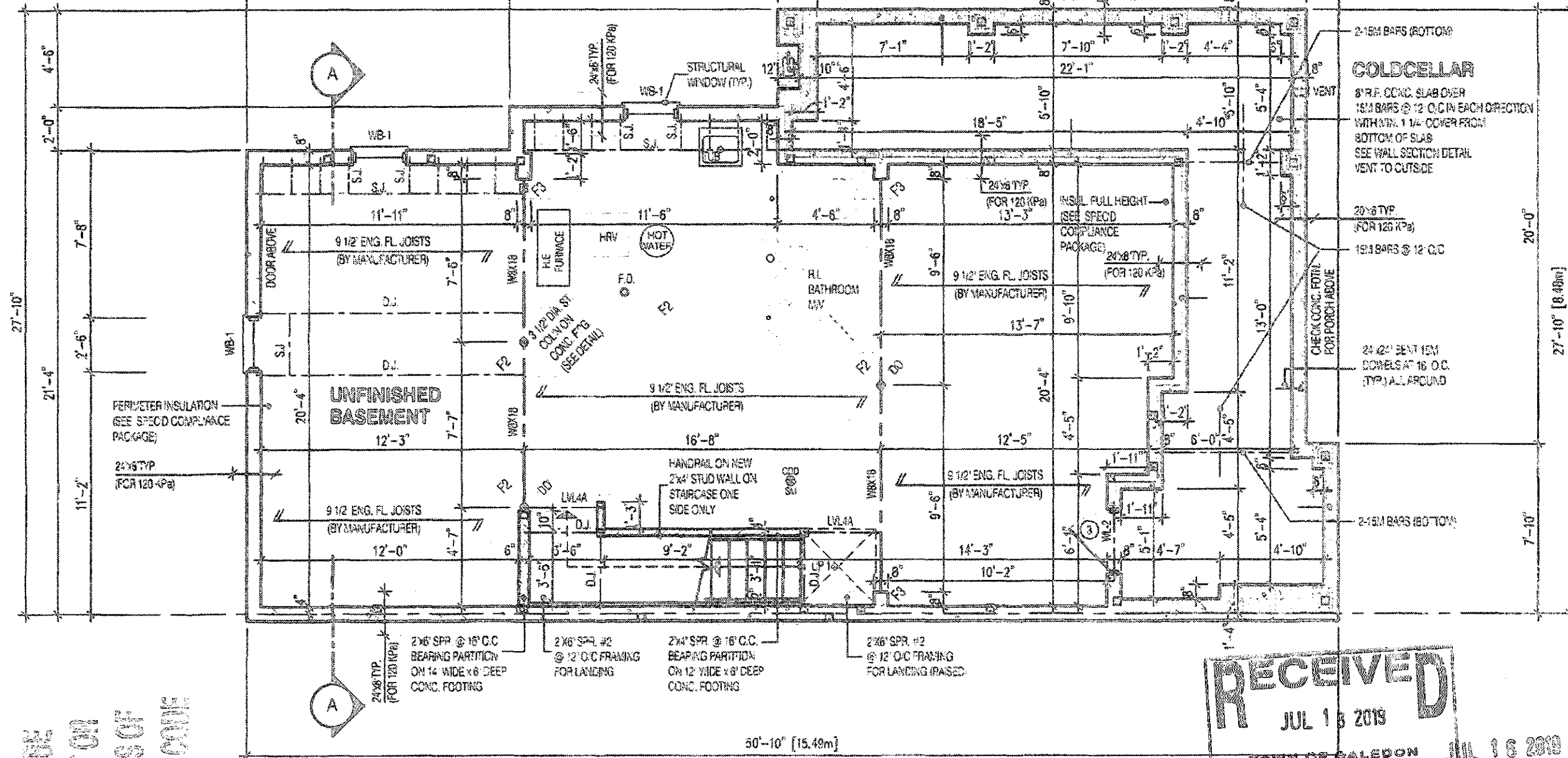
JUL 16 2019

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1877	
TOWNHOUSE	
HORIZON 3ES	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
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AS CONSTRUCTED UNITS MUST BE VERIFIED PRIOR TO FURTHER FOOTINGS.	
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2	
1	JULY 11, 2019
No.	DATE
	WORK DESCRIPTION:
jardin	
DESIGN GROUP INC	
64 JARDIN DR. SUITE 3A	
VAUGHAN ONT. L4K 3P3	
TEL: 905 660-3377 FAX: 905 660-3713	
EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.	
NAME	SIGNATURE
Walter B...	21031
REGISTRATION INFORMATION	
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.	
jardin design group inc.	27763
FIRM NAME	
FOOTING SIZES/DETAILS	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL	
SCALE	
3/16" = 1'-0"	
PROJ. No.	DWG. No.
18-18	0-1

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE



THE DRAWING MUST BE
CONSIDERED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

HORIZON 3ES
ELEV-1
TH 95-4

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BLOCK PLAN DRAWINGS.

NOTE:
REFER TO SHEET NO. C-1 FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

NOTE:
SUBFLOOR TO BE 3/4\"/>

LEGEND:

- BUILDING FACE > THAN 40' (12.2M) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- ST. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S SINGLE JOIST
- CL DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER KEEPER

RECEIVED
JUL 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving or not approving or working drawings or in respect to any errors or omissions or in the plans or in the building or in the construction of the building.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILSON LTD., ARCHITECT
ARCHITECTURAL DESIGN REVIEW
AND APPROVAL
DATE: 2/15/2019

1877

TOWNHOUSE

HORIZON 3ES

ELEVATION 1

ENERGY STAR

O.REG. 332/12

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JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT DESIGN REVIEW OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON.

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No.	DATE	WORK DESCRIPTION
7		
6		
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4		
3	JULY 11, 2019	REVISED PER CITY COMMENTS
2	DEC 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECOND DRAWS

No.

DATE

WORK DESCRIPTION

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the authority and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFIED INFORMATION
Required unless design is created under Section C, Subsection 3.2.5 of the Building Code.

Walter Boffen 21031
NAME SIGNATURE BCN

REGISTERED INFORMATION
Required unless design is created under Section C, Subsection 3.2.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCN

BASEMENT PLAN

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL	DATE	FIGURE NO.	SHEET NO.
	2/15/2019	18-19	1

BILD

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

THIS DRAWING MUST BE
SUBMITTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

**HORIZON 3ES
ELEV-1
TH 95-4**

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:
REFER TO SHEET NO. G-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

NOTE:
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ.)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEFERS

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1877

TOWNHOUSE

HORIZON 3ES

ELEVATION 1

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STREET FULL OR EXISTING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECONDO VALES 17-41

No. DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.co

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.5 of the Building Code

Waller Botter

21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.1.4 of the Building Code

jardin design group inc. 27763

FIRM NAME BCIN

FIRST FLOOR PLAN EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

MODEL

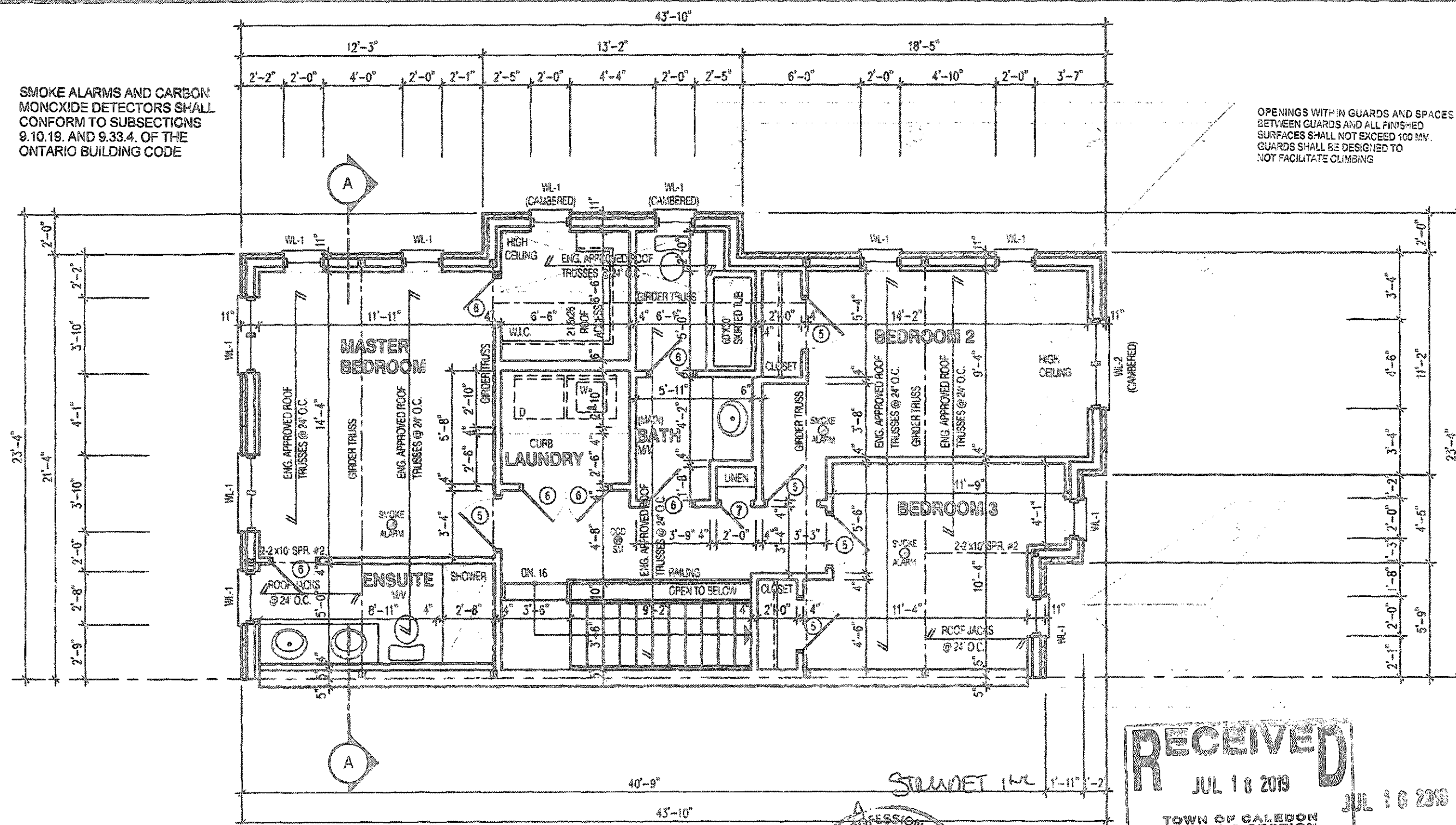
SCALE 3/16"=1'-0"

PROJ No 18-18

DWG No 2

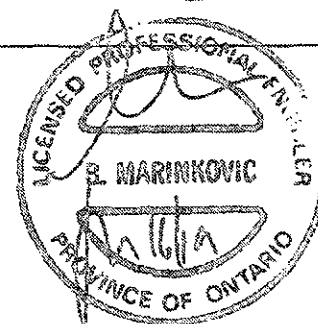
SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



HORIZON 3ES
ELEV-1
TH 95-4

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BLOCK PLAN DRAWINGS.

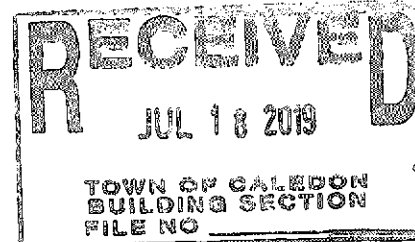
LEGEND:

- 2-2 BUILDING FACE < THAN 40' x 2m (AS MIN. ARE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL PLATE FOR STEEL COLUMN ABOVE
- ILLUMINATED VENEER / LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T. TRIPLE JOIST
- REPEAT NOTE
- SHOWER KEEPER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving said (building) plans or building drawings with respect to any zoning or building code or permit matter (if any) any cause can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, ENGINEERING, INTERIOR DESIGN AND ARTS
APPROVED BY: [Signature]
DATE: JUL 16 2019



1877
TOWNHOUSE
HORIZON 3ES
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND REPORT ALL EXISTING AND CONDTIONS ON SITE BEFORE PROCEEDING WITH THIS PROJECT. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT. THESE DRAWINGS OR FOR CONSTRUCTION SHALL BE BASED ON THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT.

THIS DRAWING IS AN INSTRUMENT OF SERVICE TO BE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
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4		
3	JULY 11, 2019	REVISED PER CITY COMMENTS
2	DEC 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECONDO VALLES

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION:
Registered unless design is signed under Division C. Subsection 3.2.1 of the Building Code.

Walter Botter [Signature] 21037
NAME SIGNATURE BCN

REGISTRATION INFORMATION:
Required unless design is signed under Division C. Subsection 3.2.1 of the Building Code

Jardin design group inc. 27763
FIRM NAME BCN

SECOND FL. PLAN EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL: ---
PROJ. NO.: 18-18
OVER: 3

1877
TOWNHOUSE
HORIZON 3ES
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION AND DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ANTI-SEISMIC INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONTRACTED WORKS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT AN OVERALL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECOND DRAWS 17-41
No.	DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Botter *WBE* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL ---
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18
DWG. NO. 3-1

NOTE:
SUBFLOOR TO BE
5/8" OSB ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

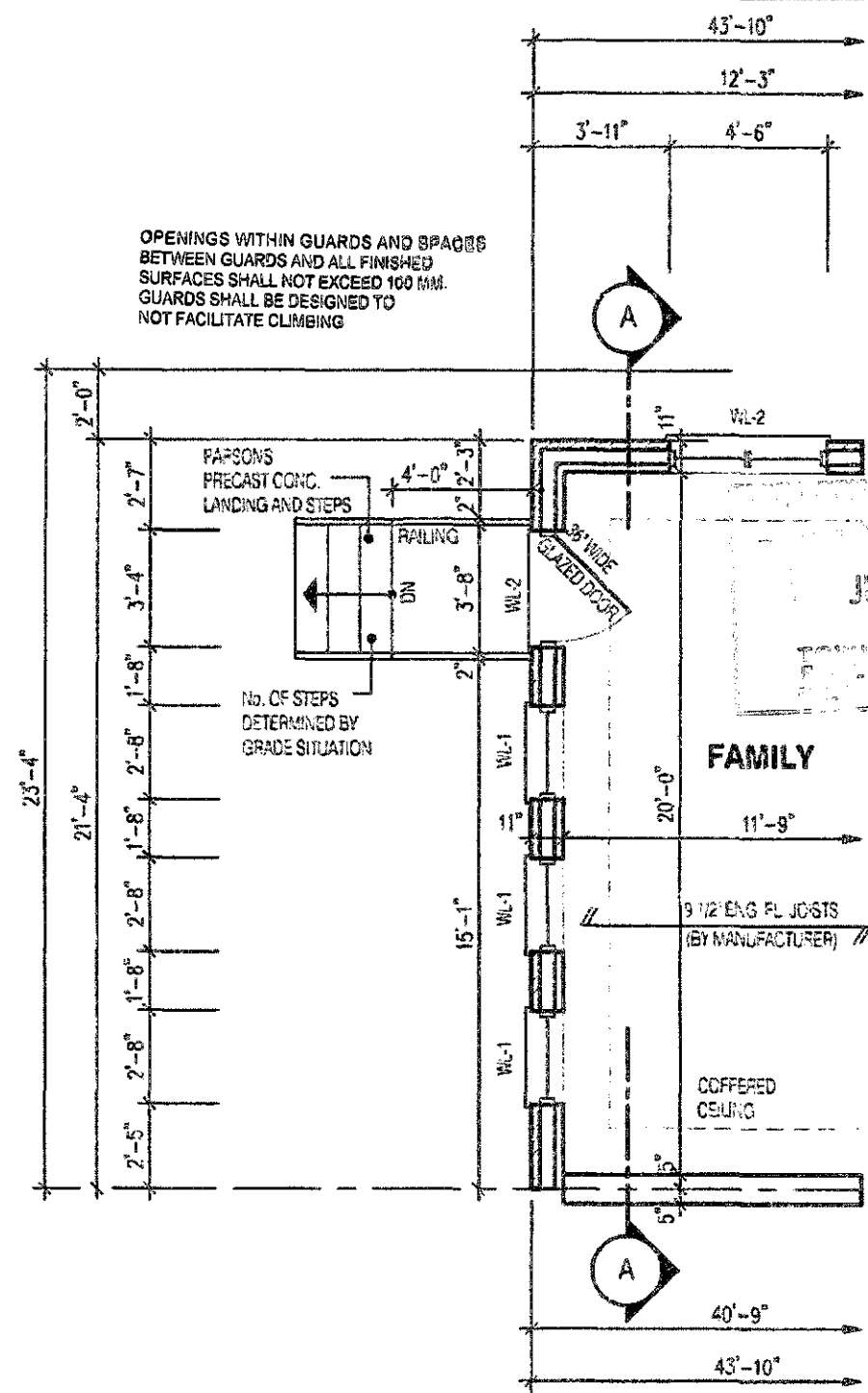
FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (utility) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

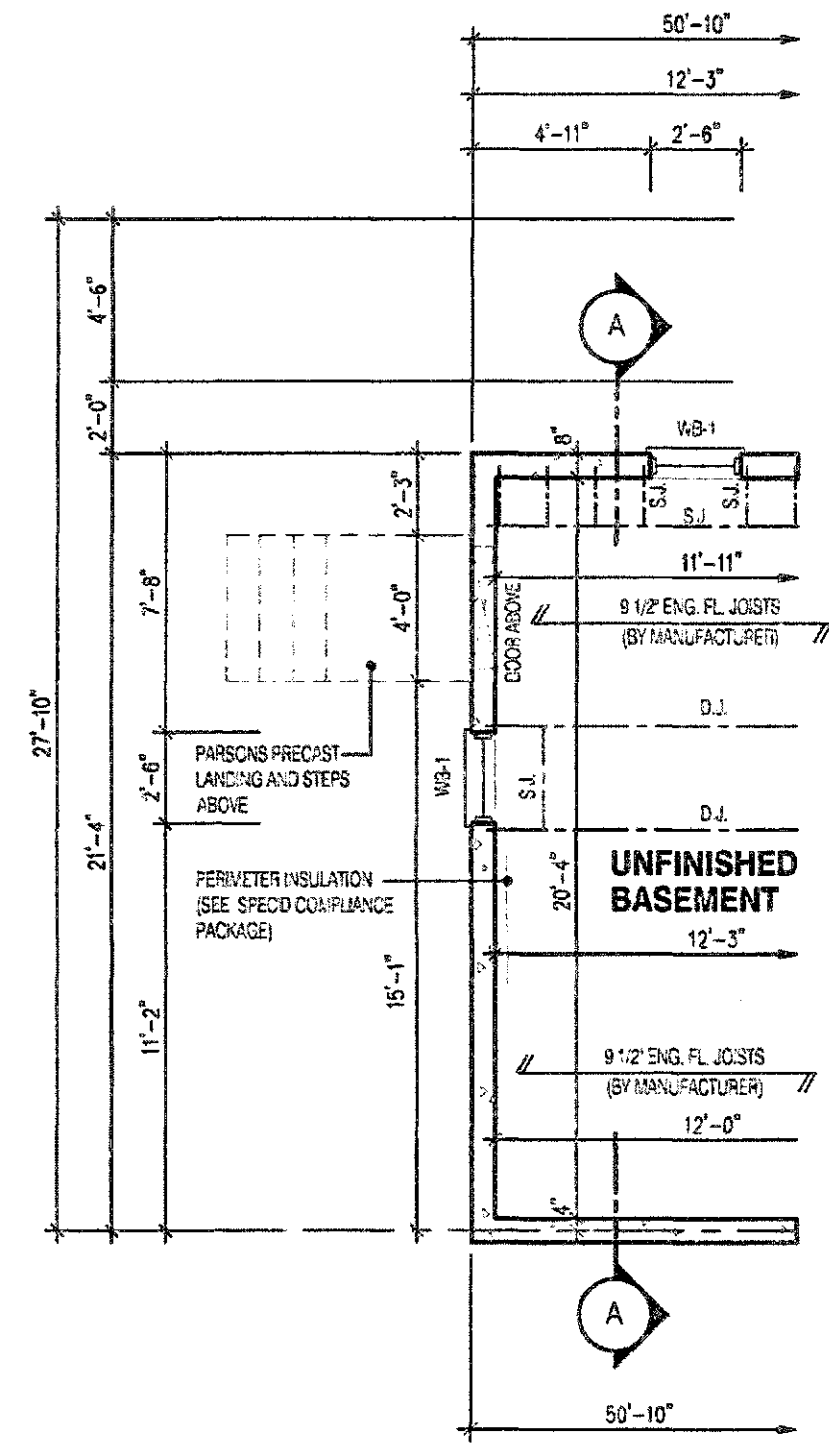
STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

PARTIAL FIRST FLOOR LAYOUT
FOR PARSON DECK CONDITION



OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

PARTIAL BASEMENT LAYOUT
FOR PARSON DECK CONDITION

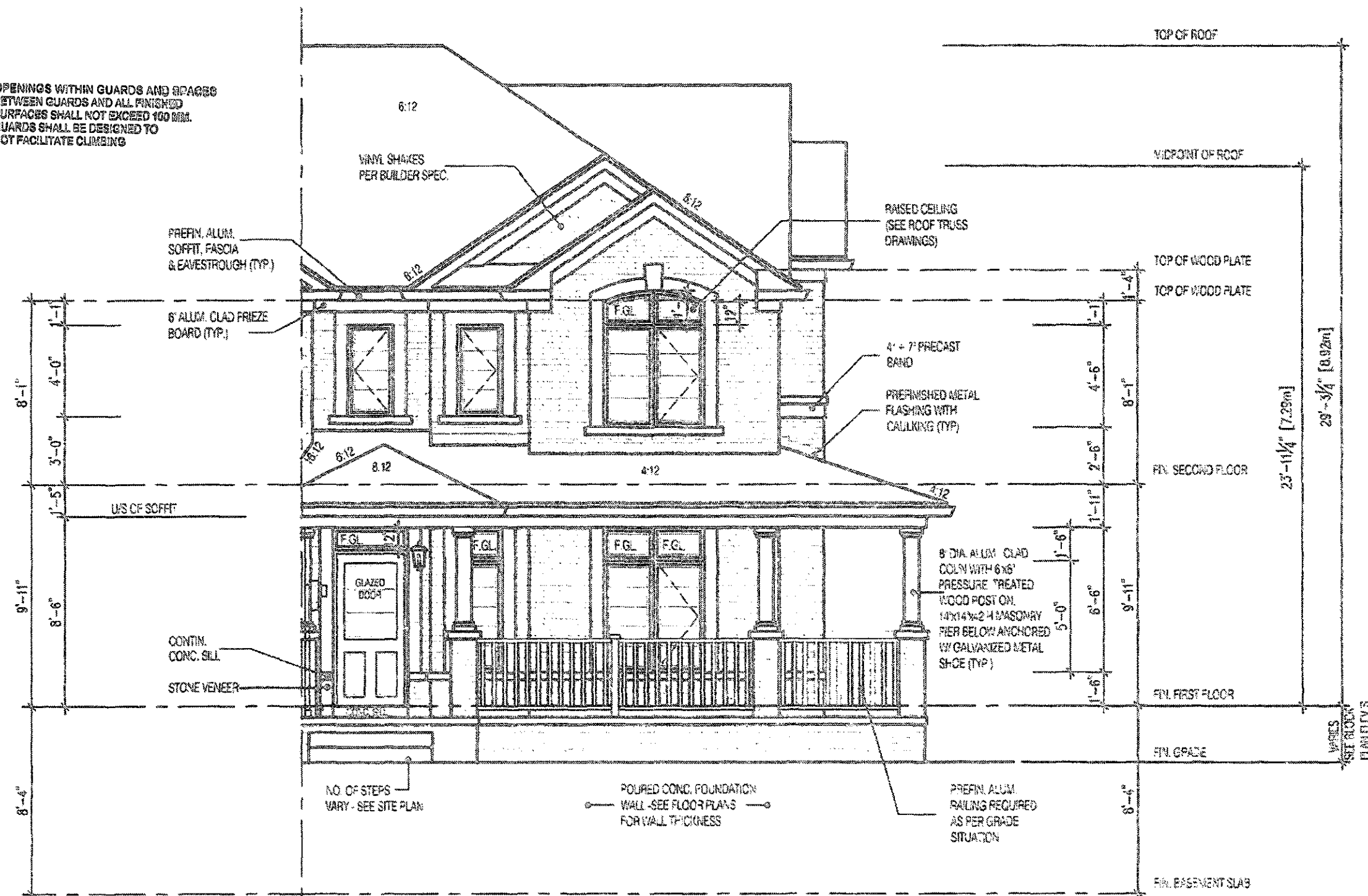


NOTE:
SUBFLOOR TO BE
3/4" OSB ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

NOTE: REFER TO SHEET NO. 3-1 FOR UNTEL BEAMS AND DOOR SIZE	NOTE: SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: - BUILDING FACE < THAN 4'-0" (1.2m) (AS MIN. FIRE RATING REQ'D) - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE - STL. PLATE FOR STEEL COLUMN ABOVE - LVL LAMINATED VENEER LUMBER - S.J. SINGLE JOIST - D.J. DOUBLE JOIST - T.J. TRIPLE JOIST - REPEAT NOTE - SHOWER WEEPERS
NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'		
NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.		

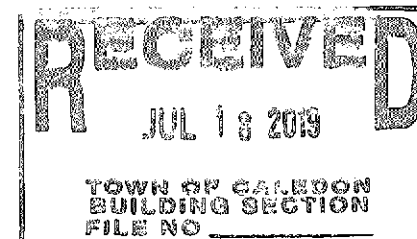
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

HORIZON 3ES
FRONT ELEV-1
TH 95-4



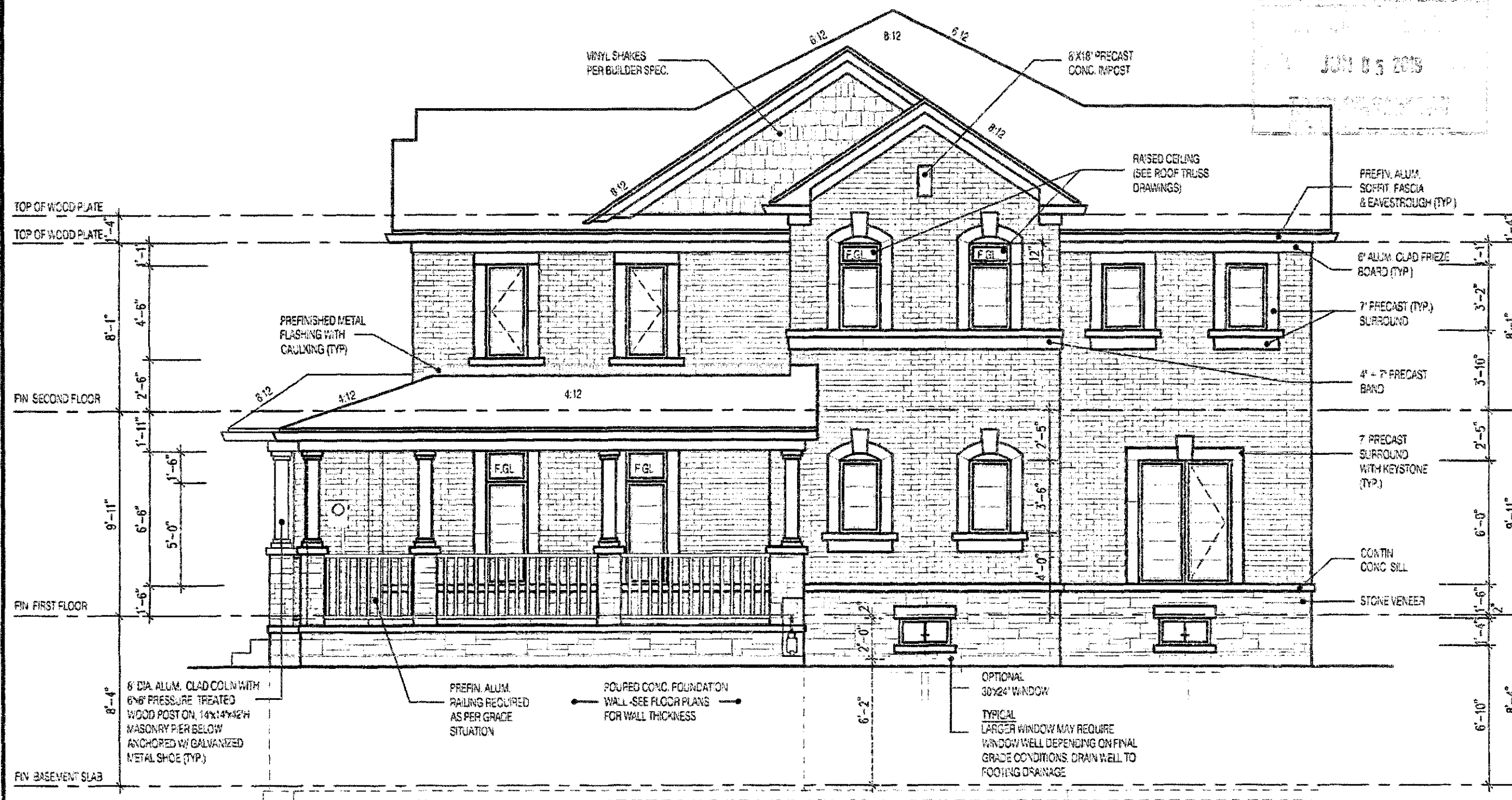
NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
REGISTERED ARCHITECT (ONLINE) NO. 1010
AND APPROVAL
DATE: JUL 18 2019
The Town of Caledon hereby certifies that the Architectural Design Guidelines and any other provisions in the subdivision agreement are hereby approved.

1877	
TOWNHOUSE	
HORIZON 3ES	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL BUILDING AND CONSTRUCTION CODES BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE TOWN OF CALEDON PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS OAKS TRULY OWNED HOMES MUST BE MARKED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO LIABILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBS. CONSTRUCTION TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INTEGRAL PART OF THE SET OF DRAWINGS PROVIDED BY JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SEPARATED.	
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3	JULY 11 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
2	DEC 13 2018 ISSUED FOR BUILDING PERMIT
1	JULY 26 2018 OAKS FROM SECOND OAKS 17-41
No.	DATE WORK DESCRIPTION
Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. OLIVIERO'S INFORMATION Registered unless design is a design under Division C, Subsection 3.1.5 of the Act.	
Walter Boller	21031
NAME	SIGNATURE
REGISTRATION INFORMATION Required unless design is a design under Division C, Subsection 3.2.4 of the Act.	
Jardin design group inc.	27763
FIRST NAME	LAST NAME
FRONT ELEVATION 1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
BILD®	
18-18	4



OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

HORIZON 3ES SIDE ELEV.-1 - UPGRADE TH 95-4

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

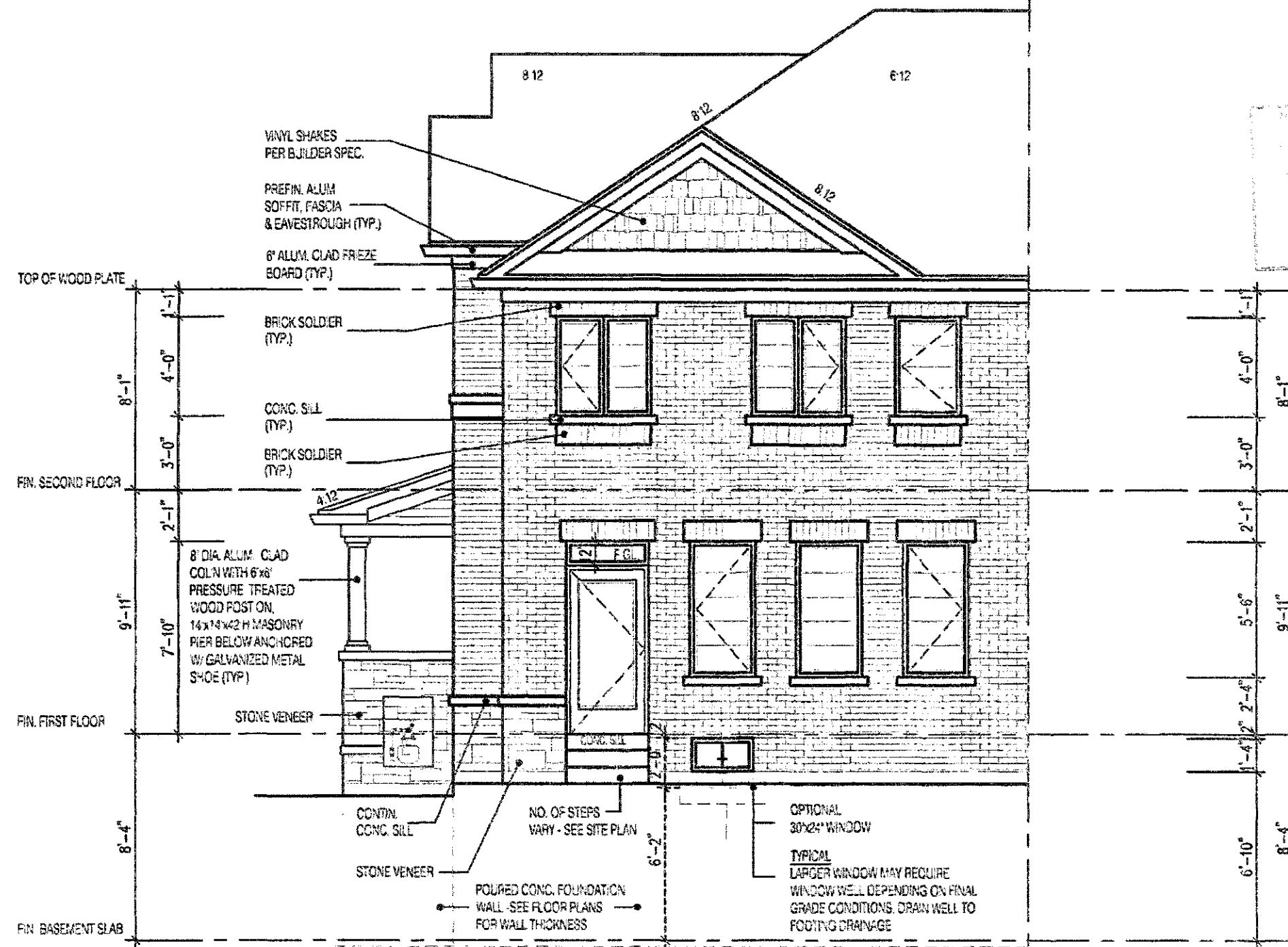
FEB 06 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1877	
TOWNHOUSE	
HORIZON 3ES	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION AND DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. RELIANCE ON THE INFORMATION SHOWN ON THESE DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSULTED EXPERTS MUST BE VERIFIED PRIOR TO POLING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO DESIGN BUT GENERAL REVIEW OF THE WORK HAS BEEN PROVIDED FOR THE PURPOSE OF THE DESIGN GROUP FOR THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECONDO VALES 17-41
No.	DATE WORK DESCRIPTION.
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the Code. Walter Botter <i>Walter Botter</i> 21091 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. jardin design group inc. 27763 FIRM NAME BCIN	
FLANKAGE ELEV. EL-1	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
MODEL SCALE 3/16" = 1'-0" PROJ. No. 18-18 DWG. No. 5	



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

**HORIZON 3ES
REAR ELEV-1
TH 95-4**

FEB 06 2019

1877

TOWNHOUSE

HORIZON 3ES

ELEVATION 1

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SHUTTER, OR ELEVATION INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AFTER THE APPROVAL OF THE ENGINEERING DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION WORK. ALL CONSTRUCTION WORK MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN ANY PERMITS, REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	DEC 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECOND DRAWS 17-11
No.	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

NAME: **Walter Bolter** SIGNATURE: *[Signature]* BCIN: **21031**

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

NAME: **jardin design group inc.** BCIN: **27763**

REAR ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

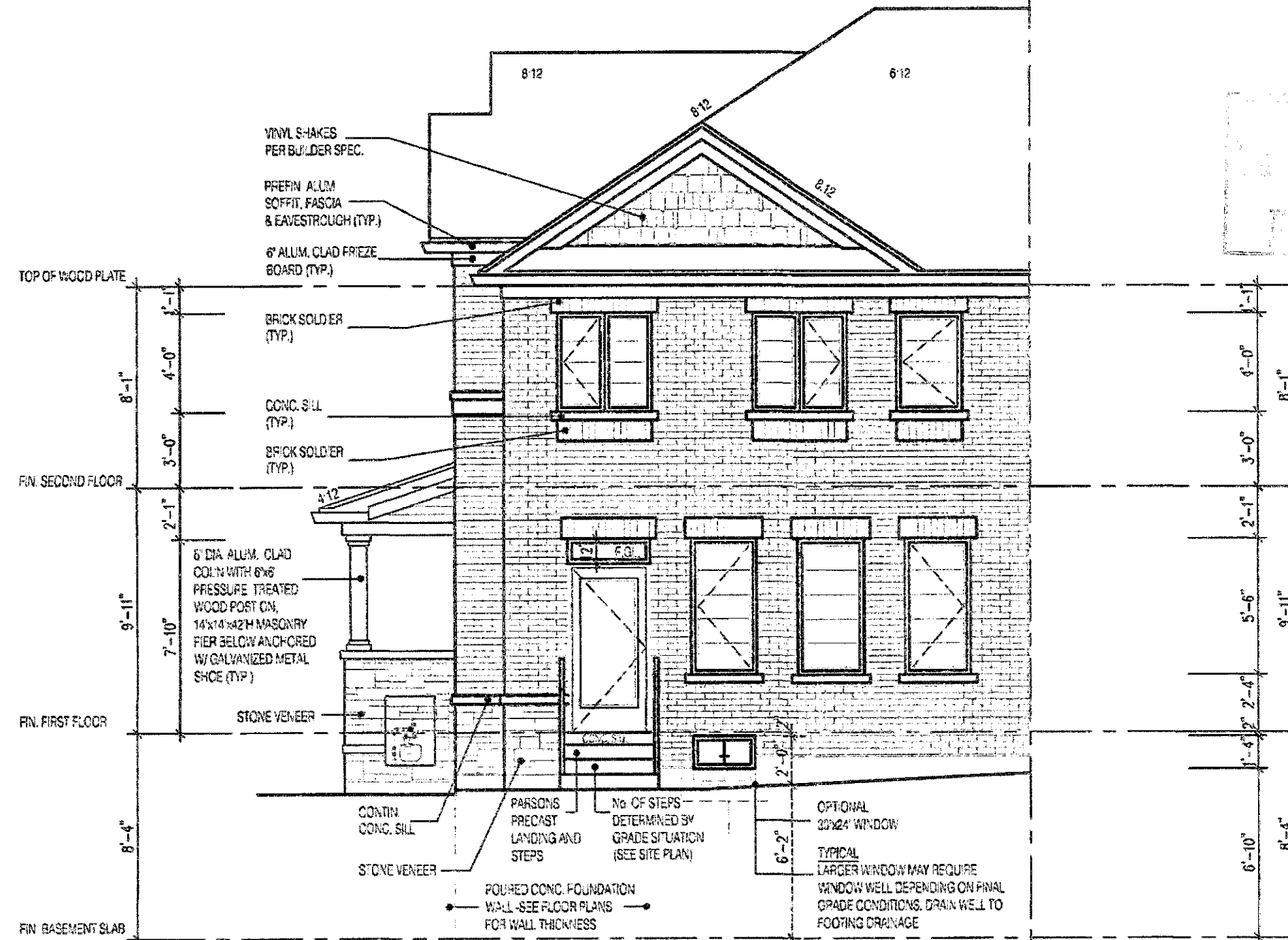
MODEL: **---**
SCALE: **3/16"=1'-0"**
PROJ. No.: **18-18** DES. No.: **6**



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

DATE: **FEB 06 2019**
BY: *[Signature]*
TITLE: **ARCHITECT**



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

HORIZON 3ES REAR ELEV-1 TH 95-4

NOTE:

WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.

(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

FEB 06 2019

1877

TOWNHOUSE

HORIZON 3ES
ELEVATION 1

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDUCTIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
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AND PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION ERRORS PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. RELY ON THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, INTERFERS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR FOR THE CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CITY/TOWN
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE AS PROVIDED BY 11.0.1.5
OF THE PROVISIONS OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

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2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM SECOND VIEWS 17-41
No.	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.3 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

REAR DECK CONDITION

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

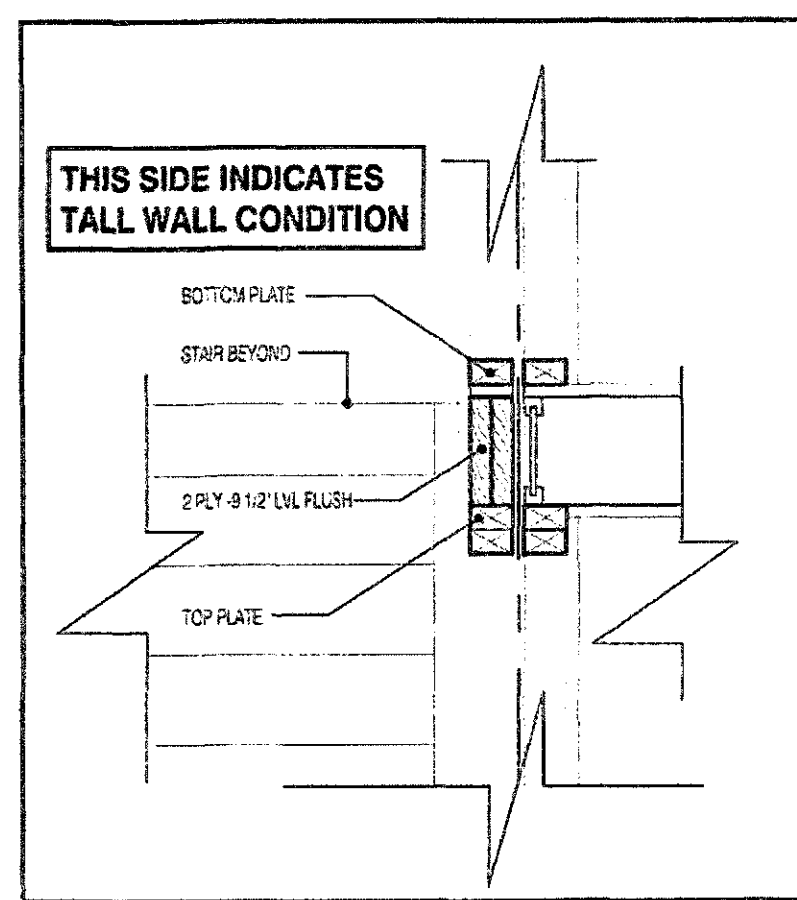
MODEL ---
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 6-1

It is the builder's complete responsibility to
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and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Council
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

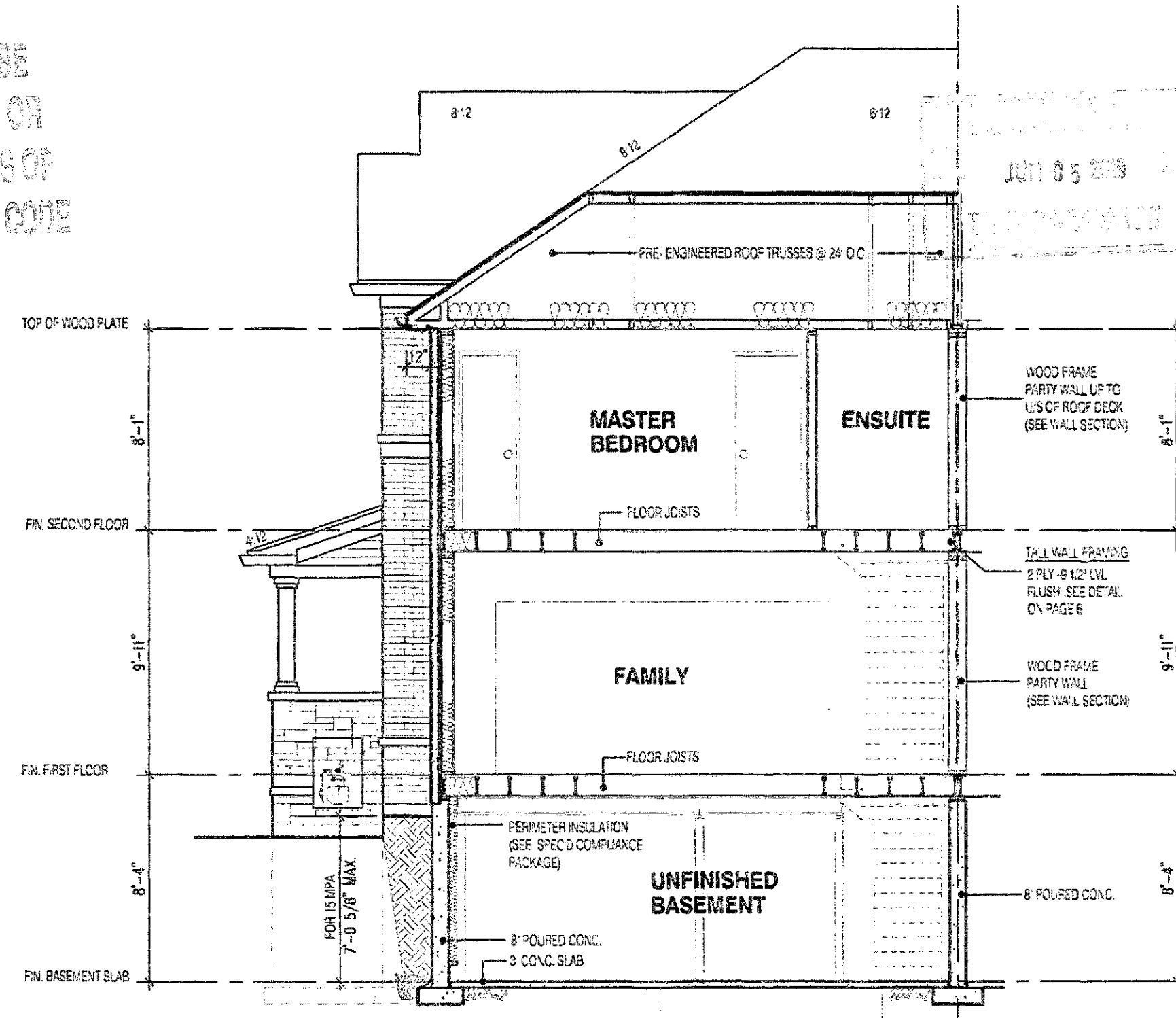
This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

[Signature]
ARCHITECT

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



B TALL WALL FRAMING
N.T.S.



STRUDET INC.

FOR STRUCTURE ONLY

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM

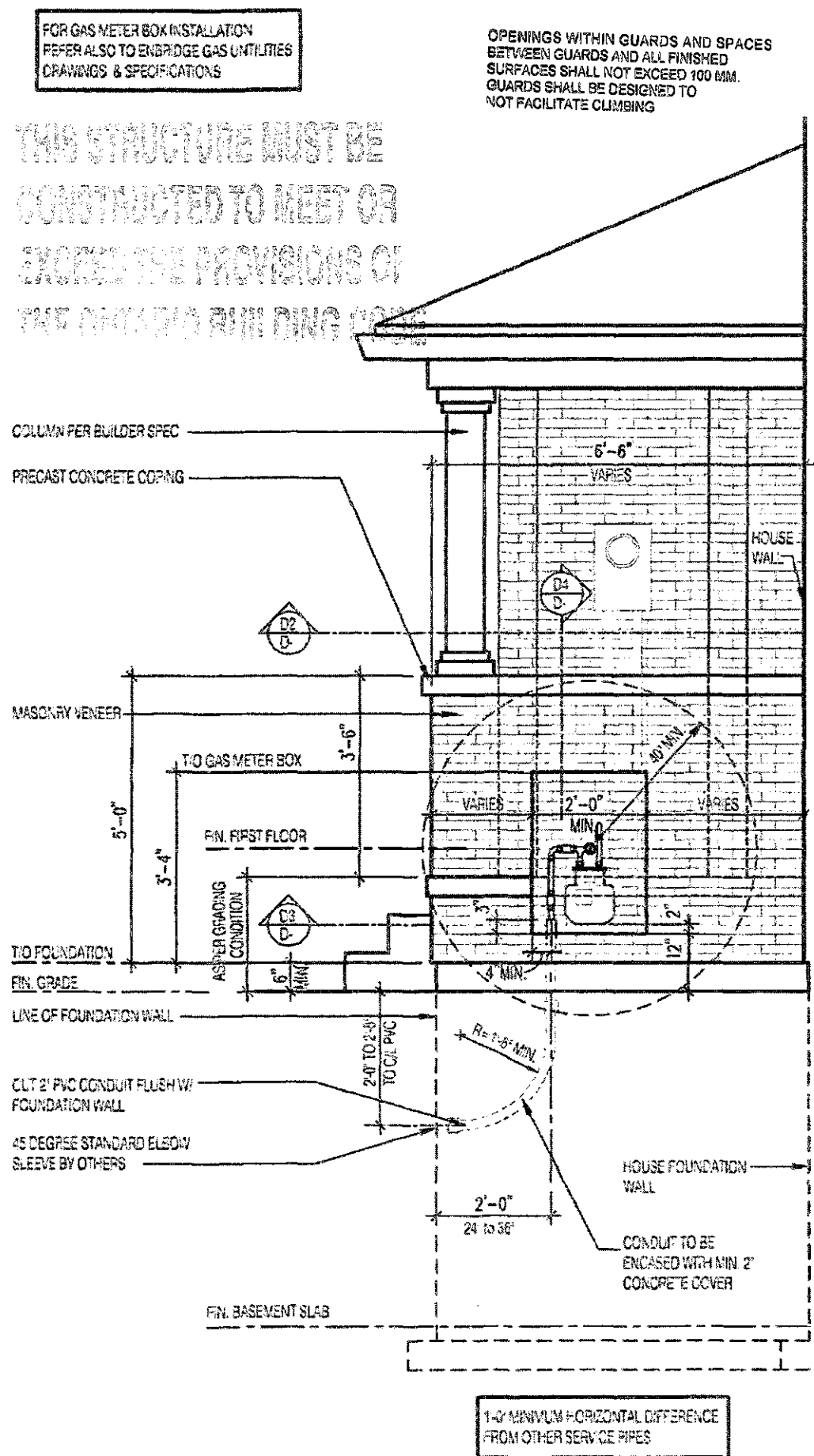
SECTION A-A

FEB 06 2019

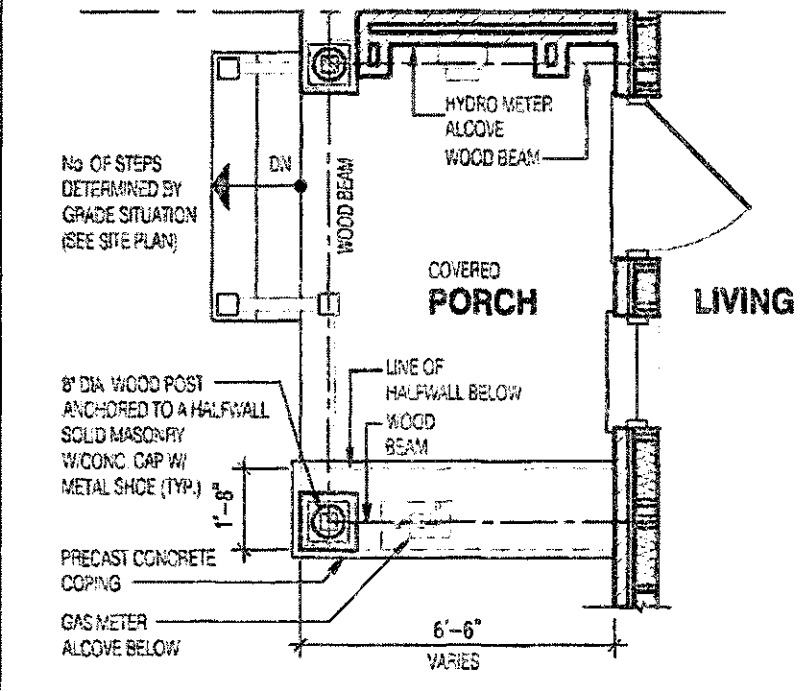
It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Contract
Architect is not responsible in any way for
examining or approving site (plot) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

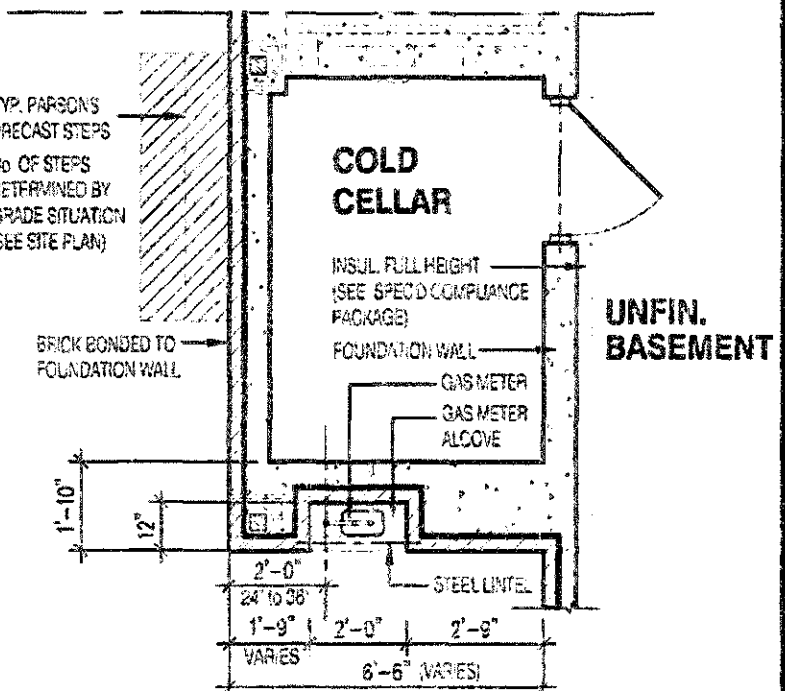
1877	
TOWNHOUSE	
HORIZON 3ES	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL INFORMATION BEFORE PROCEEDING WITH WORK. AS CONSTRUCTION PROGRESSES, THE CONTRACTOR MUST REPORT ANY DISCREPANCIES TO JARDIN DESIGN GROUP INC. PRIOR TO PROCEEDING. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A FINAL REVIEW OF THE WORK AND AS SUCH NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.	
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2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM SECOND DRAWS 17-41
No.	DATE: WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.	
Walter Boller	21031
NAME	SIGNATURE BCIN
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
jardin design group inc. 27763	
FIRM NAME BCIN	
SECTION	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
MODEL	---
SCALE	3/16" = 1'-0"
PROJ. No.	18-18
DWG. No.	7



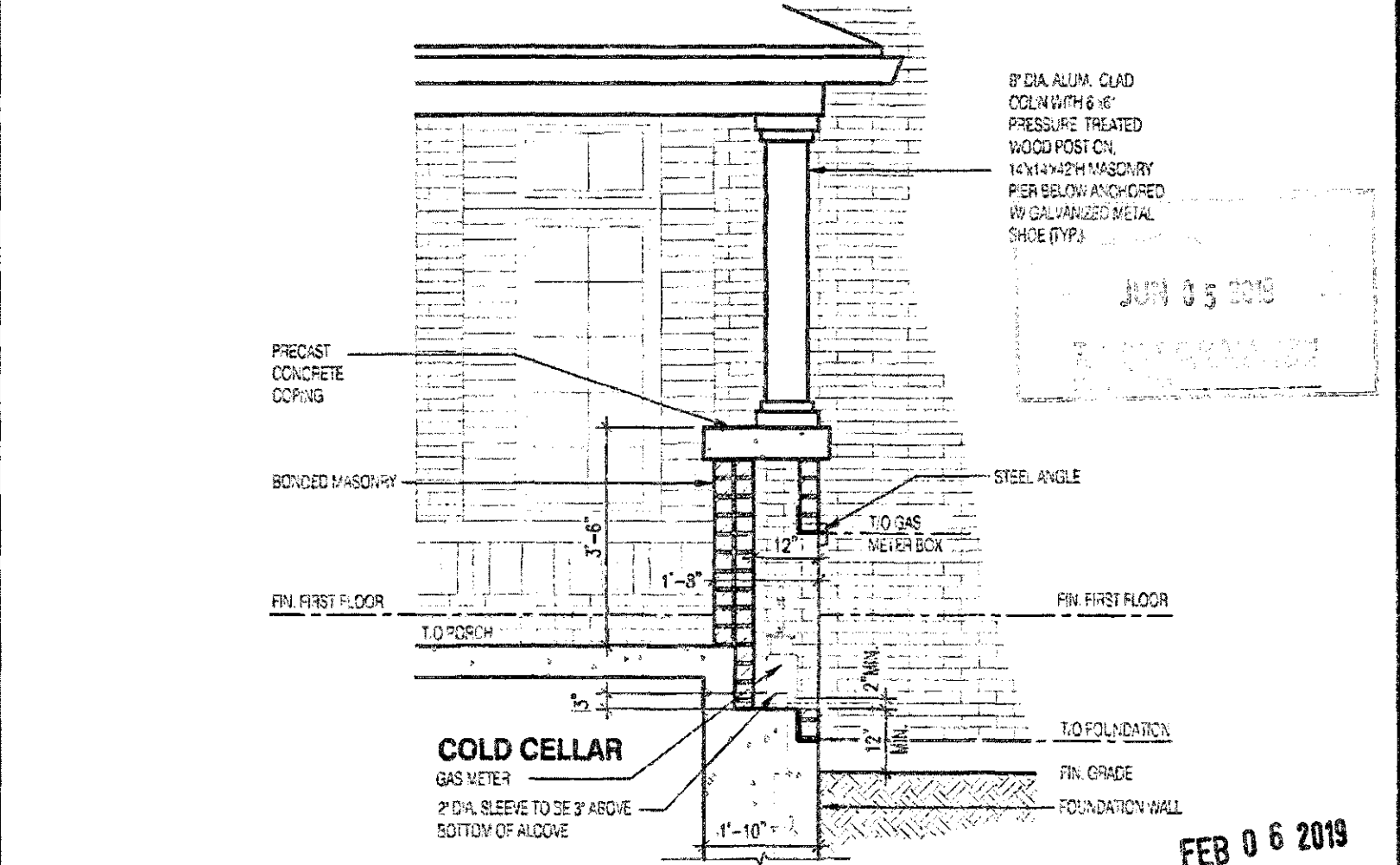
ELEVATION OF RECESSED WALL FOR GAS METER AT PORCH
Scale: 3/8" = 1'-0"
D-1



PLAN OF RECESSED WALL FOR GAS METER AT PORCH
Scale: 1/4" = 1'-0"
D-2



SECTION OF RECESSED WALL FOR GAS METER BY AT PORCH
Scale: 1/4" = 1'-0"
D-3



SECTION OF RECESSED WALL FOR GAS METER AT PORCH
Scale: 3/8" = 1'-0"
D-4

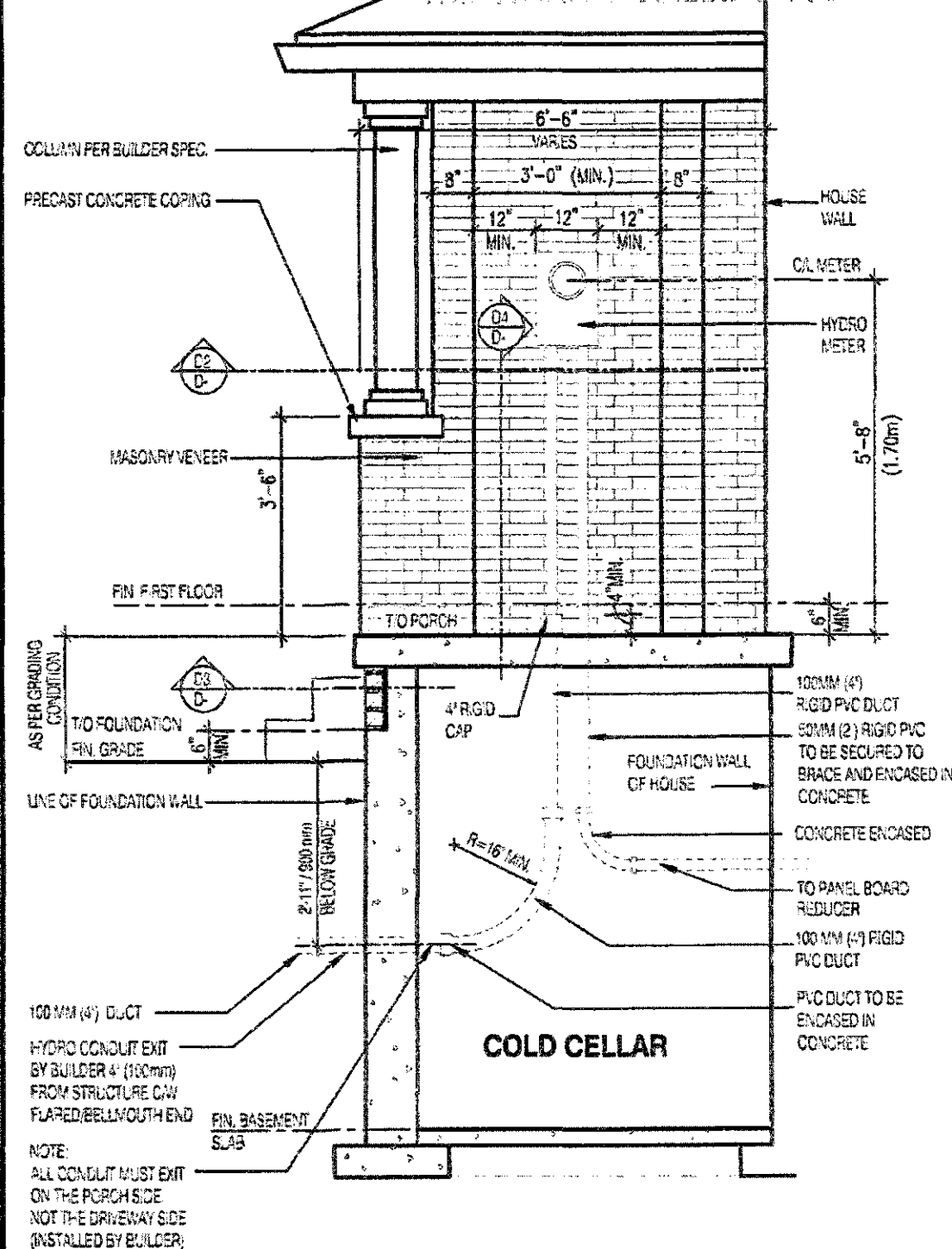
1877	
TOWNHOUSE	
HORIZON 3ES	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL OBTAIN AND PROVIDE ALL THE NECESSARY AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION AND DISPOSITIONS SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS FOR PROCEEDING WITH WORK. ALL CONSTRUCTED ITEMS MUST BE VERIFIED PRIOR TO SIGNING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR VERIFY THE PRELIMINARY MEASUREMENTS AND ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OF THE EXISTING CONDITIONS OR FOR THE CARRY OUT OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN ABSTRACT OF THE WORK PROVIDED BY JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSE.	
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DEC. 13, 2018 ISSUED FOR BUILDING PERMIT	
No.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has no qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 7.2.3 of the Building Code. Walter Boffe <i>WBe</i> 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 7.2.4 of the Building Code. jardin design group inc. 27763 FIRM NAME BCIN	
GAS METER DETAIL	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
BILD SCALE AS NOTED PROJ. NO. 18-18 DWG. NO. 8	

NOTE:

1. METER BASES TO BE SURFACE MOUNTED
2. REFER TO DU-03-209.2 DETAIL 3 FOR CAP DETAIL
3. REFER TO DU-03-209.2 & DU-03-209.0500 FOR ADDITIONAL INSTALLATION OF PVC BEYOND FOUNDATION WALL
4. RIGID PVC TRAVELING THROUGH COLD CELLAR SHOULD BE ENCASED IN CONCRETE.

FOR HYDRO METER BOX INSTALLATION
ALSO REFER TO HYDRO ONE
DU-03-209.2 AND DU-03-209.0500
DRAWINGS & SPECIFICATIONS

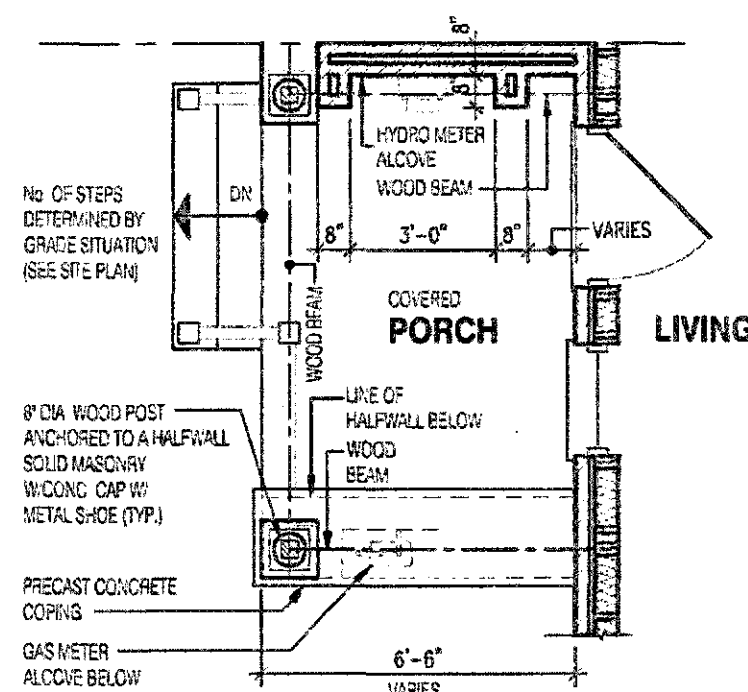
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



**ELEVATION OF RECESSED WALL FOR HYDRO
METER AT PORCH**

Scale: 3/8" = 1'-0"

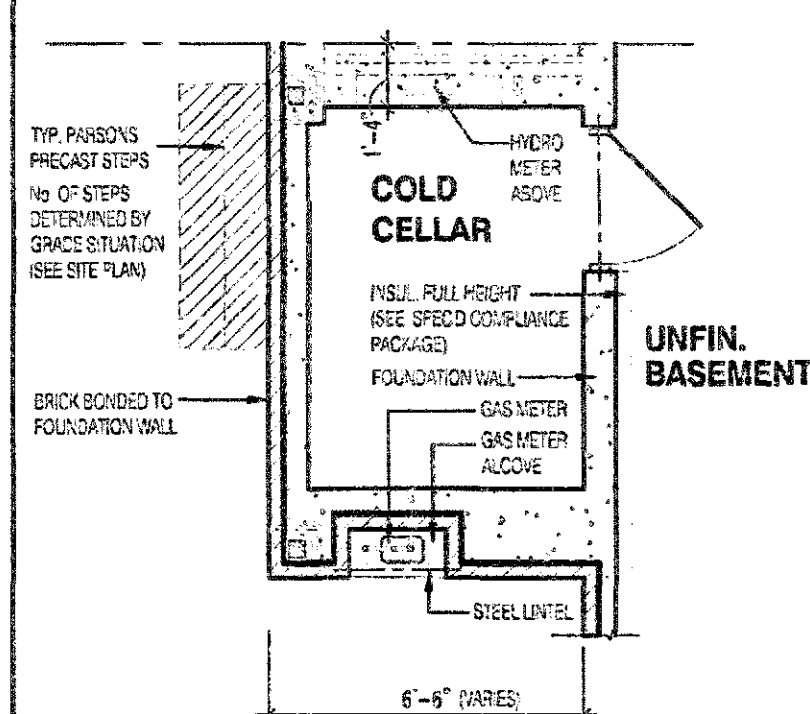
D-1



**PLAN OF RECESSED WALL FOR
HYDRO METER AT PORCH**

Scale: 1/4" = 1'-0"

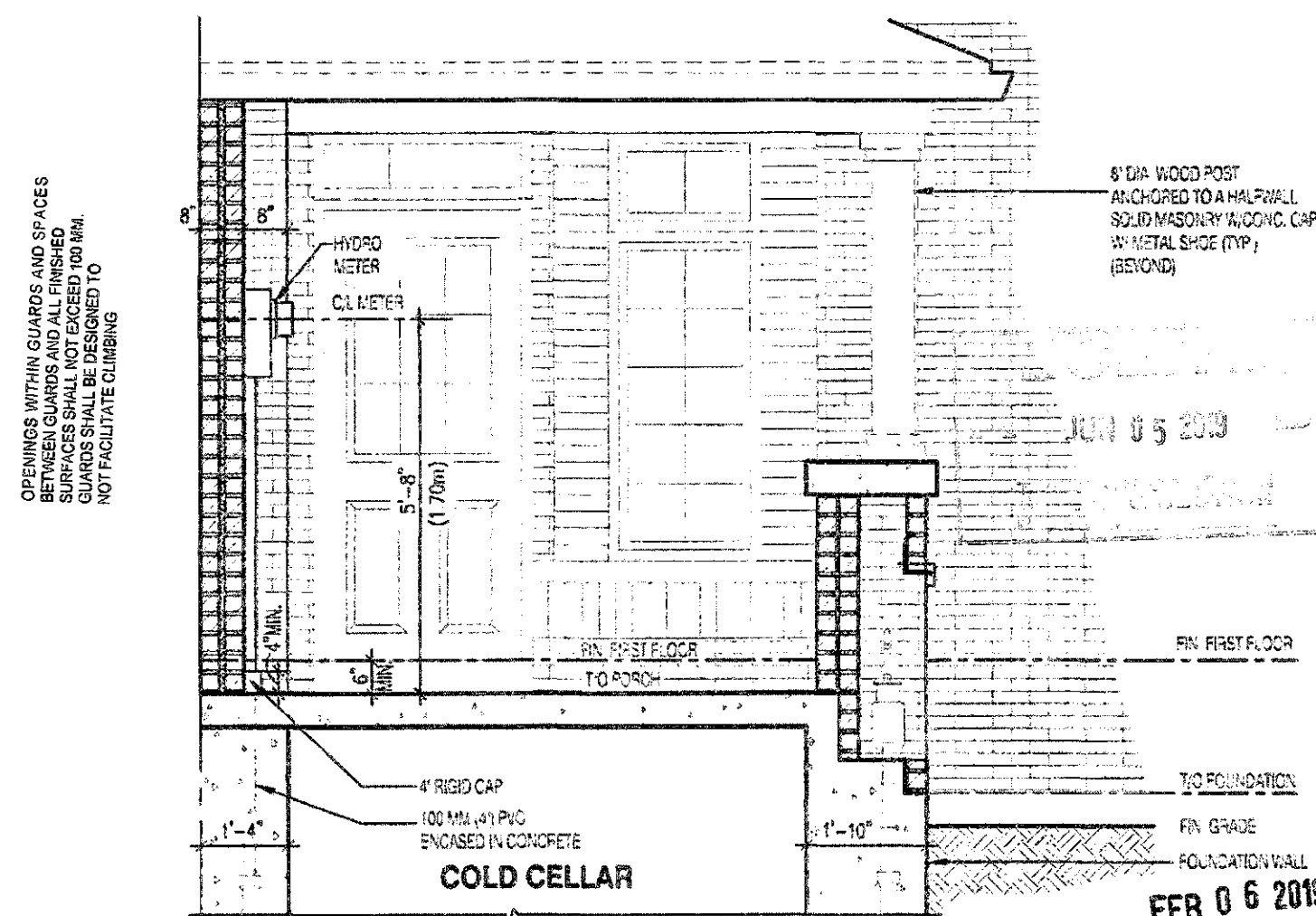
D-2



**SECTION OF RECESSED WALL FOR HYDRO
METER BY AT PORCH**

Scale: 1/4" = 1'-0"

D-3



SECTION OF RECESSED WALL FOR HYDRO METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

1877

**TOWNHOUSE
HORIZON 3ES
ELEVATION 1**

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PRODUCED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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1	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
No.	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

HYDRO METER DETAIL

**LAMBERTS LANE PHASE 2
TOWN OF CALEDON**

	MODEL
	SCALE AS NOTED
	PROJ. No. 18-18
	DWG. No. 9