

2786 SF.

STRIP FOOTINGS - FOR SINGLES & ROWS UP TO 2 STOREYS**120 KPa NATIVE SOIL**

- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS**120 KPa NATIVE SOIL**

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x16" CONCRETE PAD
- F3 = 30"x30"x12" CONCRETE PAD
- F4 = 24"x24"x12" CONCRETE PAD
- F5 = 16"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
- F2 = 38"x38"x16" CONCRETE PAD
- F3 = 32"x32"x14" CONCRETE PAD
- F4 = 26"x26"x12" CONCRETE PAD
- F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 40"x40"x16" CONCRETE PAD
- F3 = 34"x34"x14" CONCRETE PAD
- F4 = 28"x28"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

BRICK VENEER LINTELS (WL)

- WL1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
- WL2 = 4" x 3'-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
- WL3 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
- WL4 = 6" x 3'-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
- WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
- WL6 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
- WL7 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
- WL8 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
- WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

- WB1 = 2-2"x8" (2-38x184) SPR. No.2
- WB2 = 3-2"x8" (3-38x184) SPR. No.2
- WB3 = 2-2"x10" (2-38x235) SPR. No.2
- WB4 = 3-2"x10" (3-38x235) SPR. No.2
- WB5 = 2-2"x12" (2-38x286) SPR. No.2
- WB6 = 3-2"x12" (3-38x286) SPR. No.2
- WB7 = 5-2"x12" (5-38x286) SPR. No.2
- WB11 = 4-2"x10" (4-38x235) SPR. No.2
- WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
- LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
- LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
- LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
- LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
- LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
- LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
- LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
- LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
- LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
- LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
- LVL8 = 2-1 3/4"x14" (2-45x356)
- LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

- L1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x6.0L)
- L2 = 4" x 3'-1/2" x 5/16" (100x90x8.0L)
- L3 = 5" x 3'-1/2" x 5/16" (125x90x8.0L)
- L4 = 6" x 3'-1/2" x 3/8" (150x90x10.0L)
- L5 = 6" x 4" x 3/8" (150x100x10.0L)
- L6 = 7" x 4" x 3/8" (180x100x10.0L)

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0"-7'-0", 2 ROWS FOR SPANS GREATER THAN 7'-0".

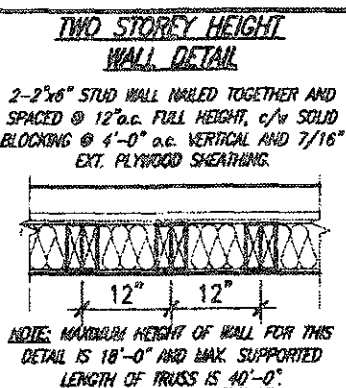
EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLATWORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY *[Signature]*
DATE *July 8, 19*
FILE # KINMOUNT 11B, ELEV 1,2



ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED. ROUGH-IN SHALL INCLUDE:
• A minimum 200 amp Panelboard,
• Conduit that is not less than 1 1/16" (27mm) trade size,
• A square 4 11/16" (119mm) trade size electrical outlet box.
• Furniprotected Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.
REFER TO 2012 OBC 9.34.4.



STRUDET INC.
FOR STRUCTURE ONLY

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
KINMOUNT 11B, ELEV. 1		ENERGY EFFICIENCY - ENERGY STAR	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	659.46 S.F.	121.95 S.F.	18.49 %
FLANKAGE SIDE	1008.19 S.F.	221.16 S.F.	21.94 %
RIGHT SIDE	1008.19 S.F.	44.33 S.F.	4.40 %
REAR	659.46 S.F.	125.03 S.F.	18.96 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3335.30 S.F.	512.47 S.F.	15.37 %
TOTAL SQ. M.	309.86 S.M.	47.61 S.M.	15.37 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
KINMOUNT 11B, ELEV. 2		ENERGY EFFICIENCY - ENERGY STAR	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683.71 S.F.	147.48 S.F.	21.57 %
FLANKAGE SIDE	1008.19 S.F.	233.86 S.F.	23.20 %
RIGHT SIDE	1008.19 S.F.	44.33 S.F.	4.40 %
REAR	683.71 S.F.	132.53 S.F.	19.38 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3383.80 S.F.	558.22 S.F.	16.50 %
TOTAL SQ. M.	314.36 S.M.	51.86 S.M.	16.50 %



A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS.

APPLICANT COPY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

FEB 06 2019

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.



ENERGY STAR - V 17

KINMOUNT 11B
ENERGY STAR

no.	description	date	by	no.	description	date	by
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	FEB 05/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD	JAN 16/19	GW
12				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
11				2	ISSUED FOR CLIENT REVIEW.	SEP 05/18	GW
10				1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW

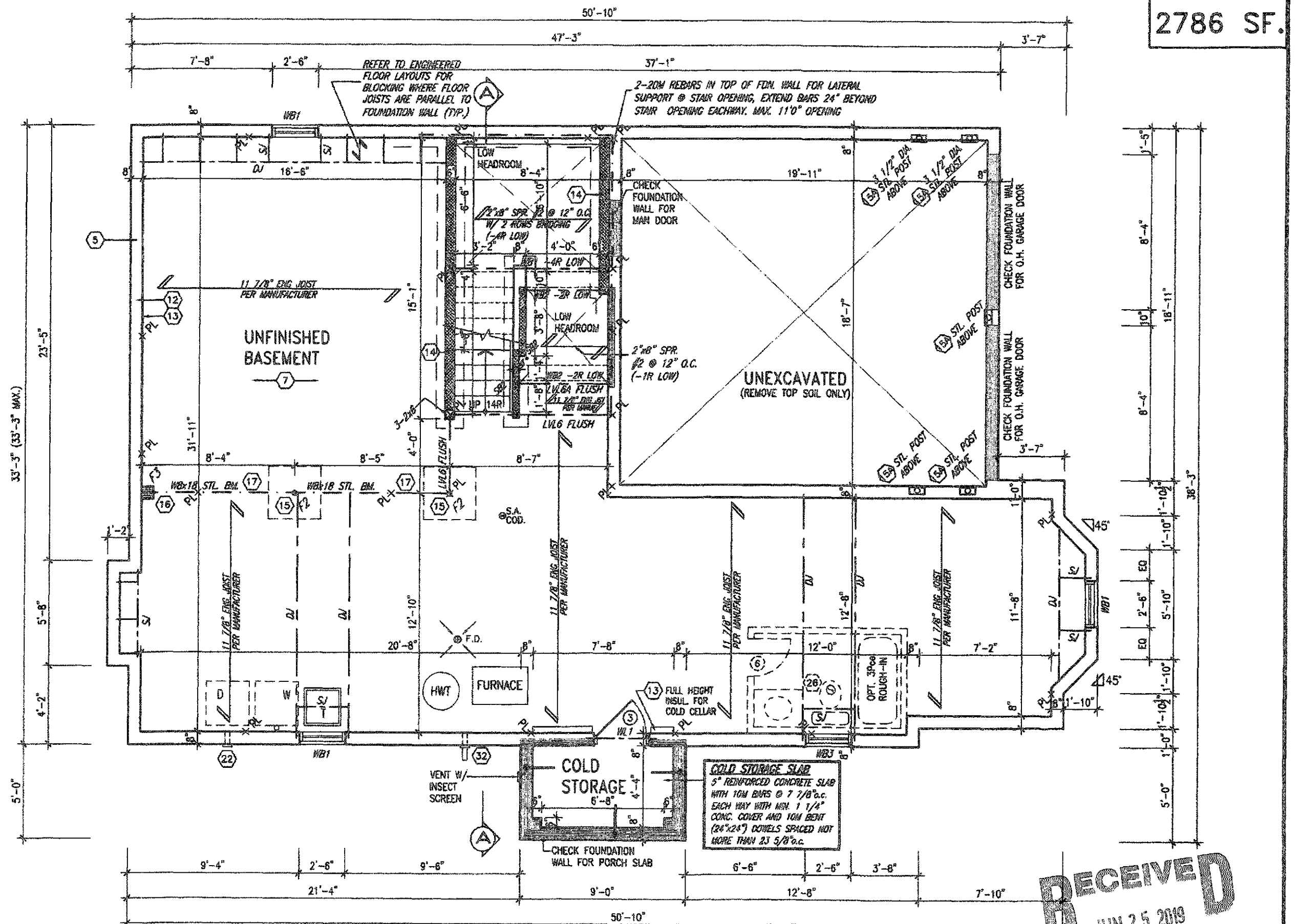
VAB DESIGN		Greenpark.		KINMOUNT 11B	
255 Consumers Rd Suite 120 Toronto ON M2J 1B4 416.630.2255 / 416.630.4782 vabdesign.com		project name LAMBERTS LANE HOME CORP. PH.2		12.5m	
255 Consumers Rd Suite 120 Toronto ON M2J 1B4 416.630.2255 / 416.630.4782 vabdesign.com		project no. 18023		18023	
255 Consumers Rd Suite 120 Toronto ON M2J 1B4 416.630.2255 / 416.630.4782 vabdesign.com		general notes & charts		18023-KINMOUNT_11B	
255 Consumers Rd Suite 120 Toronto ON M2J 1B4 416.630.2255 / 416.630.4782 vabdesign.com		drawing no. AO		18023-KINMOUNT_11B	

All design specifications, related documents and design are the copyright property of VAB DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAB DESIGN's written permission.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
No. 12345

STRUDET INC.
FOR STRUCTURE ONLY

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM



BASEMENT PLAN - ELEV. 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW

APPROVED BY [Signature]
DATE JUN 19, 1969
To be furnished in compliance with the provisions of the
De Long Associates and others and their agents, for
professional services only.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

RECEIVED
JUN 25 2009
TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

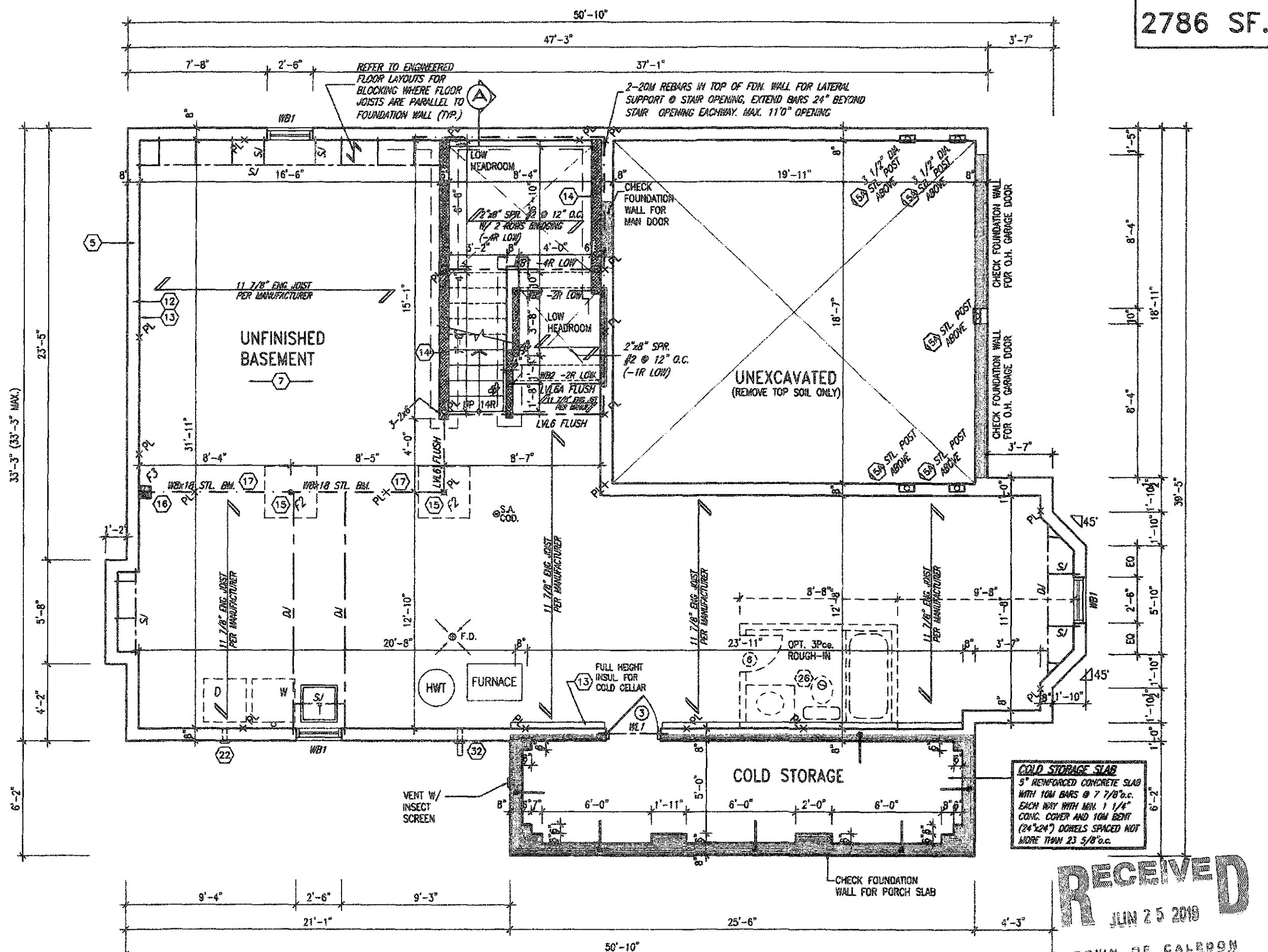
[illegible]

All drawings, specifications, related documents and design are the copyright property of VLSI Design. Reproduction of this document in whole or in part is strictly prohibited without VLSI Design's permission.



STRUDET INC.
FOR STRUCTURE ONLY

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM



BASEMENT PLAN - ELEV. 2

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING DEPARTMENT
FILE NO.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: JUN 19, 2019
This document is the property of the Architect. Design Guidelines and Architectural Review are not to be reproduced or used for any other purpose without the written permission of the Architect.

THE STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED ALL PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT	FEB 05/18	GW
13				4	ROOF - FLOOR - ENG. CO-ORD.	JAN 16/18	GW
12				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
11				2	ISSUED FOR CLIENT REVIEW	SEP 08/18	GW
10				1	UPDATE KIRKENDALL 11 FROM PH.1 (14004)	SEP. 04/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Wink
signature
24488
name
registration information
VA3 Design Inc.
42858
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

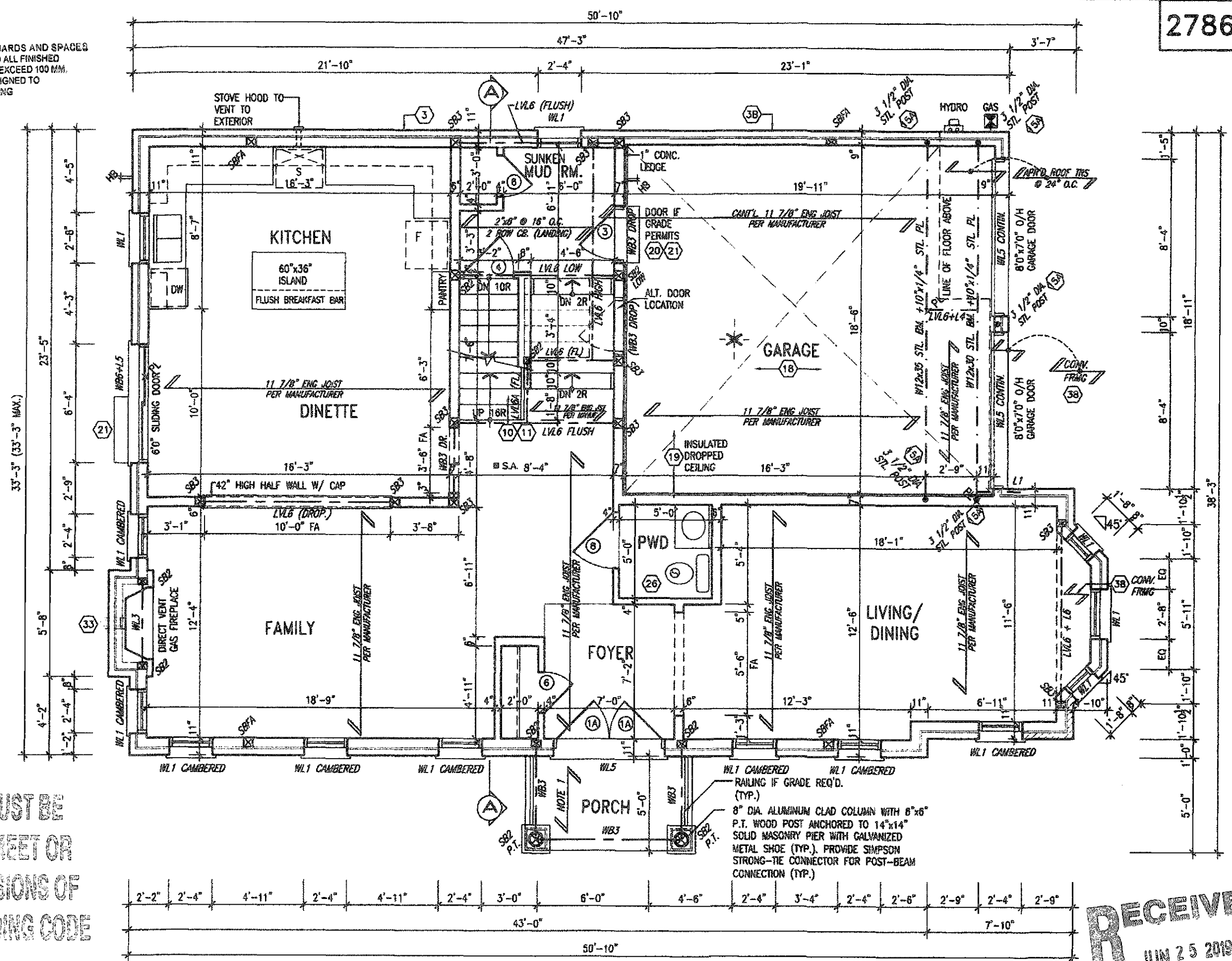
project name	LAMBERTS LANE HOME CORP. PH.2	multiple	CALEDON	project no.	18023
date	SEP 2018	checked by	3/16" = 1'-0"	drawing no.	A1Q
drawn by	GW	scale	3/16" = 1'-0"	18023-KINMOUNT_11B	
project name	LAMBERTS LANE HOME CORP. PH.2	multiple	CALEDON	project no.	18023
date	SEP 2018	checked by	3/16" = 1'-0"	drawing no.	A1Q
drawn by	GW	scale	3/16" = 1'-0"	18023-KINMOUNT_11B	

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

2786 SF.



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



GROUND FLOOR PLAN - ELEV. 1

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

NOTE: 1- BALCONY/DECK CONSTRUCTION
ONE PLY WATERPROOF MEMBRANE (DURADEK) ADHERED TO EXT. TYPE 5/8\"/>

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

BORN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTRACT REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: JUN 19, 2019
This stamp certifies compliance with the Architectural Design Guidelines approved by the Town of Caledon. Design of this structure and any other structure on this lot is the responsibility of the architect.

18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	FEB 05/19	CW
13				4	ROOF-FLOOR-END. CO-ORD.	JAN 16/19	GW
12				3	ROOF SLOPES/BRY WINDOW REV. PER CLIENT	SEP. 28/18	GW
11				2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
10				1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	CW
no.	description	date	by	no.	description	date	by

Richard Vink
signature
24488
42658
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

project name
LAMBERTS LANE HOME CORP. PH.2

city
CALEDON

date
SEP 2018

drawn by
GW

checked by
3/16" = 1'-0"

scale
18023-KINMOUNT_11B

KINMOUNT 11B
12.5m

project no.
18023

drawing no.
A2

GROUND FLOOR PLAN-ELEV. '1'

date
SEP 2018

checked by
3/16" = 1'-0"

scale
18023-KINMOUNT_11B

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

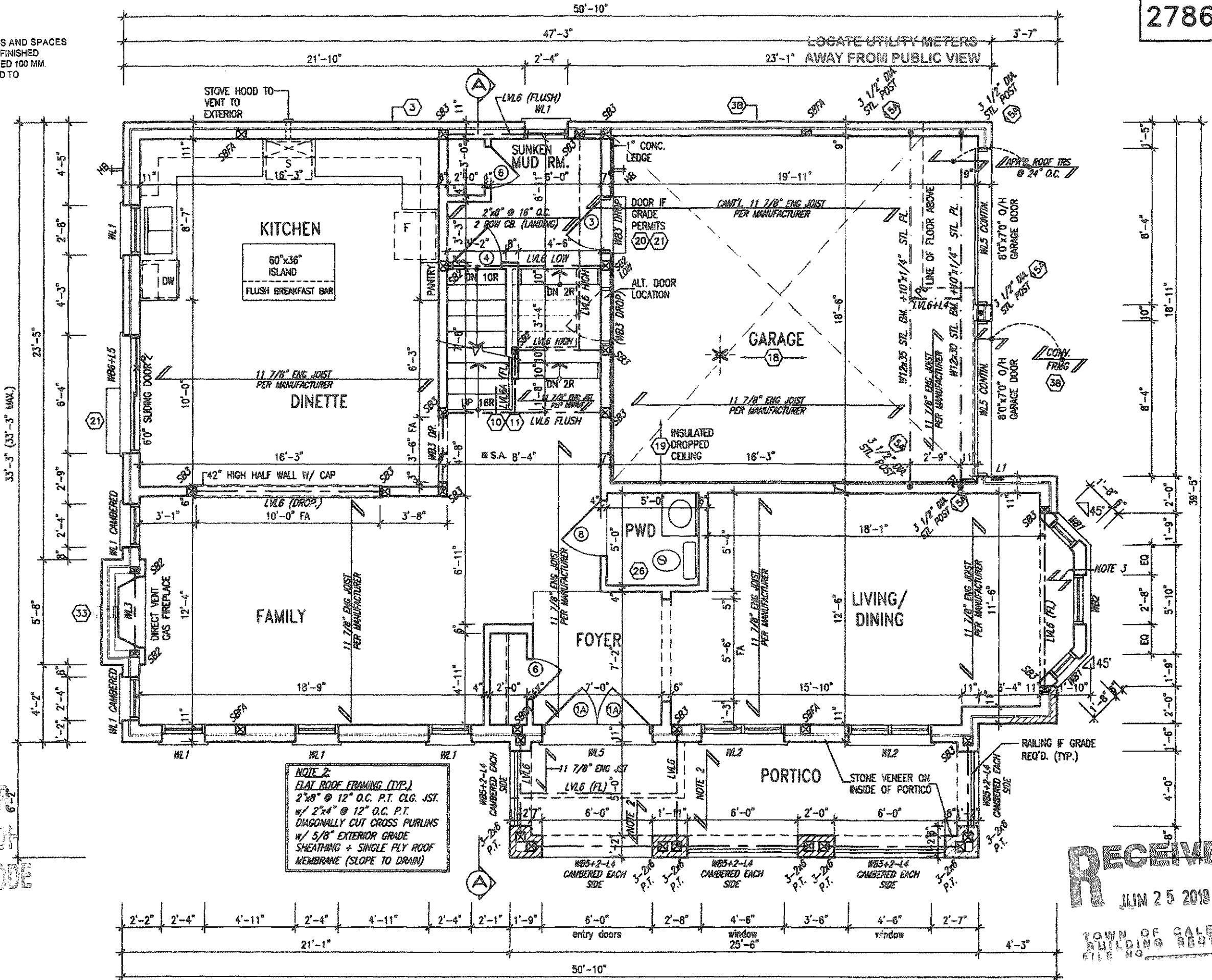
2786 SF.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



GROUND FLOOR PLAN - ELEV. 2

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

NOTE 3: FLAT ROOF OVER BOX-OUT:
SINGLE PLY WATERPROOFING MEMBRANE (SLOPED AWAY
FROM BUILDING) ON 5/8" EXT. GRADE PLYND. ON 2"x4"
PURLINS (CUT DIAGONALLY @ 12" O.C. ON 2"x8" JOISTS
@ 12" O.C.). ROOF TO BE INSULATED W/ SPRAY FOAM
MEDIUM-DENSITY CLOSED CELL (2LB) INSULATION (R51
5.40 (R31) MIN.).

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (plotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUN 12 2019

This stamp certifies compliance with the applicable
Architectural Guidelines and any zoning or building
code or permit matter.

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT.	FEB 05/19	GW
13		4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
12		3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
11		2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
10		1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW
no. description	date	by	no. description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	24488
name	
registration information	
VAS Design Inc.	42858
qualification information	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.	

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2
CALEDON
date
SEP 2018
drawn by
GW
checked by
3/16" = 1'-0"
scale
18023-KINMOUNT_11B
date
Feb 5 2019 - 11:55 AM

KINMOUNT 11B
12.5m

project no.
18023

GROUND FLOOR PLAN-ELEV. '2'

drawing no.
A2a

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

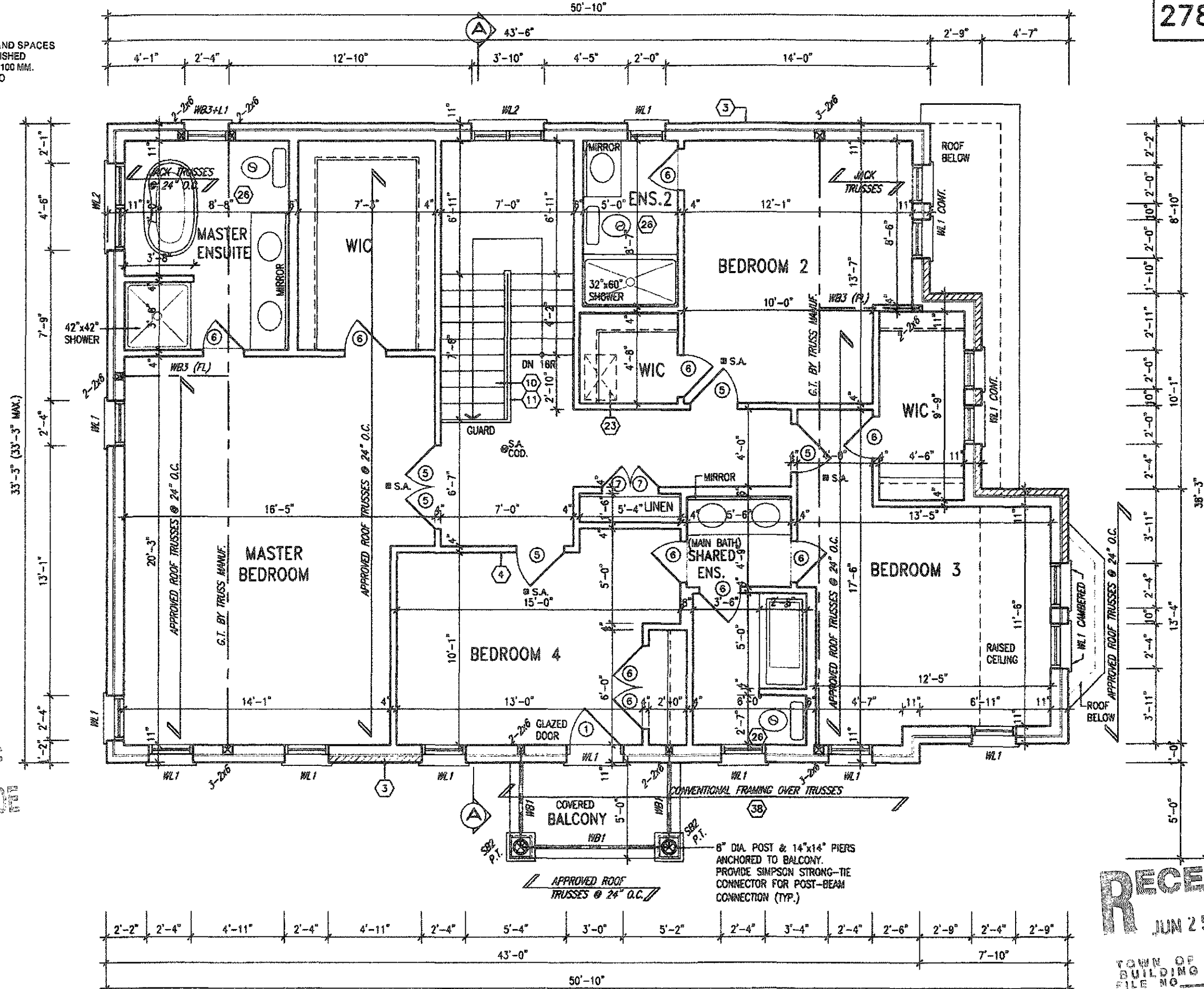
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
6ND APPROVAL

45987723X

Very truly yours,
 George Washington

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO CBC. 9.5.2.3,
3.2.12.1(1)(a) & 3.2.13.1(1)(i).



SECOND FLOOR PLAN - ELEV. 1

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 / f 416.630.4792 va3design.com	 Greenpark. project name: LAMBERTS LANE HOME CORP. PH.2 municipality: CALEDON drawing no.: 18023-KINMOUNT-11B date: SEP 2019 drawn by: [signature] checked by: [signature] scale: 3/16" = 1'-0" title name: 18023-KINMOUNT_11B PWS - C:\WORK\PHASE2\18023-KINMOUNT-11B\18023-KINMOUNT_11B.dwg - Tue Feb 5 2019 - 11:35 AM	KINMOUNT 11B 12.5m project: 18023	A3
17			8							
16			7							
15			6							
14			5							
13			4							
12			3							
11			2							
10			1							
no.	description	date	by	no.	description	date	by			
				1	ISSUED FOR PERMIT.	FEB 05/19	GW			
				2	ROOF-FLOOR-END, CO-ORD.	JAN 16/19	GW			
				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW			
				4	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW			
				5	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW			

All duplicate classifications, related documents and copies are the property of the FBI. Retention of this property is subject to the FBI's policies and procedures.

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "M. MARINKOVIC" is printed. The seal is signed with a large, stylized signature across the center.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CO

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE JUN 19, 2019

THIS SEAL REMAINS VALID FOR THE APPROVAL
DURING WHICH THE SEAL BEARING OFFICER
RECEIVED THE SUBMISSION

[illegible]

KINMOUNT 11B
ENERGY STAR

FEB 06 2019

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and master license requirements set out in the Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink signature 24488 62658
14				5	ISSUED FOR PERMIT.	FEB 05/18	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
12				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
11				2	ISSUED FOR CLIENT REVIEW	SEP 06/16	GW
10				1	UPDATE KINKMOUNT 11 FROM PH. I (14004)	SEP. 04/18	GW
no.	description	date	by	no.	description	date	by

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4762
va3design.com

Greenpark.

KINMOUNT 11B
12.5m

project name: LAMBERTS LANE HOME CORP. PH.2 municipality: CALEDON project no.: 18023

date: SEP 2018 checked by: [blank] scale: 3/16" = 1'-0"

drawing no.: A3a

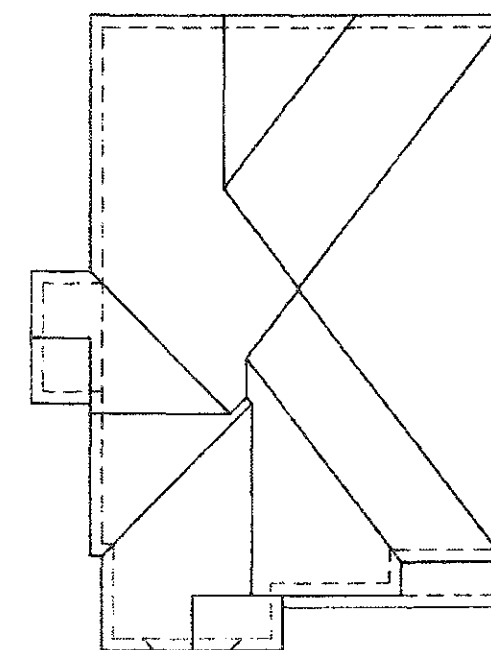
SECOND FLOOR PLAN-ELEV. '2'

18023-KINMOUNT_11B

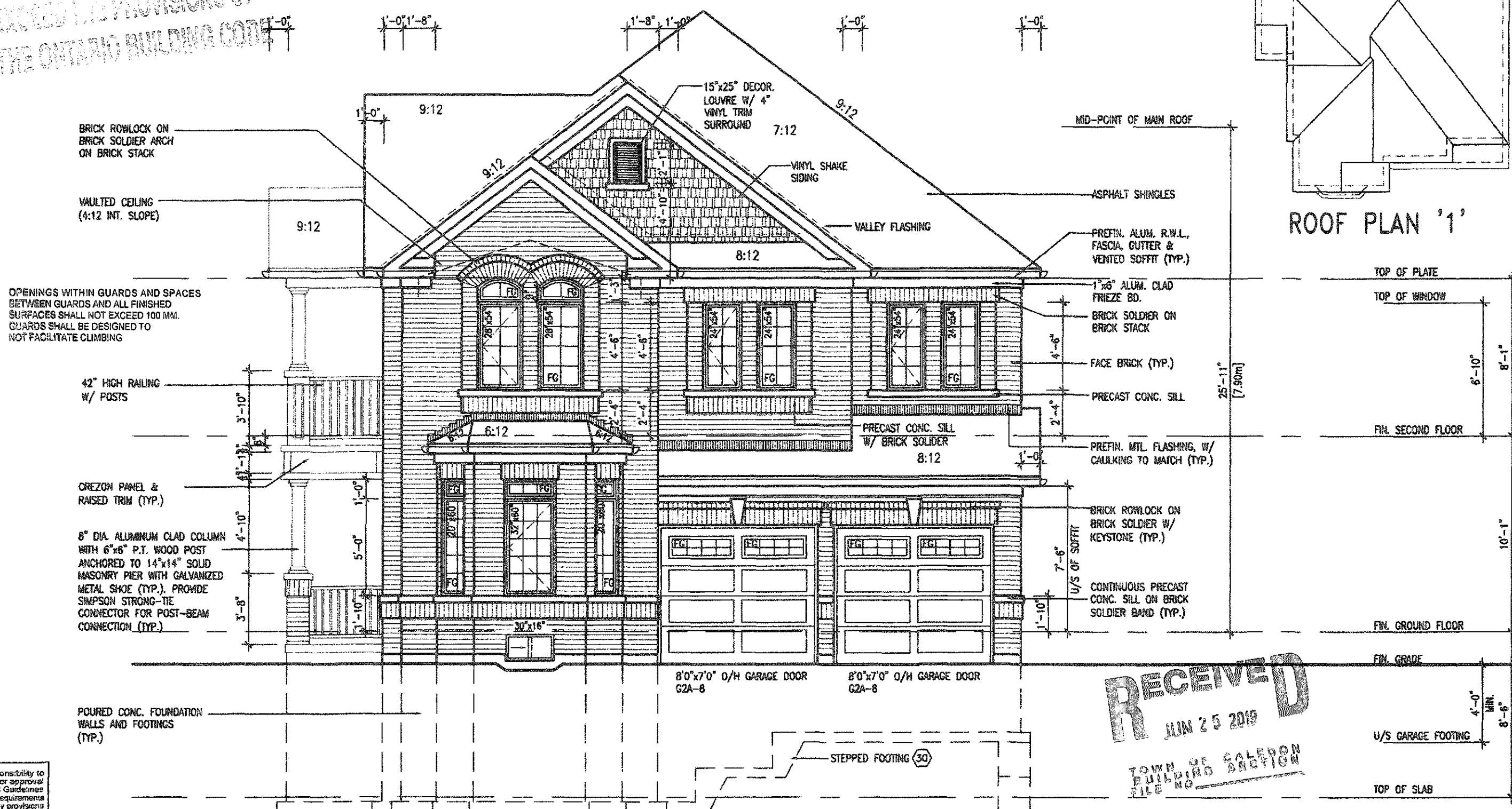
REV - IN PLACE WINDOW, 2018 (REV 1) - STOPS 1/2" MINIMUM DISTANCE FROM EXISTING WALL. 11B-2nd FLOOR-KINMOUNT_11B.dwg - 2nd - Feb 5 2019 - 11:35 AM

All drawings, specifications, related documents and design are the copyright property of US DESIGN. Reproduction of this property in whole or in part is strictly prohibited without US DESIGN's written permission.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



ROOF PLAN '1'



FRONT ELEVATION '1'

RECEIVED
JUN 25 2019
TOWN OF SALEM
BUILDING SECTION
FILE NO. _____

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: 10/19/2019

1. The first step is to identify the problem. In this case, the problem is that the system is not working properly.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9				The undersigned has reviewed and taken responsibility for this design and for the qualifications and tracks the requirements set out in the Ontario Building Code to be a Designer.
17				8				
16				7				qualification information
15				6				Richard Vink <i>R Vink</i> signature 24
14				5	ISSUED FOR PERMIT.	FEB 05/18	GW	name
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/18	GW	registration information
12				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW	VAS Design Inc. 42
11				2	ISSUED FOR CLIENT REVIEW.	SEP. 06/18	GW	
10				1	UPDATE KINAMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW	
no.	description	date	by	no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 264

name signature

registration information

VAS Design Inc. 428

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions and specifications are instruments of service and the plans of the Designer which must be returned at the completion of the work.

Dimensions are not to be scaled.

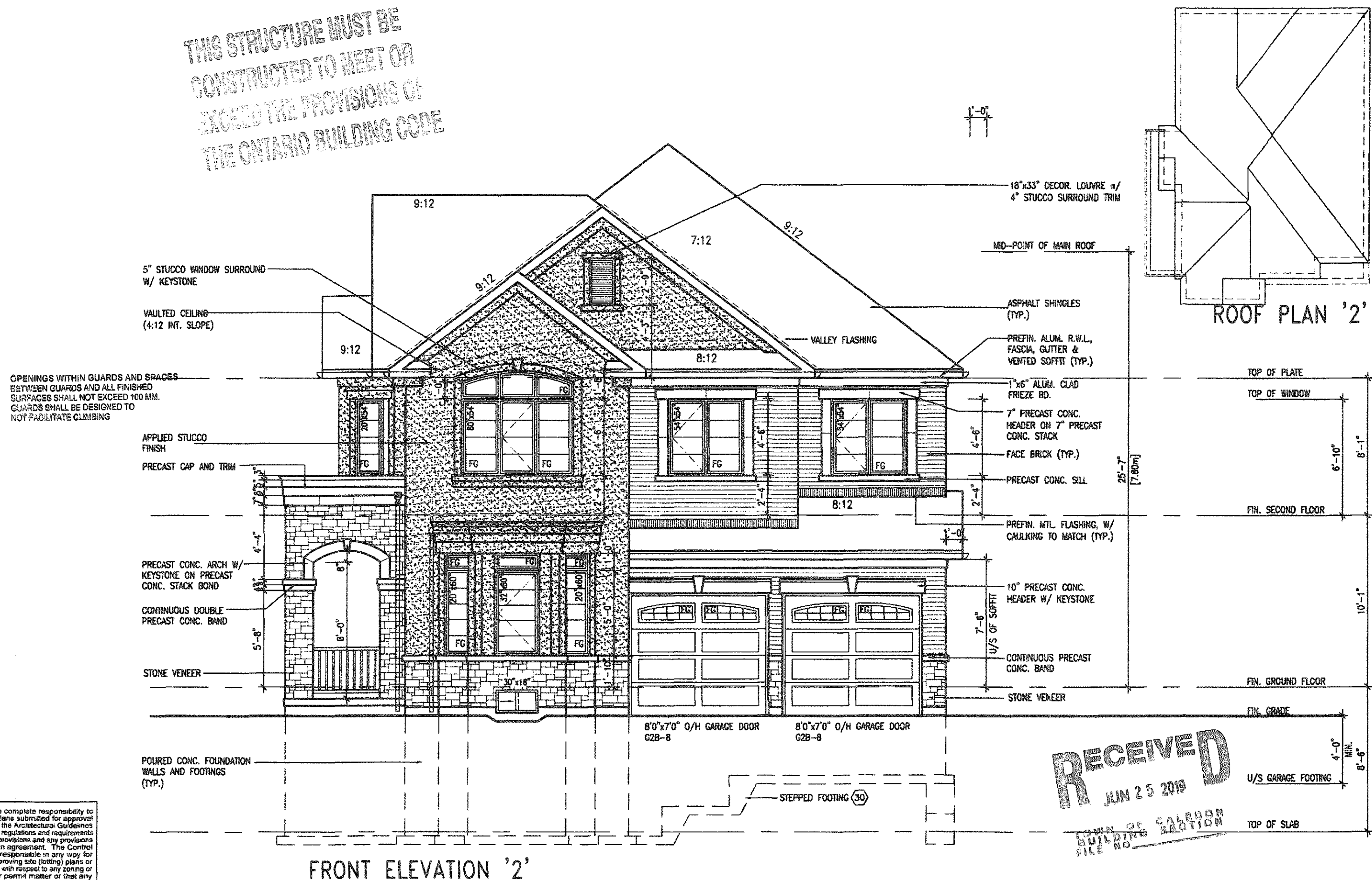
**VA3
DESIGN**
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALCADA
job
SEP 2018
FR
drawn by
DW
scale
3/16" = 1'-0"
NOTES - ALL LAMBERTS LANE HOME CORP. PH.2 HOMES TO BE BUILT TO MEET THE 1998 HUDCO STANDARD.

KINMOUNT 11B	
12.5m	
By IN	project 1802
NT ELEVATION '1'	
No name 18023-KINMOUNT_11B	
drawing no. A4	

All drawings, modifications, related documents and details are the copyright property of KBI DESIGN. Reproduction of this document in whole or in part is strictly prohibited without KBI DESIGN's written permission.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

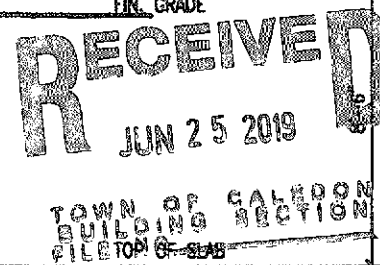
RECEIVED
JUN 25 2019
TOWN OF CALEORN
BUILDING SECTION
FILE NO. _____

KINMOUNT 11B
ENERGY STAR

[illegible]

All documents and information are the property of the U.S. Government. The reproduction of this document in whole or in part is strictly prohibited without the express written permission of the U.S. Government.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



FEB 06 2019

KINMOUNT 11B
ENERGY STAR

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE JUN 19, 2012

THIS PANEL CERTIFICATE IS MADE IN ACCORDANCE WITH THE RULES AND
ORDINANCES OF THE CITY OF LOS ANGELES
(SECTION 18.01, CHAPTER 18, ORDINANCE 175,391)

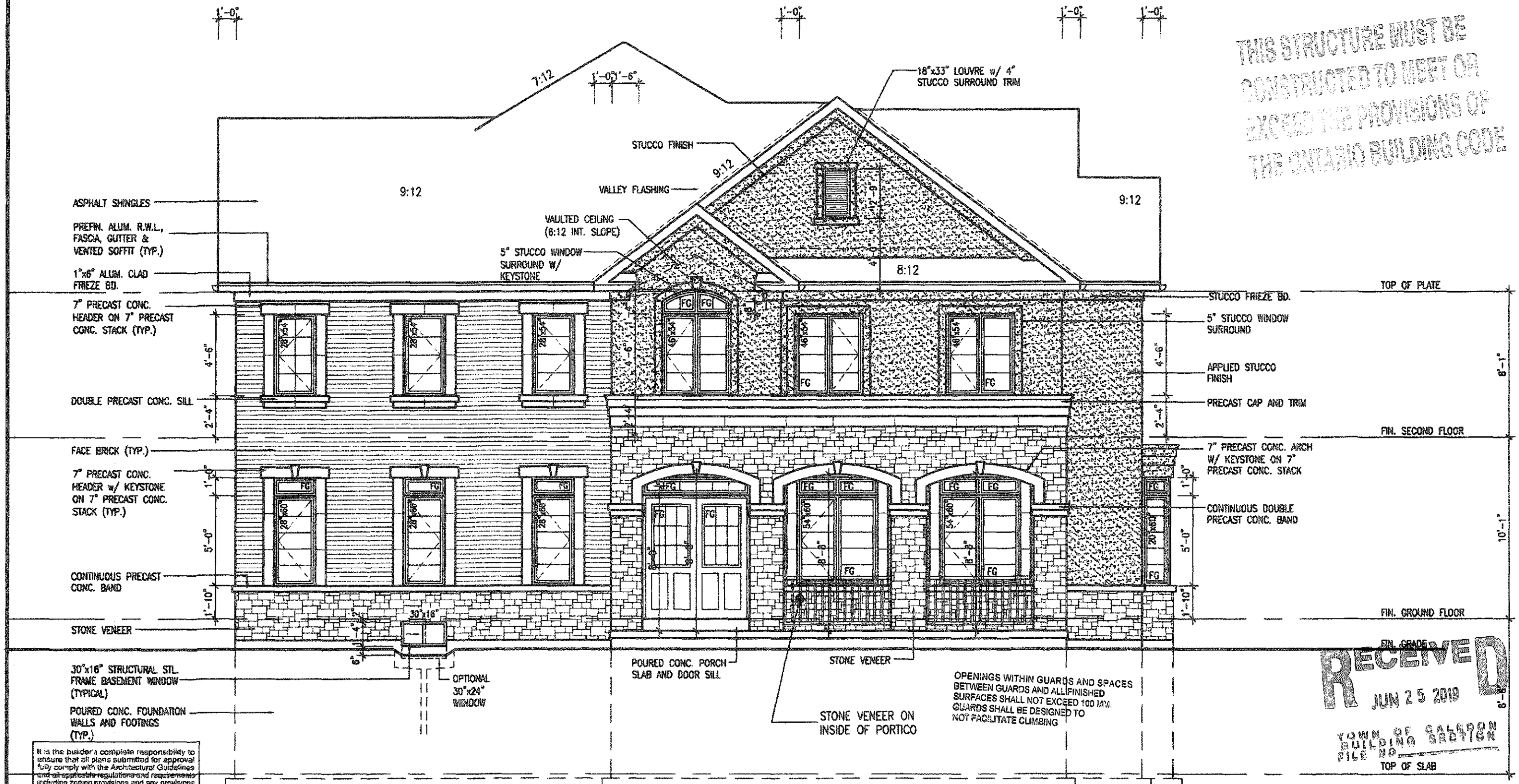
PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

[illegible]

13. During investigations related documents and letters are the essential evidence of the events of the past and of the present. The documents and letters are the most important evidence of the events of the past and of the present.

2786 SF.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



FLANKAGE ELEVATION '2'

RECEIVED
JUN 25 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.
TOP OF SLAB

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTANTS
AND APPROVAL
DATE: MAR 19, 2019
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT.	FEB 05/19	GW
13		4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
12		3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
11		2	ISSUED FOR CLIENT REVIEW	SEP 08/18	GW
10		1	UPDATE KINMOUNT 11 FROM PH.1 (14084)	SEP. 04/18	GW
no.	description	date	by	no.	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink
signature
24480
42658
VA3 Design Inc.
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
project name
LAMBERTS LANE HOME CORP. PH.2
checked by
3/18" = 1'-0"
18023-KINMOUNT_11B

KINMOUNT 11B
12.5m
project no.
18023
drawing no.
A5a
FLANKAGE ELEVATION - ELEV. '2'

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

All drawings, specifications, related documents and designs are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

THE STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

TOP OF PLATE

36

FIN. SECOND FLOOR

33

FIN. GROUND FLOOR

FIN. GRADE

RECEIVED
JUN 25 2018
TOWNSHIP OF SAGINAW
PUBLIC WORKS DEPARTMENT

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or if any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUN 19 2019

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

**LOCATE UTILITY METERS
AWAY FROM PUBLIC VIEW**

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=897.13 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=62.80 SQ. FT.
GLAZING PROVIDED	=37.23 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS = 38.73 SQ. FT. (GLASS AREA ONLY)

OPTIONAL
30" x 24"
WINDOW

18				9			The undersigned has reviewed and taken responsibility for this design and how the qualifications meet the requirements set out in the Ontario Building Code as a Designer.		
17				8					
16				7			qualification information		
15				6			Richard Vink <i>R Vink</i> signature 244B		
14				5	ISSUED FOR PERMIT	FEB 05/19 GW	name 80A		
13				4	ROOF-FLOOR-ENG. CO-ORD.	JUN 16/19 GR	regulation information VAS Design Inc. 426C		
12				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18 GW			
11				2	ISSUED FOR CLIENT REVIEW.	SEP 06/18 GR	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.		
10				1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18 GW			
no.		description		date	by	no.	description	date	by

The undersigned has reviewed and taken responsibility for the design and construction of the building and meets the requirements set out in the Ontario Building Code to be a Designer.	
signature	2448
name	signature
regulation information	signature
VAS Design Inc.	4265
Declaration must follow all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.478
va3design.com

Greenpark

job name
AMBERTS LANE HOME CORP. PH.2 **CA**

2 **LEFT SIDE**

P 2018

drawn by checked by made

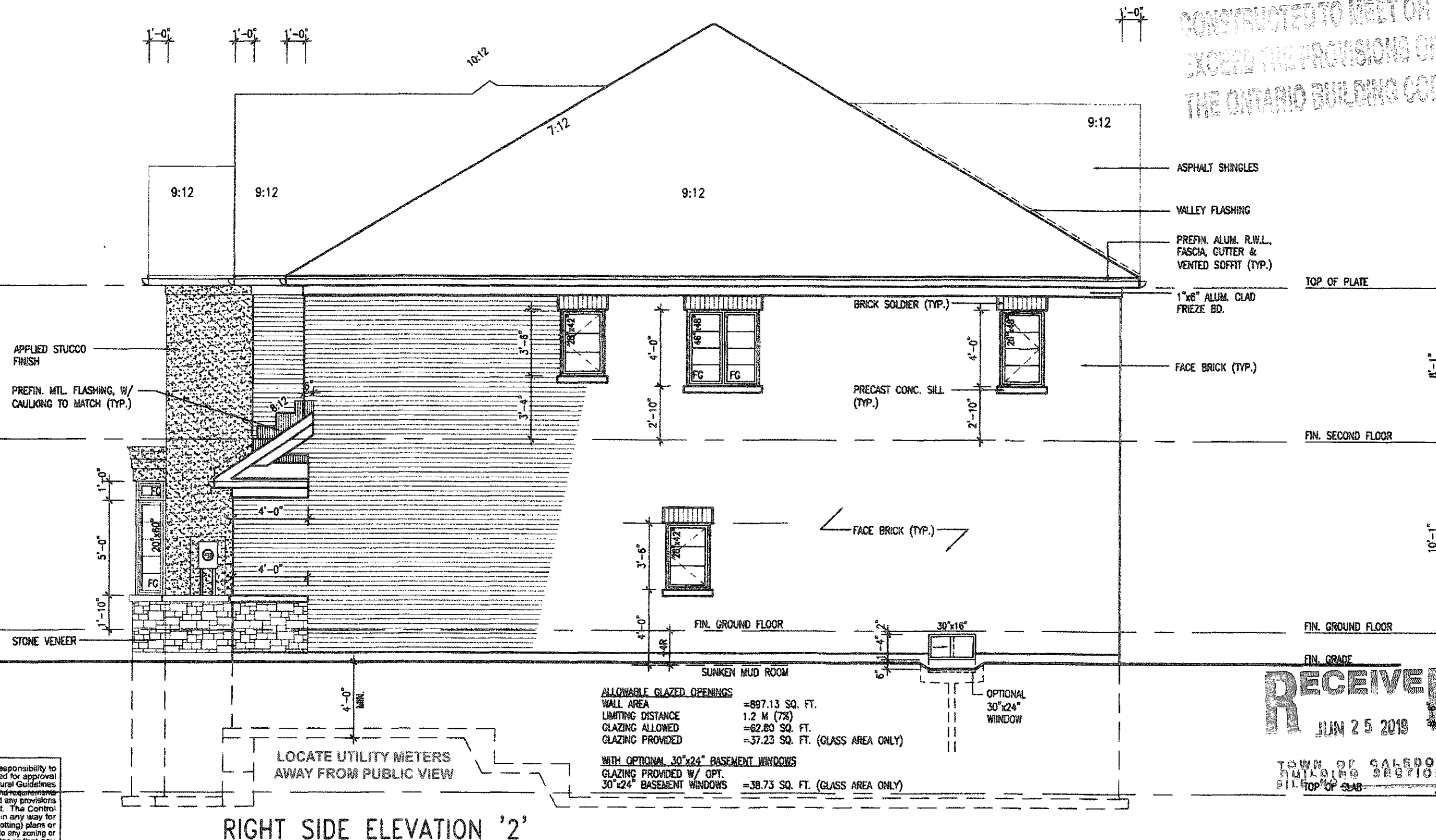
— **3/16" = 1'-0"**

DATE: 10/15/2018 10:52:07 AM USER: J2 HOST: GREENPARK 1151 10523 - RAYMOND

KINMOUNT	11B
12.5m	
	project 1802
VATION-ELEV. '1'	drawing no.
file name 16023-KINMOUNT_11B	A6
g - Tue - Feb 5 2019 - 11:35 AM	

All drawings, specifications, printed documents and design are the copyright property of H&I DESIGN. Reproduction of this document in whole or in part is strictly prohibited without H&I DESIGN's written permission.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, CONTROL, DESIGN
AND DRAWING

APPROVED BY: 

DATE: JUN 19, 2013

THIS DRAWING CONTAINS CHANGES AND IS NOT THE BEST COPY
DESIGN OF THE BUILDING AND SHOULD BE KEPT FOR
RECORD AND RECORD ONLY

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

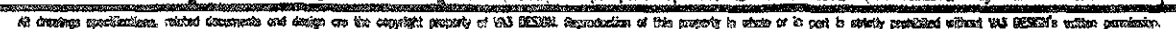
FEB 06 2019

KINMOUNT 11B
ENERGY STAR

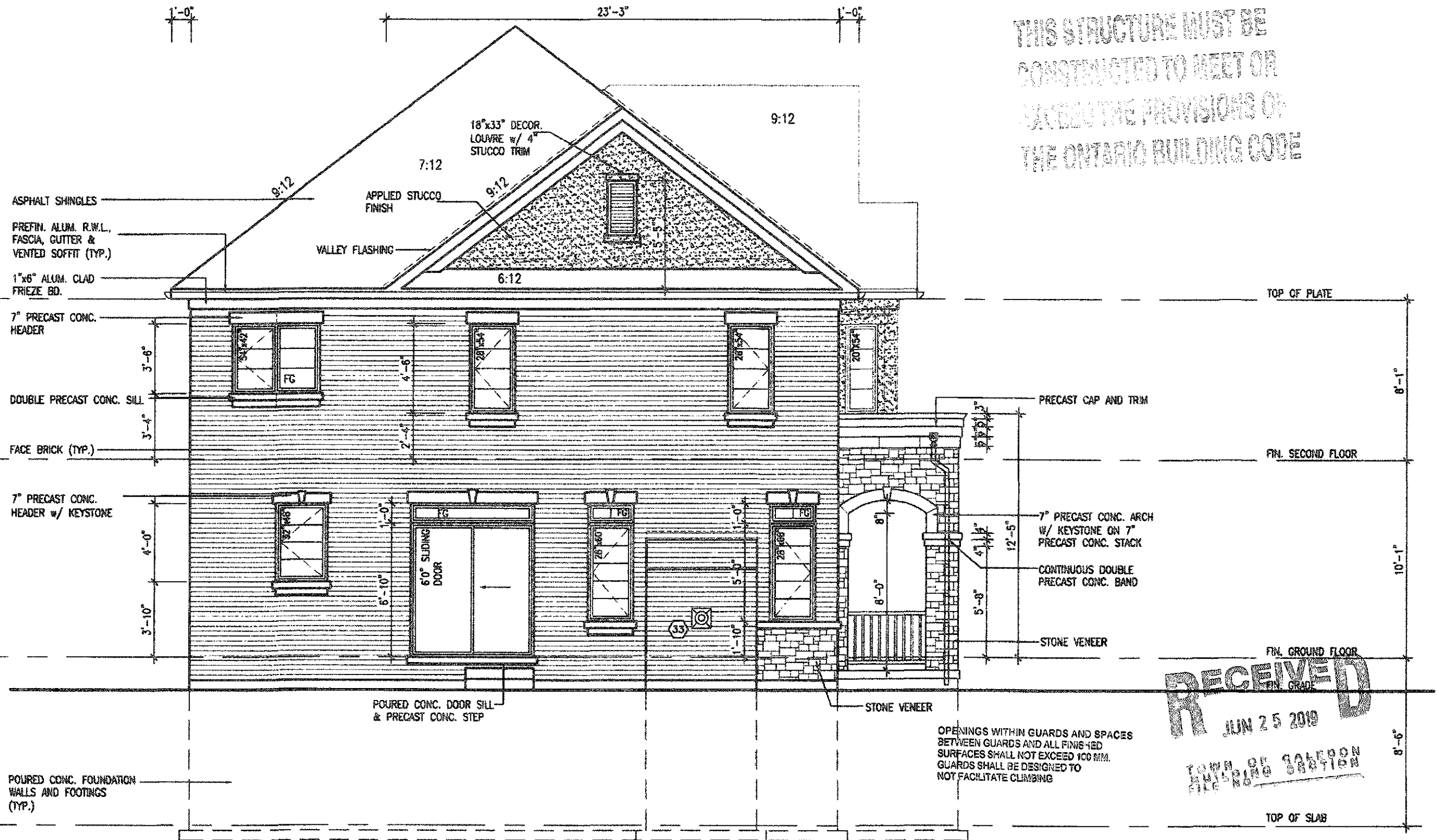
18		9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Glenora Ave Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	 project name LAMBERTS LANE HOME CORP. PH.2	KINMOUNT 11B 12.5m 1802	project no. 18023-KINMOUNT_11B	drawing no. A6a	
17		8			qualification information							
16		7			Richard Vink							
15		6			24488							
14		5			BCR							
13		4	ISSUED FOR PERMIT.	FEB 05/19	GW	name registration information	42058	CALEDON	LEFT SIDE ELEVATION - ELEV. "2"	2018	18023-KINMOUNT_11B	3/16" = 1'-0"
12		3	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW	VA3 Design Inc.						
11		2	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 26/18	GW							
10		1	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW							
9		0	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW							
8		no. description	date	by	no. description	date	by					

All documents and information, related documents and data are the copyright property of NCI. Reproduction of this property is prohibited or is restricted in any way without NCI's express written permission.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CANADIAN BUILDING CODE



2786 SF.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (filling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTANT REVIEW
AND APPROVAL
DATE: JUN 25, 2019
The signed and sealed drawings on this plan shall be the design of the architect and shall be the basis for construction.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

REAR ELEVATION '2'

REVISED PER BLDG. DEPT. REISSUED. MAR. 25/15 GW
GARAGE SIDE WINDOWS REMOVED. SEP. 12/14 GW

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT.	FEB 05/19	GW
13		4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
12		3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP 28/18	GW
11		2	ISSUED FOR CLIENT REVIEW.	SEP 06/18	GW
10		1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW
no.	description	date	by	no.	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature: Richard Vink
name: Richard Vink
registration information: 24488
VIA Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer shall remain the property of the Designer at the completion of the work. Drawings are not to be used.

VIA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
via3design.com

Greenpark.

KINMOUNT 11B
12.5m

project name: **LAMBERTS LANE HOME CORP. PH.2** municipality: **CALEDON** project no.: **18023**

date: **SEP 2018** drawing no.: **18023-KINMOUNT_11B**

drawn by: **GW** checked by: **3/16" = 1'-0"** title: **REAR ELEVATION - ELEV. '2'**

A7a

A circular professional seal for a Registered Professional Engineer. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "B. MARINKOVIC" is printed. There are two handwritten signatures: one in blue ink at the top and one in red ink at the bottom, both overlapping the central text and the outer ring.

1'-0"

9:12

1'-0"

9:12

TOP OF PLATE

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF BSMT. SLAB

HALL WAY

BEDROOM 4

HALLWAY

FAMILY

UNFINISHED BASEMENT

CL.

8'-1"

7'-0" 5/8" MAX. FOR R-15 MPQ

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE CONSTRUCTED TO EXCEED THE PROVISIONS OF THE ONTARIO BUILDING ACT

1

2

3

4

5

6

7

8

9

10

11

12

13

14

15

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

TOP OF BSMT. SLAB TOWN OF GALLON
BUILDING SECTION

KINMOUNT 11B
ENERGY STAR

[illegible]

The undersigned has reviewed and takes responsibility for this design and notes the specifications and checks the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	2448
name	signature
registration information	9C
VAS Design Inc.	4263
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work.	
Building.org.ca/submit.asp	

VA3

DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

 **Greenpark.**

project name **LAMBERTS LANE HOME CORP. PH.2** municipality **CALEDON**
date **SEP 2018** SECTION **A-**
drawn by **GW** checked by **3/16" = 1'-0"**

KINMOUNT 11B
12.5m

SECTION A-A - ELEV. '1'

8

All drawings, specifications, related documents and things are the copyright property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.

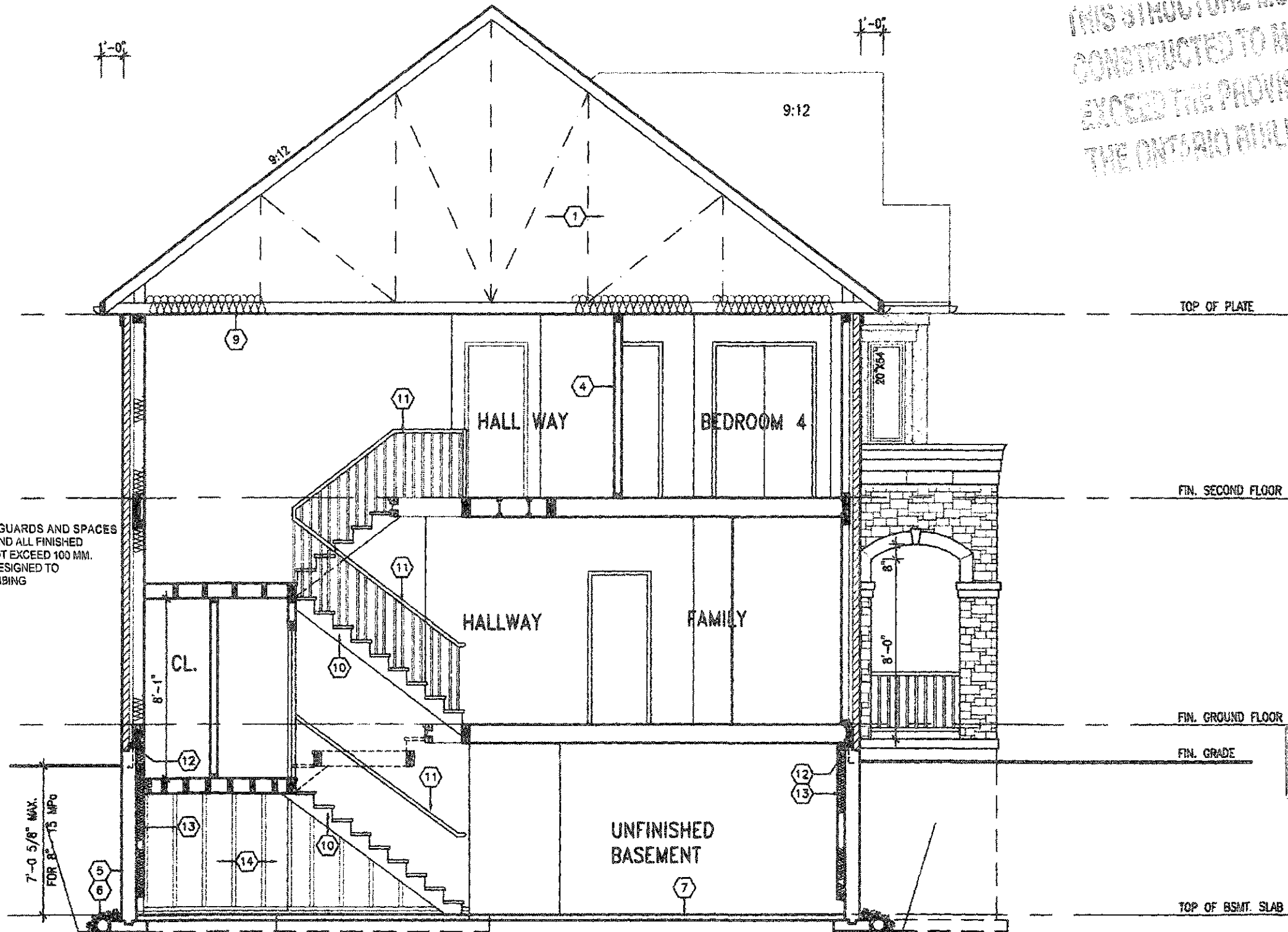
2786 SF.



STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



SECTION A-A ELEV. '2'

RECEIVED
JUN 25 2018
TOWN OF CALEDON
BUILDING DEPARTMENT

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	FEB 05/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
12				3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
11				2	ISSUED FOR CLIENT REVIEW.	SEP. 09/18	GW
10				1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

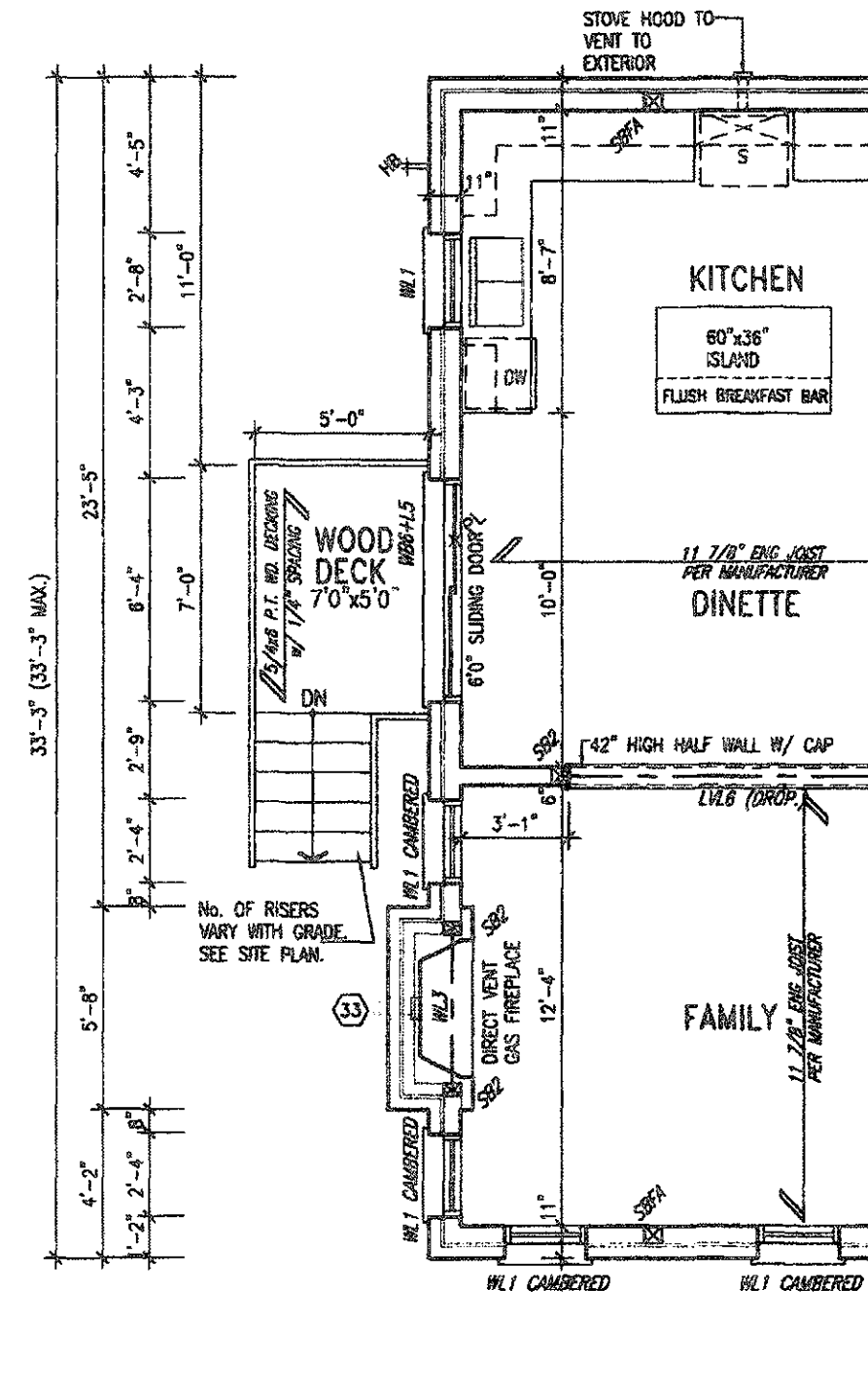
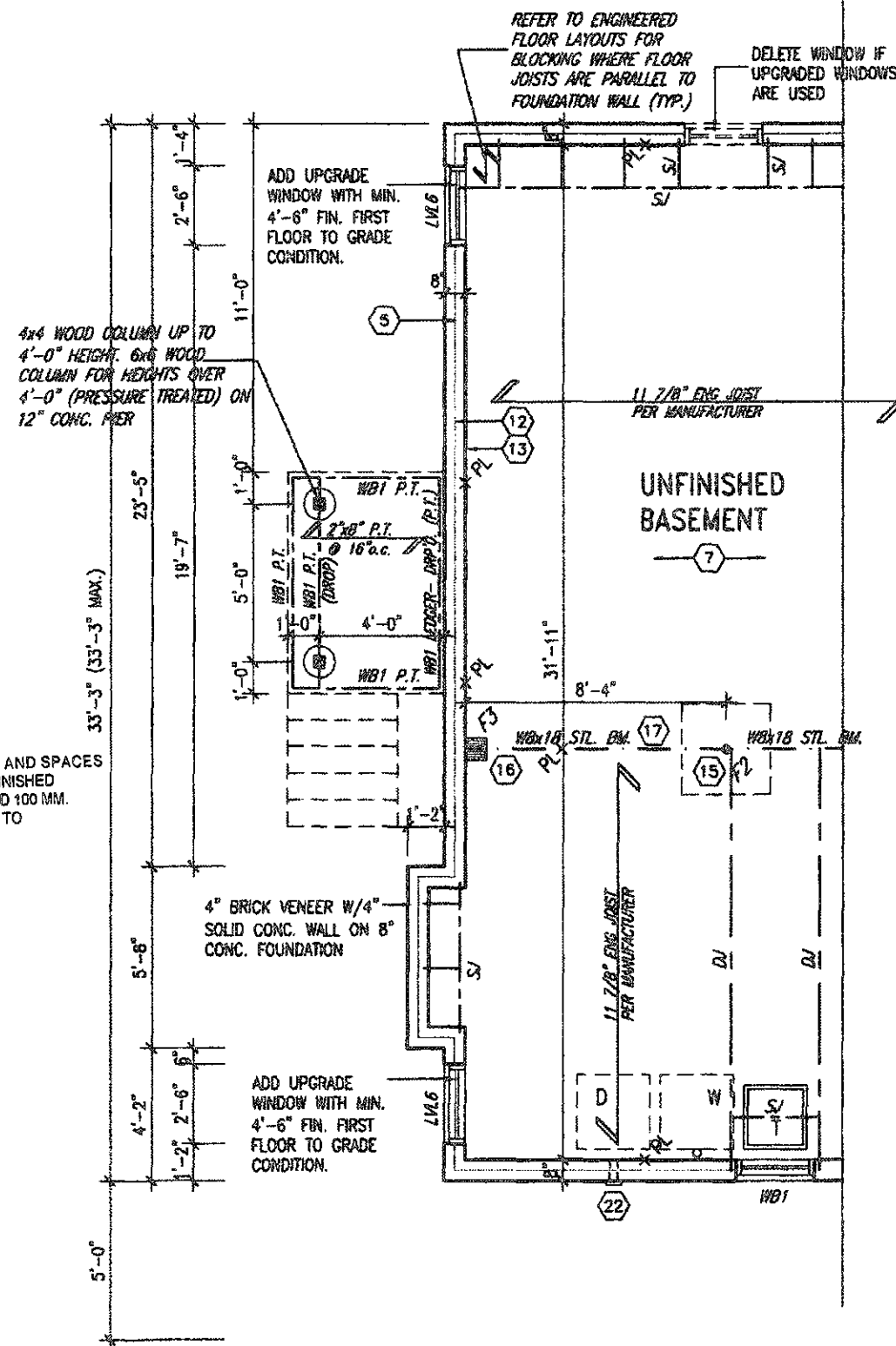
qualification information
Richard Vink 24485
signature
VA3 Design Inc. 42853

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
235 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		KINMOUNT 11B 12.5m	
project name LAMBERTS LANE HOME CORP. PH.2	city CALEDON	project no. 18023	drawing no. A8a
SECTION A-A - ELEV. '2'			
date SEP 2018	checked by 3/16" = 1'-0"	18023-KINMOUNT_11B	
date SEP 2018			

2786 SF.



PARTIAL BASEMENT PLAN- ELEV. '1'
W.O.D. CONDITION

PARTIAL GROUND FLOOR PLAN - ELEV. '1'
W.O.D. CONDITION

REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION

PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENEUR CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL WOOD DECK INFORMATION.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

4" BRICK VENEER W/4"
SOLID CONC. WALL ON 8"
CONC. FOUNDATION

ADD UPGRADE
WINDOW WITH MIN.
4'-6" FIN. FIRST
FLOOR TO GRADE
CONDITION.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE JUN 15, 2019

Design deadlines and the costs of further student submissions.



STRUDET INC.
FOR STRUCTURE ONLY

THE STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

RECEIVED
JUN 25 2019

TOWN OF CALIPON
BUILDING SECTION
FEB 06 2019

KINMOUNT 11B
ENERGY STAR

18			9			The undersigned has received and taken responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.
17			8			
16			7			qualification information
15			6			Richard Vink <i>R Vink</i> signature 244
14			5	ISSUED FOR PERMIT.	FEB 05/19	GW
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
12			3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GR
11			2	ISSUED FOR CLIENT REVIEW	SEP. 06/18	GR
10			1	UPDATE KIRKDAUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW
no.	description	date	by	no.	description	date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	244
name	signature
registration information	
VAS Design Inc.	428
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions must be confirmed and confirmed of service and the presence of the Designer which must be returned at the completion of the work. Designer op not to be used.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

project name **LAMBERTS LANE HOME CORP. PH.2** transp. **CALEDON**

city **SEP 2018** **PART. W.O.D**

drawn by _____ checked by _____ scale **3/16" = 1'-0"**

dwg. no. _____

DATE: 11/15/2018 11:11:11 AM

KINMOUNT 11B	
12.5m	
	project no. 18023
PLANS-ELEV. '1'	drawing no. A9
file name 18023-KINMOUNT_11B	
- Tue - Feb 5 2013 - 11:35 AM	

All documents transmitted, printed documents and design are the copyright property of the UNITED STATES GOVERNMENT. No part of this document is to be reproduced without the express permission of the UNITED STATES GOVERNMENT.

2786 SF.

REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

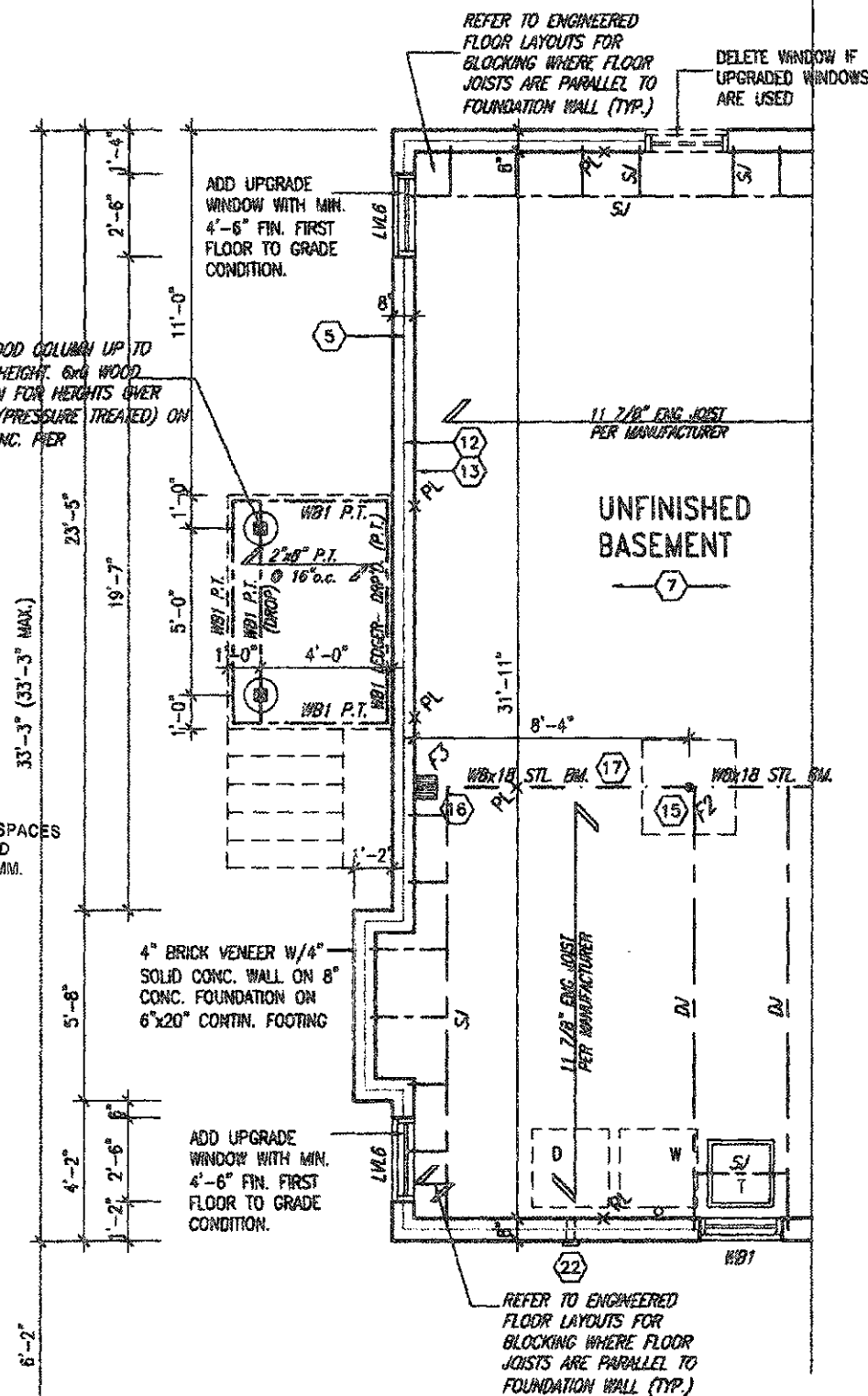
NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

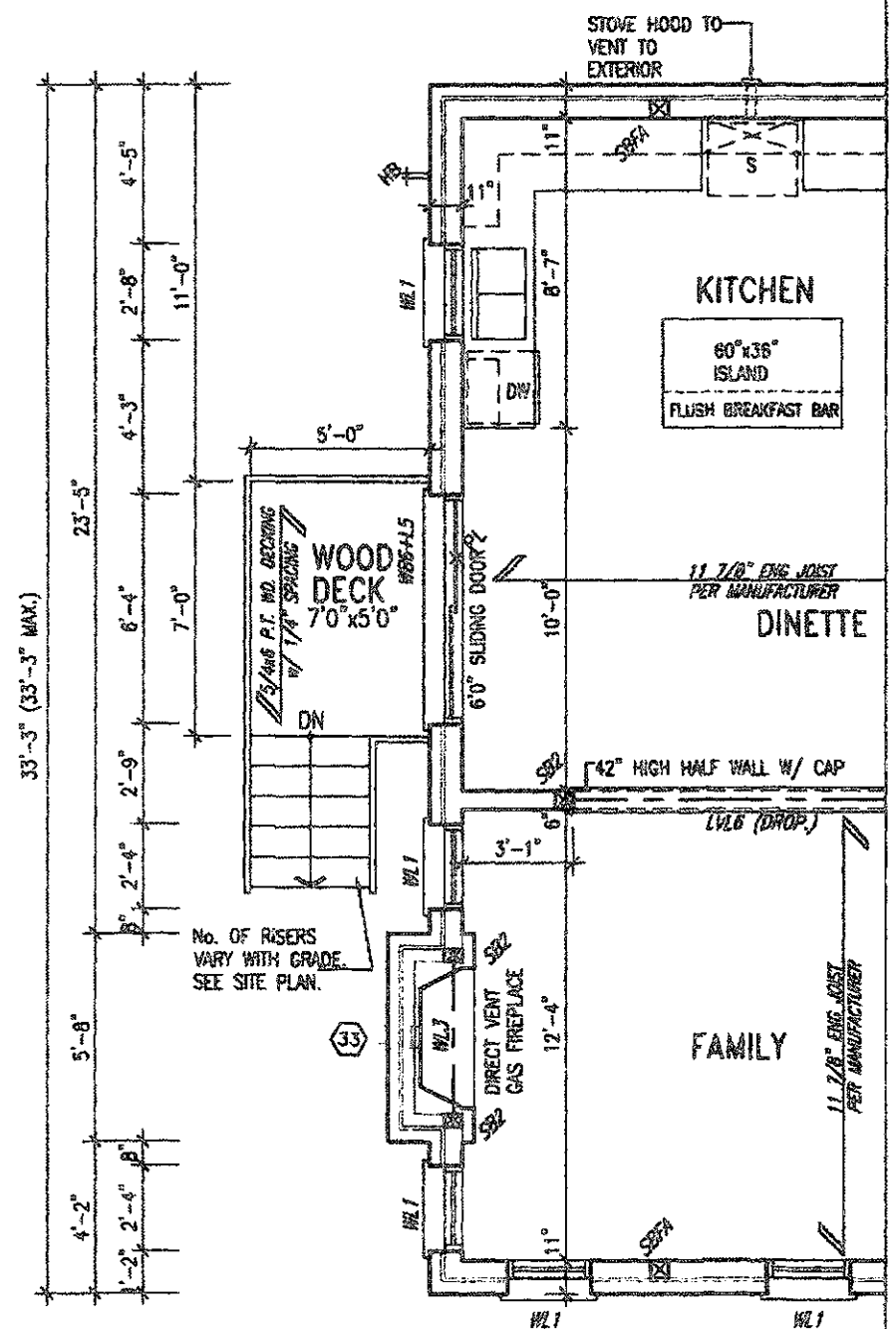
VENUEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



PARTIAL BASEMENT PLAN- ELEV. '2'
W.O.D. CONDITION



PARTIAL GROUND FLOOR PLAN - ELEV. '2'
W.O.D. CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUN 10, 2019

This plan is submitted in accordance with the approval of the Architectural Design Guidelines and the Architectural Guidelines of the Town of Caledon.



STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

RECEIVED
JUN 25 2019

TOWN OF CALEDON
RECEIVED
FEB 06 2019

KINMOUNT 11B
ENERGY STAR

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT	FEB 05/19	GW
13		4	ROOF-FLOOR-ENG. CO-ORD.	JAN 16/19	GW
12		3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18	GW
11		2	ISSUED FOR CLIENT REVIEW	SEP. 06/18	GW
10		1	UPDATE KINMOUNT 11 FROM PH.1 (14004)	SEP. 04/18	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink
signature
24488
no. registration information
VA3 Design Inc.
42050
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

project name LAMBERTS LANE HOME CORP. PH.2	multi-family CALEDON	project no. 18023
date SEP 2018	checked by code 3/16" = 1'-0"	drawing no. 18023-KINMOUNT_11B
PART. W.O.D PLANS-ELEV. '2'		A9a

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

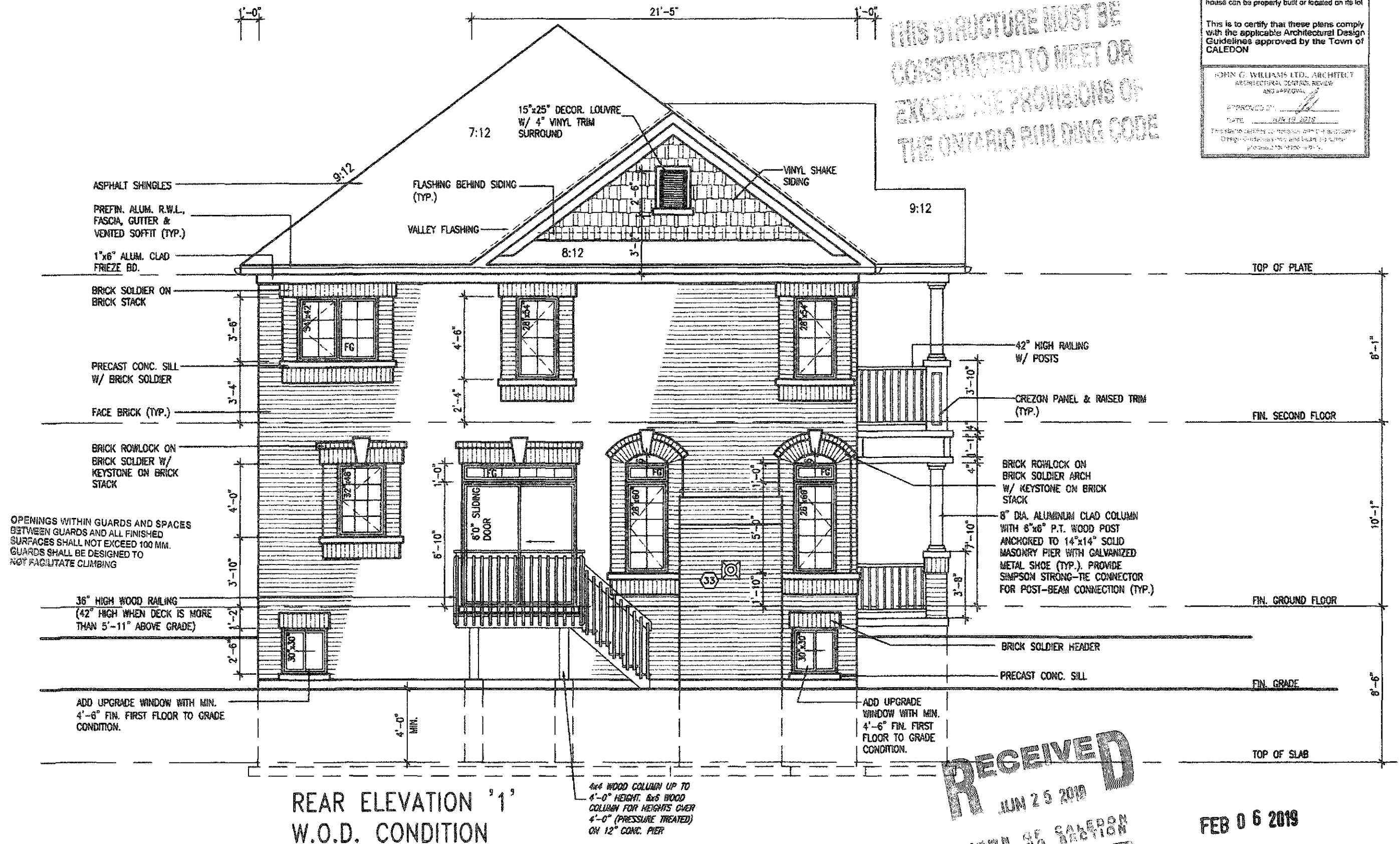
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL DESIGN REVIEW
AND APPROVAL

APPROVED BY: 

DATE: NOV 19 2015

This drawing certifies compliance with the applicable
Design Code provisions and is not to be used
for construction without the approval of the City of San Francisco.

THE STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CURRENT BUILDING CODE



RECEIVED
JUN 25 2010
TOWN OF CALEDON
BUILDING DEPARTMENT
FILE NO. _____

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9		The undersigned has covered and taken responsibility for this design and was the qualifications met under the requirements set out in the Ontario Building Code to be a Designer.	
17			8		qualification information	
16			7			
15			6		Richard Vink signature	2449
14			5	ISSUED FOR PERMIT.	FEB 05/19 GW	come
13			4	ROOF-FLOOR-ENG. CO.-ORD.	JAN 16/19 GIN	registration information
12			3	ROOF SLOPES/BAY WINDOW REV. PER CLIENT	SEP. 28/18 GW	VAS Design Inc. 4265
11			2	ISSUED FOR CLIENT REVIEW.	SEP 08/18 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
10			1	UPDATE KINKMOUNT 11 FROM PH.1 (1400A)	SEP. 04/18 GW	DRAWINGS ARE NOT TO BE REUSED.
no. description		date by no. description	date by			



VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

 **Greenpark.**

project name	workshop
LAMBERTS LANE HOME CORP. PH.2	CALEDON

REAR ELEVATION-ELEV. '1'-W.O.D. COND.

SECRET

KINMOUNT 11B
12.5m

project no.
18023

10

11. _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND ATTENDING

APPROVED BY _____
DATE JUN 13, 2019
This claim is filed in compliance with the applicable
Due to the delay in filing, the claimant is not entitled
to any interest on the claim.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CHAIRMAN BUILDING CODE



REAR ELEVATION '2'
W.O.D. CONDITION

RECEIVED
JUN 25 2019
TOWN OF CALESON
BUILDING SECTION
FILE NO.

FEB 06 2019

KINMOUNT 11B
ENERGY STAR

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]

All drawings, specifications, pricing documents and details are the copyright property of S&B DESIGN. Reuse or other use of this property is strictly prohibited without S&B DESIGN's written permission.