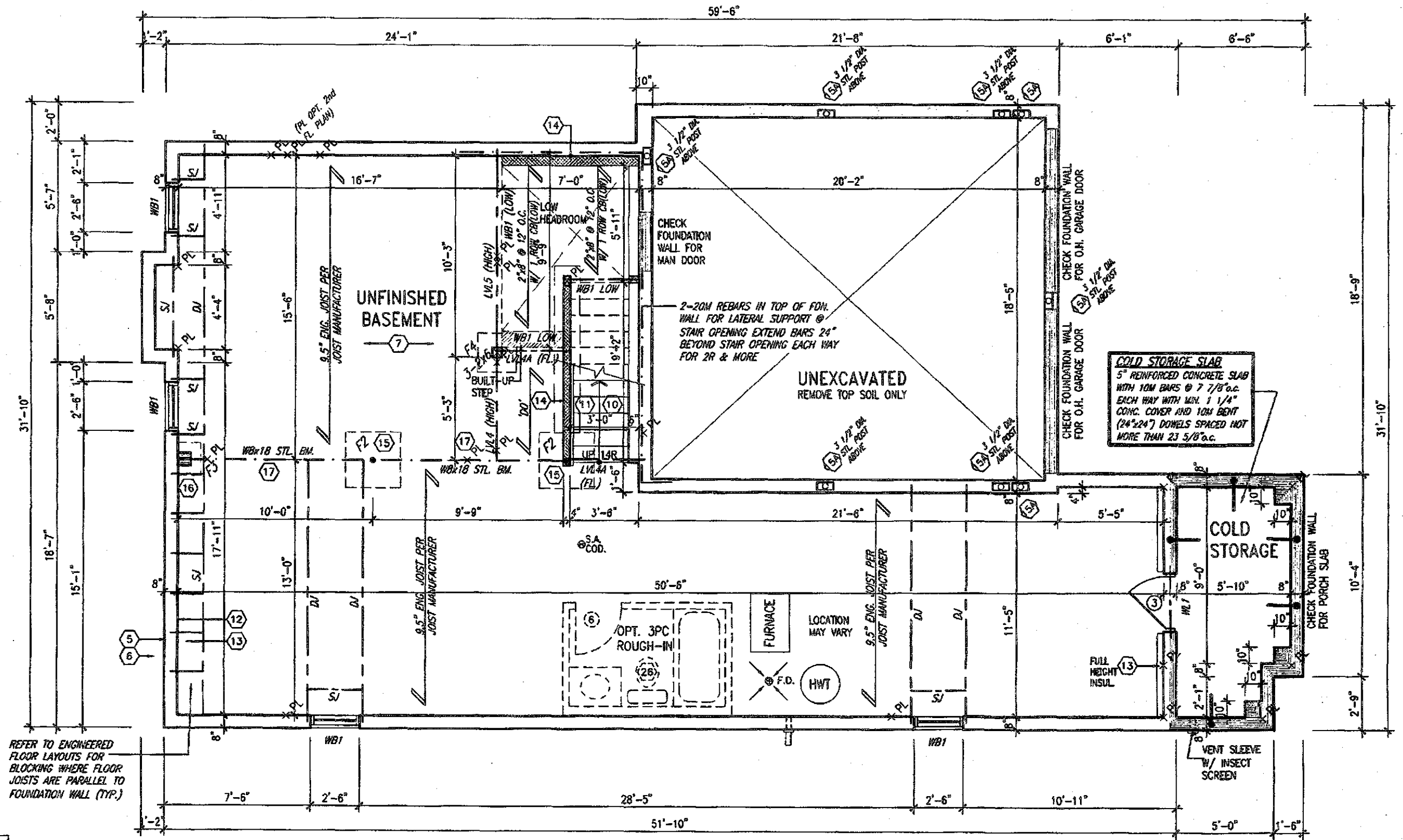


2505 SF.

INDICATES REDUCED SIDE YARD CONDITION



REFER TO ENGINEERED FLOOR LAYOUTS FOR BLOCKING WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN - ELEV. '1'

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1980 MM

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

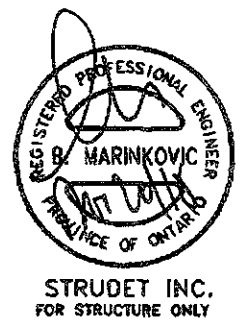
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

DEC 20 2018

PRESTON 1
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	ISSUED FOR PERMIT	DEC. 18/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW
11				2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

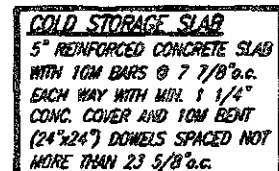
signature: *R. Vink*
name: Richard Vink
registration information: 24488
VA3 Design Inc. 42858

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 416.630.4782
va3design.com

Greenpark.
project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
date: SEP. 2018
checked by: 3/16" = 1'-0"
scale: 18023-PRESTON-1

PRESTON 1
11.6m
project no. 18023
drawing no. **A1**

INDICATES REDUCED SIDE YARD CONDITION

[illegible]

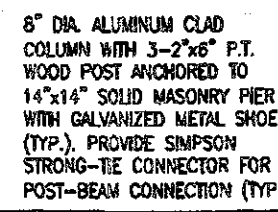
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INDICATES REDUCED SIDE YARD CONDITION



1. 凡在本行开立存款账户的客户，均可向本行申请开立支票。

INDICATES REDUCED SIDE YARD CONDITION



THESE STUDENT GROUPS ARE
COMMITTED TO BEING OF
SERVICE TO THE PEOPLE OF
THE CIVIL SERVICE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

PRESTON 1
ENERGY STAR

14-00000

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building codes or permit matter or that any house can be properly built or located on its lot.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURAL ONLY

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

THIS STRUCTURE MUST BE
CONVERTED TO MEET AN
ELECTRIC PROGRAM FOR
THE 100,000 BULLOCK ROAD

RECEIVED
JUL 11 2019

4 2 2 0 1 3

TOWN OF CALEDON
BUILDING SECTION
FILE NO

PRESTON 1
ENERGY STAR

[illegible]

2. 在下列各句的空白处填入适当的冠词，使句子完整。

project name LAMBERTS LANE HOME CORP. PH.2	jurisdiction CALEDON	project no. 18023
date SEP. 2018		
SECOND FLOOR PLAN - ELEV. '2'		
drawn by WT	checked by -	scale 3/16" = 1'-0"
file name 18023-PRESTON-1		drawing no. A3a

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This architectural floor plan depicts a single-story residence with the following layout and features:

- Overall Dimensions:** The house measures 23'-10" in width and 51'-10" in depth.
- Bedrooms:**
 - Bedroom 1 (Master Bedroom):** Located at the rear left, measuring 16'-0" x 11'-0". It includes a walk-in closet (W.I.C.) and a bay window.
 - Bedroom 2:** Located at the rear right, measuring 10'-0" x 11'-0". It includes a bay window and a closet.
 - Bedroom 3:** Located at the front right, measuring 11'-0" x 11'-0". It includes a bay window and a closet.
 - Bedroom 4:** Located at the front center, measuring 10'-0" x 11'-0". It includes a bay window and a closet.
 - Bedroom 5:** Located at the front left, measuring 10'-0" x 11'-0". It includes a bay window and a closet.
- Bathrooms and Closets:**
 - Master Suite:** Includes a master bathroom (7'-0" x 9'-2") and a master closet (W.I.C.).
 - Shared Bathrooms:** Two shared bathrooms (ENS. 1 and ENS. 2) are located in the center of the house.
 - Laundry Room:** Located at the rear center, measuring 6'-0" x 10'-0".
 - Shared Linen Closet:** Located in the center of the house, measuring 4'-0" x 4'-0".
- Structural Notes:**
 - Roof:** Jack trusses @ 24" O.C. are specified for the rear and front sections.
 - Windows:** Bay windows are present in the master bedroom, bedroom 2, bedroom 3, bedroom 4, and bedroom 5.
 - Doors:** Various door types are indicated, including 6'-0" doors and 3'-0" doors.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.



OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THE STRUCTURE MUST BE
SUFFICIENT TO MEET OR
EXCEED REQUIREMENTS OF
THE NATIONAL BUILDING CODE

RECEIVED
JUL 11 2019

JUL 03 2013 TOWN OF GALESON
BUILDING DEPARTMENT
FILE NO.

PRESTON 1
ENERGY STAR

[illegible][illegible]

This architectural floor plan depicts a two-story residential building with the following features and dimensions:

- Overall Dimensions:**
 - Top: 18'-10" (left), 3'-10" (middle), 21'-10" (right), 7'-4" (far right).
 - Bottom: 13'-8" (left), 3'-10" (middle-left), 3'-10" (middle), 2'-0" (middle-right), 6'-6" (right), 3'-10" (far right), 18'-2" (far right).
 - Left: 29'-10" (top), 3'-10" (middle), 2'-11" (middle), 3'-10" (bottom), 6'-8" (bottom).
 - Right: 3'-4" (top), 6'-8" (middle), 3'-4" (middle), 3'-5" (bottom), 13'-11" (bottom).
- Rooms and Features:**
 - Master Bedroom:** 16'-0" x 16'-6", includes fireplace, G.I. BY TRUSS MANUF., and JACK TRUSSES @ 24" O.C.
 - Master Ensuite:** 9'-2" x 7'-0", includes 60"x34" FREE STANDING TUB, 42"x42" SHOWER, and MIRROR.
 - Bedroom 2:** 11'-8" x 11'-0", includes W.I.C., CURB, and JACK TRUSSES @ 24" O.C.
 - Bedroom 3:** 11'-3" x 11'-0", includes W.I.C., SHARED ENS.1, and JACK TRUSSES @ 24" O.C.
 - Bedroom 4:** 10'-0" x 9'-0", includes W.I.C., SHARED ENS.2, and JACK TRUSSES @ 24" O.C.
 - Bedroom 5:** 10'-0" x 9'-0", includes W.I.C., SHARED ENS.2, and JACK TRUSSES @ 24" O.C.
 - Laundry:** 6'-0" x 3'-0", includes CURB and JACK TRUSSES @ 24" O.C.
 - Bathrooms:** SHARED ENS.1 (7'-8" x 5'-0"), SHARED ENS.2 (5'-0" x 3'-0"), and a 32'x60" SHOWER (2'-8" x 5'-0").
 - Hallway:** 12'-2" x 3'-0", includes RAILING and JACK TRUSSES @ 24" O.C.
- Construction Notes:**
 - JACK TRUSSES @ 24" O.C.
 - RAISED TOP OF PLATE 24
 - RAISED CEILING
 - ROOF BELOW
 - WB3, WB1, WB2, WB4, WB5, WB6, WB7, WB8, WB9, WB10, WB11, WB12, WB13, WB14, WB15, WB16, WB17, WB18, WB19, WB20, WB21, WB22, WB23, WB24, WB25, WB26, WB27, WB28, WB29, WB30, WB31, WB32, WB33, WB34, WB35, WB36, WB37, WB38, WB39, WB40, WB41, WB42, WB43, WB44, WB45, WB46, WB47, WB48, WB49, WB50, WB51, WB52, WB53, WB54, WB55, WB56, WB57, WB58, WB59, WB60, WB61, WB62, WB63, WB64, WB65, WB66, WB67, WB68, WB69, WB70, WB71, WB72, WB73, WB74, WB75, WB76, WB77, WB78, WB79, WB80, WB81, WB82, WB83, WB84, WB85, WB86, WB87, WB88, WB89, WB90, WB91, WB92, WB93, WB94, WB95, WB96, WB97, WB98, WB99, WB100, WB101, WB102, WB103, WB104, WB105, WB106, WB107, WB108, WB109, WB110, WB111, WB112, WB113, WB114, WB115, WB116, WB117, WB118, WB119, WB120, WB121, WB122, WB123, WB124, WB125, WB126, WB127, WB128, WB129, WB130, WB131, WB132, WB133, WB134, WB135, WB136, WB137, WB138, WB139, WB140, WB141, WB142, WB143, WB144, WB145, WB146, WB147, WB148, WB149, WB150, WB151, WB152, WB153, WB154, WB155, WB156, WB157, WB158, WB159, WB160, WB161, WB162, WB163, WB164, WB165, WB166, WB167, WB168, WB169, WB170, WB171, WB172, WB173, WB174, WB175, WB176, WB177, WB178, WB179, WB180, WB181, WB182, WB183, WB184, WB185, WB186, WB187, WB188, WB189, WB190, WB191, WB192, WB193, WB194, WB195, WB196, WB197, WB198, WB199, WB200, WB201, WB202, WB203, WB204, WB205, WB206, WB207, WB208, WB209, WB210, WB211, WB212, WB213, WB214, WB215, WB216, WB217, WB218, WB219, WB220, WB221, WB222, WB223, WB224, WB225, WB226, WB227, WB228, WB229, WB230, WB231, WB232, WB233, WB234, WB235, WB236, WB237, WB238, WB239, WB240, WB241, WB242, WB243, WB244, WB245, WB246, WB247, WB248, WB249, WB250, WB251, WB252, WB253, WB254, WB255, WB256, WB257, WB258, WB259, WB260, WB261, WB262, WB263, WB264, WB265, WB266, WB267, WB268, WB269, WB270, WB271, WB272, WB273, WB274, WB275, WB276, WB277, WB278, WB279, WB280, WB281, WB282, WB283, WB284, WB285, WB286, WB287, WB288, WB289, WB290, WB291, WB292, WB293, WB294, WB295, WB296, WB297, WB298, WB299, WB300, WB301, WB302, WB303, WB304, WB305, WB306, WB307, WB308, WB309, WB310, WB311, WB312, WB313, WB314, WB315, WB316, WB317, WB318, WB319, WB320, WB321, WB322, WB323, WB324, WB325, WB326, WB327, WB328, WB329, WB330, WB331, WB332, WB333, WB334, WB335, WB336, WB337, WB338, WB339, WB340, WB341, WB342, WB343, WB344, WB345, WB346, WB347, WB348, WB349, WB350, WB351, WB352, WB353, WB354, WB355, WB356, WB357, WB358, WB359, WB360, WB361, WB362, WB363, WB364, WB365, WB366, WB367, WB368, WB369, WB370, WB371, WB372, WB373, WB374, WB375, WB376, WB377, WB378, WB379, WB380, WB381, WB382, WB383, WB384, WB385, WB386, WB387, WB388, WB389, WB390, WB391, WB392, WB393, WB394, WB395, WB396, WB397, WB398, WB399, WB400, WB401, WB402, WB403, WB404, WB405, WB406, WB407, WB408, WB409, WB410, WB411, WB412, WB413, WB414, WB415, WB416, WB417, WB418, WB419, WB420, WB421, WB422, WB423, WB424, WB425, WB426, WB427, WB428, WB429, WB430, WB431, WB432, WB433, WB434, WB435, WB436, WB437, WB438, WB439, WB440, WB441, WB442, WB443, WB444, WB445, WB446, WB447, WB448, WB449, WB450, WB451, WB452, WB453, WB454, WB455, WB456, WB457, WB458, WB459, WB460, WB461, WB462, WB463, WB464, WB465, WB466, WB467, WB468, WB469, WB470, WB471, WB472, WB473, WB474, WB475, WB476, WB477, WB478, WB479, WB480, WB481, WB482, WB483, WB484, WB485, WB486, WB487, WB488, WB489, WB490, WB491, WB492, WB493, WB494, WB495, WB496, WB497, WB498, WB499, WB500, WB501, WB502, WB503, WB504, WB505, WB506, WB507, WB508, WB509, WB510, WB511, WB512, WB513, WB514, WB515, WB516, WB517, WB518, WB519, WB520, WB521, WB522, WB523, WB524, WB525, WB526, WB527, WB528, WB529, WB530, WB531, WB532, WB533, WB534, WB535, WB536, WB537, WB538, WB539, WB540, WB541, WB542, WB543, WB544, WB545, WB546, WB547, WB548, WB549, WB550, WB551, WB552, WB553, WB554, WB555, WB556, WB557, WB558, WB559, WB560, WB561, WB562, WB563, WB564, WB565, WB566, WB567, WB568, WB569, WB570, WB571, WB572, WB573, WB574, WB575, WB576, WB577, WB578, WB579, WB580, WB581, WB582, WB583, WB584, WB585, WB586, WB587, WB588, WB589, WB590, WB591, WB592, WB593, WB594, WB595, WB596, WB597, WB598, WB599, WB600, WB601, WB602, WB603, WB604, WB605, WB606, WB607, WB608, WB609, WB610, WB611, WB612, WB613, WB614, WB615, WB616, WB617, WB618, WB619, WB620, WB621, WB622, WB623, WB624, WB625, WB626, WB627, WB628, WB629, WB630, WB631, WB632, WB633, WB634, WB635, WB636, WB637, WB638, WB639, WB640, WB641, WB642, WB643, WB644, WB645, WB646, WB647, WB648, WB649, WB650, WB651, WB652, WB653, WB654, WB655, WB656, WB657, WB658, WB65

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.10. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
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GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

PRESTON 1
ENERGY STAR

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8				Qualification Information
16				7				Richard Vink
15				6				signature
14				5				24488
13				4	ISSUED FOR PERMIT.	DEC. 18/18	GW	name
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW	VAS Design Inc.
11				2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW	42658
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW	
no.	description	date	by	no.	description	date	by	

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2 municipality: CALEDON project no.: 1802-

date: SEP. 2018 OPT. SECOND FLOOR PLAN PLAN (5 BED) - ELEV. '2' drawing no.: A4a

created by: [blank] scale: 3/16" = 1'-0"

WT: [blank] file name: 18023-PRESTON-1

ENERGY STAR

PRESTON 1
11.6m

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

MAILED 4 MAR 1947
U.S. DEPT. OF JUSTICE
RECEIVED
MAR 19 1947
U.S. DEPT. OF JUSTICE
RECEIVED
MAR 19 1947
U.S. DEPT. OF JUSTICE
RECEIVED
MAR 19 1947

JUN 13 2019
 TOWN OF CALEDON
 BUILDING SECTION
 FILE NO.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

$$1' = 0'' \quad 2' = 0''$$

Two number lines illustrating the addition of two negative integers. The first number line shows -2 + (-3) = -5. The second number line shows -1 + (-8) = -9.

$\frac{1}{s} - \frac{8}{s^2} \quad \frac{1}{s} - \frac{0}{s^2} \quad \frac{1}{s} - \frac{0}{s^2} \quad \frac{1}{s} - \frac{0}{s^2}$

ASPHALT SHINGLES
(TYP.)

6:12

—VALLEY FLASHING

— RAISED CEILING
(4:12 INT. SLOPE)

— PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD.

—FACE BRICK (TYP.)

CONT. PRECAST CONC. SILL
OVER BRICK SOLDIER

—PRECAST CONC. SILL
OVER BRICK ROWLOCK
(TYP.)

BRICK SOLDIER W/
KEYSTONE (TYP.)

CONT. PRECAST CONC. SILL
OVER BRICK SOLDIER

BRICK SOLDIER ARCH +
KEYSTONE OVER BRICK
STACK (TYP.)

PREFIN. MTL FLASHING, W/
CAULKING TO MATCH (TYP.)

8" DIA. ALUMINUM CLAD
COLUMN WITH 3-2"x6" P.T.
WOOD POST ANCHORED TO—
14"x14" SOLID MASONRY PIER
WITH GALVANIZED METAL SHOE
(TYP.). PROVIDE SIMPSON
STRONG-TIE CONNECTOR FOR
POST-BEAM CONNECTION
(TYP.)

POURED CONC. PORCH
SLAB AND DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS —
(TYP.)

FOOTING

FRONT ELEVATION '1'

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE ALLOWS.

DEC 20 2018

PRESTON 1
ENERGY STAR

[illegible]

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[illegible]

RECEIVED
JUN 13 2016

DEC 20 2018

PRESTON 1
ENERGY STAR

PRESTON 1
11.6m

 **Greenpark.**

project name
LAMBERTS LANE HOME CORP. PH-2

FRONT ELEVATION '2'

Project No.
18023

ing no.

5a

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va@design.com

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1'-0"
 [TYP.]

1-0

$f=0$

11

BRICK PILASTER (TYP.)
PRECAST CONC. CAPITAL,—
ON 20" WIDE RAISED BRICK
PILASTER ON PRECAST
CONC. BASE. ALL WITH 1"
PROJECTION (TYP.)

8" DIA. ALUMINUM CLAD
COLUMN WITH 3-2"x6" P.T.
WOOD POST ANCHORED TO—
14"x14" SOLID MASONRY PIER
WITH GALVANIZED METAL SHOE
(TYP.). PROVIDE SIMPSON
STRONG-TIE CONNECTOR FOR
POST-BEAM CONNECTION
(TYP.)

POURED CONC. PORCH
SLAB AND DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE ALLOWS.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

FRONT ELEVATION '2'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

18			9		
17			8		
16			7		
15			6		
14			5		
13			4	ISSUED FOR PERMIT.	DEC. 18/18
12			3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18
11			2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18
no.	description	date	by	no.	description
					date

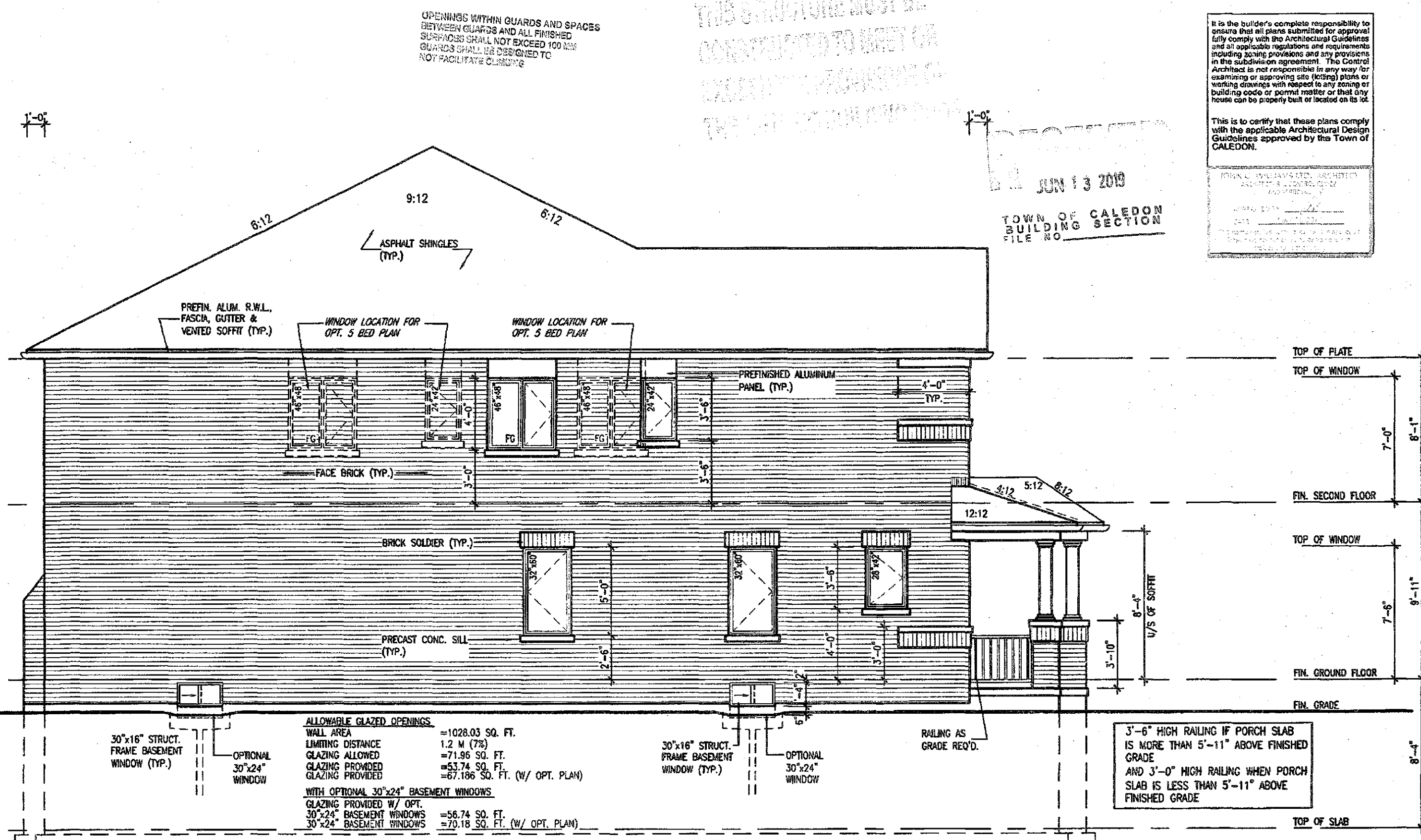
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Qualification Information	<i>R. Vink</i> Signature	244
Some registration information VAS Design Inc.		426
Contractors must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.		

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house is a good one built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECTS
ARCHITECTS & ENGINEERS
140 WEST 57th ST.
NEW YORK 19, N.Y.
TELEPHONE: 2-6700
CITY: NEW YORK

TOWN OF CALEDON
BUILDING SECTION
FILE NO.



LEFT SIDE ELEVATION '1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

DEC 20 2018

PRESTON 1
ENERGY STAR

18			9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8						qualification information
16			7						Richard Vink <i>R Vink</i> signature 24488
15			6						name 621
14			5						regulation information
13			4		ISSUED FOR PERMIT.	DEC 18/18	GW	VAS Design Inc.	42658
12			3		ROOF-FLOOR-ENG. CO-ORD.	NOV 28/18	GW		
11			2		ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP 24/18	GW		
10			1		PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP 18/18	GW		
no.	description	date	by	no.	description	date	by		

Contractor must verify all dimensions on site and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
T 416.630.2255 / F 416.630.4782
va3design.com

A6

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

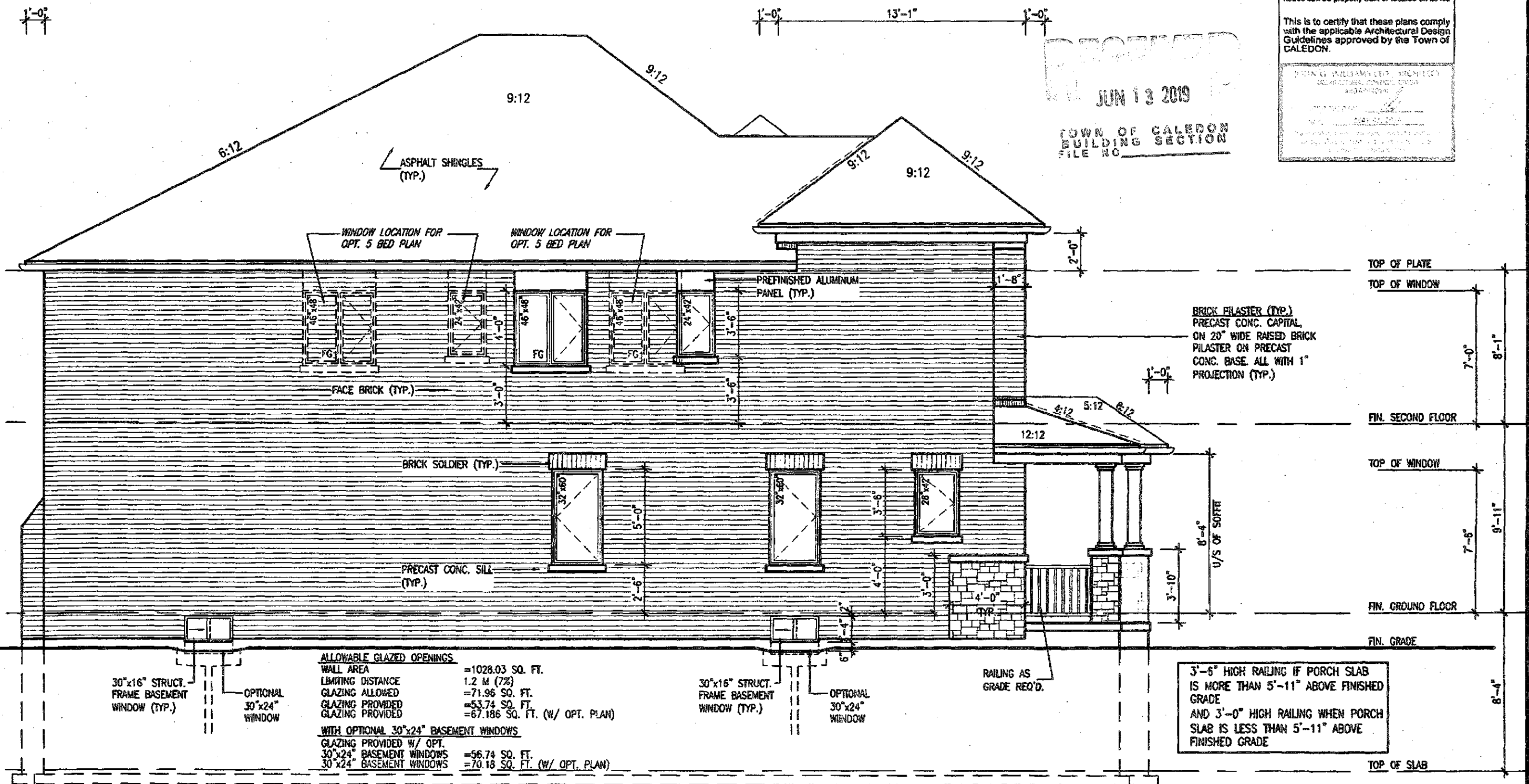
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

UNITED STATES DEPARTMENT OF JUSTICE
 FEDERAL BUREAU OF INVESTIGATION
 WASHINGTON, D. C. 20535
 MAY 19 1964
 TO : DIRECTOR, FBI
 FROM : SAC, NEW YORK (100-38861)
 SUBJECT: JAMES EARL RAY, AKA
 RE: NEW YORK TELETYPE TO BUREAU, MAY 15, 1964

JUN 13 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

DEC 20 2018

PRESTON 1
ENERGY STAR

[illegible]

All drawings, specifications, related documents and design are the property of VAS DESER. Reconstruction of this property in whole or in part is strictly prohibited without VAS DESER's written permission.

THE WORKING MUST BE
CONDUCTED TO MEET AN
EXISTING FRAMEWORK OF
THE OSHA'S BUILDING CODE

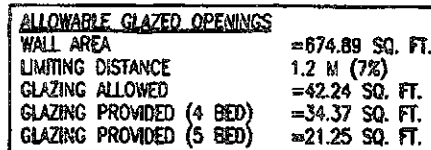
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

DATE: 11-11-2010

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

JUN 13 2019

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PRESTON 1
ENERGY STAR

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

18023-PRESTON-1

A7

18.				9.			
17.				8.			
16.				7.			
15.				6.			
14.				5.			
13.				4.	ISSUED FOR PERMIT.		DEC. 18/18
12.				3.	ROOF-FLOOR-ENG. CO-ORD.		NOV. 23/18
11.				2.	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.		SEP. 24/18
10.				1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.		SEP. 19/18
no.	description	date	by	no.	description	date	

The undersigned has reviewed and takes responsibility for this design.
I warrant that the undersigned understands and meets the requirements set out in the
Ontario Building Code as a Designer.

qualification information

Richard Vink 2448

name signature 0

registration information

VAS Design Inc. 4265

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the project shall not be released until the Designer is satisfied with the completion of the work.

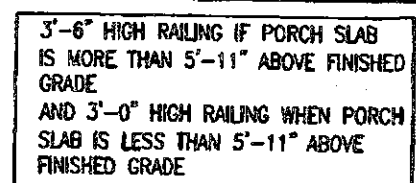
drawings and specifications are instruments of service and the project shall not be released until the Designer is satisfied with the completion of the work.

drawings and specifications are instruments of service and the project shall not be released until the Designer is satisfied with the completion of the work.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

[illegible]

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PRESTON 1
ENERGY STAR

[illegible]

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UNITED STATES DEPARTMENT OF JUSTICE
 FEDERAL BUREAU OF INVESTIGATION
 WASHINGTON, D. C. 20535
 MEMORANDUM FOR THE DIRECTOR
 SUBJECT: [Illegible]
 DATE: [Illegible]
 FROM: [Illegible]
 TO: [Illegible]
 RE: [Illegible]



DEC 20 2018

PRESTON 1
ENERGY STAR

18				9				The undersigned has reviewed and takes responsibility for this design.
17				8				and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
16				7				qualification information
15				6				Richard Vink
14				5				signature
13				4	ISSUED FOR PERMIT.	DEC. 18/18 GW	name	24488
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18 GW	qualification information	BOMI
11				2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18 GW	VAS Design Inc.	42658
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	SEP. 19/18 GW		
no. description	date	by	no. description	date	by			

VAS DESIGN

255 Consumers Rd Suite #20
Toronto ON M2N 1R4
t 416.630.2255 f 416.630.4782
vasdesign.ca

PRESTON 1
11.6m

Project name: LAMBERTS LANE HOME CORP. PH.2 Municipality: CALEDON Project no.: 18023

Date: SEP. 2018 REAR ELEVATION "1"

Drawn by: checked by: scale: 3/16" = 1'-0" No notes

WF 18023-PRESTON-1

A8

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

DEAN G. CALVERT, LTD. ARCHITECTS
ARCHITECTS
250 EASTERN AVE.
SUITE 200
WILLOWDALE, ONT. M2H 1C1
TEL: (416) 491-1111
FAX: (416) 491-1112
WWW.DGCALVERT.COM

Architectural elevation drawing of a two-story house. The drawing shows the front facade with various windows, a door, and a porch. Annotations include roof pitches (9:12, 6:12, 10:12, 12:12), window dimensions (46" x 48", 32" x 60", 64" x 10"), and structural details like "OPTIONAL 30" x 24" WINDOW" and "POURED CONC. DOOR SILL & PRECAST CONC. STEP". The drawing is oriented with the house's front to the left.

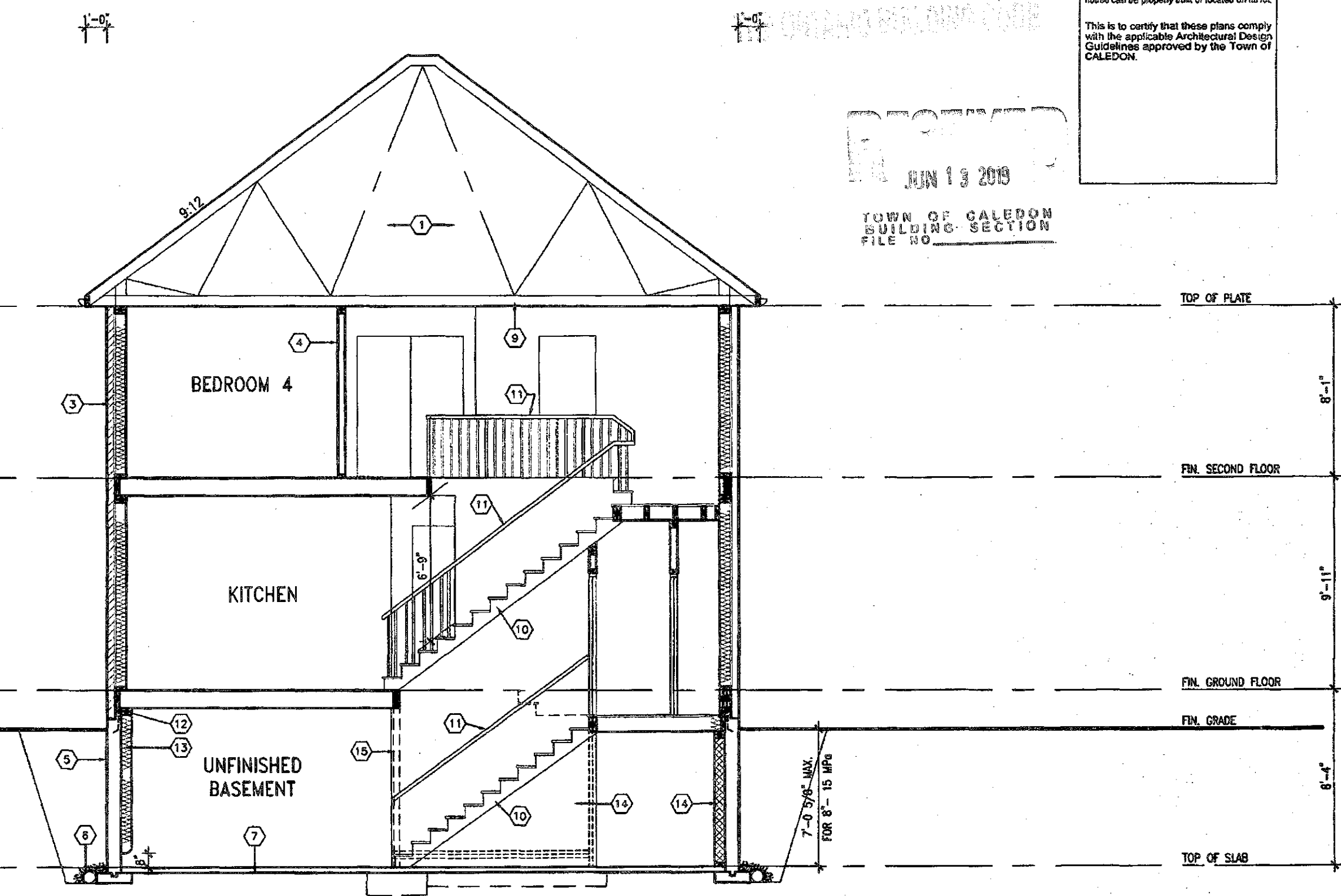
ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PRESTON 1
ENERGY STAR

[illegible]

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO



SECTION A-A
ELEVATION '1'



DEC 20 2018

PRESTON 1
ENERGY STAR

[illegible]

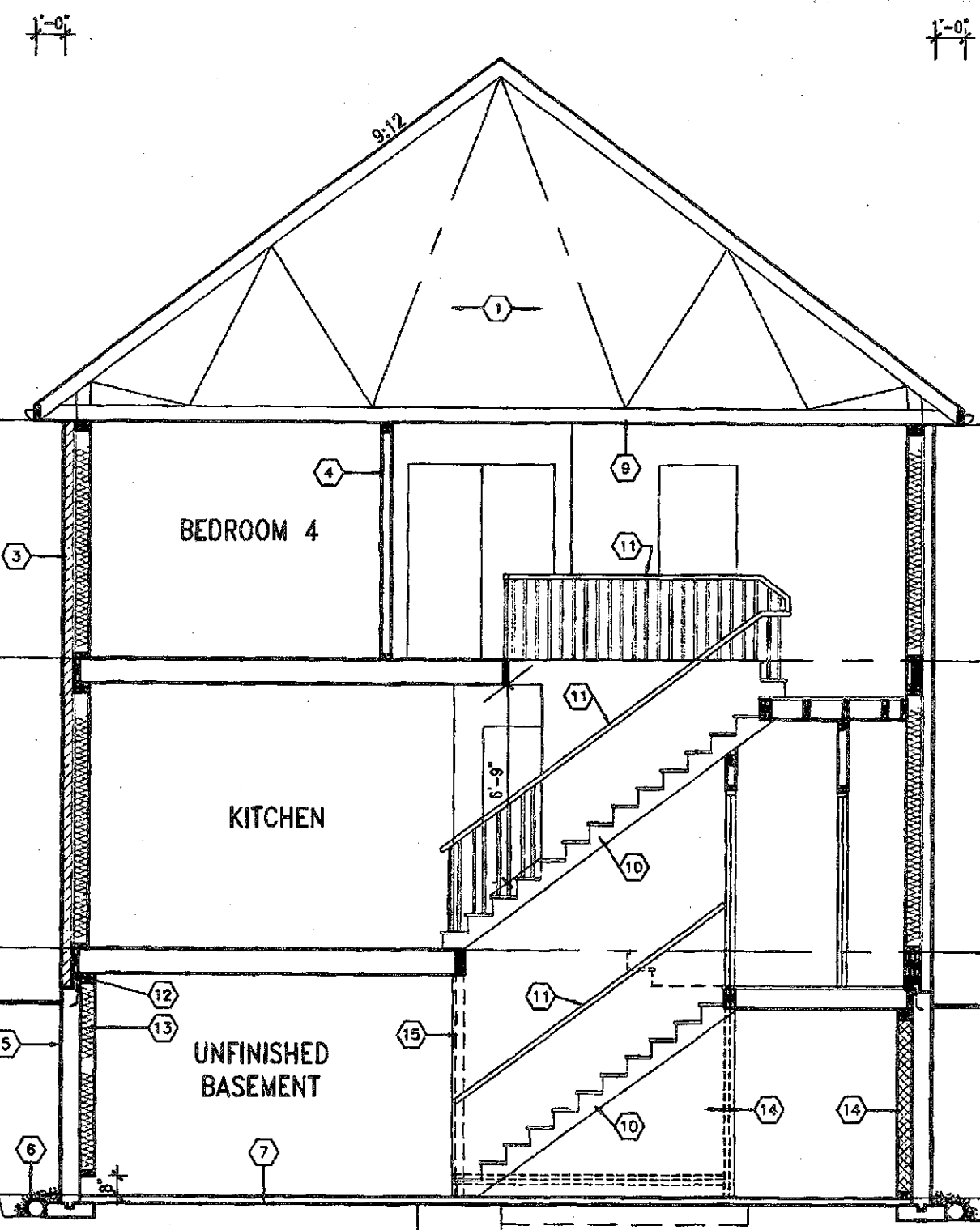
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THIS STRUCTURE MUST BE
CONSIDERED TO BE A
CLASSIFICATION OF
THE OFFICE OF THE
ATTORNEY GENERAL

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



TOP OF SLAB

SECTION A-A
ELEVATION '2'



STRUDET INC.
FOR STRUCTURE ONLY

DEC 20 2018

PRESTON 1
ENERGY STAR

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		 255 Consumers Rd Suite 120 Toronto ON M2J 1B4 T 416.630.2255 F 416.630.4782 va3design.com	 PRESTON 1 11.6m	project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON	project no. 18023	drawing no. A9a
17		8			qualification information								
16		7			Richard Vink 24488								
15		6			signature								
14		5			name								
13		4	ISSUED FOR PERMIT.	DEC. 18/18	CW	registration information	BCH						
12		3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW	VA3 Design Inc.	42658	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding. All M2, M4 drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.					
11		2	ROOT SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW								
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW								
no.	description	date	by	no.	description	date	by						

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2505 SF.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE 2015 CANADIAN NATIONAL
BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

INDICATES REDUCED SIDE YARD CONDITION

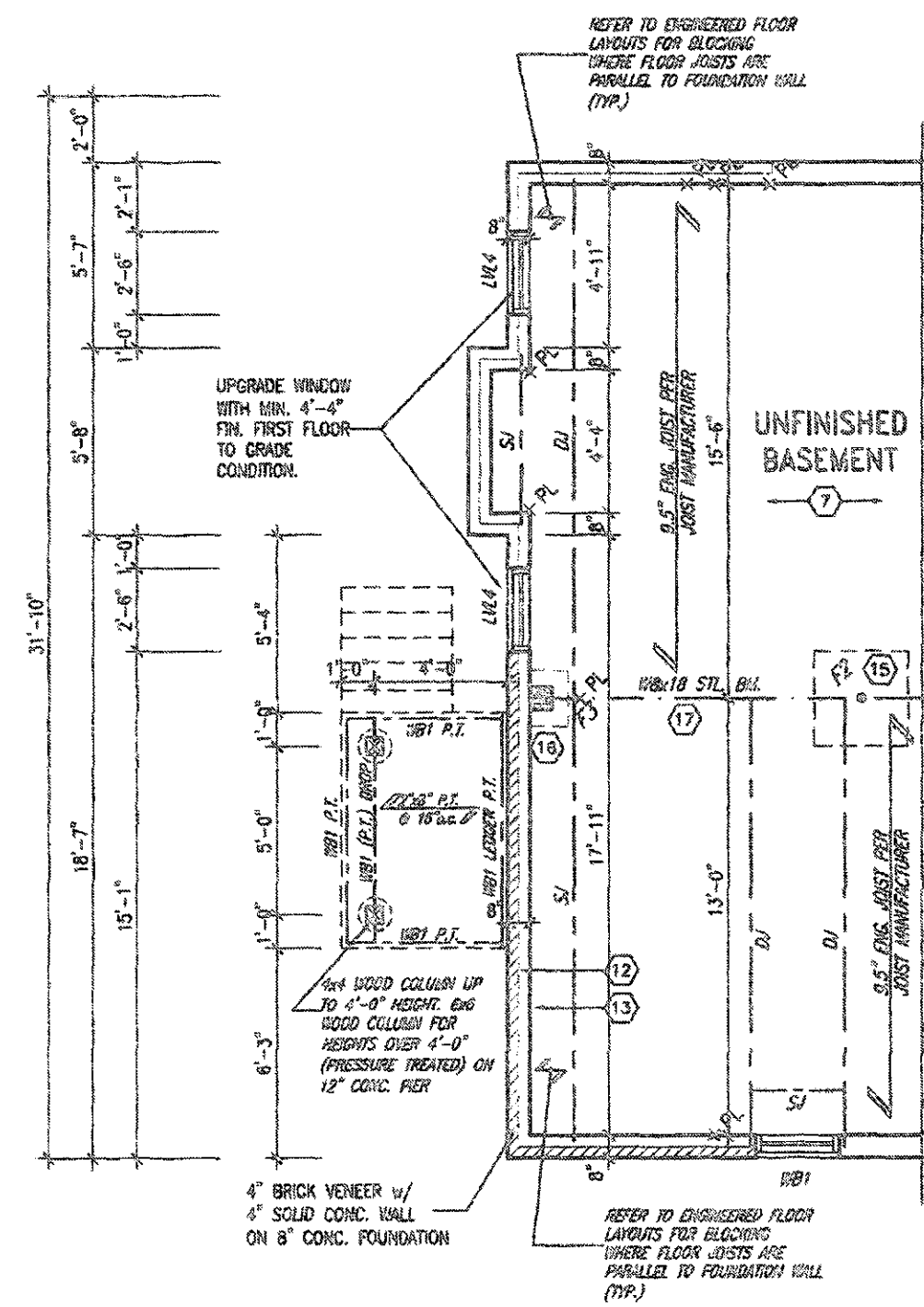
REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

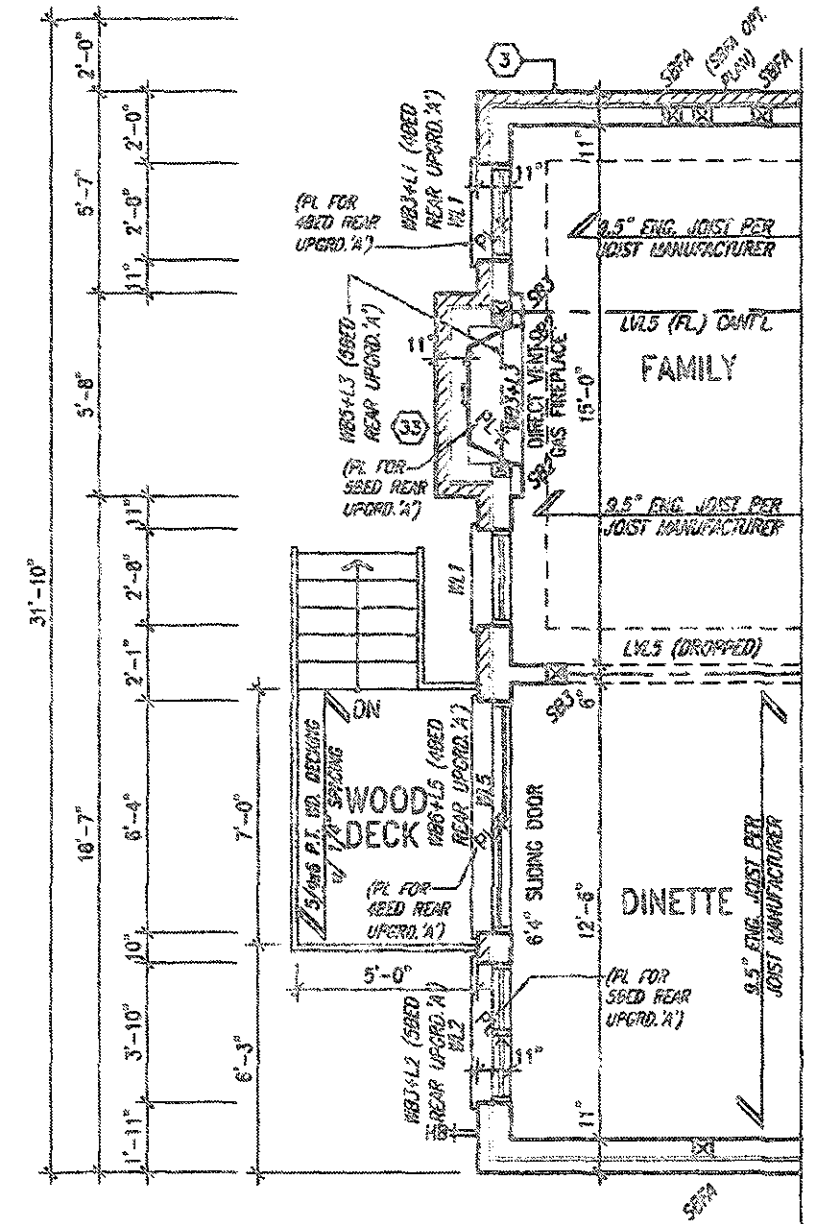
PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

VENUEER CUT
WHEN VENUEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL WOOD DECK INFORMATION.



PARTIAL BASEMENT PLAN -
DECK CONDITION



PARTIAL GROUND FLOOR PLAN -
DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 09 2019
This stamp certifies compliance with the Architectural Guidelines approved by the Town of Caledon. It does not constitute a structural or engineering approval.



RECEIVED
JUL 11 2019
TOWN OF CALEDON
BUILDING DEPARTMENT
FILE NO. 18023

JUL 09 2019

PRESTON 1
ENERGY STAR
11.6m

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REV. AS PER REAR UPGRD. 'A' ROOF FRAMING	JUL 03/19	DS
13				4	ISSUED FOR PERMIT	DEC. 18/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW
11				2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP. 19/18	GW

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Signature: [Signature] 24480
Name: Richard Vink
Registration Information: 42630
VIA Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are for the use of the contractor and the property of the Designer. No part of this drawing shall be reproduced or used in any way without the written consent of the Designer.
Drawings are not to be used.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
Project Name: LAMBERTS LANE HOME CORP. PH.2
Location: CALEDON
Date: SEP. 2018
Partial Plans - DECK CONDITION
Scale: 3/16" = 1'-0"
18023-PRSTON-1
A10

PRESTON 1
11.6m
18023
PARTIAL PLANS - DECK CONDITION
Scale: 3/16" = 1'-0"
18023-PRSTON-1
A10

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS SIGNATURE MUST BE
CONSTITUTED BY ONE OR
EXACTLY TWO MEMBERS OF
THE BOARD. SIGNING BODY

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JUN 13 2009

TOWN OF CALEDON
BUILDING SECTION
FILE NO _____



REAR ELEVATION 1'-
DECK CONDITION

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED
GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

DEC 20 2018

PRESTON 1
ENERGY STAR

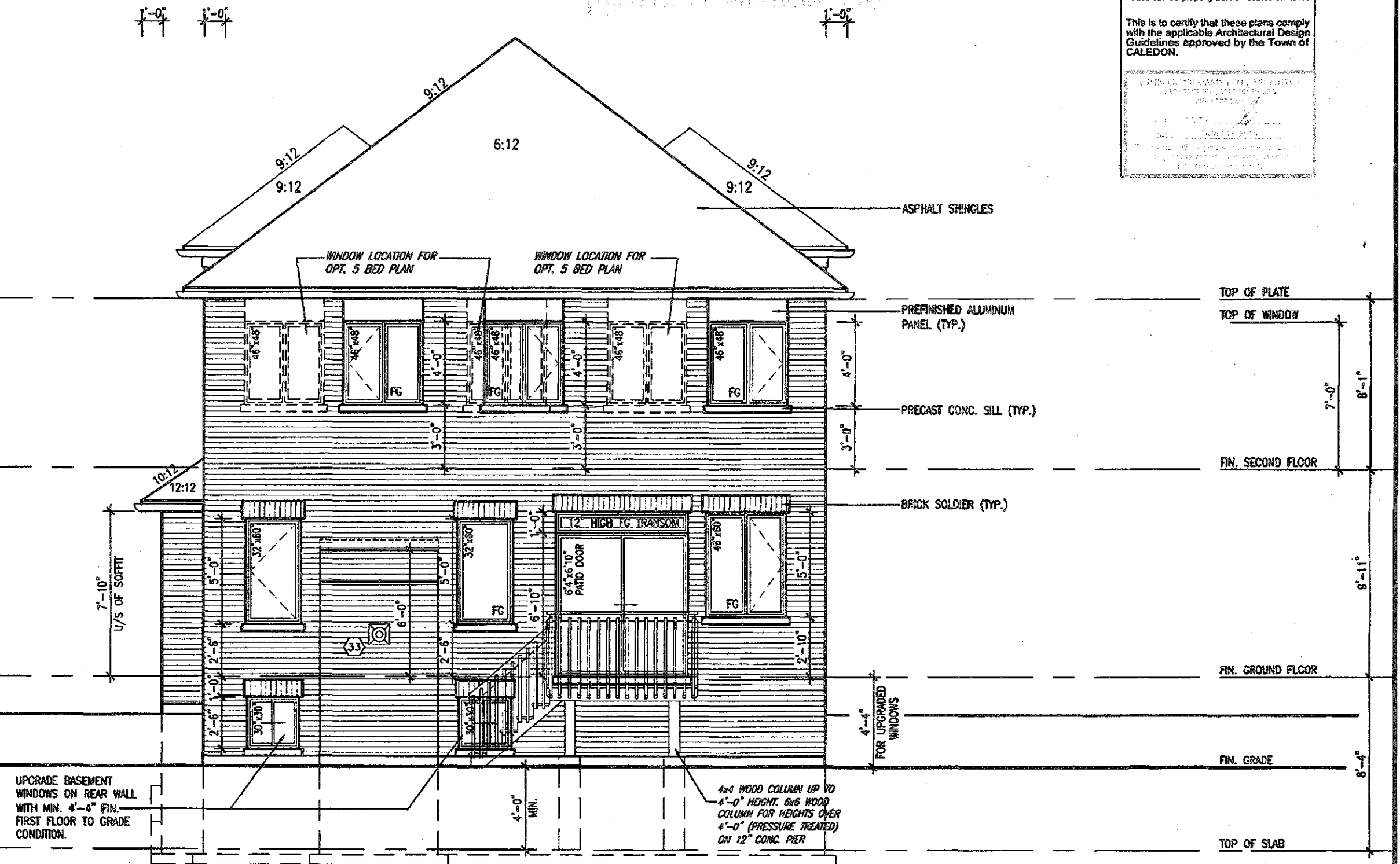
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THE UNITED STATES OF AMERICA
DEPARTMENT OF JUSTICE
OFFICE OF THE ATTORNEY GENERAL
WASHINGTON, D. C. 20530
JAN 10 1964
1-64

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

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REAR ELEVATION '2'-
DECK CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PRESTON 1
ENERGY STAR

18							The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17							qualification information
16							Richard Vink 24488 <i>R Vink</i> signature
15							name registration information VA3 Design Inc. 42658
14							
13							ISSUED FOR PERMIT. DEC. 18/18 GW
12							ROOF-FLOOR-ENG. CO-ORD. NOV. 28/18 GW
11							ROOF SLOPES & ELEV. 1 (BED 2) PER A.C. SEP. 24/18 GW
10							PRELIMINARY ISSUED FOR CLIENT REVIEW. SEP. 19/18 GW
no.	description	date	by	no.	description	date	by

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THIS PROJECT MUST BE
CONFINED TO ONE OF
EXCEPT THE PROVISIONS OF
THE CHAND BUILDING CODE

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

[illegible]

JUN 15 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

PRESTON 1
ENERGY STAR

[illegible]

1. Explain the importance of the following factors in the development of a country's economy:

All drawings, specifications, plans, documents and things are the copyright property of the United States Government.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

HUNTER & MATHIAS INC., 1000 E. 10TH AVE.
 DENVER, CO. 80202
 TEL: 333-1111
 FAX: 333-1111
 HUNTER & MATHIAS INC.



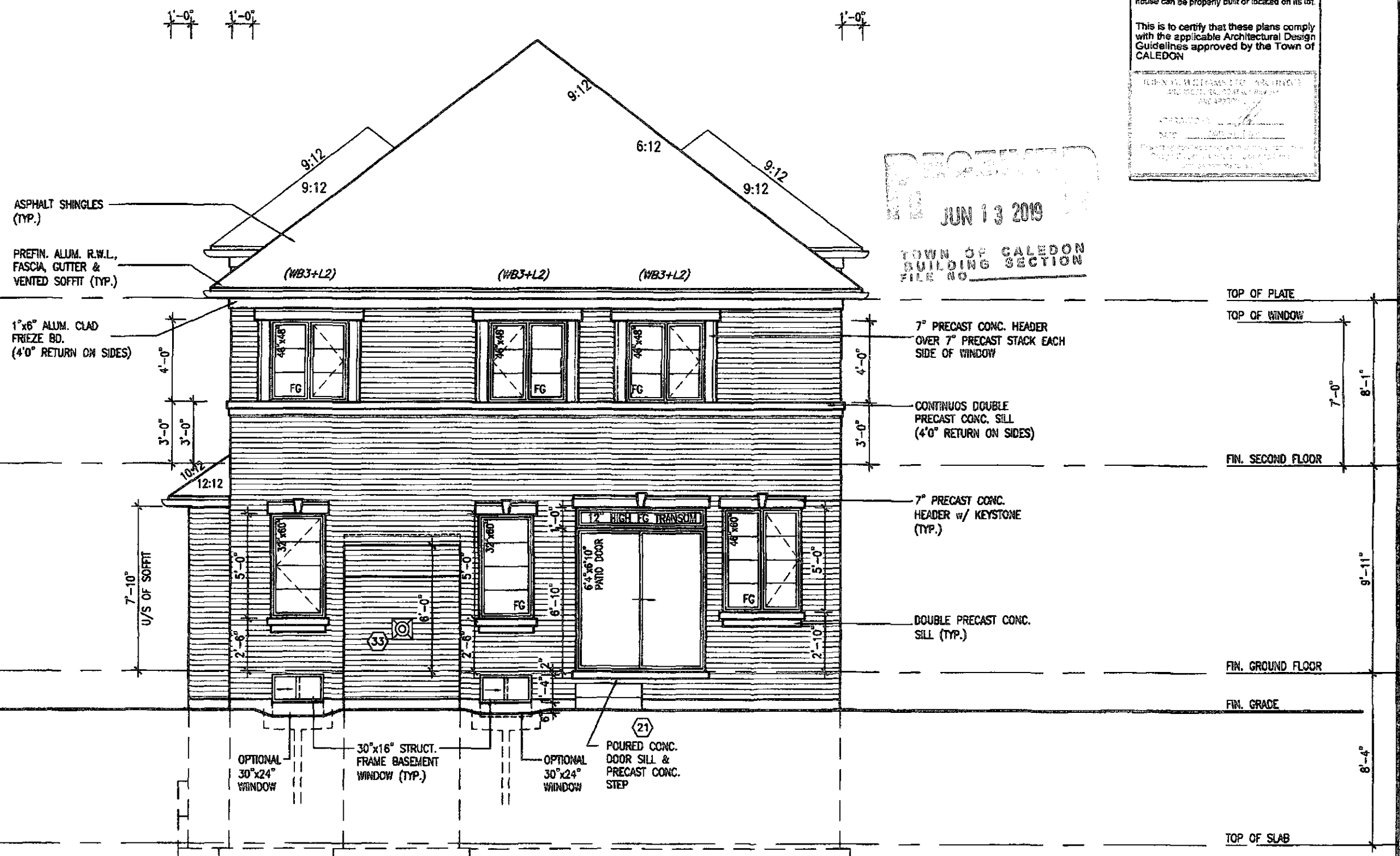
ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

PRESTON 1
ENERGY STAR

[illegible][illegible]

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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UPGRADED REAR ELEVATION '2'
(5 BEDROOM PLAN)

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 14 2019

PRESTON 1
ENERGY STAR

[illegible]

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INDICATES REDUCED SIDE YARD CONDITION

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CURRENT BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

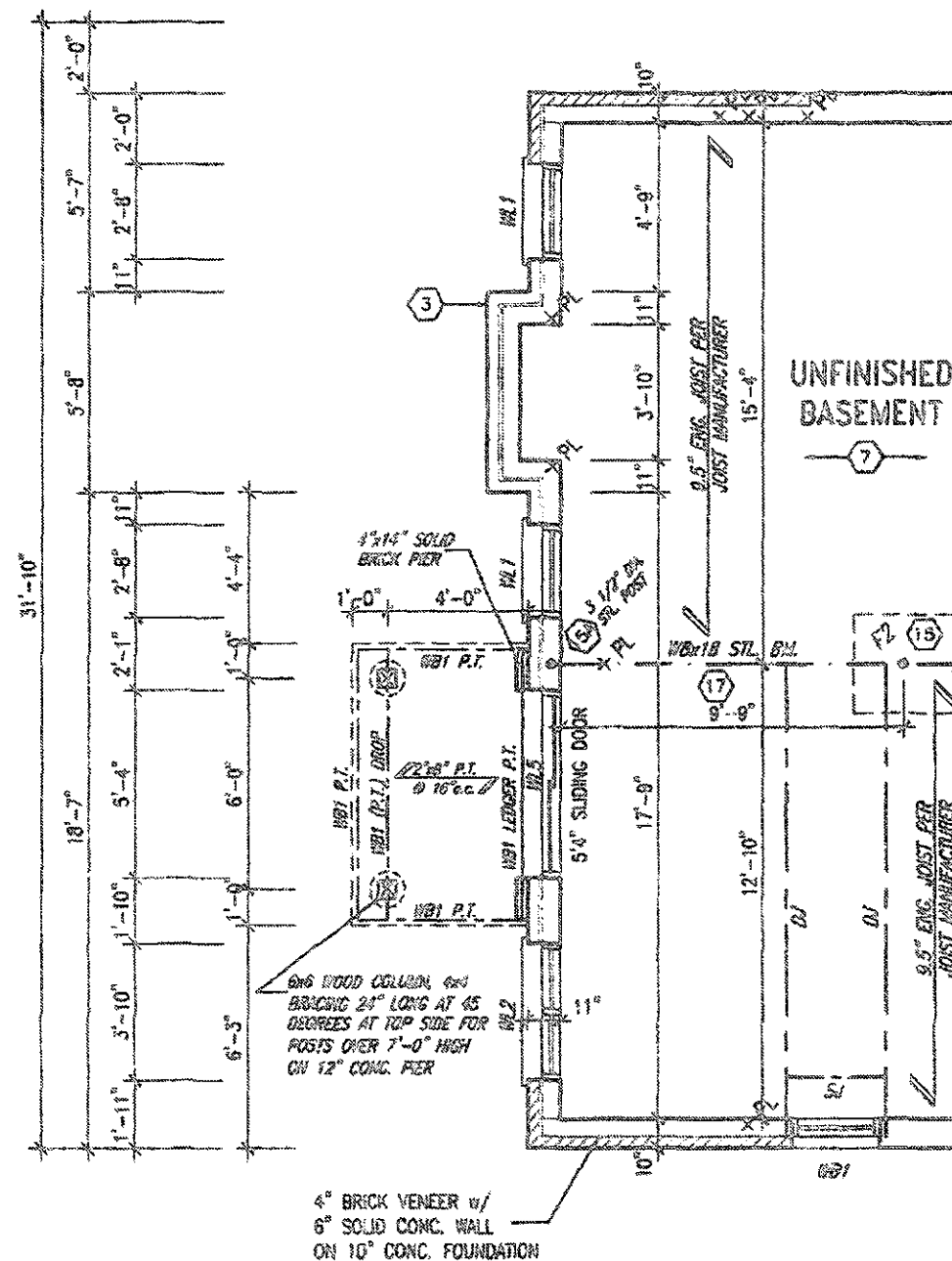
REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

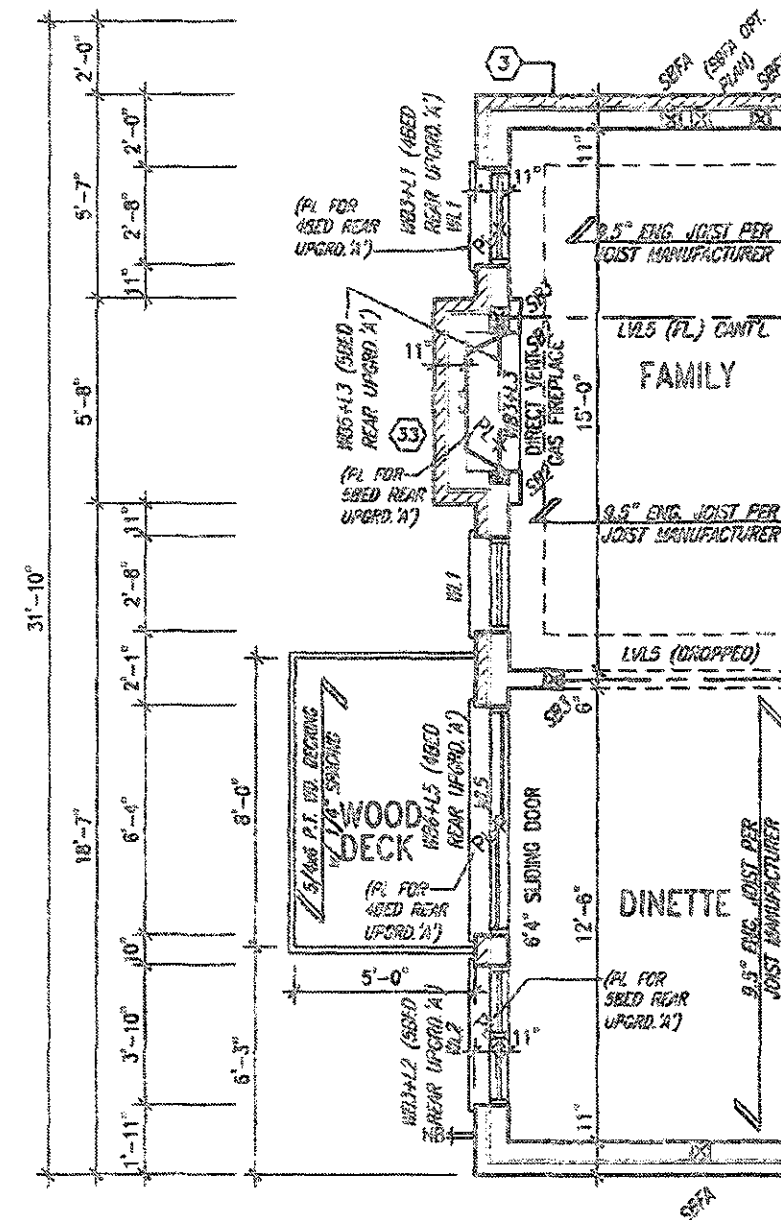
PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

VENIER CUT
WHEN VENIER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WALKOUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5-3)
FOR ADDITIONAL WOOD DECK INFORMATION.



PARTIAL BASEMENT PLAN -
WALKOUT CONDITION



PARTIAL GROUND FLOOR PLAN
WALKOUT CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN E. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSTRUCTION
AND APPROVAL

APPROVED BY _____
DATE JUL 05, 2019

This set of contract documents is a part of the contract
Design & Construction of the building and site
and shall be used only for this project.



STRUDET INC.
FOR STRUCTURE ONLY

RECEIVED
JUL 11 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

JUL 09 2010

PRESTON 1
ENERGY STAR

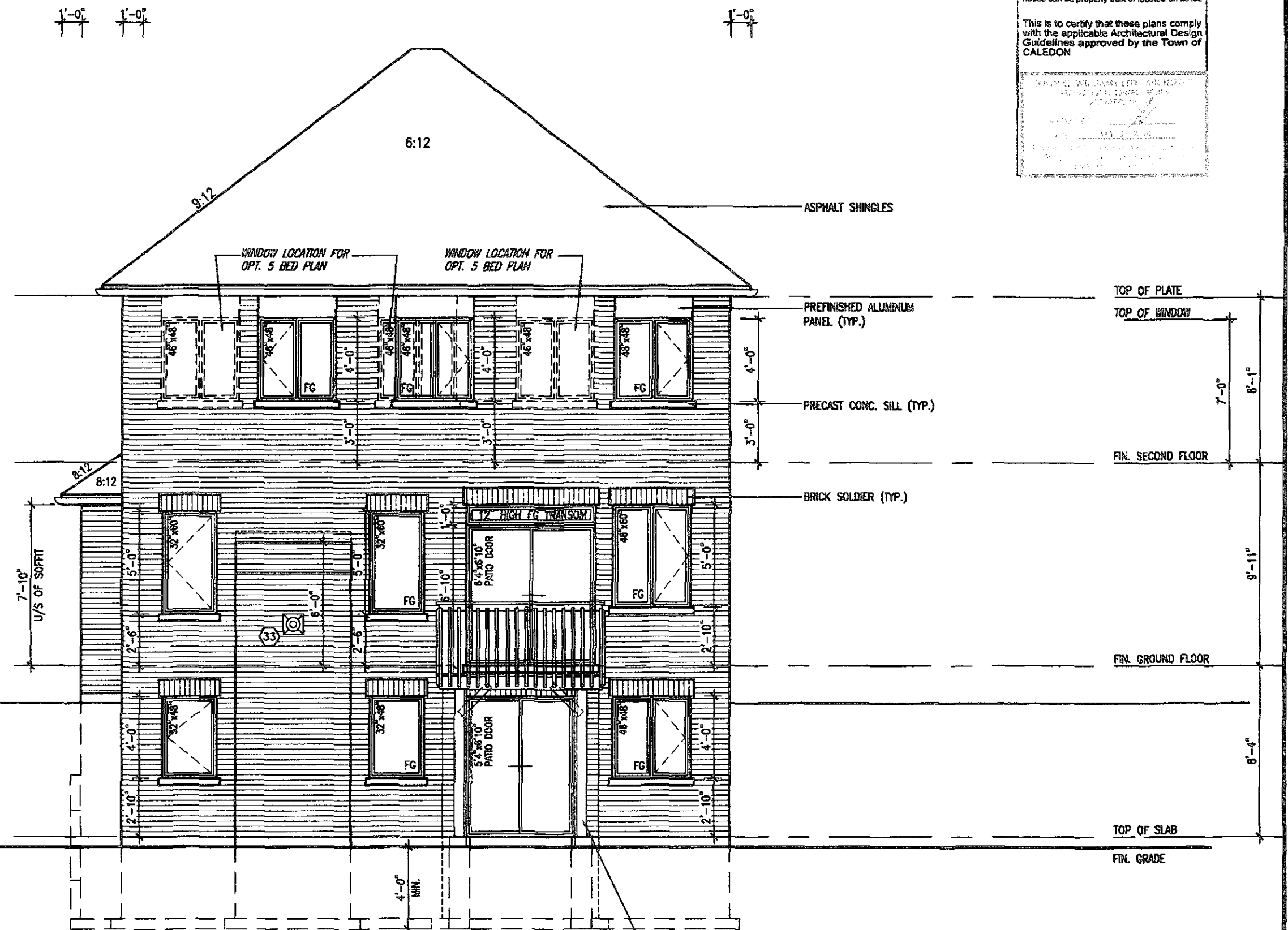
[illegible]

本行辦理各項存款放款匯兌及代理收付等項利息均從優待

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

THIS STRUCTURE MUST BE
CONSTRUCTED TO REST ON
EASES THE PROVISIONS OF
THE OFFICE BUILDING CODE



EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

REAR ELEVATION '1'—
WALKOUT CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

6x6 WOOD COLUMN, 4x4
BRACING 24" LONG AT 45
DEGREES AT TOP SIDE FOR
POSTS OVER 7'-0" HIGH
ON 12" CONC. PIER

FEB 14 2019

PRESTON 1
ENERGY STAR

18.		9			The undersigned has enclosed one takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782 va3design.com	 PRESTON 1 11.6m	project name LAMBERTS LANE HOME CORP. PH.2 municipality CALEDON project no. 18023	sheet no. A15
17.		8		qualifications information					
16.		7		Richard Vink					
15.		6		 24426					
14.		5		name VA3 Design Inc. 42658					
13.		4	ISSUED FOR PERMIT.	DEC. 18/19 GW					
12.		3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18 GW					
11.		2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18 GW					
10.		1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	SEP. 19/18 GW					
no.	description	date	by	no.	description	date	by	no.	description

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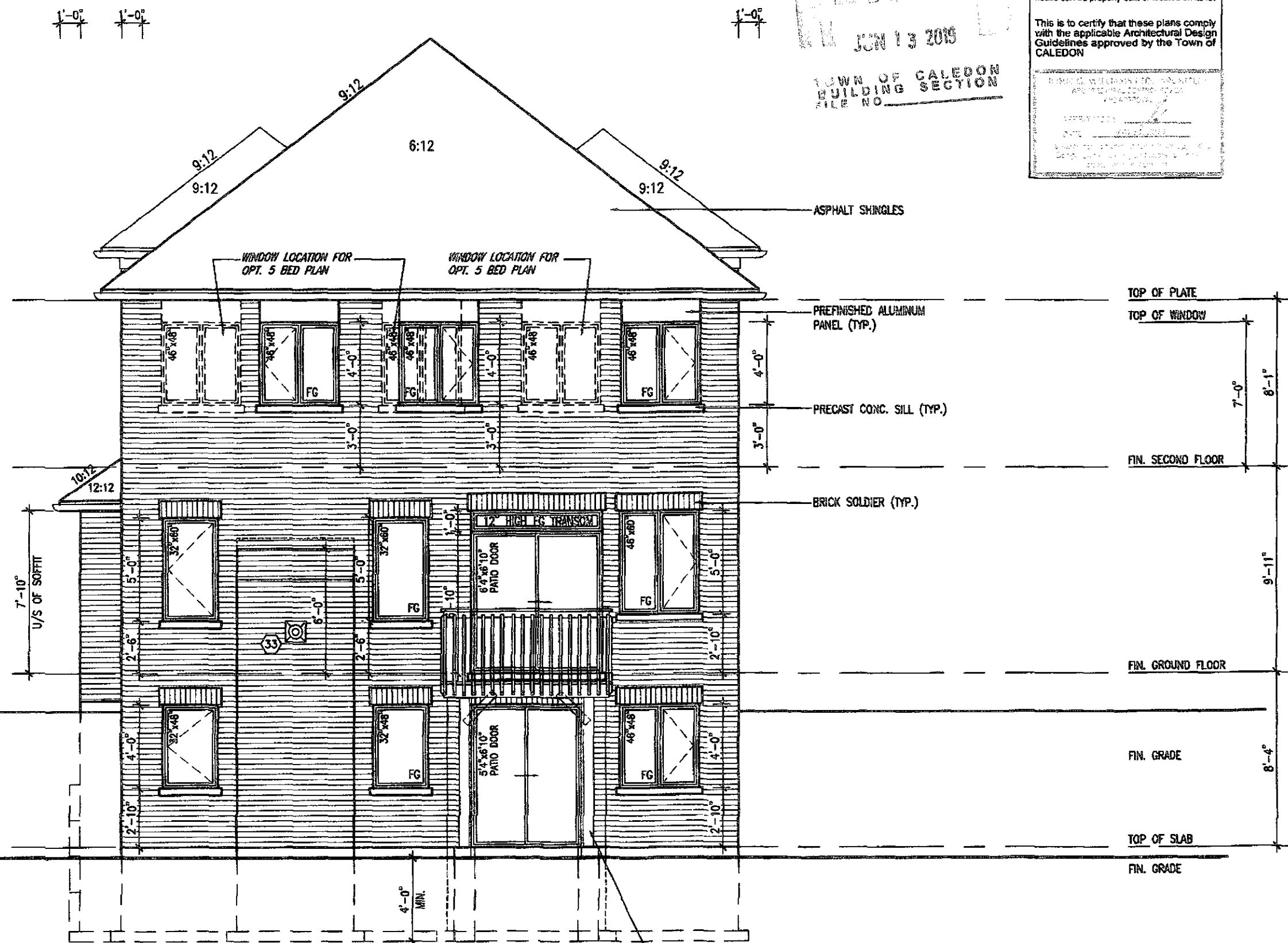
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

[illegible]

Signature must be
present to meet
the requirements of
the building code

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO.



REAR ELEVATION '2'-
DECK CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

6x6 WOOD COLUMN, 4x4
BRACING 24" LONG AT 45
DEGREES AT TOP SIDE FOR
POSTS OVER 7'-0" HIGH
ON 12" CONC. PIER

PRESTON 1
ENERGY STAR

FEB 14 2019

18		9				The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 / 416.630.4782 va3design.com	 Greenpark Project name: LAMBERTS LANE HOME CORP. PH.2 Location: CALEDON Project no.: 1802	PRESTON 1 11.6m	Project name: LAMBERTS LANE HOME CORP. PH.2 Location: CALEDON Project no.: 1802	Date: SEP. 2018 Drawn by: WT Scale: 3/16" = 1'-0" Title: REAR ELEVATION '2' - WALKOUT CONDITION Project no.: 18023-PRESTON-1	A15
17		8			Qualification information							
16		7			Richard Vink	24488						
15		6			Signature	6021						
14		5			Issued for permit	42658						
13		4	ISSUED FOR PERMIT.	DEC. 18/18	GW							
12		3	ROOF-FLOOR-ENG. CO-ORD.	NOV. 28/18	GW							
11		2	ROOF SLOPES & ELEV. 1 (BED 2) PER A.C.	SEP. 24/18	GW							
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW							
no.	description	date	by	no.	description	date	by					

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