

1860
TOWNHOUSE

HORIZON 12
ELEVATION 1

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUBSEQUENT TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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3		
2	DEC.13.2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM FORTHINGALE 14-44
No	DATE	WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter B... 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.3.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18
Dwg. No. 0

AREA CALCULATIONS			
GROUND FLOOR AREA	=	930 Sq. Ft.	
SECOND FLOOR AREA	=	930 Sq. Ft.	
TOTAL FLOOR AREA	=	1860 Sq. Ft.	
ADD OPEN AREAS	=	0 Sq. Ft.	
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.	
GROSS FLOOR AREA	=	1860 Sq. Ft.	
GROUND FLOOR COVERAGE	=	930 Sq. Ft.	
GARAGE COVERAGE / AREA	=	417 Sq. Ft.	
PORCH COVERAGE / AREA	=	175 Sq. Ft.	
COVERAGE W/ PORCH	=	1522 Sq. Ft.	
COVERAGE W/O PORCH	=	1247 Sq. Ft.	
	=	1251 Sq. Ft.	

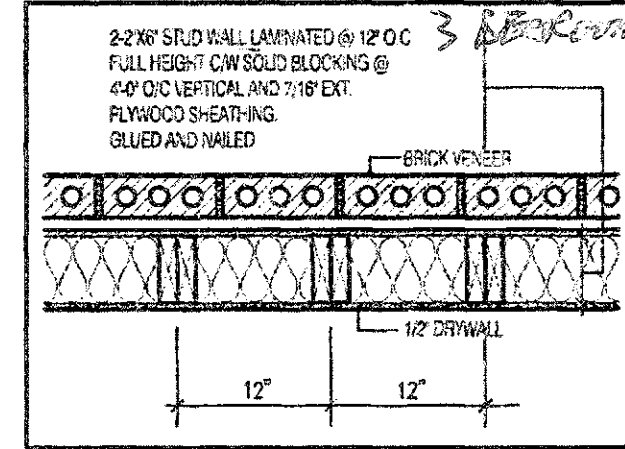
HORIZON 12 ELEV. 1 ENERGY EFFICIENCY- ENERGY STAR			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	522.00	86.00	16.28 %
LEFT SIDE	844.00	147.00	17.42 %
RIGHT SIDE	810.00	0.00	0.00 %
REAR	512.00	123.00	24.02 %
TOTAL	2688.00	356.00	13.21 % ✓

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1 2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLUMN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

- DOOR SCHEDULE:**
- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
 - 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
 - 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
 - 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
 - 4 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
 - 5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
 - 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
 - 7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
 - 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
 - 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
 - 10 = 2'-2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
 - 11 = 2'-2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
 - 12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

**CERTIFIED MODEL
PRE-APPROVED**
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY: *[Signature]*
DATE: *Jan 24 2019*
FILE # *18-18-12*



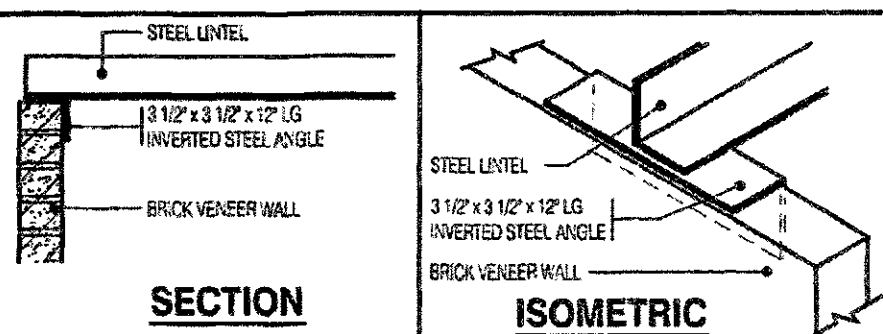
FULL HEIGHT WALL DETAIL 1
WITH BRICK VENEER N.T.S.

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'.

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.



INVERTED STEEL ANGLE DETAIL
Scale: 3/4" = 1'-0"

**THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE**

NOTE:
WHEN VENEER CUT IS GREATER THAN 25' A 10" POLURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

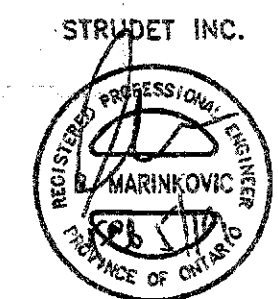
- BRICK VENEER LINTELS:**
- WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2-2" x 6" SPR.
 - WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2-2" x 8" SPR.
 - WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2-2" x 10" SPR.
 - WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2-2" x 12" SPR.
 - WL5 = 6" x 4" x 3/8" (150x100x10) + 2-2" x 12" SPR.
 - WL6 = 6" x 3 1/2" x 5/16" (125x90x8) + 2-2" x 12" SPR.
 - WL7 = 6" x 3 1/2" x 5/16" (125x90x8) + 3-2" x 10" SPR.
 - WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3-2" x 12" SPR.
 - WL9 = 6" x 4" x 3/8" (150x100x10) + 3-2" x 12" SPR.

- WOOD LINTELS:**
- WB1 = 2-2" x 8" SPRUCE BEAM
 - WB2 = 3-2" x 8" SPRUCE BEAM
 - WB3 = 2-2" x 10" SPRUCE BEAM
 - WB4 = 3-2" x 10" SPRUCE BEAM
 - WB5 = 2-2" x 12" SPRUCE BEAM
 - WB6 = 3-2" x 12" SPRUCE BEAM
 - WB7 = 5-2" x 12" SPRUCE BEAM
 - WB10 = 4-2" x 8" SPRUCE BEAM
 - WB11 = 4-2" x 10" SPRUCE BEAM

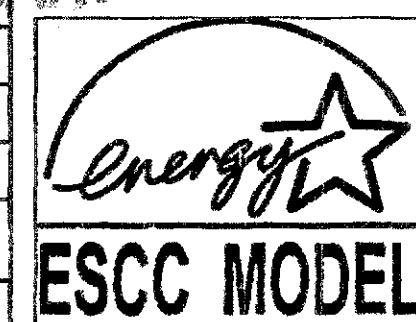
- STEEL LINTELS:**
- L1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6)
 - L2 = 4" x 3 1/2" x 5/16" (100x90x8)
 - L3 = 5" x 3 1/2" x 5/16" (125x90x8)
 - L4 = 6" x 3 1/2" x 3/8" (150x90x10)
 - L5 = 6" x 4" x 3/8" (150x100x10)
 - L6 = 7" x 4" x 3/8" (160x100x10)

- LAMINATED VENEER LUMBER (LVL BEAMS)**
- LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
 - LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
 - LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
 - LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
 - LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
 - LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
 - LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
 - LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
 - LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
 - LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
 - LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
 - LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
 - LVL8 = 2-1 3/4" x 14" (2-45x356)
 - LVL9 = 3-1 3/4" x 14" (3-45x356)

A COMPLETE SET OF REVERSED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION AS PER O.B.C.



FOR STRUCTURE ONLY



ENERGY STAR - V 17

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site planning plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

**PACKAGE
1 OF 2**

FEB 06 2019

APPLICANT COPY

PAD FOOTING 120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x18" CONCRETE PAD
- F3 = 30"x30"x12" CONCRETE PAD
- F4 = 24"x24"x12" CONCRETE PAD
- F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 40"x40"x16" CONCRETE PAD
- F3 = 34"x34"x14" CONCRETE PAD
- F4 = 28"x28"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
- F2 = 38"x38"x16" CONCRETE PAD
- F3 = 32"x32"x14" CONCRETE PAD
- F4 = 26"x26"x12" CONCRETE PAD
- F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS FOR HORIZONS

REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

120 KPa NATIVE SOIL

- 20"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS
- 24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED.)
- 24"x8" CONCRETE STRIP FOOTINGS (WITH REINF.) BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS - WITH REINF., AS NOTED ON PLANS
- 32"x8" CONCRETE STRIP FTGS BELOW EXT. WALLS - WITH REINF. (UNLESS OTHERWISE NOTED.)
- 32"x8" CONCRETE STRIP FOOTINGS - WITH REINF., BELOW PARTY WALLS

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.
(REFER TO ENG. FILL FOOTING DETAIL)

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

RECEIVED
JUL 18 2015
TOWN OF CALEDON
BUILDING SECTION
REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:

UNITS FOR THE FOLLOWING:

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

JUL 18 2015

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

1860

TOWNHOUSE

HORIZON 12

ELEVATION 1

ENERGY STAR

O.REG. 332/12

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AS CONSTRUCTED DRAWINGS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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7	
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1	JULY 11, 2015 ADDED FOOTING SIZE PAGE TO DRAWING SET
No.	DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
CLAUDE MARINKOVIC
Required unless design is exempt from Section C. Subsection 12.3 of the building code.

Walter B...
NAME SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.3 of the building code.
Jardin design group inc. 27763
FIRM NAME BORN

FOOTING SIZES/DETAILS

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

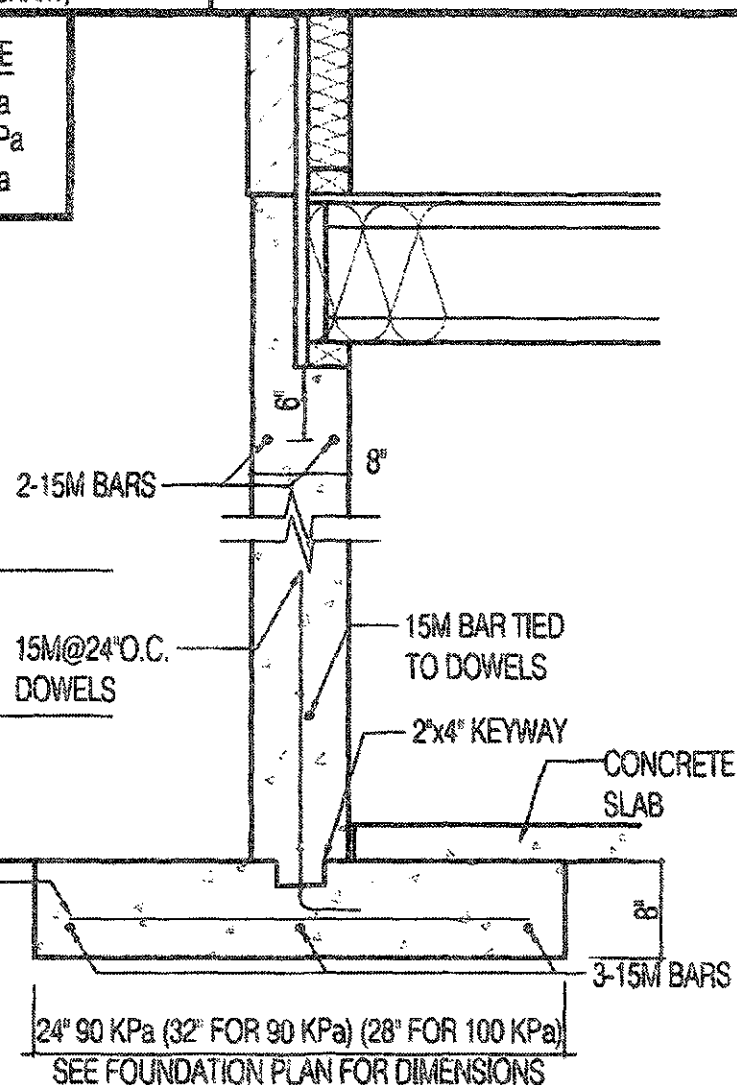
MODEL
SCALE 3/16"=1'-0"
PROJ. No. 18-18
GWS. No. 0-1

EXTERIOR STRIP FOOTING SIZE

- 24"x8" WITH REBAR FOR 90 KPa
- 28"x8" WITH REBAR FOR 100 KPa
- 32"x8" WITH REBAR FOR 90 KPa

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE 2014 BUILDING CODE

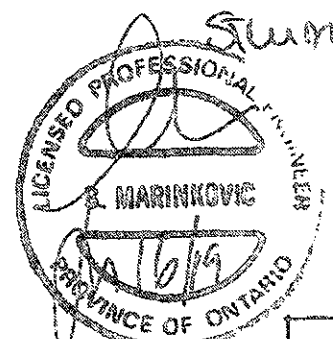
- 15M @ 10" O.C. FOR 90 KPa
- 15M @ 16" O.C. FOR 100 KPa



EXTERIOR STRIP FOOTINGS

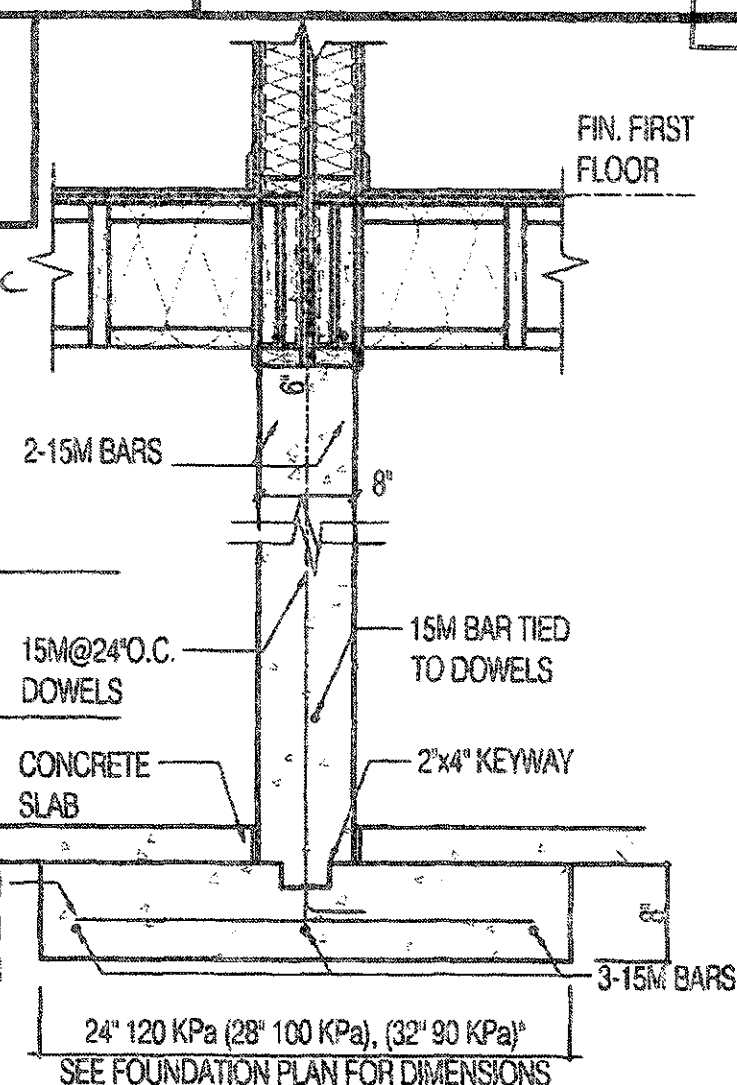
PARTY WALL FOOTING SIZE

- 24"x8" (WITH REBAR) FOR 120 KPa
- 28"x8" (WITH REBAR) FOR 100 KPa
- 32"x8" (WITH REBAR) FOR 90 KPa



For Sam
07

- 15M @ 16" O.C. FOR 24" WIDTH
- 15M @ 16" O.C. FOR 28" WIDTH
- 15M @ 10" O.C. FOR 32" WIDTH



PARTY WALL FOOTINGS

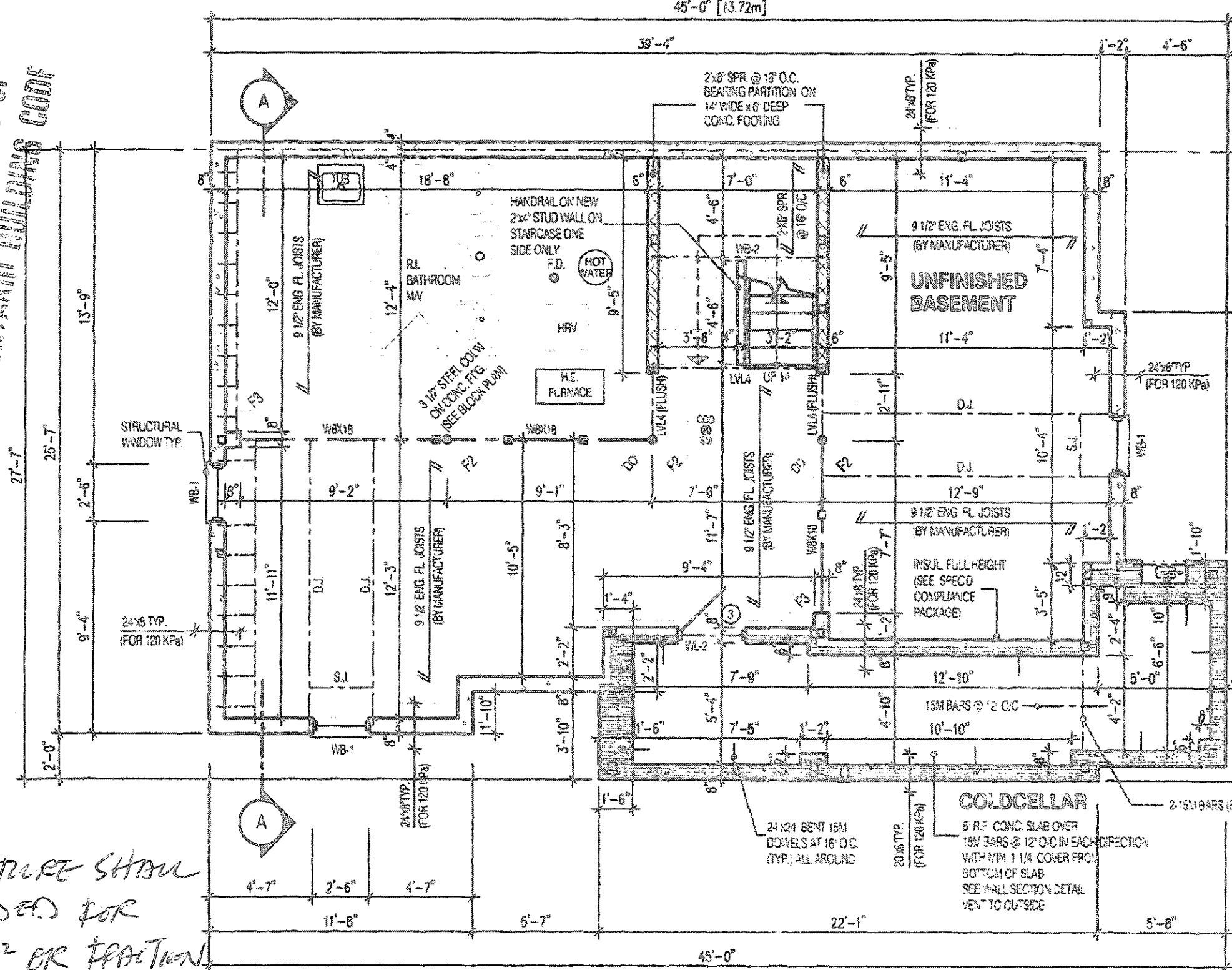
THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

FLIGHT PORTULCA SHALL BE PROVIDED FOR EACH 200m² OR FRACTION THERE OF IN UNFINISHED BASEMENT.

HORIZON 12 ELEV-1 TH 96-1

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BLOCK PLAN DRAWINGS.



NOTE:
REFER TO SHEET NO. 0-1 FOR Lintel, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

NOTE:
SUBFLOOR TO BE 3/4\"/>

LEGEND:

- BUILDING FACE - THICK 4\"/>

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions to the subdivision agreement. The Council Architect is not responsible in any way for examining or approving the drawings, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WHITMAN LTD., ARCHITECT
ARCHITECTURAL - CIVIL & ELEC.
AND APPRAISAL

APPROVED BY: [Signature]
DATE: JUL 22, 2019

RECEIVED

JUL 18 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

1860
TOWNHOUSE
HORIZON 12
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL COMPLY WITH ALL BYLAW, SAID CONDITIONS OR SITE REQUIREMENTS WITH CONSTRUCTION AND DISCREPANCIES SHALL BE REPORTED TO ARCHITECT GROUP AND PRIOR TO COMMENCEMENT OF WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL SURVEY, STRUCTURAL OR ENGINEERING INFORMATION PROVIDED IN THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AFTER THE ISSUANCE OF THE BUILDING PERMIT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED IN THESE DRAWINGS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED IN THESE DRAWINGS.

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7	
6	
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4	
3	JULY 11 2019 REVISED PER CITY COMMENTS
2	DEC 13 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24 2018 CAME FROM PARTIAL SALE
DATE	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION: [Signature]
Required unless design is for a minor addition to an existing structure.

Walter Bous [Signature] 21031
NAME SIGNATURE SON

REGISTRATION INFORMATION:
Registered under the Ontario Building Code Act, s. 32.4 of the Building Code

jardin design group inc. 27763
FIRM NAME BOX

BASEMENT PLAN EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL: —

SCALE: 3/16" = 1'-0"

DATE: 18-18

CHG. NO.: 1

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

HORIZON 12
ELEV-1
TH 96-1

1 HR FRR

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
REFER TO SHEET NO. 0-1 FOR UNTEL BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7, 2 ROWS FOR SPANS GREATER THAN 7

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

NOTE:
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LAMINATED VENEER LUMBER
- S.S. SINGLE JOIST
- D.U. DOUBLE JOIST
- T.U. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

Walter Boller 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"

PROJ. NO. 18-18
SHEET NO. 2

1860
TOWNHOUSE
HORIZON 12
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL PERMITS AND CONSTRUCTION PLANS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION (TYPICAL) PRIOR TO THE ISSUANCE OF A QUALIFIED VERIFICATION. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, THESE PLANS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN REFERRED TO BY ANY OTHER GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS A PART OF A SERVICE PROVIDED BY JARDIN DESIGN GROUP INC. AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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2	DEC. 13, 2016 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2016 CAME FROM FARTHINGALE 12-44

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

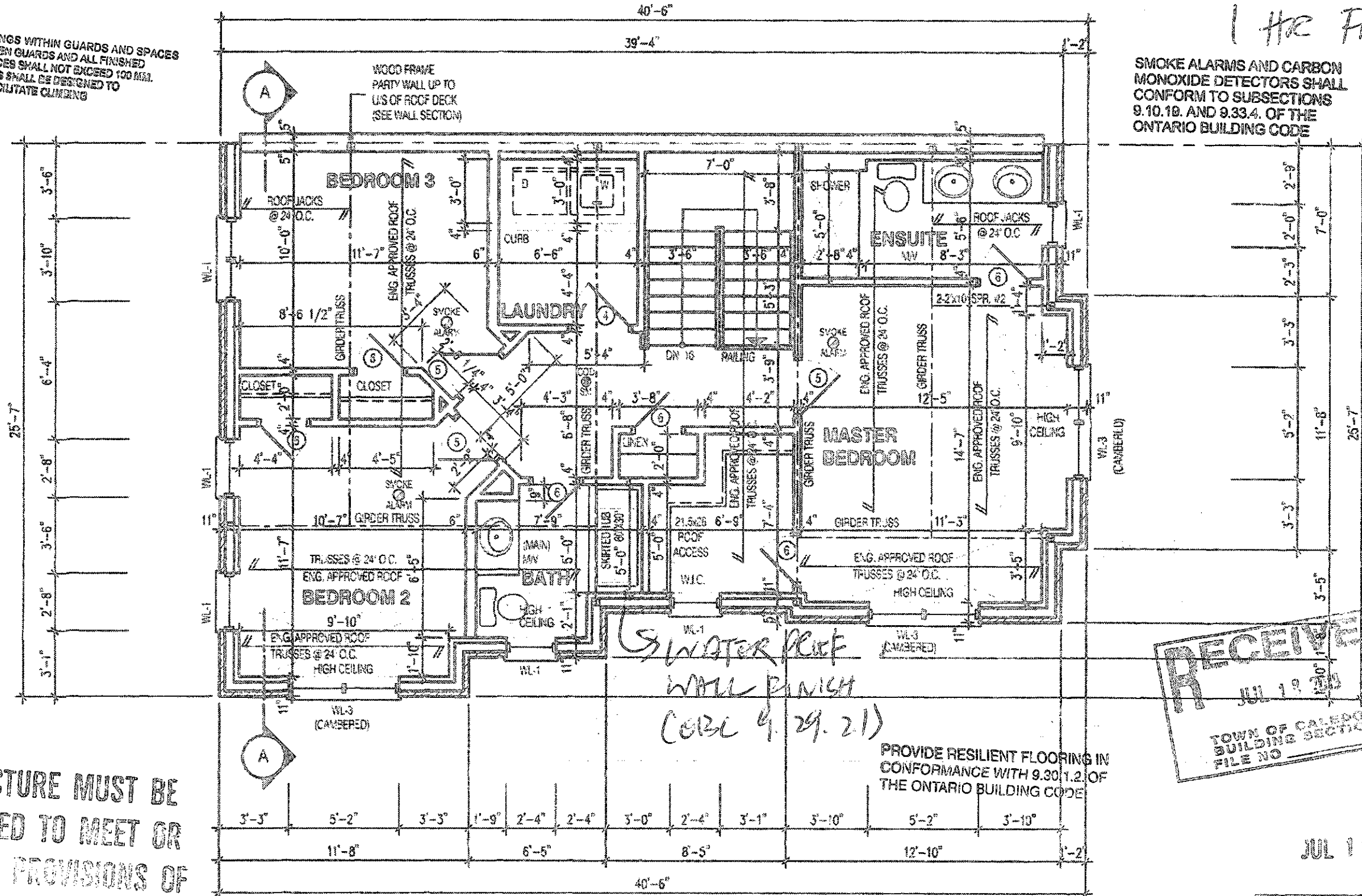
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

WOOD FRAME PARTY WALL UP TO U/S OF ROOF DECK (SEE WALL SECTION)

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.10. AND 9.33.4. OF THE ONTARIO BUILDING CODE



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

HORIZON 12
ELEV-1
TH 96-1



Provide 3-way switch located at head of every stairway more than 4 risers.

(ORC 4.24.2.3.)

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BLOCK PLAN DRAWINGS.

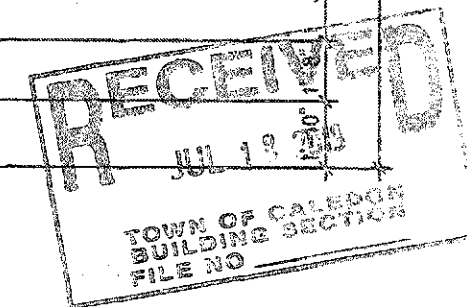
LEGEND:

- BUILDING FACE < THAN 4000 (2x) (MIN. FIRE RATING REQ.)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN REQ.
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER STOPPERS

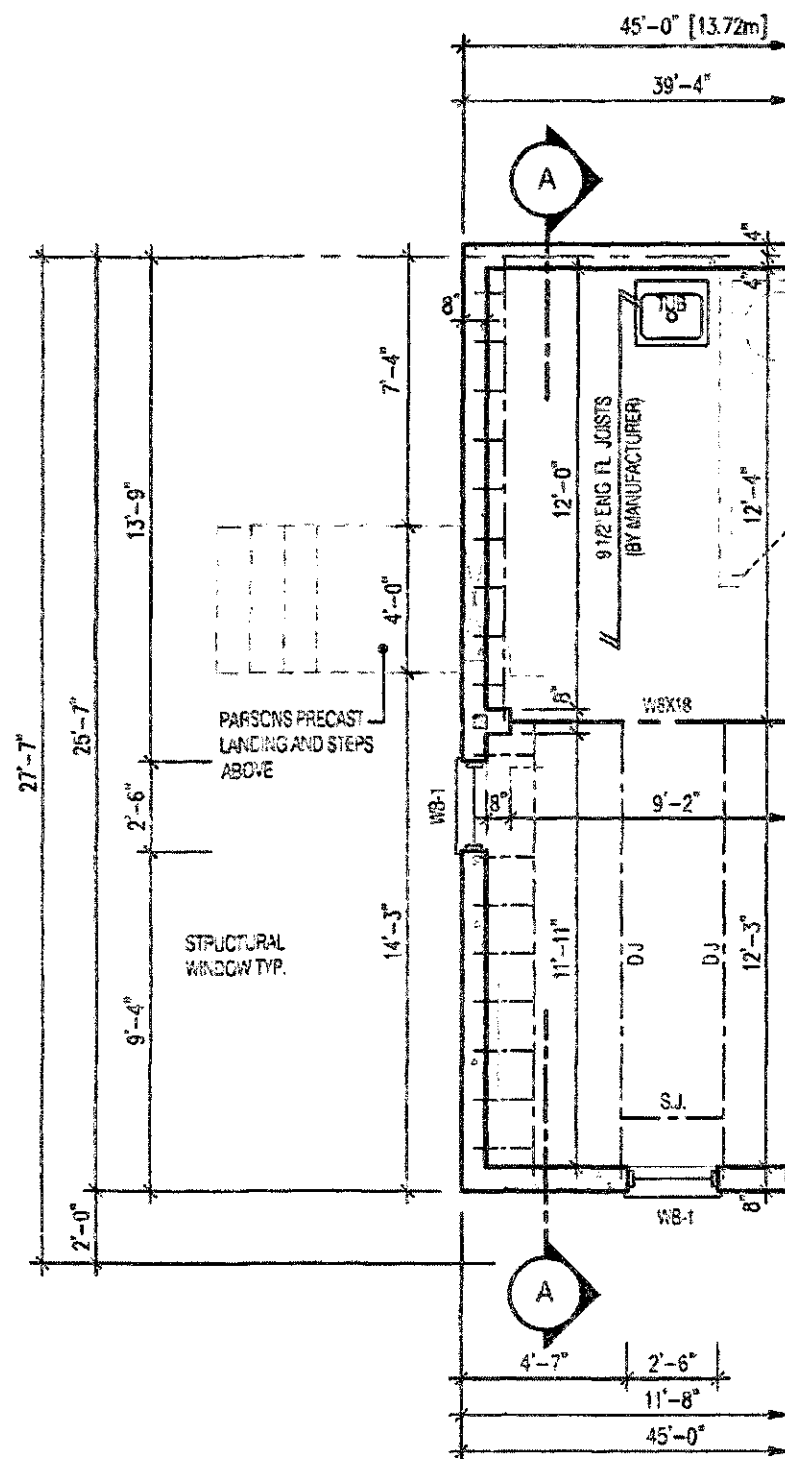
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements relating to zoning provisions and any other laws in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site planning plans or existing drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD. ARCHITECTS
REGISTERED ARCHITECTS
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 16, 2018
The design complies with the applicable Architectural Design Guidelines approved by the Town of Caledon.



1860	
TOWNHOUSE	
HORIZON 12	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND COORDINATE WITH ALL AFFECTING AGENCIES AND UTILITIES. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, MEASUREMENTS OR DIMENSIONS. ANY DISCREPANCIES OR FOR CONFLICTS WITH ANY OTHER INFORMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AFTER THE APPROVAL OF THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK IN ACCORDANCE WITH THE TOWN OF CALEDON BUILDING CODE. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE TOWN OF CALEDON BUILDING CODE. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED.	
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3	JULY 11, 2018 REVISED PER CITY COMMENTS
2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM PARTHARGALE
No.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION: [Signature] REGISTERED ARCHITECTS AND ENGINEERS OF ONTARIO JUL 16 2018	
NAME	SIGNATURE
Walter Bole	[Signature]
21031	SCR
REGISTRATION INFORMATION: Required unless design is exempt under Division C, Subsection 1.3.4 of the Building Code.	
jardin design group inc.	27763
NAME	SCR
SECOND FL. PLAN EL-1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
BILD	
MODE	
18-16	3



PARTIAL BASEMENT LAYOUT
FOR PARSON DECK CONDITION

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE 2018 BUILDING CODE

NOTE:

SUBFLOOR TO BE
3/4" OSB ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

NOTE:

REFER TO SHEET NO. 0-1 FOR UNTEL BEAMS AND DOOR SIZE

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7" 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

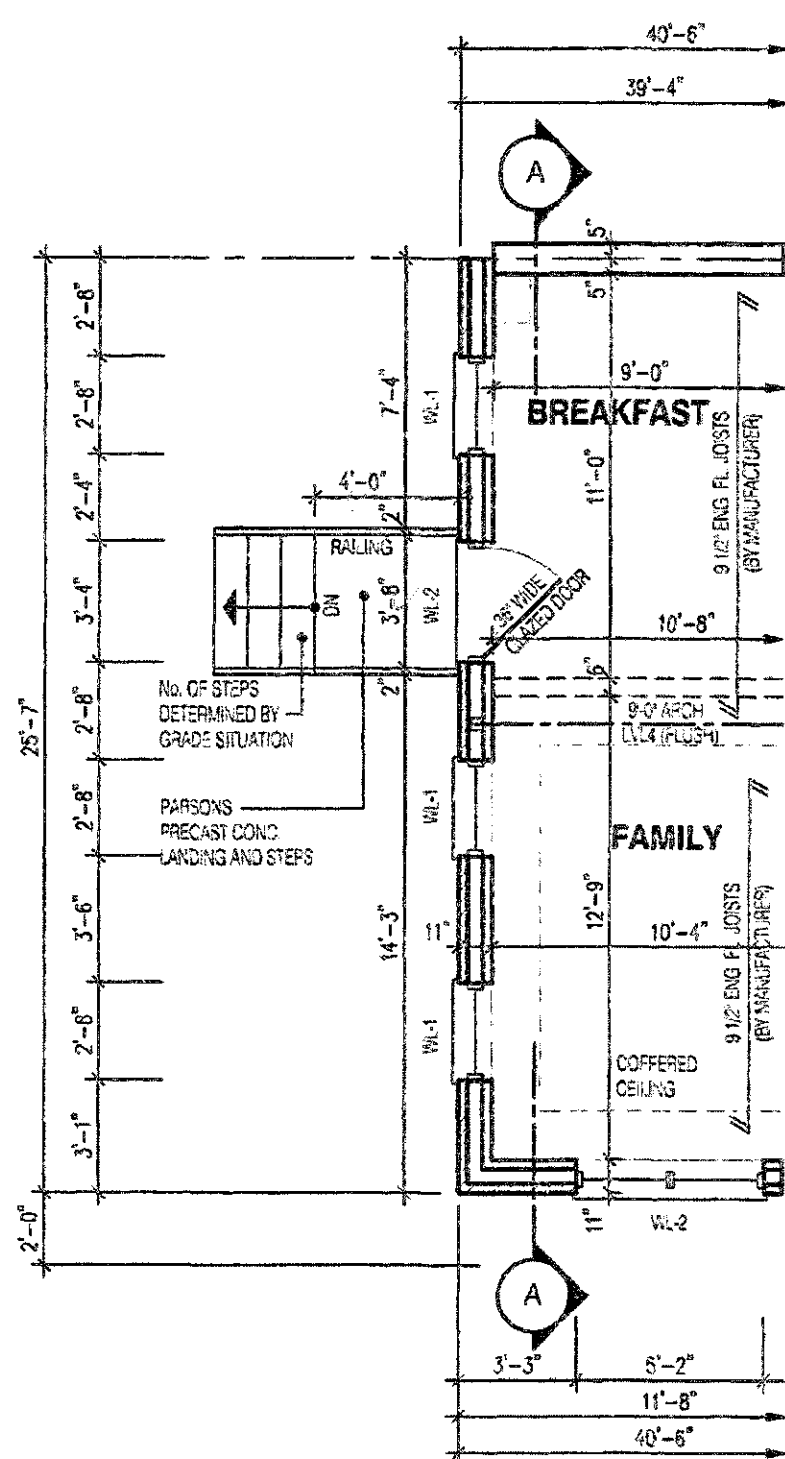
LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.



FOR STRUCTURE ONLY



PARTIAL FIRST FLOOR LAYOUT
FOR PARSON DECK CONDITION

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

NOTE:

SUBFLOOR TO BE
5/8" OSB ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

FEB 06 2019

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (floor) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on a lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

1860
TOWNHOUSE
HORIZON 12
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND
CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
AND PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION TYPED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONTRACTED, THE WORK MUST BE COMPLETED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE COPIED.

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No.	DATE	WORK DESCRIPTION
2	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018	CAME FROM FARTHINGALE 14-41

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.

Walter B... 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

REAR DECK CONDITION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
ARCH. No. 18-18
JWS. No. 3-1





THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

HORIZON 12
FLANKAGE ELEV.-1
TH 96-1

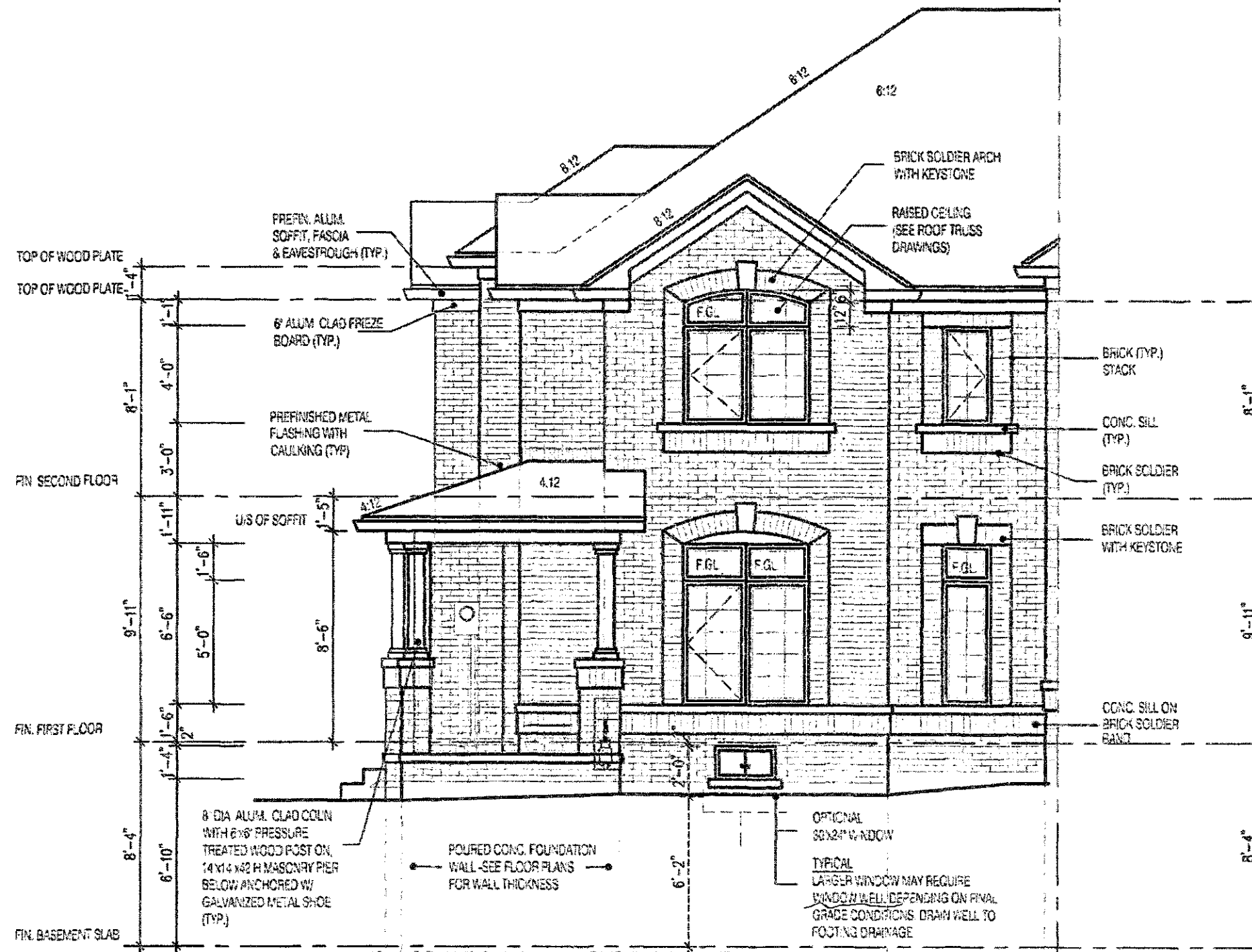
NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements relating zoning provisions and any other provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site floor plans or working drawings with respect to any zoning or building code or permit matter of that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANTS
AND ENGINEERS
DATE: JUL 17, 2019
The undersigned hereby certifies that the above plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1860	
TOWNHOUSE	
HORIZON 12	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONSIDERATION OF THE BUILDING DEPARTMENT WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY INFORMATION OR FOR THE PROTECTION OF THE PROPERTY OF THE CLIENTS. THESE PLANS ARE FOR CONSTRUCTION PURPOSES ONLY. THE ASSUMPTION OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS FOR THE PROTECTION OF THE PROPERTY OF THE CLIENTS. JARDIN DESIGN GROUP INC. HAS NOT BEEN AUTHORIZED TO CARRY OUT GENERAL EXAMINATION OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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3	JULY 11, 2018 REVISED PER CITY COMMENTS
2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM PARTHAGALE
No.	DATE WORK DESCRIPTION
Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION: ARCHITECT Required unless otherwise specified under O. Reg. C. Section 15.1 of the Building Code. Walter Bock NAME SIGNATURE BCIN 21037 REGISTRATION INFORMATION Required unless design is exempt under O. Reg. C. Section 32.4 of the Building Code Jardin design group inc. 27763 FIRM NAME BCIN	
FLANKAGE ELEVATION 1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL: --- SCALE: 3/16" = 1'-0" PROJ NO: 18-18 CLG NO: 4	



**HORIZON 12
FRONT ELEV-1
TH 96-1**

1 HR FRR

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE TOWN OF CALEDON

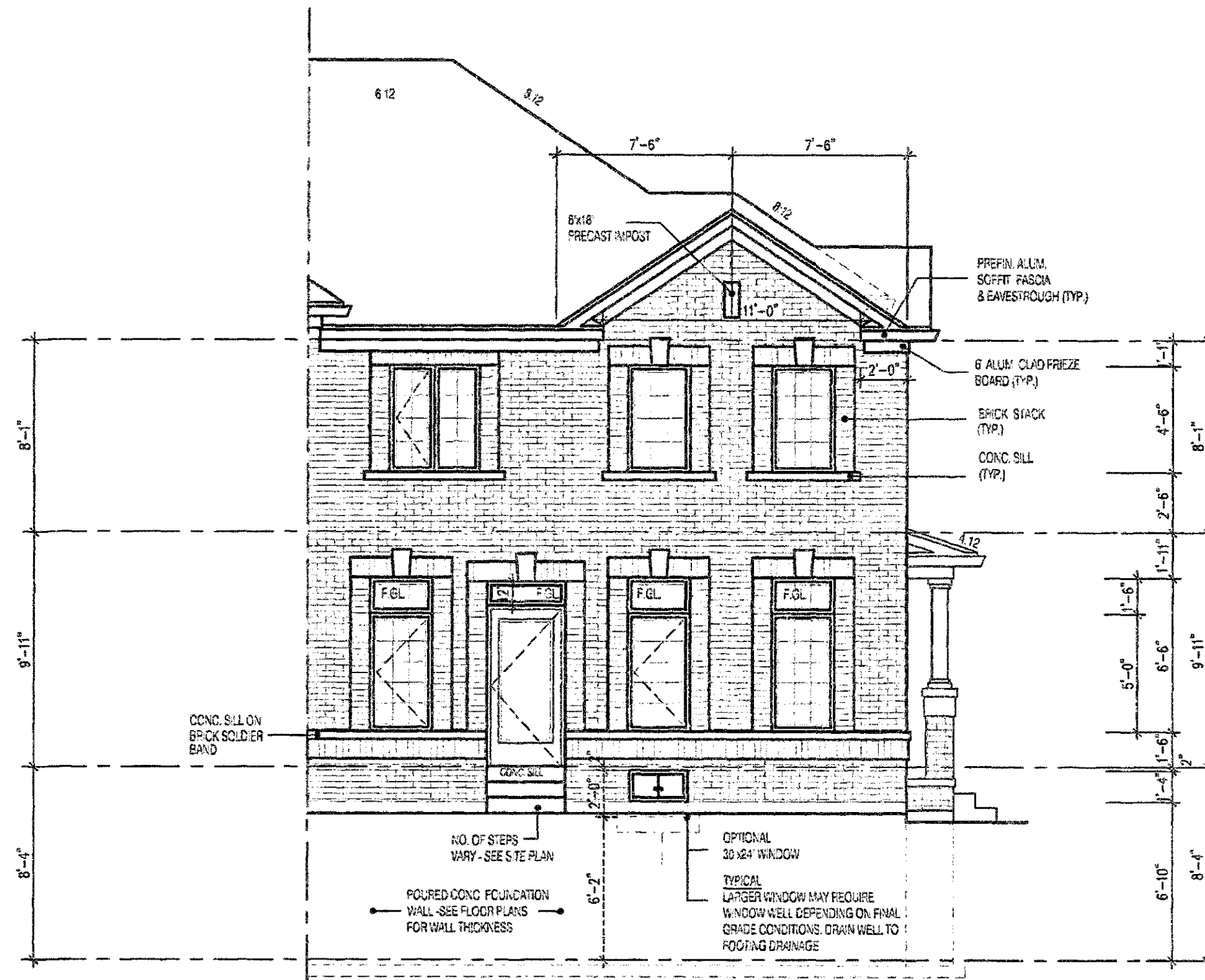
FEB 06 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (plotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1860	
TOWNHOUSE	
HORIZON 12	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ASSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED ELEMENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.	
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2	DEC 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM FARTHINGALE 14-44
NO.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code. Walter Borden 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code. jardin design group inc. 27763 FIRM NAME BCIN	
FRONT ELEVATION 1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
BILD MODEL --- SCALE 3/16" = 1'-0" PROJ. No. 18-18 DWG. No. 5	



**HORIZON 12
REAR ELEV-1 - UPGRADE
TH 96-1**

1 Hr PRR.

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

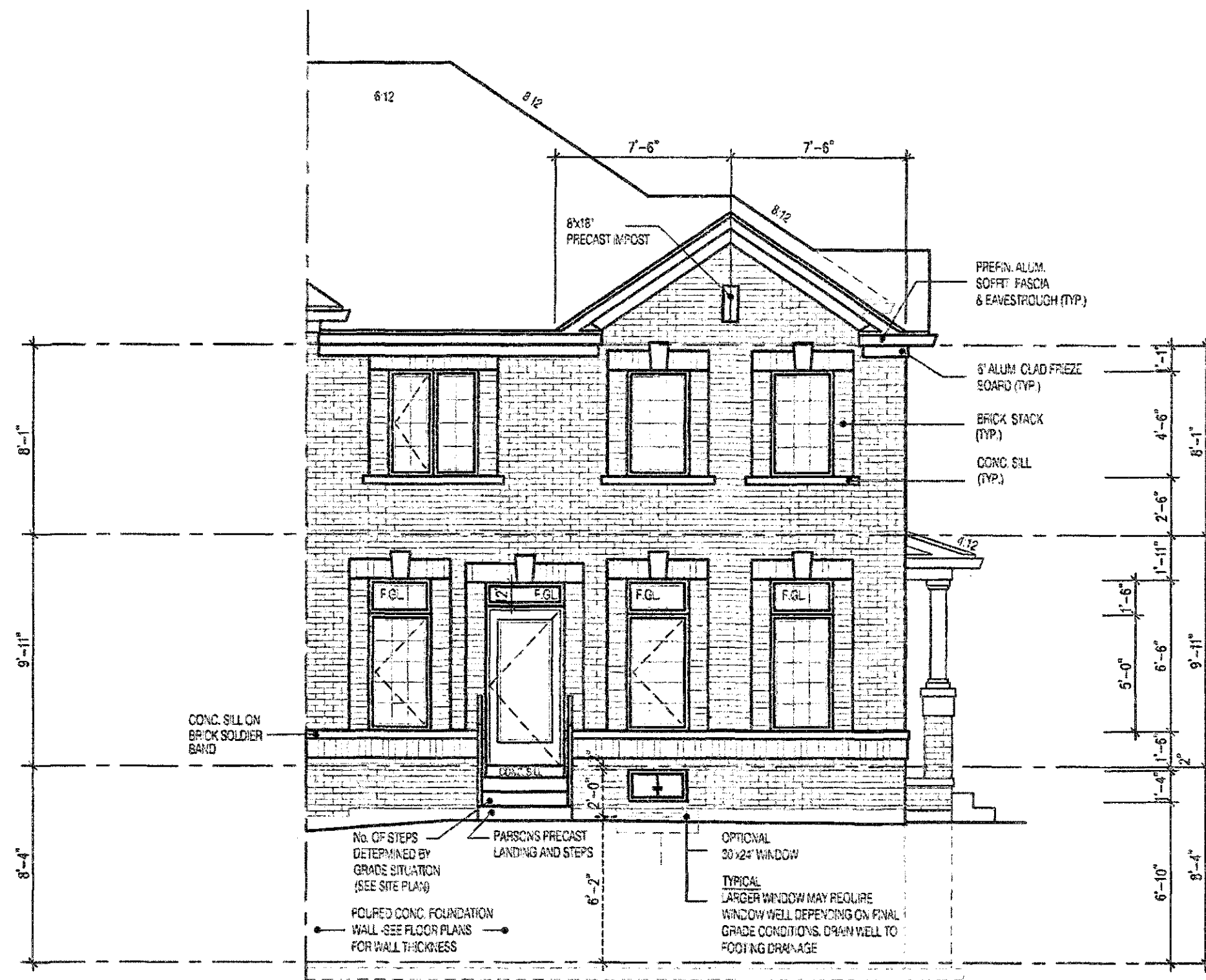
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE BUILDING CODE

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1860	
TOWNHOUSE	
HORIZON 12 ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY OR STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. PERMIT IS THE RESPONSIBILITY OF THE ENGINEERING OR ARCHITECT BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY JARDIN DESIGN GROUP INC. TO THE CLIENT FOR THE PROJECT. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 26, 2018 CAME FROM FORTHINGALE 14-44
No.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt from Section C, Subsection 2.5 of the Ontario Building Code.	
Walter Boller	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt from Section C, Subsection 3.2.4 of the building code.	
jardin design group inc.	27763
FIRM NAME	BCIN
REAR ELEVATION 1	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
MODEL SCALE 3/16" = 1'-0"	
PROJ. No.	DWG No.
18-18	6



OPENINGS WITHIN GUARDS AND SPACE BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE BUILDING CODE

HORIZON 12 REAR ELEV-1 - UPGRADE TH 96-1

NOTE:
WHEN VENEER CUT IS GREATER THAN 26 A 10" POURED CONC. FOUNDATION WALL IS REQUIRED
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
ELEVATIONS MAY VARY. REFER TO STREETSCAPES AND BLOCK PLANS FOR EXACT UNIT DETAILS AND GRADING.

1 HR FRR

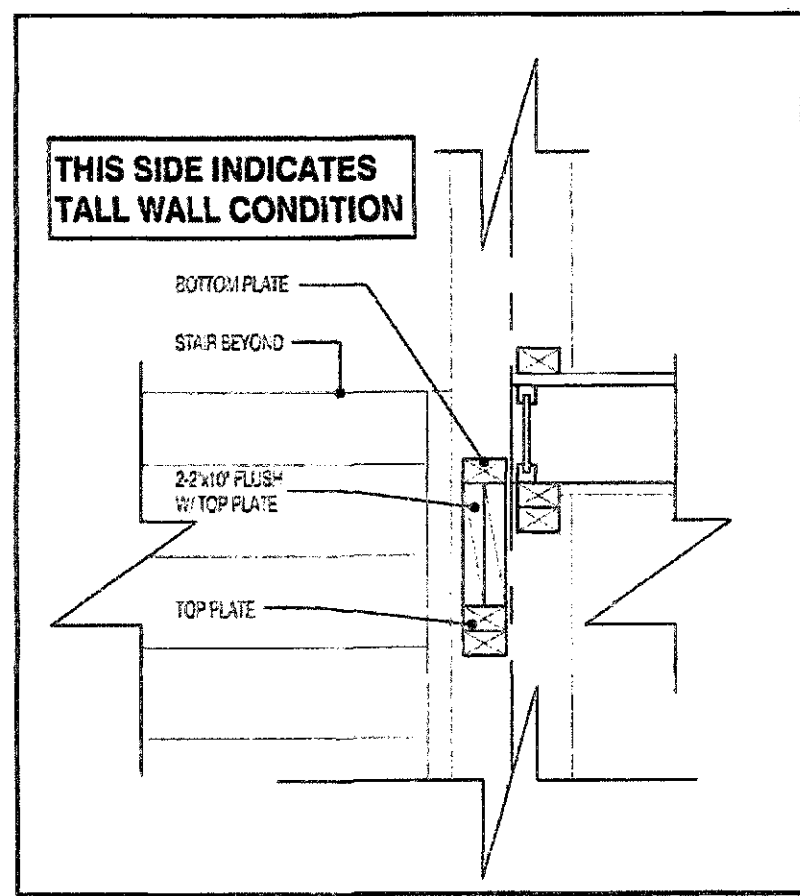
1860	
TOWNHOUSE	
HORIZON 12	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONTRACTED IMPOSTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FULL SET OF THE CONTRACTOR'S OR SUBCONTRACTOR'S TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
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2	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM PARTHINGALE 14-44
No.	DATE: WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. Walter Bodec 21031 NAME SIGNATURE BCIN REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. jardin design group inc. 27763 FIRM NAME BCIN	
DECK CONDITION	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL SCALE 3/16" = 1'-0" PROJ. No. 18-18 DWG. No. 6-1	

FEB 06 2019

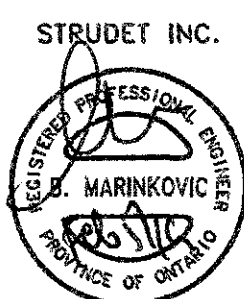
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

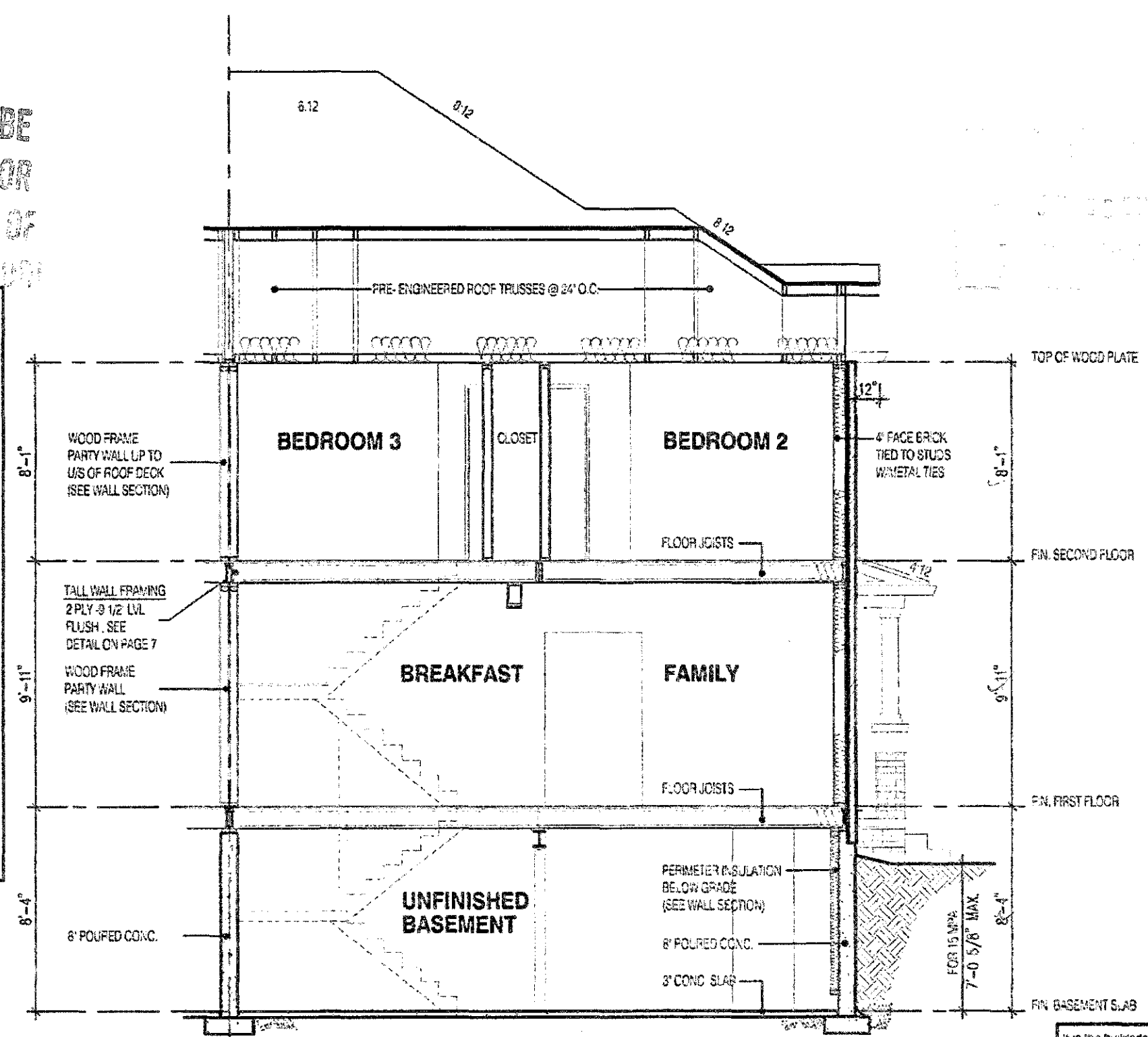
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE BUILDING ACT AND CODE



B TALL WALL FRAMING
NTS



FOR STRUCTURE ONLY



SECTION A-A

1 HR FRR

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any drawings or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

1860	
TOWNHOUSE	
HORIZON 12 ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROVING ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONTRACTED INTENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR ITS CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
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2	DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
1	JULY 24, 2018 CAME FROM FARMINGDALE 14-14
No.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR, SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUANTIFICATION INFORMATION Required unless otherwise specified. Section C, Subsection 2.5 of the OBC.	
Walter Boller	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.	
jardin design group inc.	27763
FIRM NAME	BCIN
SECTION	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
MODEL	
SCALE 3/16" = 1'-0"	
PROJ No.	DWG No.
18-18	7

FOR GAS METER BOX INSTALLATION
REFER ALSO TO ENBRIDGE GAS UTILITIES
DRAWINGS & SPECIFICATIONS

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

COLUMN PER BUILDER SPEC.
PRECAST CONCRETE COPING

MASONRY VENEER
T/O GAS METER BOX
FIN. FIRST FLOOR
T/O FOUNDATION
FIN. GRADE
LINE OF FOUNDATION WALL

CUT 2" PVC CONDUIT FLUSH W/
FOUNDATION WALL
45 DEGREE STANDARD ELBOW
SLEEVE BY OTHERS

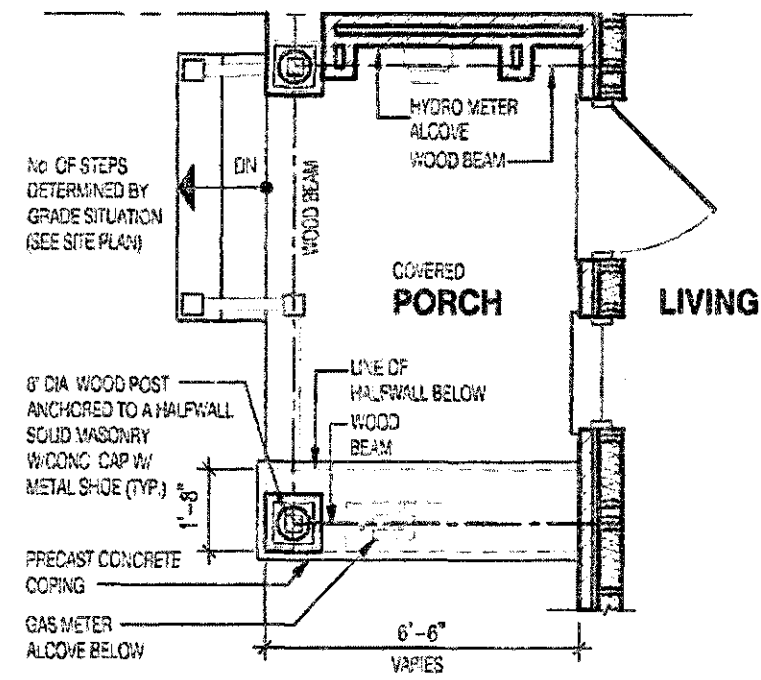
HOUSE FOUNDATION WALL
CONDUIT TO BE
ENCASED WITH MIN. 2"
CONCRETE COVER
FIN. BASEMENT SLAB

1'-0" MINIMUM HORIZONTAL DIFFERENCE
FROM OTHER SERVICE PIPES

**ELEVATION OF RECESSED WALL FOR GAS
METER AT PORCH**

Scale: 3/8" = 1'-0"

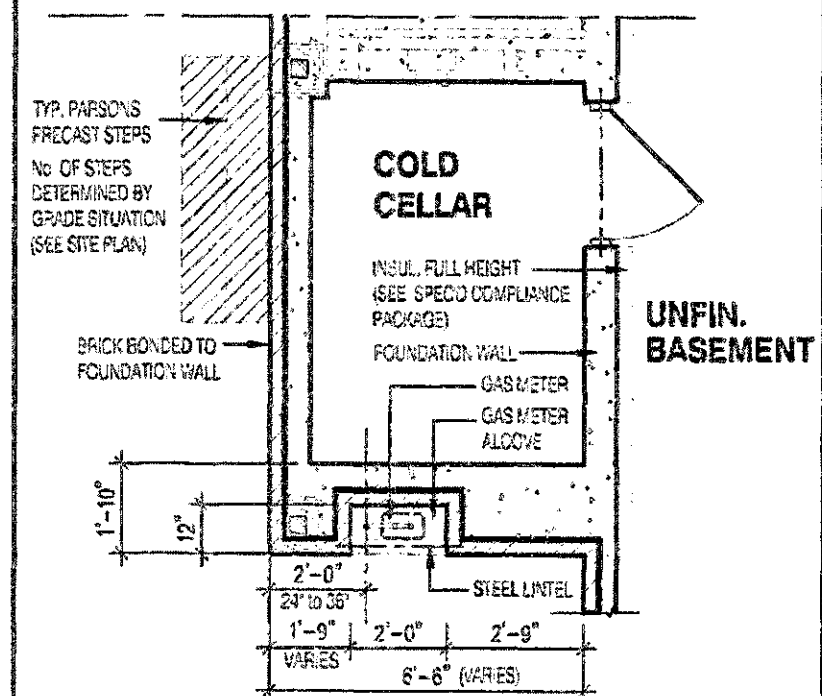
D-1



**PLAN OF RECESSED WALL FOR
GAS METER AT PORCH**

Scale: 1/4" = 1'-0"

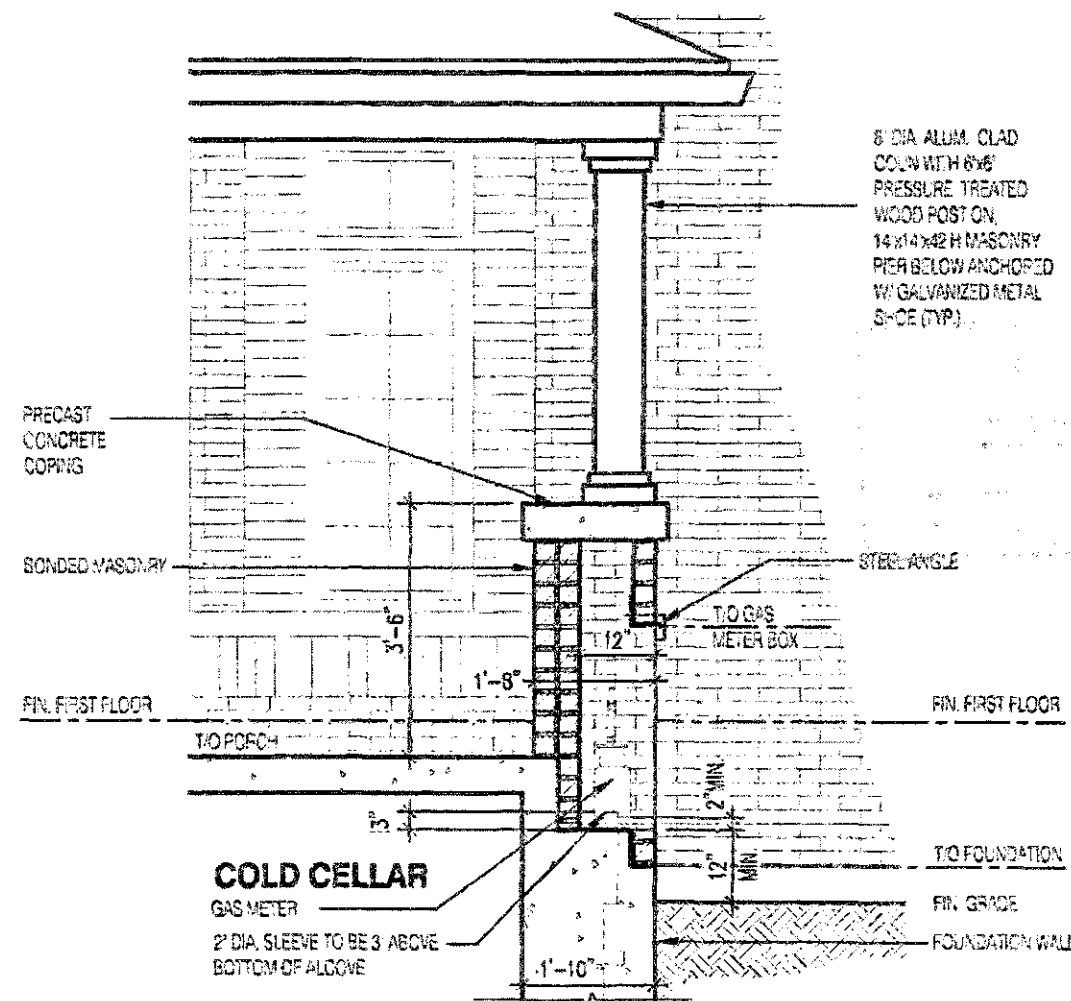
D-2



**SECTION OF RECESSED WALL FOR
GAS METER BY AT PORCH**

Scale: 1/4" = 1'-0"

D-3



SECTION OF RECESSED WALL FOR GAS METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

1860
TOWNHOUSE
HORIZON 12
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION
AND DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ELECTRICAL INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION INFORMATION TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN PLACED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7	
6	
5	
4	
3	
2	
1	DEC 13, 2018 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

OR ALTERNATE INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code.

Walter B. 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code.
jardin design group inc. 27763
FIRM NAME BCIN

GAS METER DETAIL
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

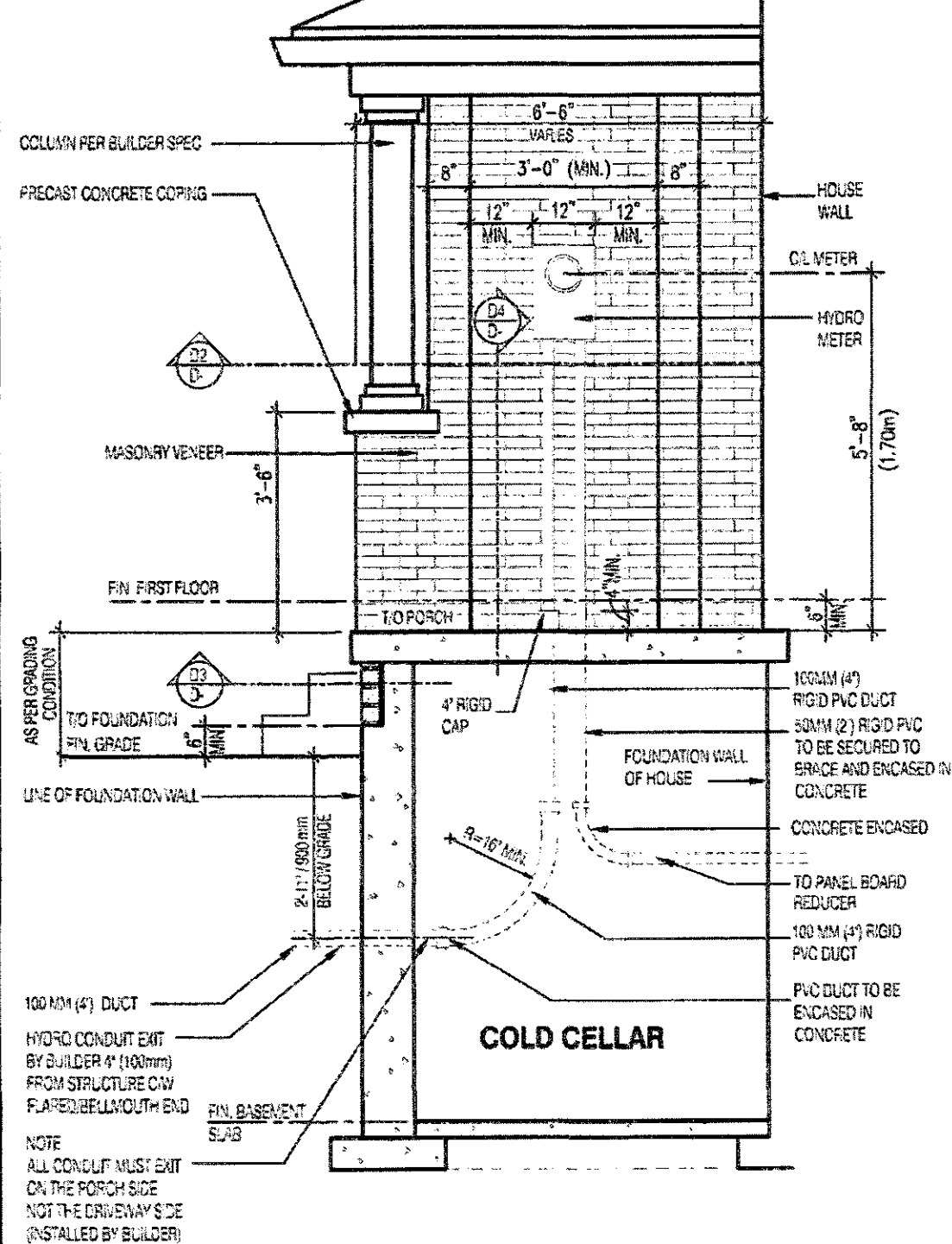
MODEL
SCALE: AS NOTED
DATE: 18-18
8

NOTE:

1. METER BASES TO BE SURFACE MOUNTED
2. REFER TO DU-03-209.2 DETAIL 3 FOR CAP DETAIL
3. REFER TO DU-03-209.2 & DU-03-209-0500 FOR ADDITIONAL INSTALLATION OF PVC BEYOND FOUNDATION WALL
4. RIGID PVC TRAVELING THROUGH COLD CELLAR SHOULD BE ENCASED IN CONCRETE.

FOR HYDRO METER BOX INSTALLATION
ALSO REFER TO HYDRO ONE
DU-03-209.2 AND DU-03-209-0500
DRAWINGS & SPECIFICATIONS

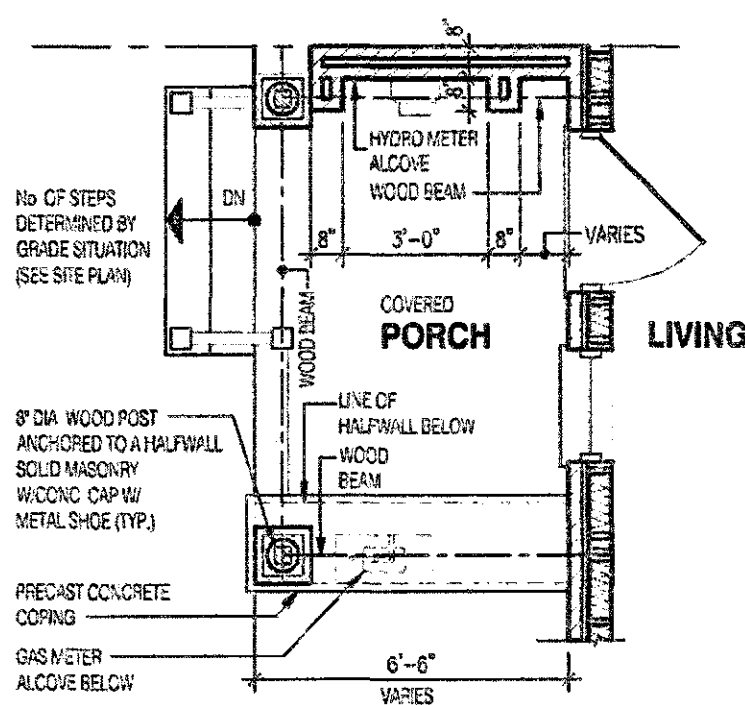
**THIS STRUCTURE MUST BE
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THE ONTARIO BUILDING CODE**



**ELEVATION OF RECESSED WALL FOR HYDRO
METER AT PORCH**

Scale: 3/8" = 1'-0"

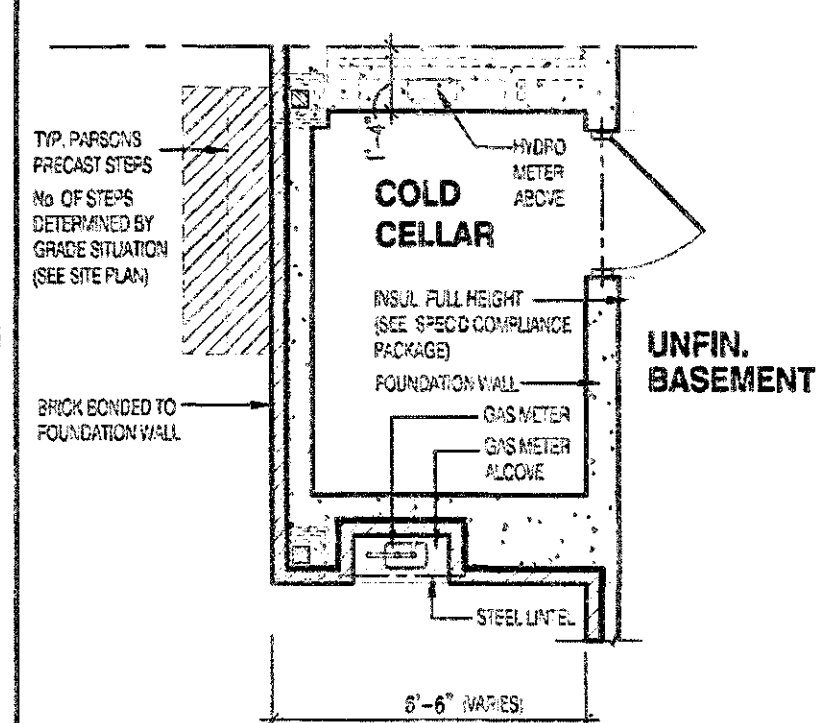
D-1



**PLAN OF RECESSED WALL FOR
HYDRO METER AT PORCH**

Scale: 1/4" = 1'-0"

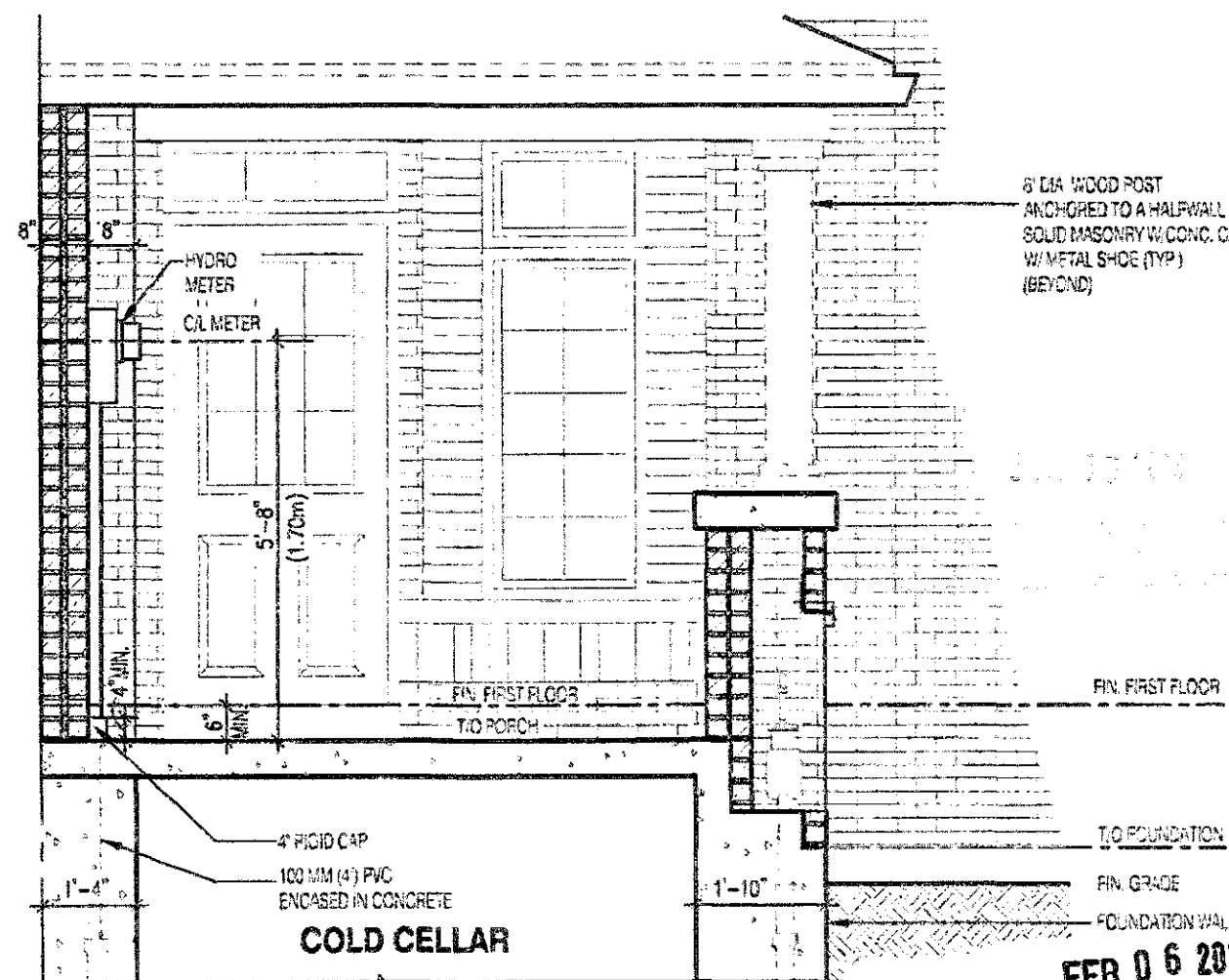
D-2



**SECTION OF RECESSED WALL FOR HYDRO
METER BY AT PORCH**

Scale: 1/4" = 1'-0"

D-3



SECTION OF RECESSED WALL FOR HYDRO METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

**1860
TOWNHOUSE
HORIZON 12
ELEVATION 1
ENERGY STAR
O.REG. 332/12**

THE CONTRACTOR SHALL ENJOY ALL THE RIGHTS AND OBLIGATIONS OF THE CONTRACTOR UNDER THE BUILDING ACT AND THE BUILDING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS AND FOR THE CONSTRUCTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS AND FOR THE CONSTRUCTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS AND FOR THE CONSTRUCTION OF THE WORK.

1 DEC. 13, 2018 ISSUED FOR BUILDING PERMIT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

HYDRO METER DETAIL
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
MODEL
SCALE AS NOTED
PROJ. No 18-18
DWG. No 9

FEB 06 2019