STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

120 KPa NATIVE SOIL
- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL
- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL
- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL
F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

BRICK VENEER LINTELS (WL)

WL1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)	+ 2-2"x8" SPR. No.2
WL2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)	+ 2-2"x8" SPR. No.2
WL3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+ 2-2"x10" SPR. No.2
WL4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)	+ 2-2"x12" SPR. No.2
WL5	=6" x 4" x 3/8"L (150x100x10.0L)	+ 2-2"x12" SPR. No.2
WL6	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+ 2-2"x12" SPR. No.2
WL7	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+ 3-2"x12" SPR. No.2
WL8	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+ 3-2"x10" SPR. No.2
WL9	=6" x 4" x 3/8"L (150x100x10.0L)	+ 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1	=2-2"x8" (2-38x184) SPR. No.2
WB2	=3-2"x8" (3-38x184) SPR. No.2
WB3	=2-2"x10" (2-38x235) SPR. No.2
WB4	=3-2"x10" (3-38x235) SPR. No.2
WB5	=2-2"x12" (2-38x286) SPR. No.2
WB6	=3-2"x12" (3-38x286) SPR. No.2
WB7	=5-2"x12" (5-38x286) SPR. No.2
WB11	=4-2"x10" (4-38x235) SPR. No.2
WB12	=4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	=1-1 3/4"x7 1/4" (1-45x184)
LVL1	=2-1 3/4"x7 1/4" (2-45x184)
LVL2	=3-1 3/4"x7 1/4" (3-45x184)
LVL3	=4-1 3/4"x7 1/4" (4-45x184)
LVL4A	=1-1 3/4"x9 1/2" (1-45x240)
LVL4	=2-1 3/4"x9 1/2" (2-45x240)
LVL5	=3-1 3/4"x9 1/2" (3-45x240)
LVL5A	=4-1 3/4"x9 1/2" (4-45x240)
LVL6A	=1-1 3/4"x11 7/8" (1-45x300)
LVL6	=2-1 3/4"x11 7/8" (2-45x300)
LVL7	=3-1 3/4"x11 7/8" (3-45x300)
LVL8	=2-1 3/4"x14" (2-45x356)
LVL9	=3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)
L2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)
L3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)
L4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)
L5	=6" x 4" x 3/8"L (150x100x10.0L)
L6	=7" x 4" x 3/8"L (180x100x10.0L)

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

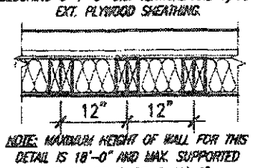
EXPOSED CONCRETE (FLATWORK)
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION
REVIEWED BY AS. K. SNELL
DATE JULY 8, '19
FILE # KINMOUNT 11B ELEV 1,2

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

EVCS **ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)**
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED. ROUGH-IN SHALL INCLUDE:
- *A minimum 200 amp Panelboard,*
- *Conduit that is not less than 1 1/16" (27mm) trade size,*
- *A square 4 11/16" (119mm) trade size electrical outlet box.*
- *Fumaproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.*

REFER TO 2012 OBC. 9.34.4.

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

KINMOUNT 11B, ELEV. 1	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	659.46 S.F.	121.95 S.F.	18.49 %
FLANKAGE SIDE	1008.19 S.F.	221.16 S.F.	21.94 %
RIGHT SIDE	1008.19 S.F.	44.33 S.F.	4.40 %
REAR	659.46 S.F.	125.03 S.F.	18.96 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3335.30 S.F.	512.47 S.F.	15.37 %
TOTAL SQ. M.	309.86 S.M.	47.61 S.M.	15.37 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

KINMOUNT 11B, ELEV. 2	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F	OPENING S.F.	PERCENTAGE
FRONT	683.71 S.F.	147.48 S.F.	21.57 %
FLANKAGE SIDE	1008.19 S.F.	233.88 S.F.	23.20 %
RIGHT SIDE	1008.19 S.F.	44.33 S.F.	4.40 %
REAR	683.71 S.F.	132.53 S.F.	19.38 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3383.80 S.F.	558.22 S.F.	16.50 %
TOTAL SQ. M.	314.36 S.M.	51.86 S.M.	16.50 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

ENERGY STAR V-17 JANUARY 2019

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

Electrical Contractor Registration Agency of the Electrical Safety Authority

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.pluginsafely.ca

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

APPLICANT COPY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

RECEIVED JUN 25 2019 TOWN OF CALEDON BUILDING SECTION FILE NO.

FEB 06 2019

ESCC MODEL
ENERGY STAR- V 17

2786 SF.

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	1215 SF
SECOND FLOOR AREA	1571 SF
TOTAL FLOOR AREA	2786 SF (258.83 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2786 SF (258.83 m2)
GROUND FLOOR COVERAGE	1221 SF
GARAGE COVERAGE/AREA	399 SF
PORCH COVERAGE/AREA	45 SF
COVERAGE W/ PORCH	1665 SF (154.68 m2)
COVERAGE W/O PORCH	1620 SF (150.50 m2)

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	1219 SF
SECOND FLOOR AREA	1598 SF
TOTAL FLOOR AREA	2817 SF (261.71 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2817 SF (261.71 m2)
GROUND FLOOR COVERAGE	1225 SF
GARAGE COVERAGE/AREA	399 SF
PORCH COVERAGE/AREA	162 SF
COVERAGE W/ PORCH	1788 SF (165.92 m2)
COVERAGE W/O PORCH	1624 SF (150.87 m2)

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name Richard Vink signature
registration information BCIN 24488
VA3 Design Inc. 42650

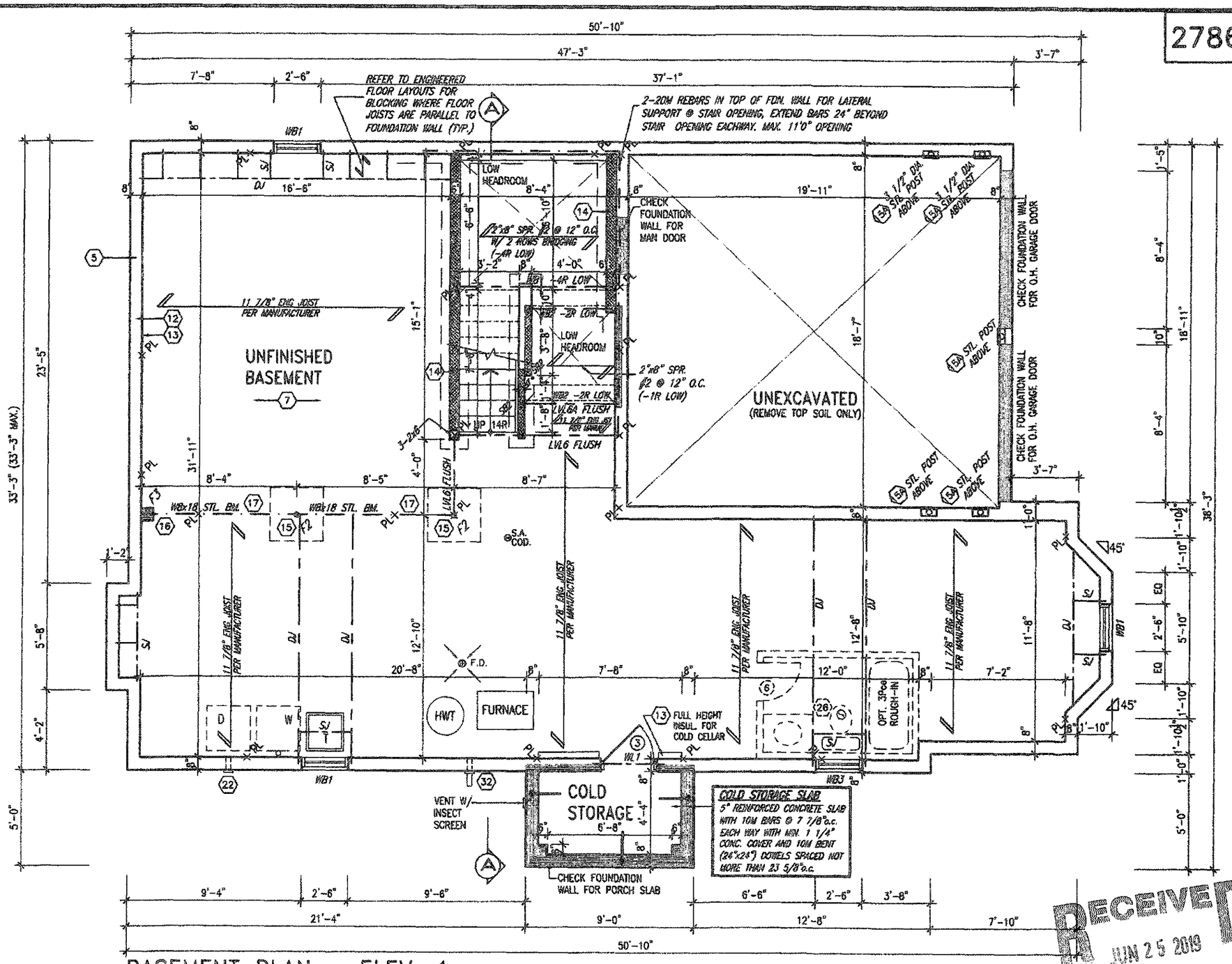
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	LAMBERTS LANE HOME CORP. PH.2
municipality	CALEDON
KINMOUNT 11B 12.5m	
project no.	18023
date	SEP 2018
drawn by	GW
checked by	-
scale	3/16" = 1'-0"
GENERAL NOTES & CHARTS	
file name	18023-KINMOUNT_11B
drawing no.	A0

2786 SF.



BASEMENT PLAN – ELEV. 1

STRUDET INC.
FOR STRUCTURE ONLY

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 M M

RECEIVED JUN 25 2019

TOWN OF CALEDON BUILDING SECTION FILE NO.

FEB 06 2019

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 18, 2019

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
18			
17			
16			
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6			
5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 05/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 06/16	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
registration information
VA3 Design Inc. — 42658

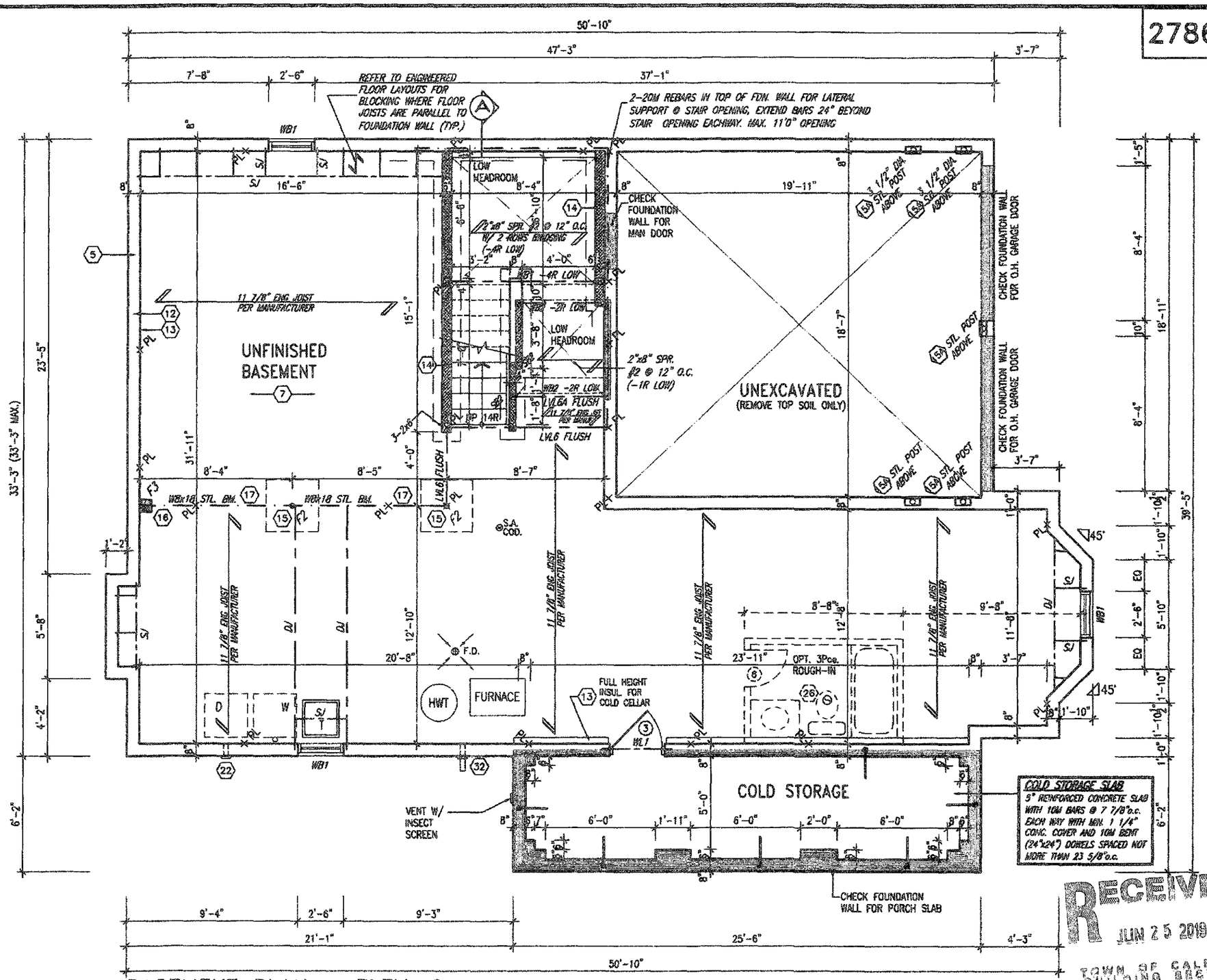
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
KINMOUNT 11B 12.5m
project no. 16023
date: SEP 2018
drawn by: GW
checked by: –
scale: 3/16" = 1'-0"
BASEMENT PLAN–ELEV. '1'
file name: 16023-KINMOUNT_11B
drawing no. A1

2786 SF.



BASEMENT PLAN – ELEV. 2

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 MM

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

THE STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

RECEIVED JUN 25 2019 TOWN OF CALEDON BUILDING SECTION FILE NO.

FEB 06 2019

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 19, 2018

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
18			
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6			
5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Richard Vink, signature, BCIN 24488
registration information: VA3 Design Inc. 42958

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

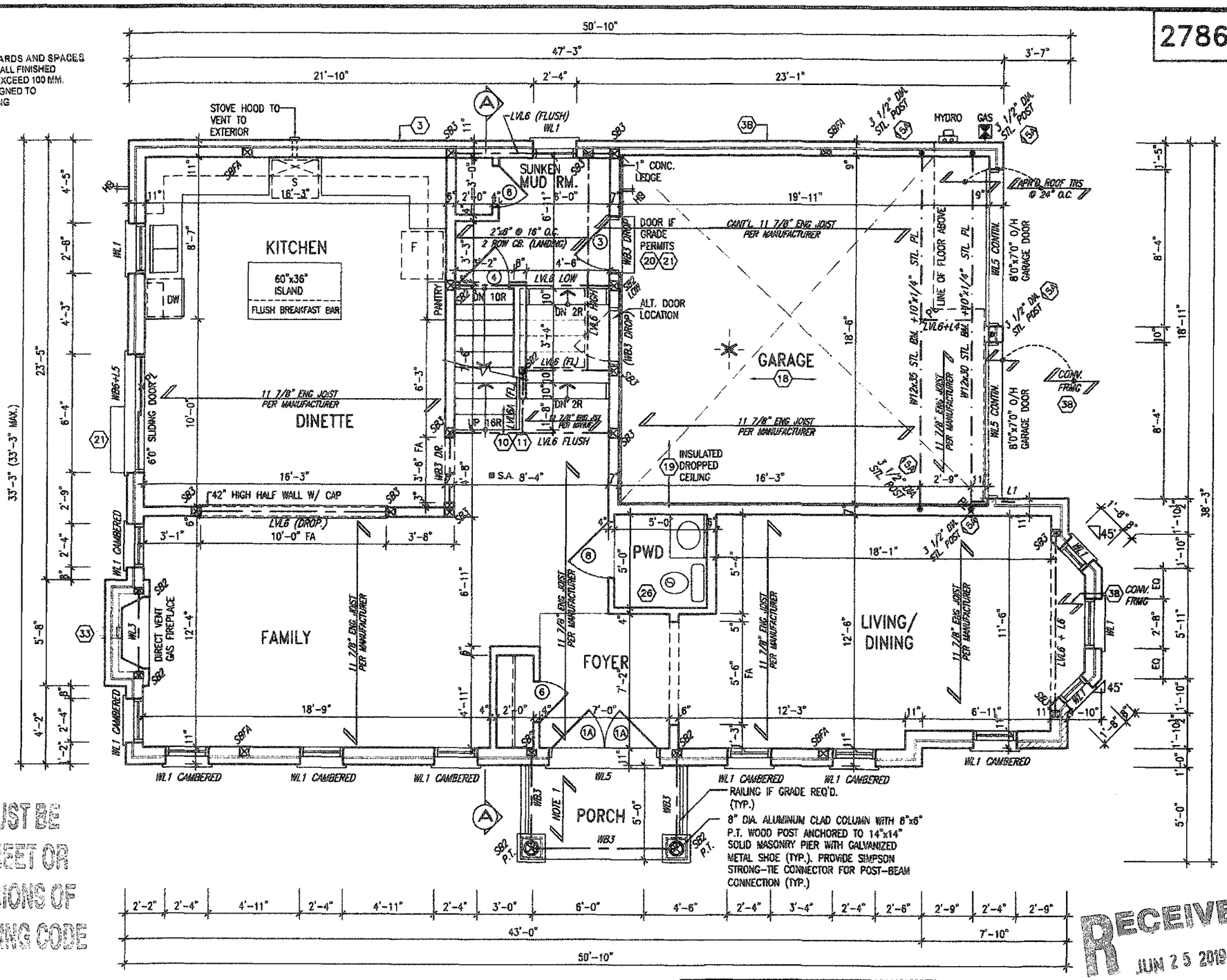
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	BASEMENT PLAN–ELEV. '2'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	drawing no. A1Q
file name: 18023-KINMOUNT_11B	

2786 SF.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

GROUND FLOOR PLAN – ELEV. 1

NOTE:1– BALCONY/DECK CONSTRUCTION
ONE PLY WATERPROOF MEMBRANE (DURADEK) ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING OVER 2"x8" @ 12" c/c FLOOR JOISTS. SLOPE TO EXTERIOR WITH WOOD SLEEPERS. MEMBRANE TO EXTEND 6" UP AT WALLS & 4" DOWN AT OPEN BALCONY EDGE.

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

RECEIVED JUN 25 2019 TOWN OF CALEDON BUILDING SECTION FILE NO.

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: JUN 19, 2019
This stamp certifies compliance with approved Design Guidelines only and bears no other implied responsibility

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
18			
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12			
11			
10			

no.	description	date	by
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7			
6			
5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — registration information — BCIN
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

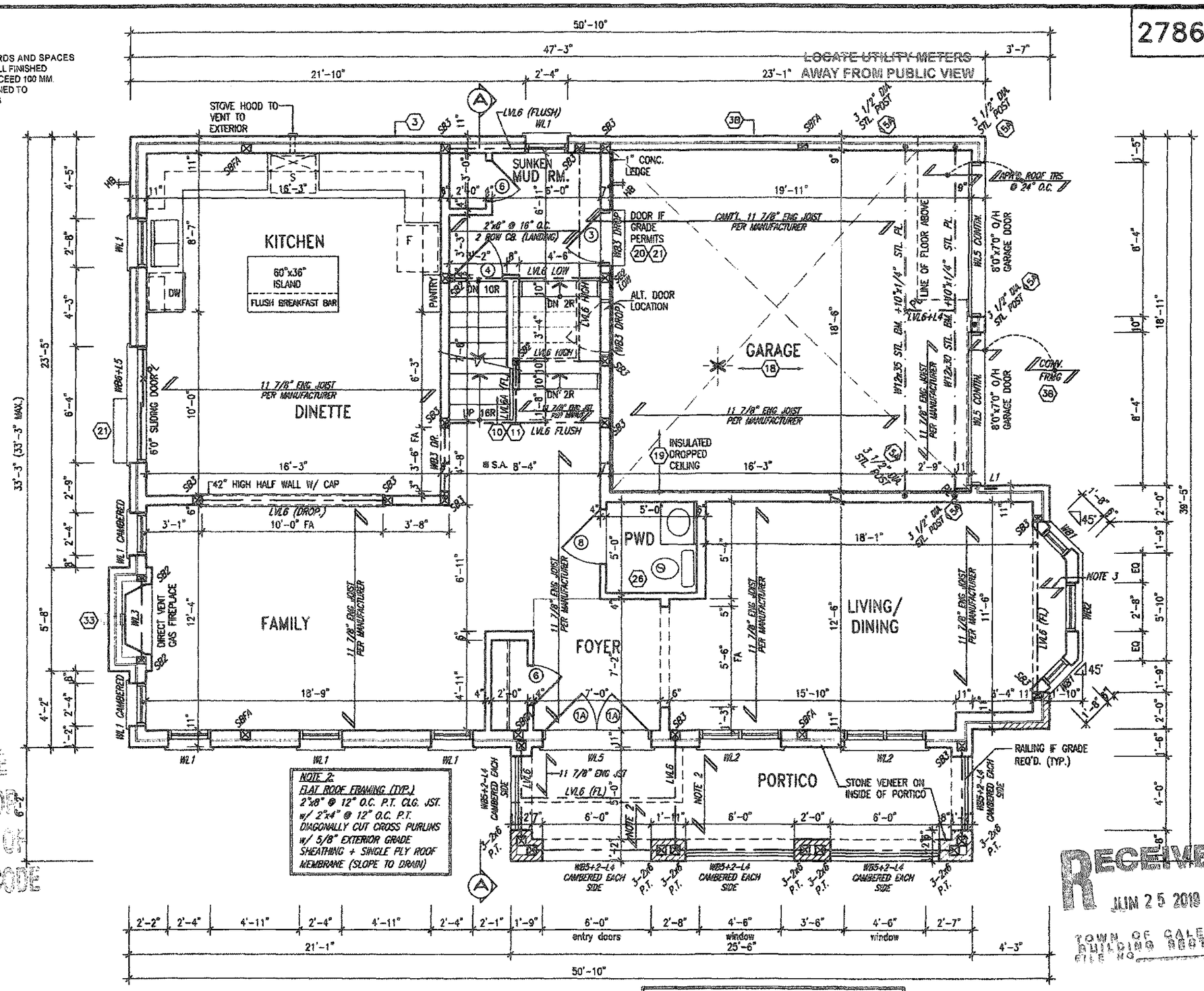
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	LAMBERTS LANE HOME CORP. PH.2
municipality	CALEDON
KINMOUNT 11B 12.5m	
project no.	18023
date	SEP 2018
drawn by	GW
checked by	–
scale	3/16" = 1'-0"
GROUND FLOOR PLAN-ELEV. '1'	
file name	18023-KINMOUNT_11B
drawing no.	A2

2786 SF.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



NOTE 3: FLAT ROOF OVER BOX-OUT: SINGLE PLY WATERPROOFING MEMBRANE (SLOPED AWAY FROM BUILDING) ON 5/8" EXT. GRADE PLYWD. ON 2"x4" PURLINS (CUT DIAGONALLY @ 12" O.C. ON 2"x8" JOISTS @ 12" o.c.. ROOF TO BE INSULATED w/ SPRAY FOAM MEDIUM-DENSITY CLOSED CELL (2LB) INSULATION (RSI 5.40 (R31) MIN.).

GROUND FLOOR PLAN – ELEV. 2

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED JUN 25 2019 TOWN OF CALEDON BUILDING SECTION FILE NO.

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 12, 2019

KINMOUNT 11B
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	FEB 05/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
12				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
11				2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
10				1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24498
name signature BCIN
registration information
VA3 Design Inc. 42658

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

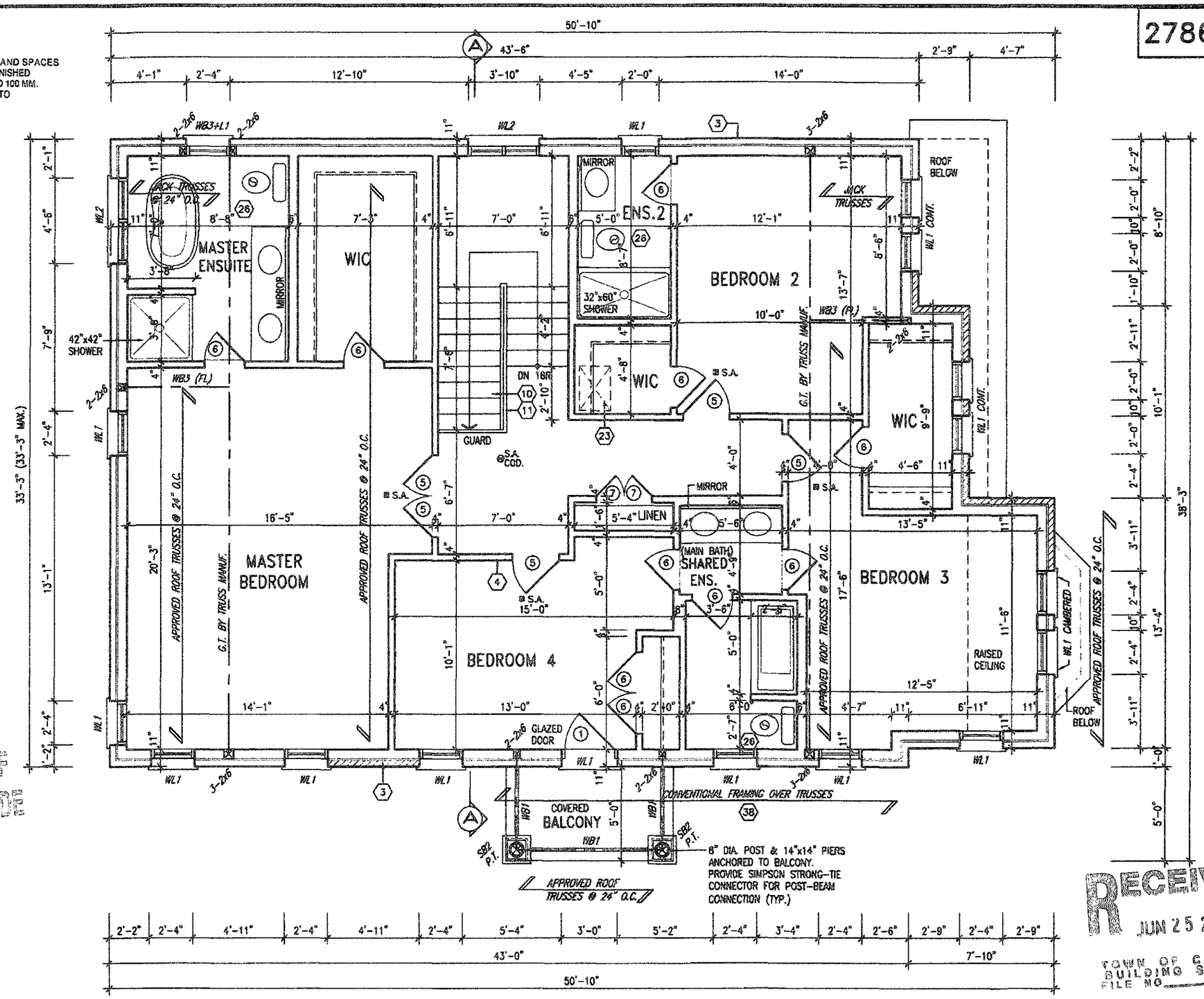
KINMOUNT 11B
12.5m

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no.: 18023

date: SEP 2018
GROUND FLOOR PLAN–ELEV. '2'
drawn by: GW
checked by: -
scale: 3/16" = 1'-0"
file name: 18023-KINMOUNT_11B
drawing no.: A2a

2786 SF.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



SECOND FLOOR PLAN - ELEV. 1

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 13, 2019

RECEIVED
JUN 25 2019
TOWN OF CALEDON BUILDING SECTION
FILE NO.

FEB 06 2019

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

KINMOUNT 11B
ENERGY STAR

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name: Richard Vink — signature — 24488
registration information: VA3 Design Inc. — 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

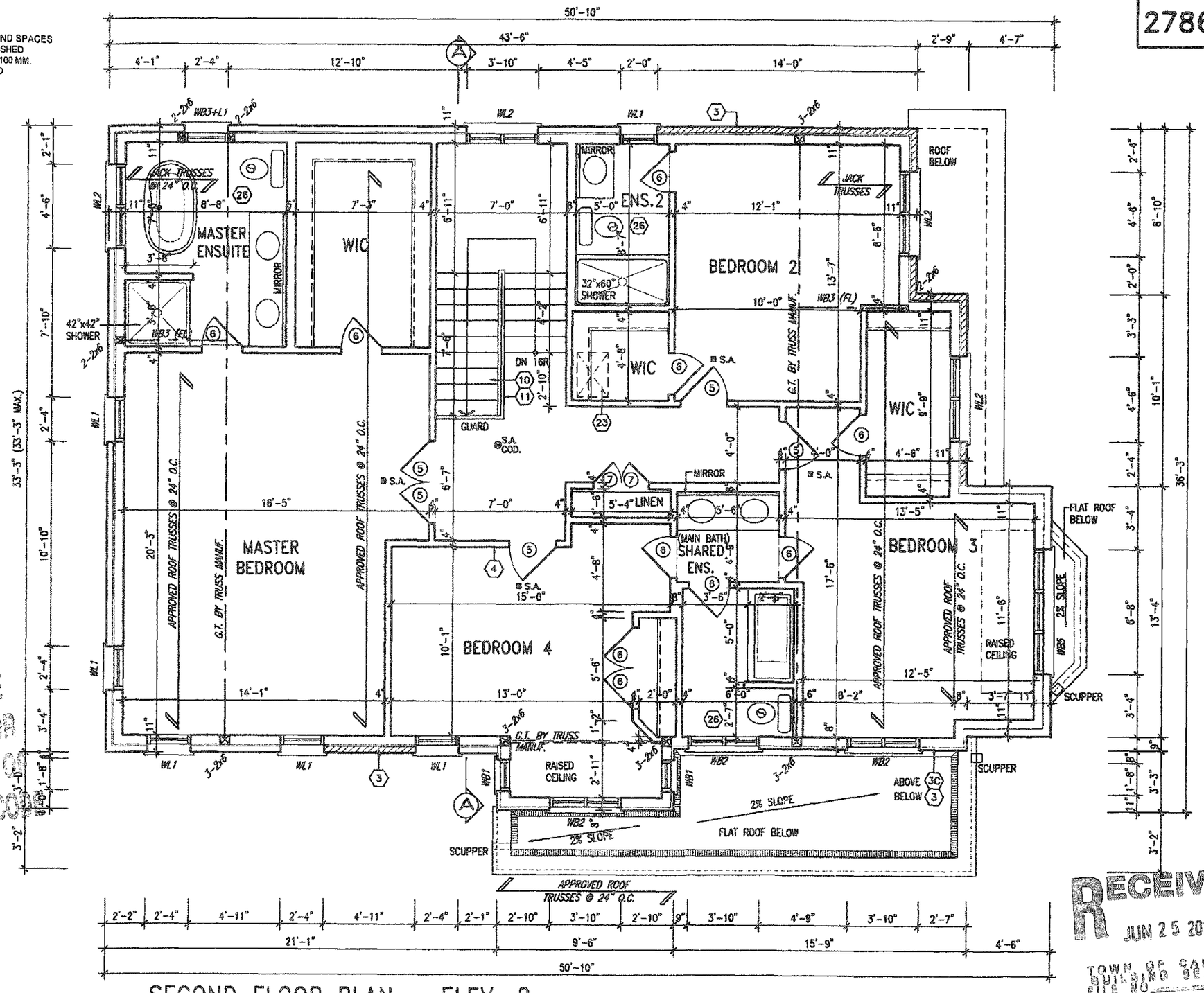
Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	SECOND FLOOR PLAN-ELEV. '1'
drawn by: GW	checked by: -
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no. A3	

DWG - J:\ARCHIVE\PROJECTS\2018\18023LHC\1-LOTS\12.5_KINMOUNT\KINMOUNT_11B\18023-KINMOUNT_11B.dwg - Tue - Feb 5 2019 - 11:35 AM

2786 SF.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



SECOND FLOOR PLAN - ELEV. 2

STRUDET INC.
FOR STRUCTURE ONLY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 19, 2019
THIS PLAN IS CONSISTENT WITH THE APPLICABLE DESIGN GUIDELINES AND CONTROL ARCHITECT

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

FEB 06 2019

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

KINMOUNT 11B
ENERGY STAR

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

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qualification information
Richard Vink — 24488
name — signature — BCIN
registration information
VA3 Design Inc. — 42658

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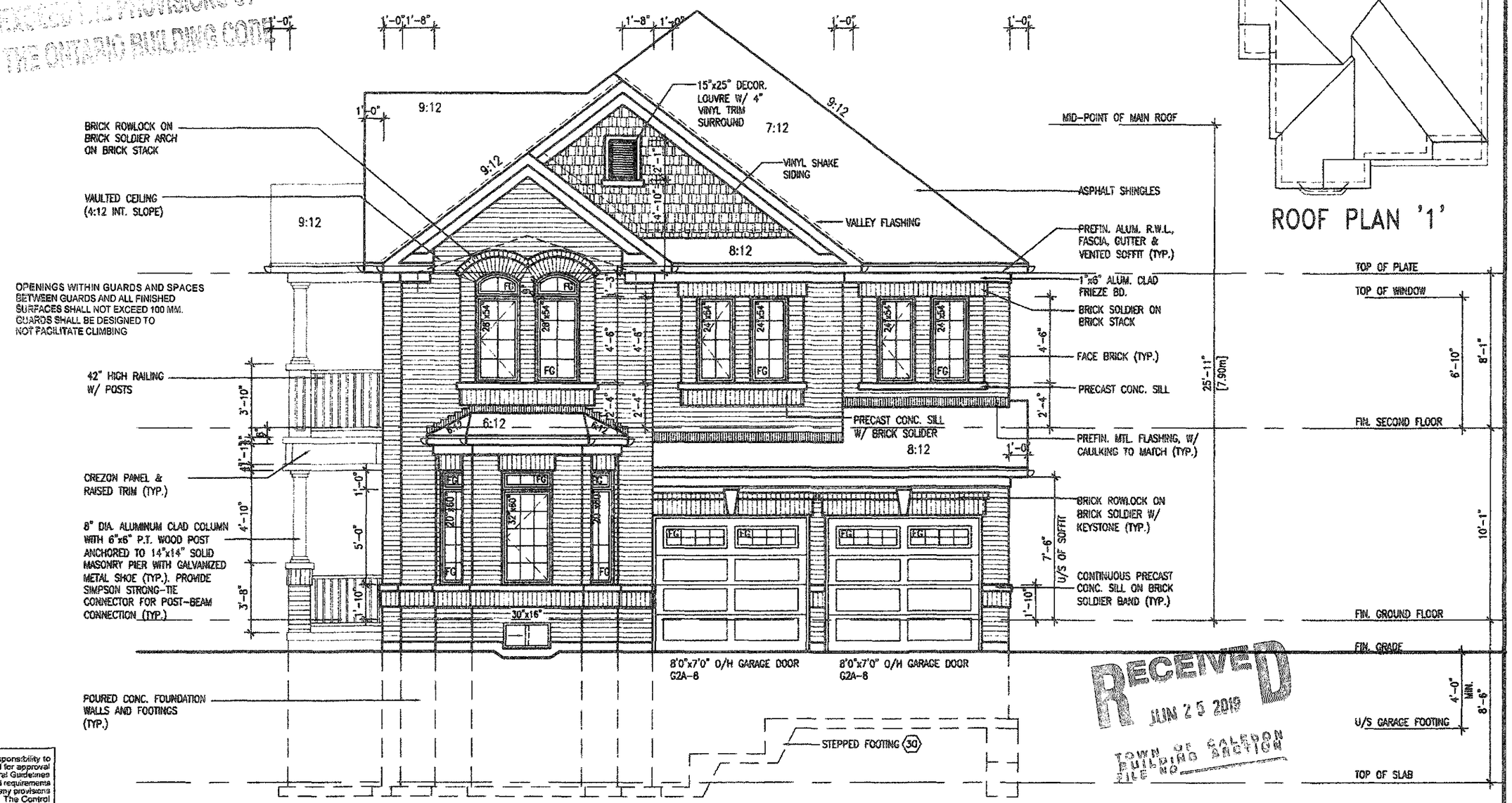
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4762
va3design.com

Greenpark.

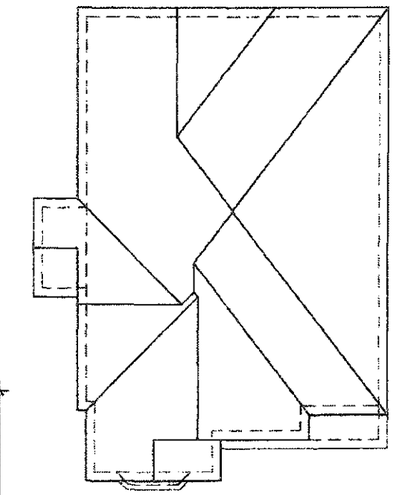
project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	SECOND FLOOR PLAN-ELEV. '2'
drawn by: GW	checked by: -
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no. A3a	

2786 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



FRONT ELEVATION '1'



ROOF PLAN '1'

RECEIVED JUN 25 2019 TOWN OF CALEDON BUILDING SECTION FILE NO

FEB 06 2019

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 25 2019

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
name: Richard Vink
signature: R Vink
registration information
VA3 Design Inc. 42659

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

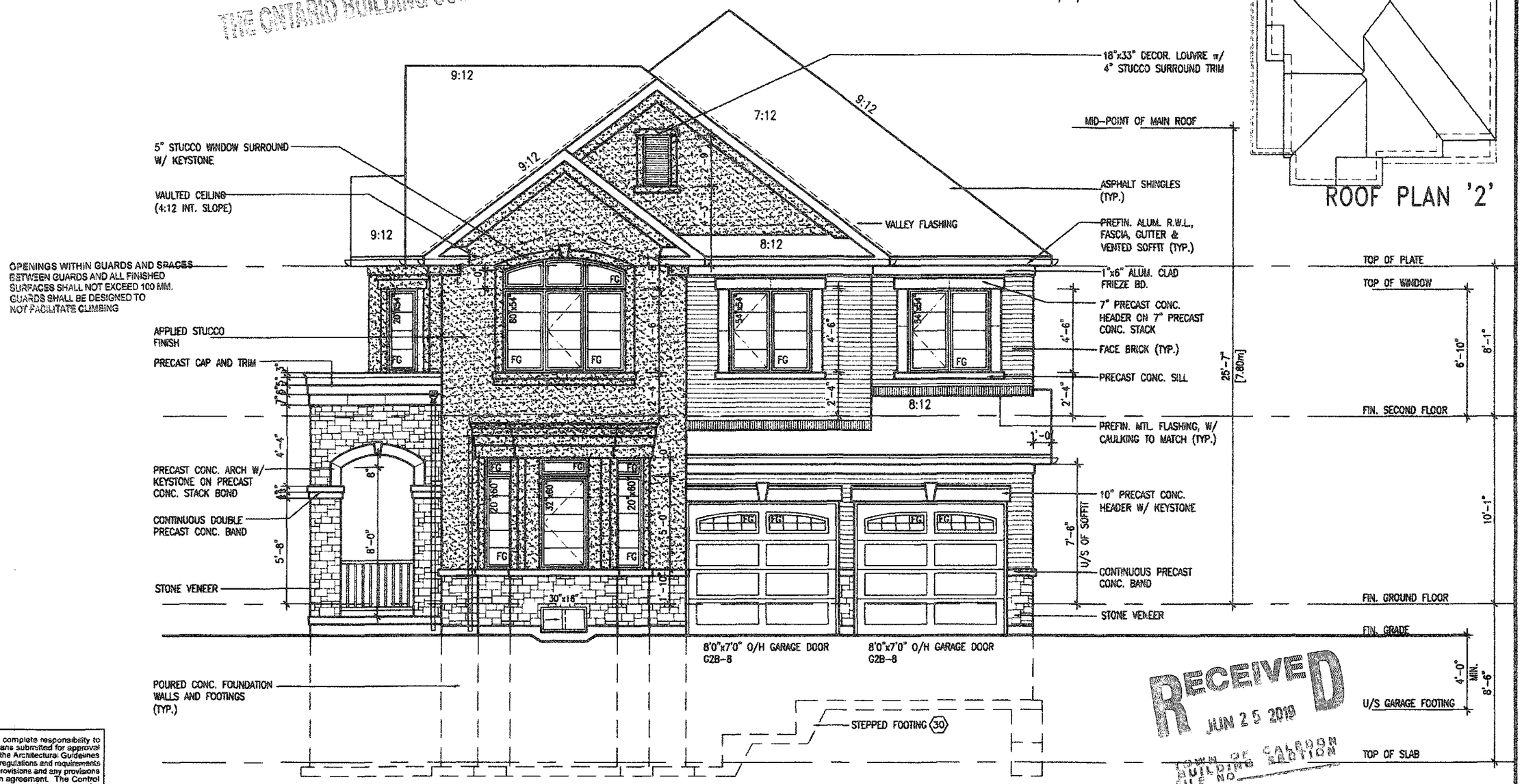
KINMOUNT 11B
12.5m

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no. 18023

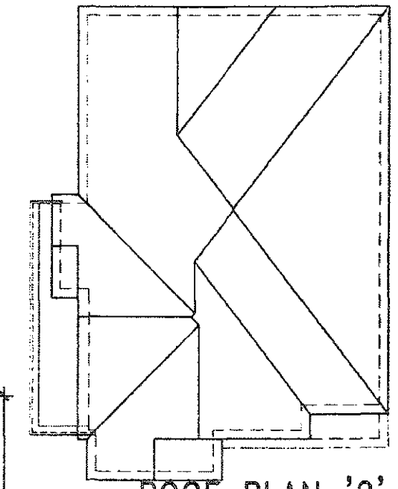
date: SEP 2018
FRONT ELEVATION '1'
drawn by: GW
checked by: -
scale: 3/16" = 1'-0"
file name: 18023-KINMOUNT_11B
drawing no. A4

2786 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



FRONT ELEVATION '2'



ROOF PLAN '2'

RECEIVED JUN 25 2019 TOWN OF CALEDON BUILDING SECTION FILE NO.

FEB 06 2019

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 25, 2018

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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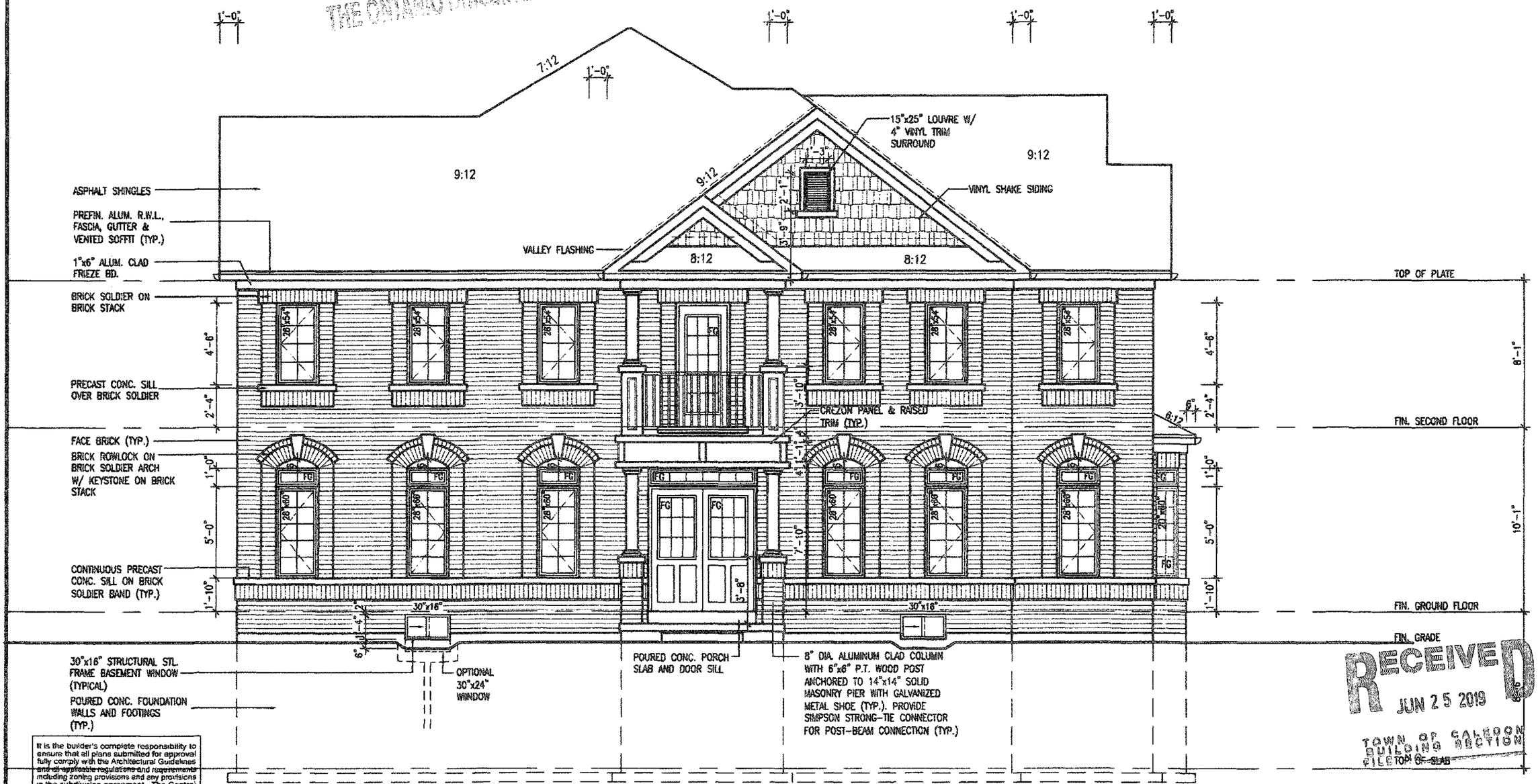
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	FRONT ELEVATION - ELEV. '2'
drawn by: GW	checked by: -
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no. A4a	

2786 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



FLANKAGE ELEVATION '1'

RECEIVED JUN 25 2019 TOWN OF CALEDON BUILDING SECTION

FEB 06 2019

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 19 2019
This plan conforms in price with the applicable Design Guidelines only. Additional approvals may be required.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS WITH INTEGRATED MASONRY LEDGE ON SIDES WHERE GRADE REQUIRES.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

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5	ISSUED FOR PERMIT.	FEB 05/19	GW
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3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24458
name signature BCIN
registration information
VA3 Design Inc. 42639

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

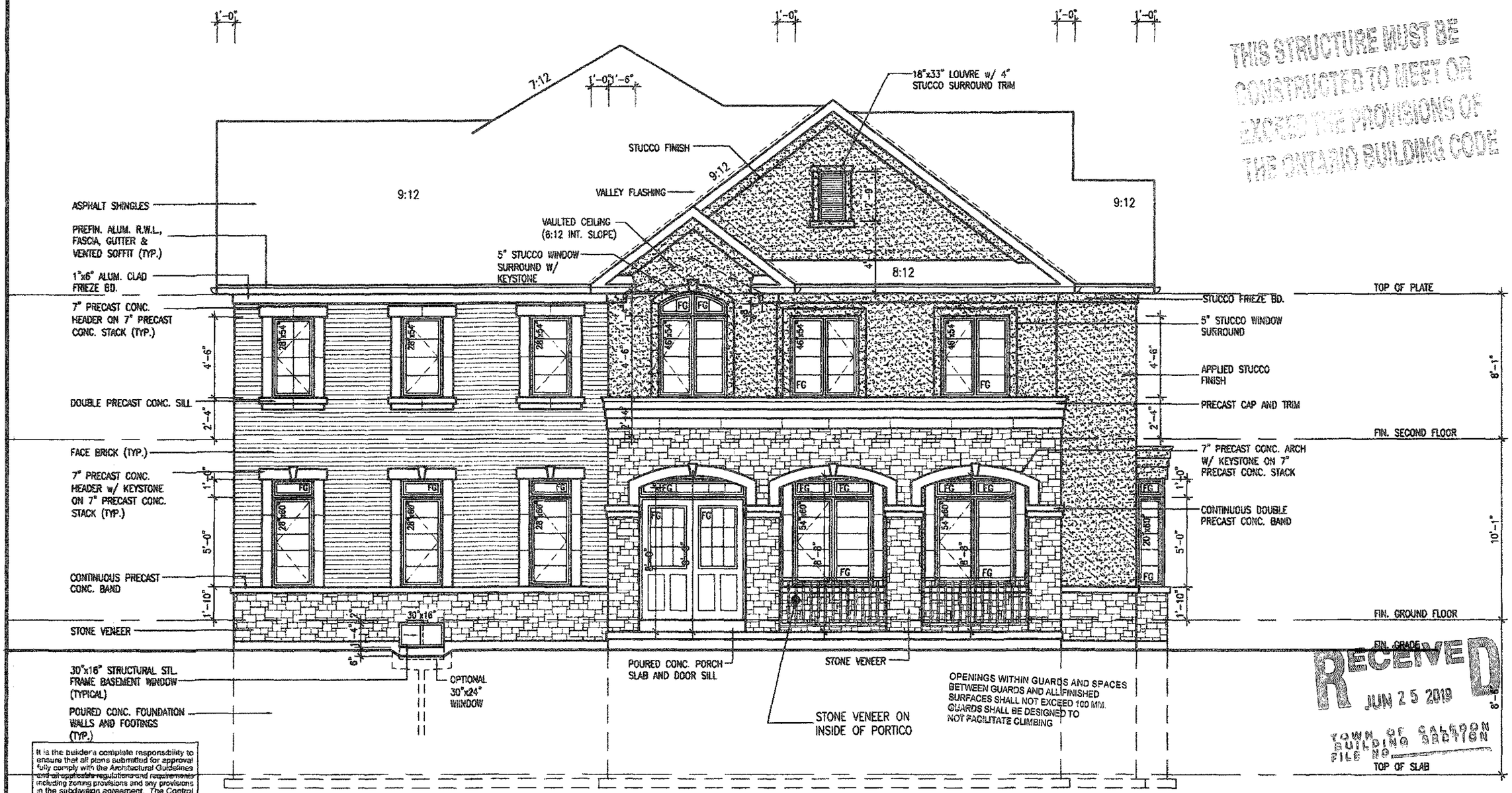
Greenpark

KINMOUNT 11B
12.5m

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no.: 18023
date: SEP 2018
drawn by: GW
checked by: -
scale: 3/16" = 1'-0"
FLANKAGE ELEVATION -ELEV. '1'
file name: 18023-KINMOUNT_11B
drawing no.: A5

KINMOUNT 11B
ENERGY STAR

2786 SF.



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED JUN 25 2019 TOWN OF CALEDON BUILDING SECTION FILE NO.

FLANKAGE ELEVATION '2'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL DESIGN AND APPROVAL
APPROVED BY
DATE JUN 19 2019
THIS PLAN IS SUBJECT TO THE ARCHITECTURAL DESIGN GUIDELINES AND CONDITIONS OF THE DEVELOPMENT AGREEMENT

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS WITH INTEGRATED MASONRY LEDGE ON SIDES WHERE GRADE REQUIRES.

FEB 0 6 2019

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14084)	SEP. 04/18	GW

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qualification information
Richard Vink — signature — 24488
name — signature — BCIN
registration information
VA3 Design Inc. — 42658

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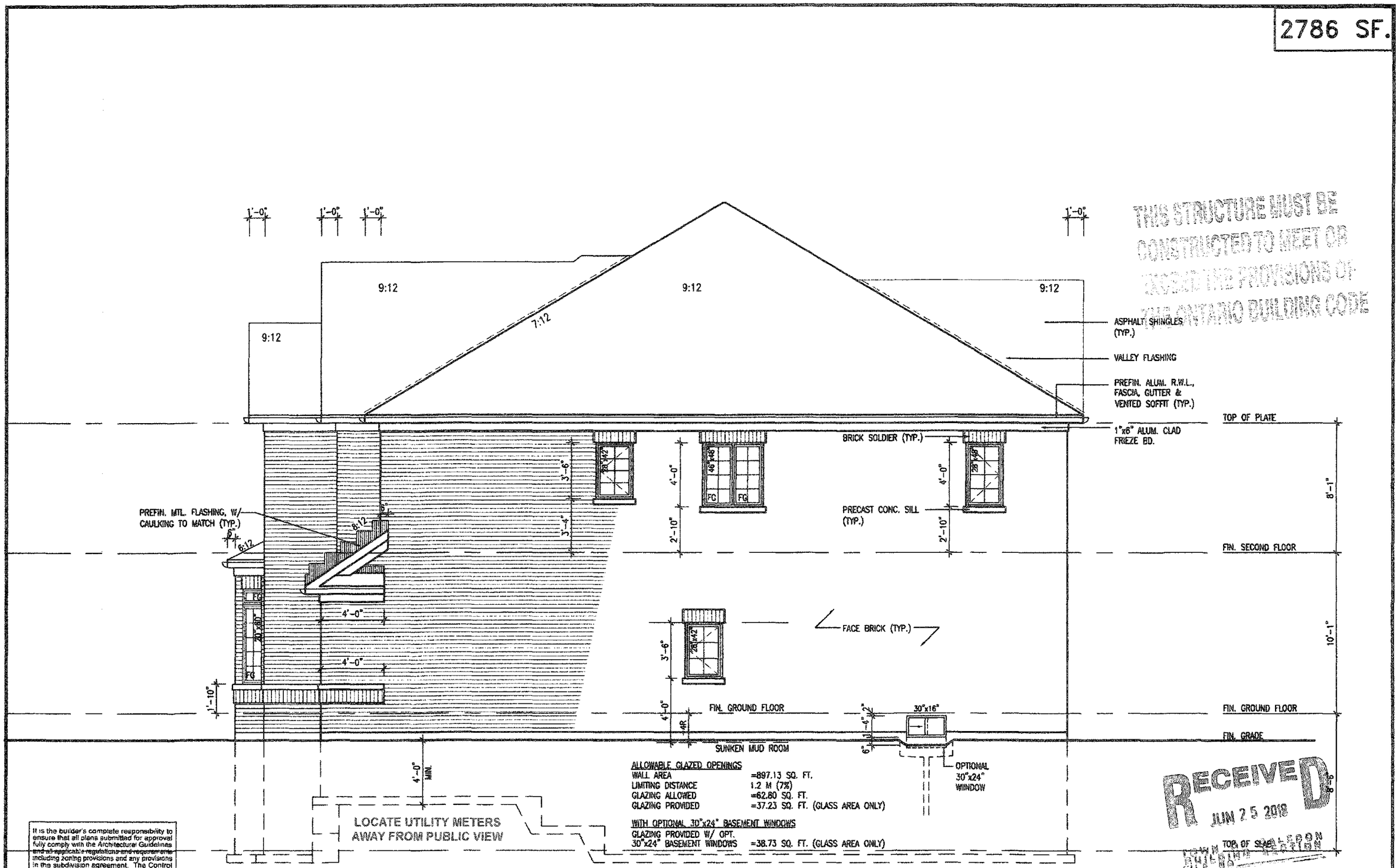
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	FLANKAGE ELEVATION – ELEV. '2'
drawn by: GW	checked by: -
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no. A5a	

2786 SF.



ALLOWABLE GLAZED OPENINGS

WALL AREA	=897.13 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=62.80 SQ. FT.
GLAZING PROVIDED	=37.23 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=38.73 SQ. FT. (GLASS AREA ONLY)

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED JUN 25 2019 TOWN OF CALEDON PLANNING & DEVELOPMENT

FEB 06 2019

RIGHT SIDE ELEVATION '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 28 2019
THE WORK SHOWN ON THIS PLAN IS IN ACCORDANCE WITH THE ARCHITECTURAL DESIGN GUIDELINES FOR THE SUBDIVISION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name Richard Vink signature 24489 BCIN
registration information VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

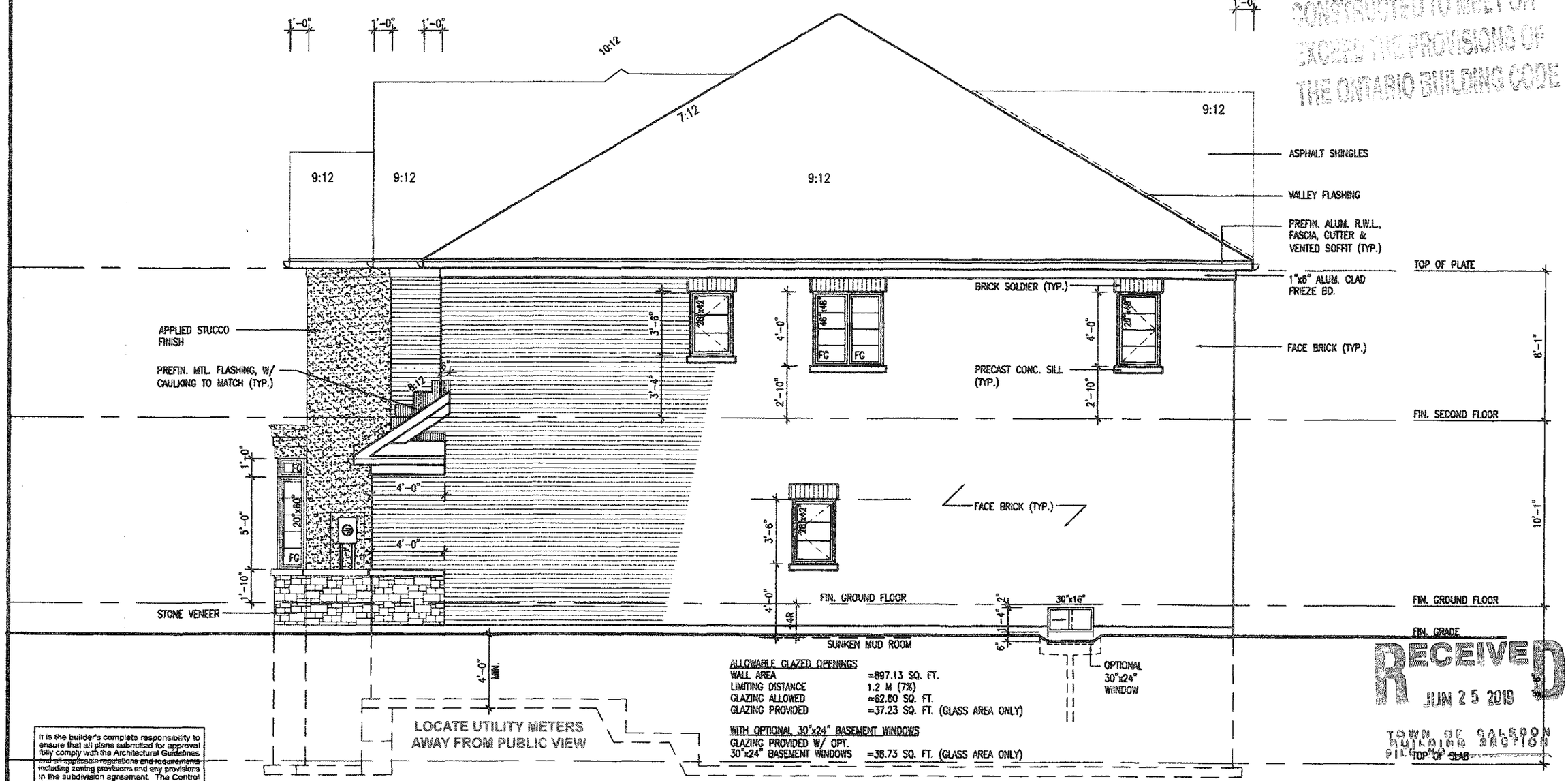
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	LEFT SIDE ELEVATION-ELEV. '1'
drawn by: GW	checked by: -
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no. A6	

2786 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



ALLOWABLE GLAZED OPENINGS

WALL AREA	=897.13 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=62.80 SQ. FT.
GLAZING PROVIDED	=37.23 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=38.73 SQ. FT. (GLASS AREA ONLY)

RIGHT SIDE ELEVATION '2'

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE

FEB 06 2019

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLEMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 19, 2019
This stamp certifies compliance with the applicable Design Guidelines and does not certify compliance with any other requirements.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
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no.	description	date	by
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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 26/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

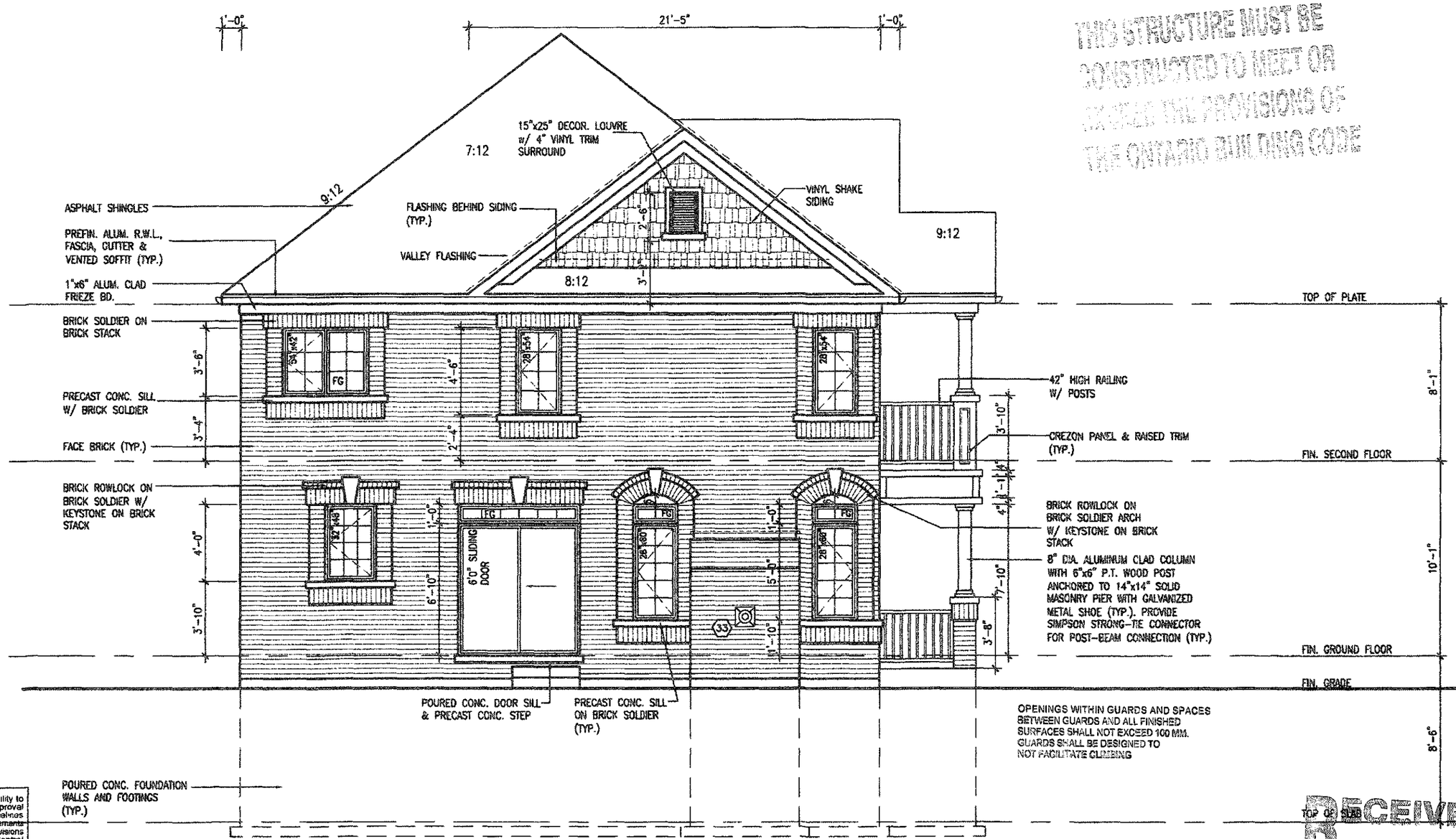
Greenpark.

KINMOUNT 11B
12.5m

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no.: 18023
date: SEP 2018
LEFT SIDE ELEVATION - ELEV. '2'
drawn by: GW
checked by: -
scale: 3/16" = 1'-0"
file name: 18023-KINMOUNT_11B
drawing no.: A6a

2786 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



REAR ELEVATION '1'

RECEIVED
JUN 25 2019
TOWN OF CALEDON BUILDING SECTION FILE NO.

FEB 06 2019

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 13, 2019

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 05/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — registration information — BCIN
VA3 Design Inc. — 42658

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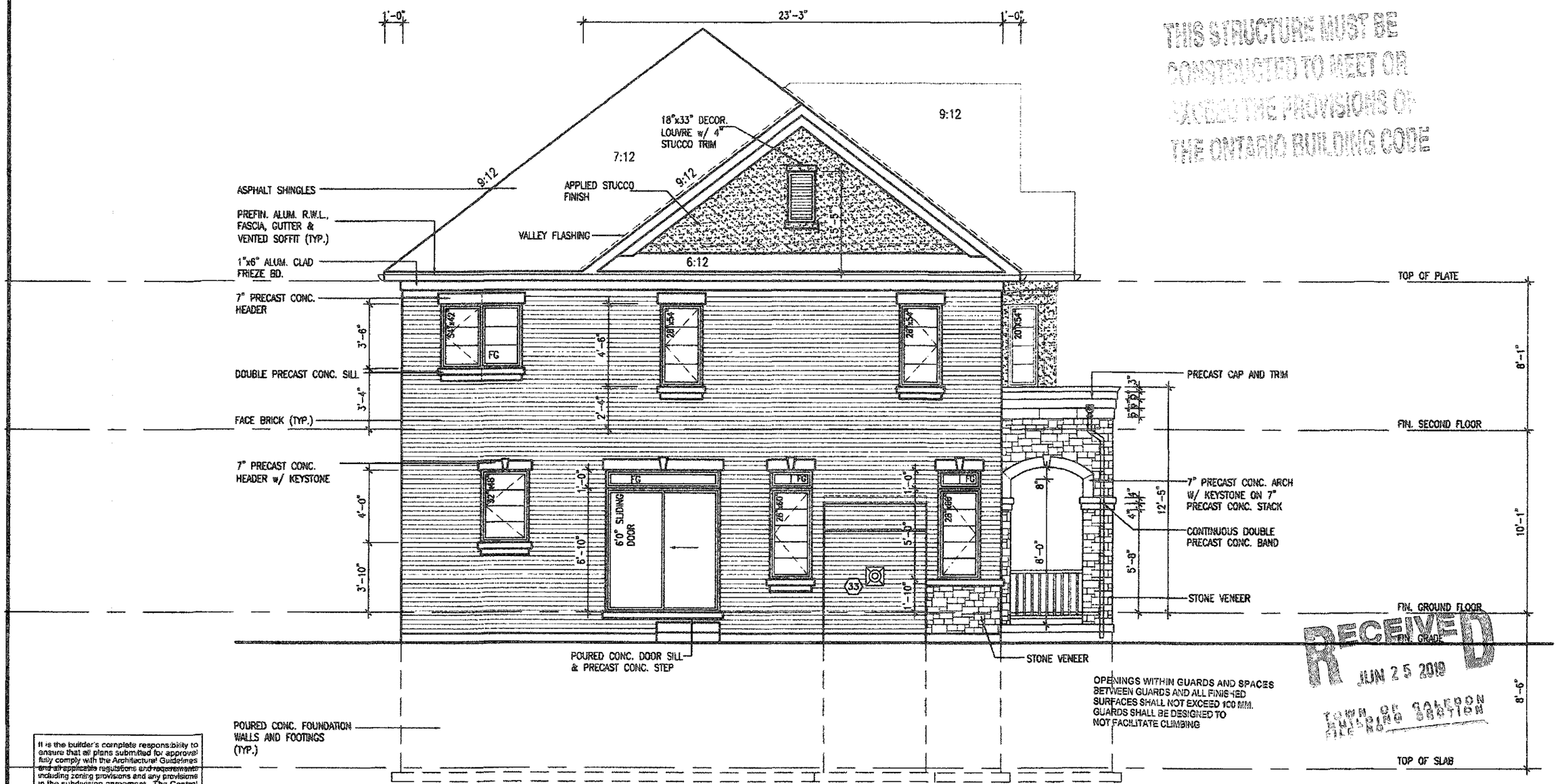
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	REAR ELEVATION-ELEV. '1'
drawn by: GW	checked by: —
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no. A7	

2786 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



RECEIVED
JUN 25 2019
TOWN OF CALEDON
PLANNING & DEVELOPMENT

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: JUN 19, 2019

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REAR ELEVATION '2'

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
	REVISED PER BLDG. DEPT. REISSUED.	MAR. 25/15	GW
	GARAGE SIDE WINDOWS REMOVED.	SEP. 12/14	GW
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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name registration information signature BCIN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

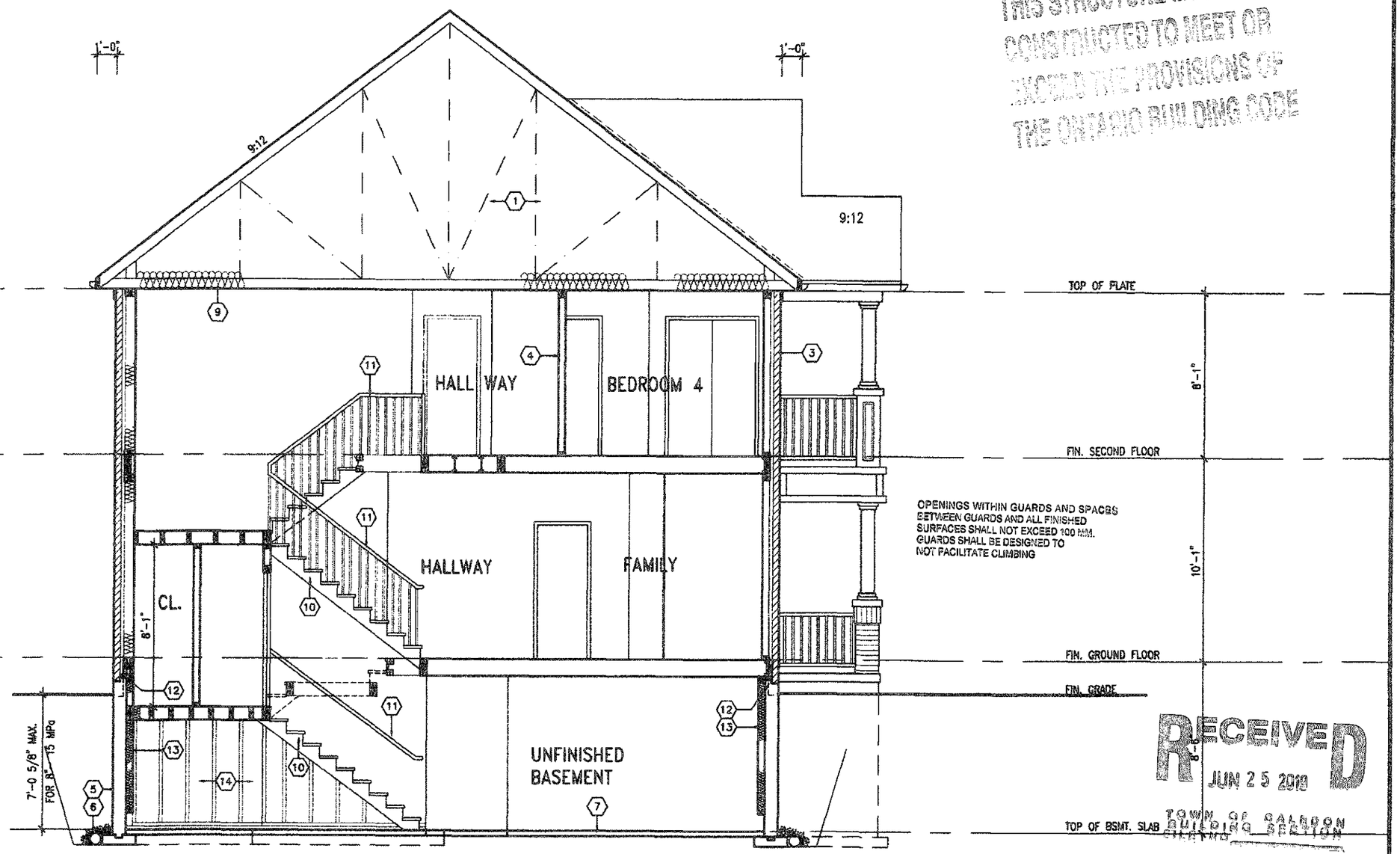
KINMOUNT 11B
12.5m

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
project no.: 18023	
date: SEP 2019	REAR ELEVATION – ELEV. '2'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no.: A7a	

2786 SF.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



SECTION A-A ELEV. '1'

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION

FEB 06 2019

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

KINMOUNT 11B
ENERGY STAR

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no.	description	date	by
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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	SECTION A-A - ELEV. '1'
drawn by: GW	checked by: -
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no. A8	

2786 SF.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

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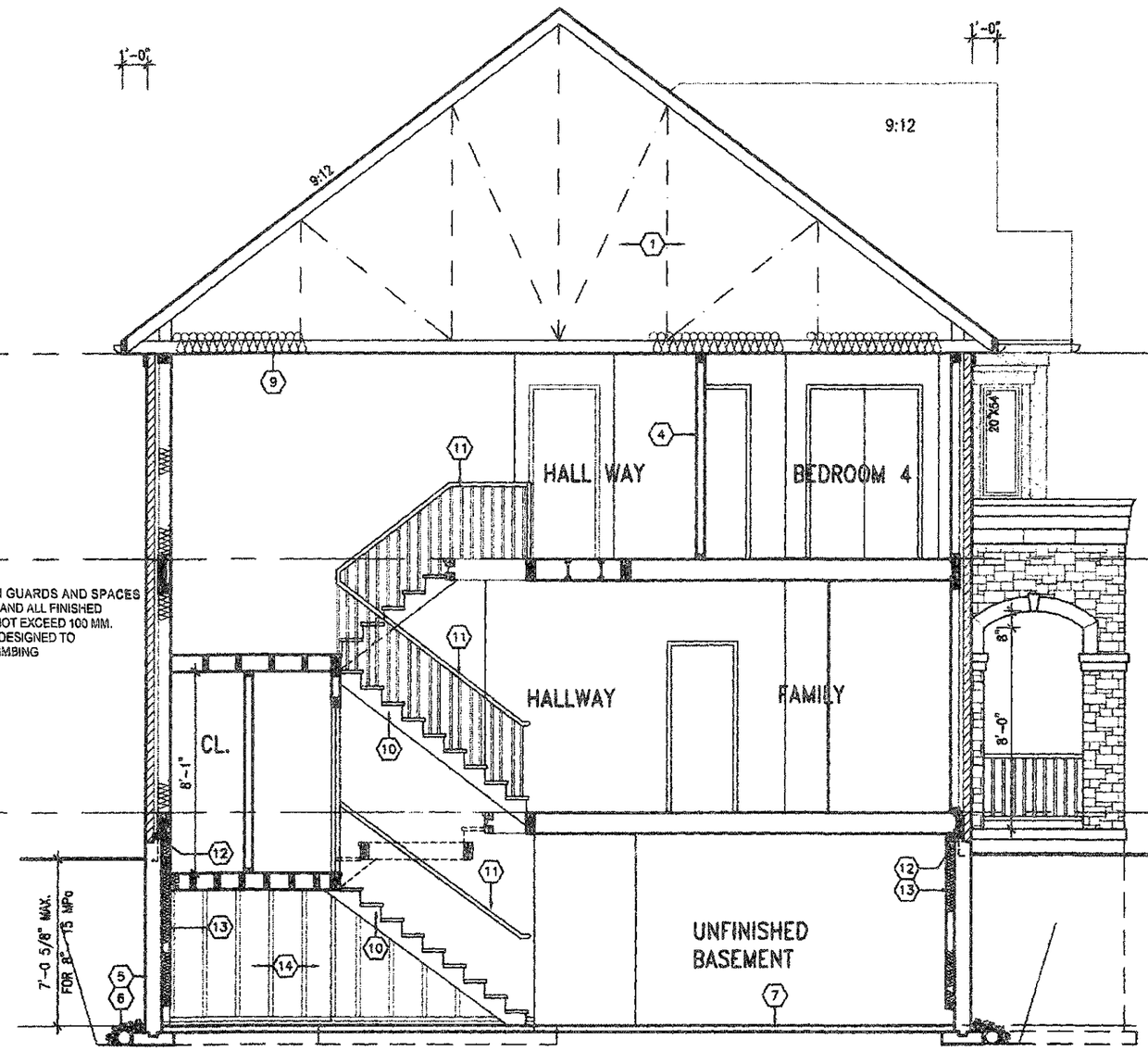

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

SECTION A-A ELEV. '2'

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

FEB 06 2019

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

KINMOUNT 11B
ENERGY STAR

no.	description	date	by
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no.	description	date	by
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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 08/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
name: Richard Vink — signature: R Vink — 24466
registration information
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	SECTION A-A ~ ELEV. '2'
drawn by: GW	checked by: -
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no. A8a	

2786 SF.

REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

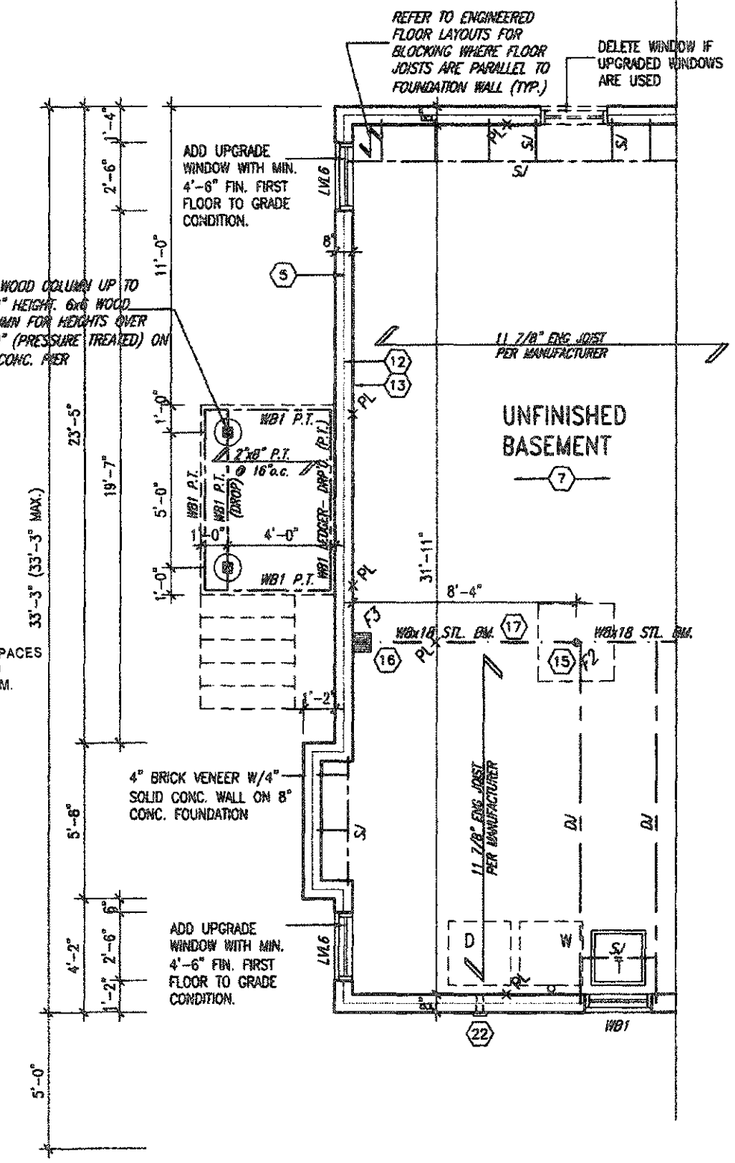
NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

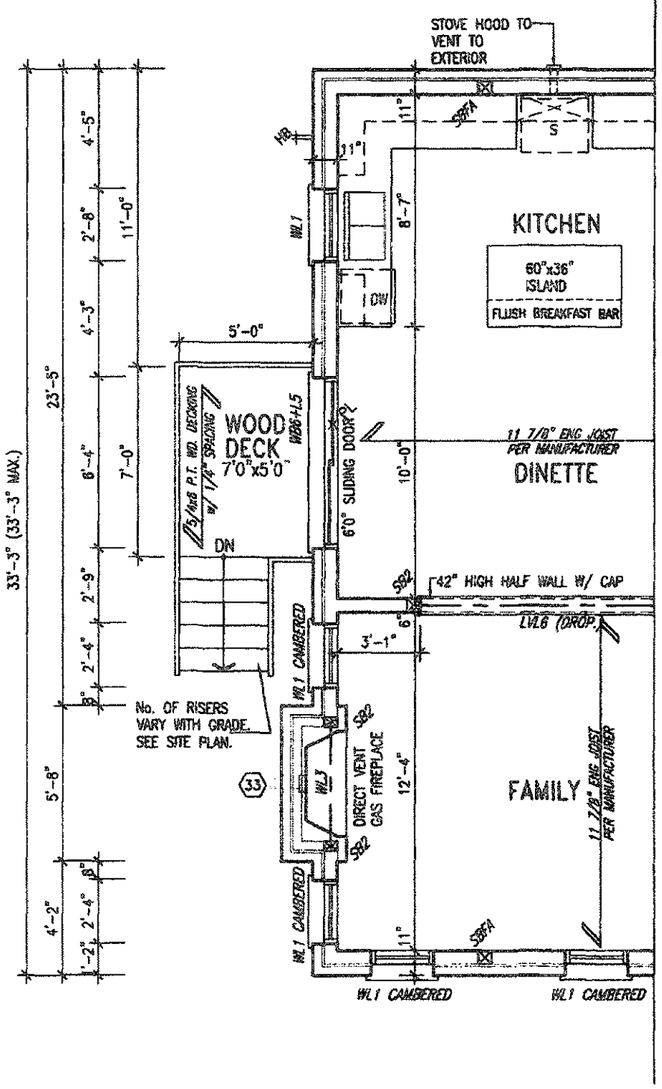
VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



PARTIAL BASEMENT PLAN- ELEV. '1'
W.O.D. CONDITION



PARTIAL GROUND FLOOR PLAN – ELEV. '1'
W.O.D. CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 15, 2019

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FEB 06 2019

KINMOUNT 11B
ENERGY STAR

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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information — Richard Vink — signature — 24466
registration information — VA3 Design Inc. — BCIN 42699

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	LAMBERTS LANE HOME CORP. PH.2
municipality	CALEDON
KINMOUNT 11B 12.5m	
project no.	18023
date	SEP 2018
drawn by	GW
checked by	–
scale	3/16" = 1'-0"
PART. W.O.D PLANS-ELEV. '1'	
file name	18023-KINMOUNT_11B
drawing no.	A9

2786 SF.

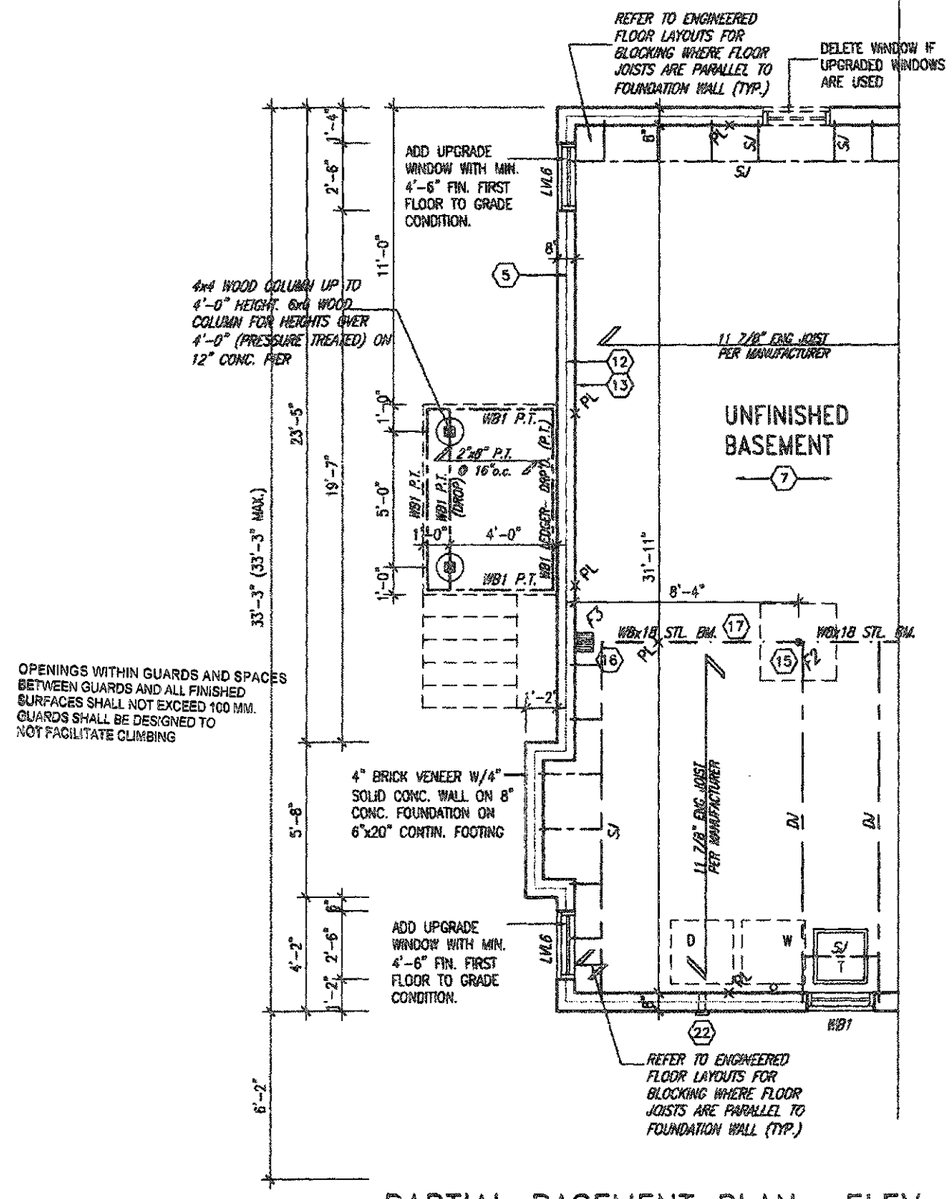
REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

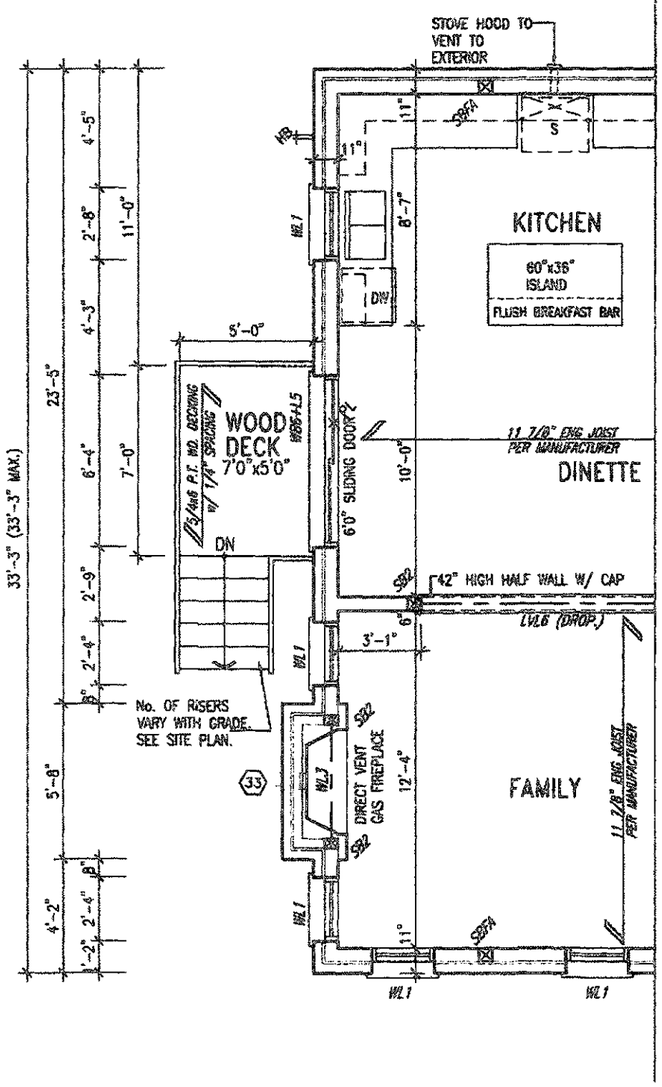
PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS . BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.



PARTIAL BASEMENT PLAN- ELEV. '2'
W.O.D. CONDITION



PARTIAL GROUND FLOOR PLAN - ELEV. '2'
W.O.D. CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 19, 2019
THIS PLAN IS APPROVED IN ACCORDANCE WITH THE APPLICABLE DESIGN GUIDELINES AND THE REQUIREMENTS OF THE

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.
FEB 06 2019

KINMOUNT 11B
ENERGY STAR

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no.	description	date	by
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5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — registration information — signature — BCIN
VA3 Design Inc. — 42858

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

KINMOUNT 11B
12.5m

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
project no.	18023
date: SEP 2018	PART. W.O.D PLANS-ELEV. '2'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no.	A9a

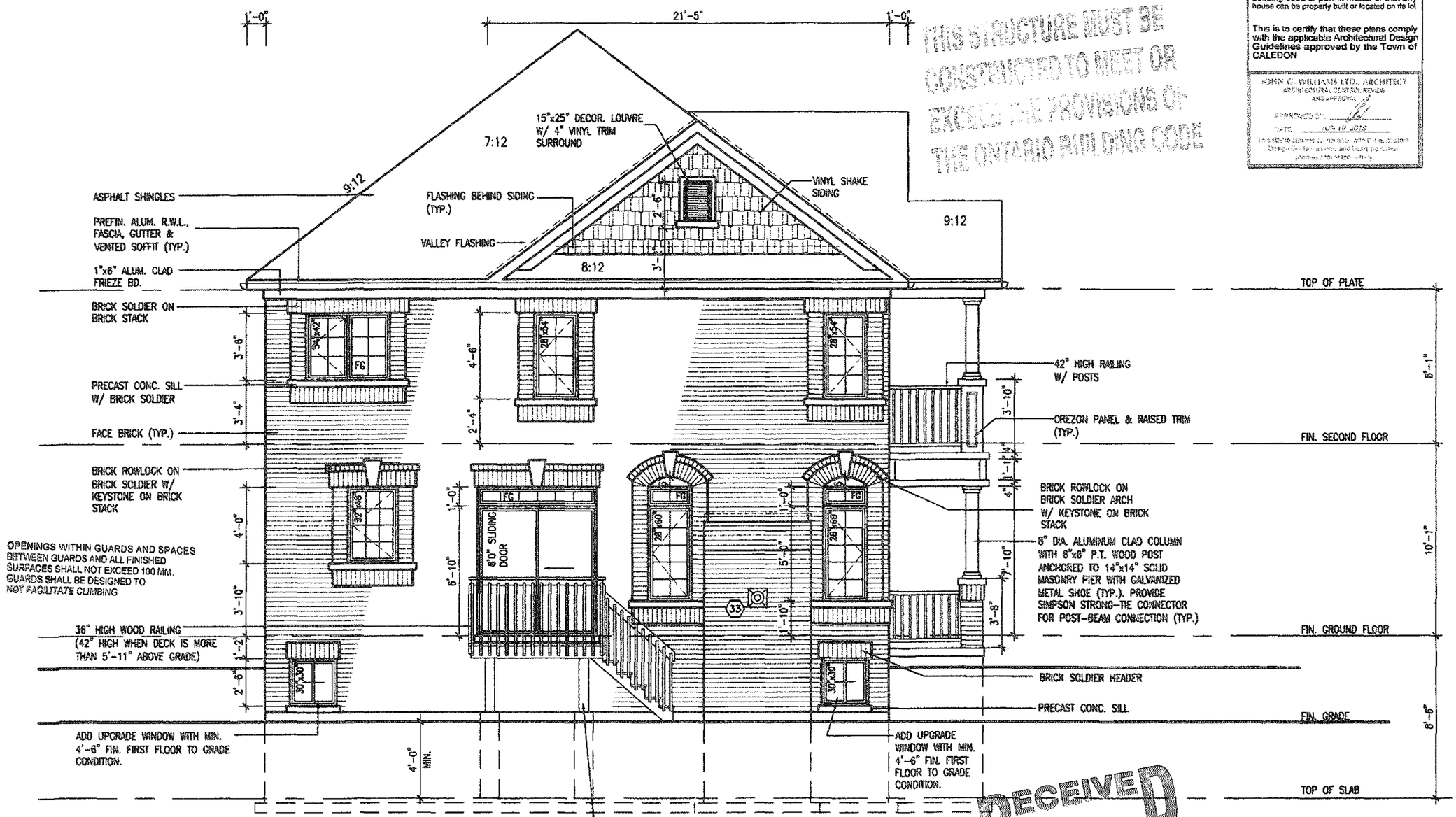
2786 SF.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: JUN 19 2018
This stamp certifies compliance with the applicable Design Guidelines only and does not imply approval for other purposes.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



REAR ELEVATION '1'
W.O.D. CONDITION

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING DIVISION
FILE NO.

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

no.	description	date	by
18			
17			
16			
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9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink — signature — 24498
name — registration information
VA3 Design Inc. — 42659

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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Greenpark.

project name	LAMBERTS LANE HOME CORP. PH.2
municipality	CALEDON
KINMOUNT 11B 12.5m	
project no.	18023
date	SEP 2018
REAR ELEVATION-ELEV. '1'-W.O.D. COND.	
drawn by	GW
checked by	-
scale	3/16" = 1'-0"
file name	18023-KINMOUNT_11B
drawing no.	A10

DWG - H:\18023\DWG\18023-2018\18023-ELEV1-UNITS\25_KINMOUNT\KINMOUNT_11B\18023-KINMOUNT_11B.dwg - Tue - Feb 5 2019 - 11:25 AM

2786 SF.

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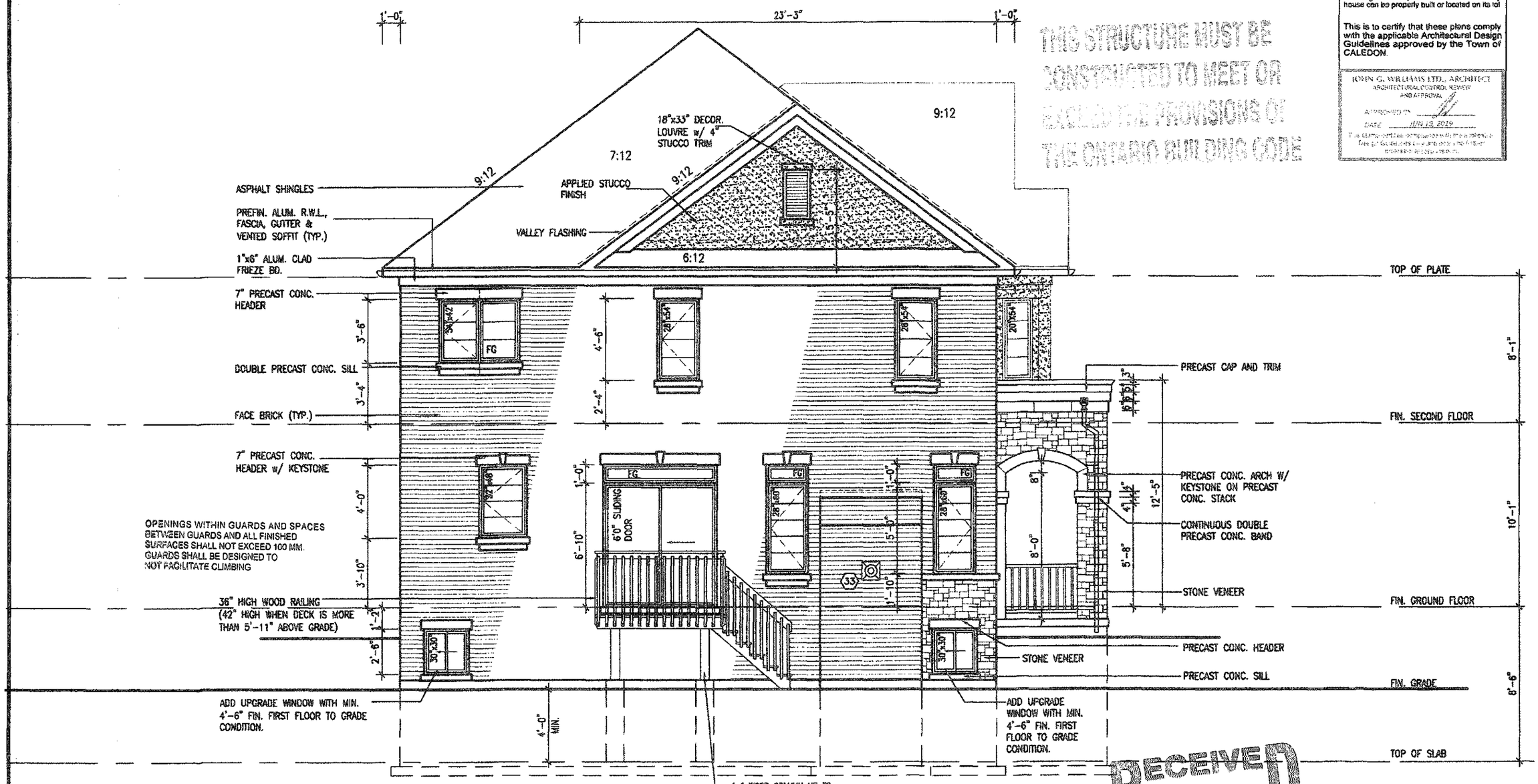
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUN 13 2019

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



REAR ELEVATION '2'
W.O.D. CONDITION

RECEIVED
JUN 25 2019
TOWN OF CALEDON BUILDING SECTION
FILE NO.

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

no.	description	date	by
18			
17			
16			
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no.	description	date	by
9			
8			
7			
6			
5	ISSUED FOR PERMIT.	FEB 05/19	GW
4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
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1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24498
name signature BCIN
registration information
VA3 Design Inc. 42658

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Greenpark.

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KINMOUNT 11B 12.5m	project no. 18023
date: SEP 2018	REAR ELEVATION – ELEV. '2' – W.O.D. COND.
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-KINMOUNT_11B
drawing no. A10a	