2959 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

120 KPa NATIVE SOIL
- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL
- 22"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL
- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL
F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

BRICK VENEER LINTELS (WL)

WL1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)	+	2-2"x8" SPR. No.2
WL2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)	+	2-2"x8" SPR. No.2
WL3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	2-2"x10" SPR. No.2
WL4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)	+	2-2"x12" SPR. No.2
WL5	=6" x 4" x 3/8"L (150x100x10.0L)	+	2-2"x12" SPR. No.2
WL6	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	2-2"x12" SPR. No.2
WL7	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	3-2"x12" SPR. No.2
WL8	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	3-2"x10" SPR. No.2
WL9	=6" x 4" x 3/8"L (150x100x10.0L)	+	3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1	=2-2"x8" (2-38x184) SPR. No.2
WB2	=3-2"x8" (3-38x184) SPR. No.2
WB3	=2-2"x10" (2-38x235) SPR. No.2
WB4	=3-2"x10" (3-38x235) SPR. No.2
WB5	=2-2"x12" (2-38x286) SPR. No.2
WB6	=3-2"x12" (3-38x286) SPR. No.2
WB7	=5-2"x12" (5-38x286) SPR. No.2
WB11	=4-2"x10" (4-38x235) SPR. No.2
WB12	=4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	=1-1 3/4"x7 1/4" (1-45x184)
LVL1	=2-1 3/4"x7 1/4" (2-45x184)
LVL2	=3-1 3/4"x7 1/4" (3-45x184)
LVL3	=4-1 3/4"x7 1/4" (4-45x184)
LVL4A	=1-1 3/4"x9 1/2" (1-45x240)
LVL4	=2-1 3/4"x9 1/2" (2-45x240)
LVL5	=3-1 3/4"x9 1/2" (3-45x240)
LVL5A	=4-1 3/4"x9 1/2" (4-45x240)
LVL6A	=1-1 3/4"x11 7/8" (1-45x300)
LVL6	=2-1 3/4"x11 7/8" (2-45x300)
LVL7	=3-1 3/4"x11 7/8" (3-45x300)
LVL8	=2-1 3/4"x14" (2-45x356)
LVL9	=3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)
L2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)
L3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)
L4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)
L5	=6" x 4" x 3/8"L (150x100x10.0L)
L6	=7" x 4" x 3/8"L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

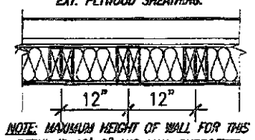
NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION
REVIEWED BY S. SNELL
DATE AUG 9/19
FILE # PRESTON 3 - ELEV. 1, 2
OPT. 5 B.R. OPT. DECK
OPT. W.O.B.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

ENERGY STAR V-17

JANUARY 2019

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

PRESTON 3, ELEVATION 1	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	591.69 S.F.	148.36 S.F.	25.07 %
LEFT SIDE	1140.42 S.F.	72.17 S.F.	6.33 %
RIGHT SIDE	1140.42 S.F.	53.00 S.F.	4.65 %
REAR	591.69 S.F.	143.69 S.F.	24.28 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3464.22 S.F.	417.22 S.F.	12.04 %
TOTAL SQ. M.	321.83 S.M.	38.76 S.M.	12.04 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

PRESTON 3, ELEVATION 2	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	591.69 S.F.	141.39 S.F.	23.90 %
LEFT SIDE	1160.25 S.F.	72.17 S.F.	6.22 %
RIGHT SIDE	1160.25 S.F.	53.00 S.F.	4.57 %
REAR	591.69 S.F.	143.69 S.F.	24.28 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3503.88 S.F.	410.25 S.F.	11.71 %
TOTAL SQ. M.	325.52 S.M.	38.11S.M.	11.71 %

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	1306 SF
SECOND FLOOR AREA	1590 SF
TOTAL FLOOR AREA	2896 SF (XXX.XX m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	63 SF
ADD TOTAL OPEN AREAS	+63 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2959 SF (XXX.XX m2)
GROUND FLOOR COVERAGE	1312 SF
GARAGE COVERAGE/AREA	390 SF
PORCH COVERAGE/AREA	74 SF
COVERAGE W/ PORCH	1776 SF (XXX.XX m2)
COVERAGE W/O PORCH	1702 SF (XXX.XX m2)

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	1314 SF
SECOND FLOOR AREA	1606 SF
TOTAL FLOOR AREA	2920 SF (271.28 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	63 SF
ADD TOTAL OPEN AREAS	+63 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2983 SF (277.13 m2)
GROUND FLOOR COVERAGE	1320 SF
GARAGE COVERAGE/AREA	390 SF
PORCH COVERAGE/AREA	49 SF
COVERAGE W/ PORCH	1759 SF (163.42 m2)
COVERAGE W/O PORCH	1710 SF (158.86 m2)

APPLICANT COPY

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING DIVISION
FILE No.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE
FEB 14 2019

ESCC MODEL
ENERGY STAR- V 17

PRESTON 3
ENERGY STAR

Electrical Contractor Registration Agency
Ontario Electrical Safety Authority

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.pluginsafely.ca

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — registration information
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

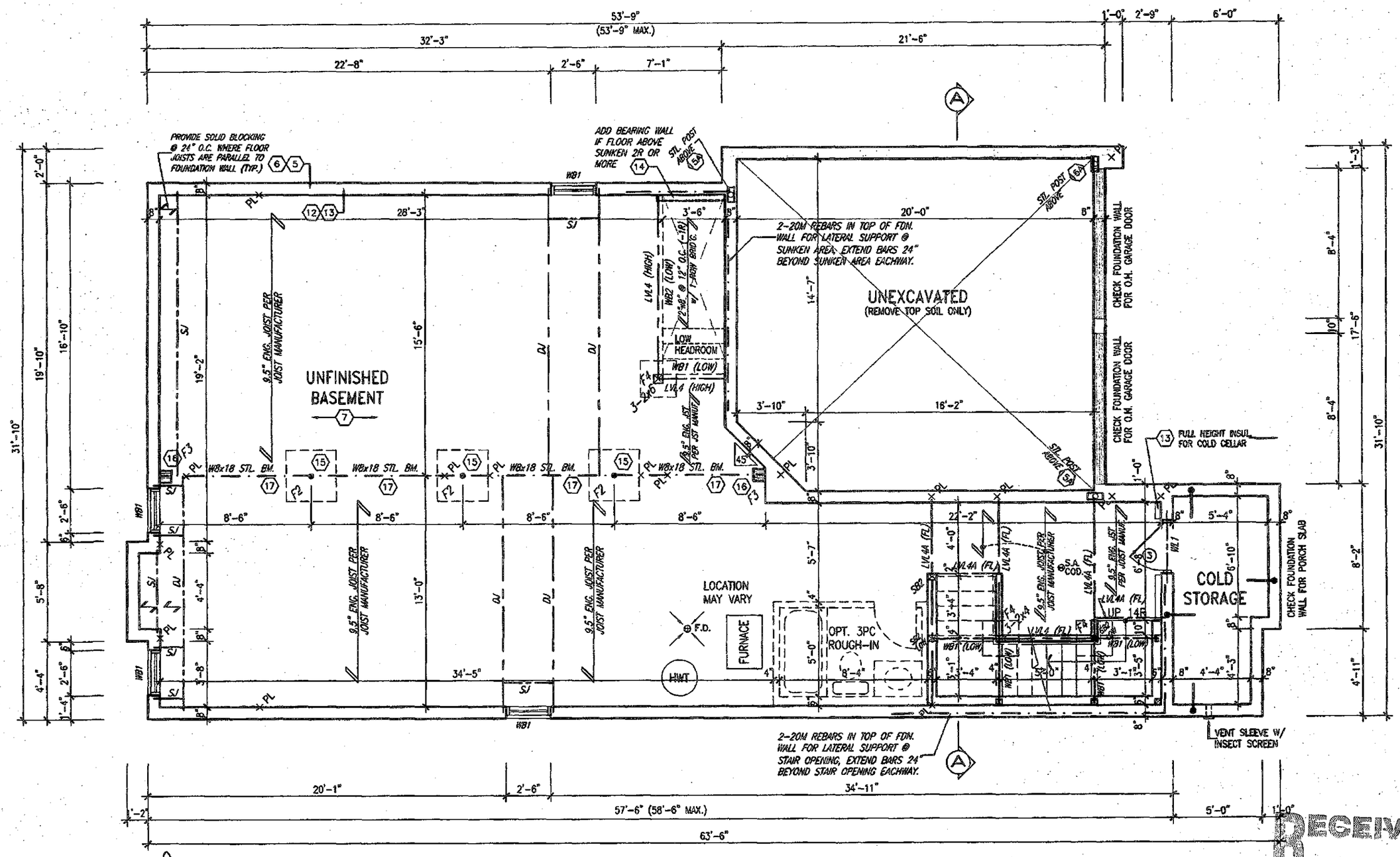
Greenpark

project name	LAMBERTS LANE HOME CORP. PH.2
municipality	CALEDON
project no.	18023
date	SEPT. 2018
drawn by	GW
checked by	-
scale	3/16" = 1'-0"
title	GENERAL NOTES & CHARTS
file name	18023-PRESTON-3
drawing no.	A0

PRESTON 3
11.6m

INDICATES REDUCED SIDE YARD CONDITION

2959 SF.



BASEMENT PLAN – ELEV. '1'

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 M M

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

DEC 2 0 2018

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JUN 13 2019
TOWN OF CALEDON
BUILDING DIVISION

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PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488 — BCIN
name — registration information
VA3 Design Inc. — 42658

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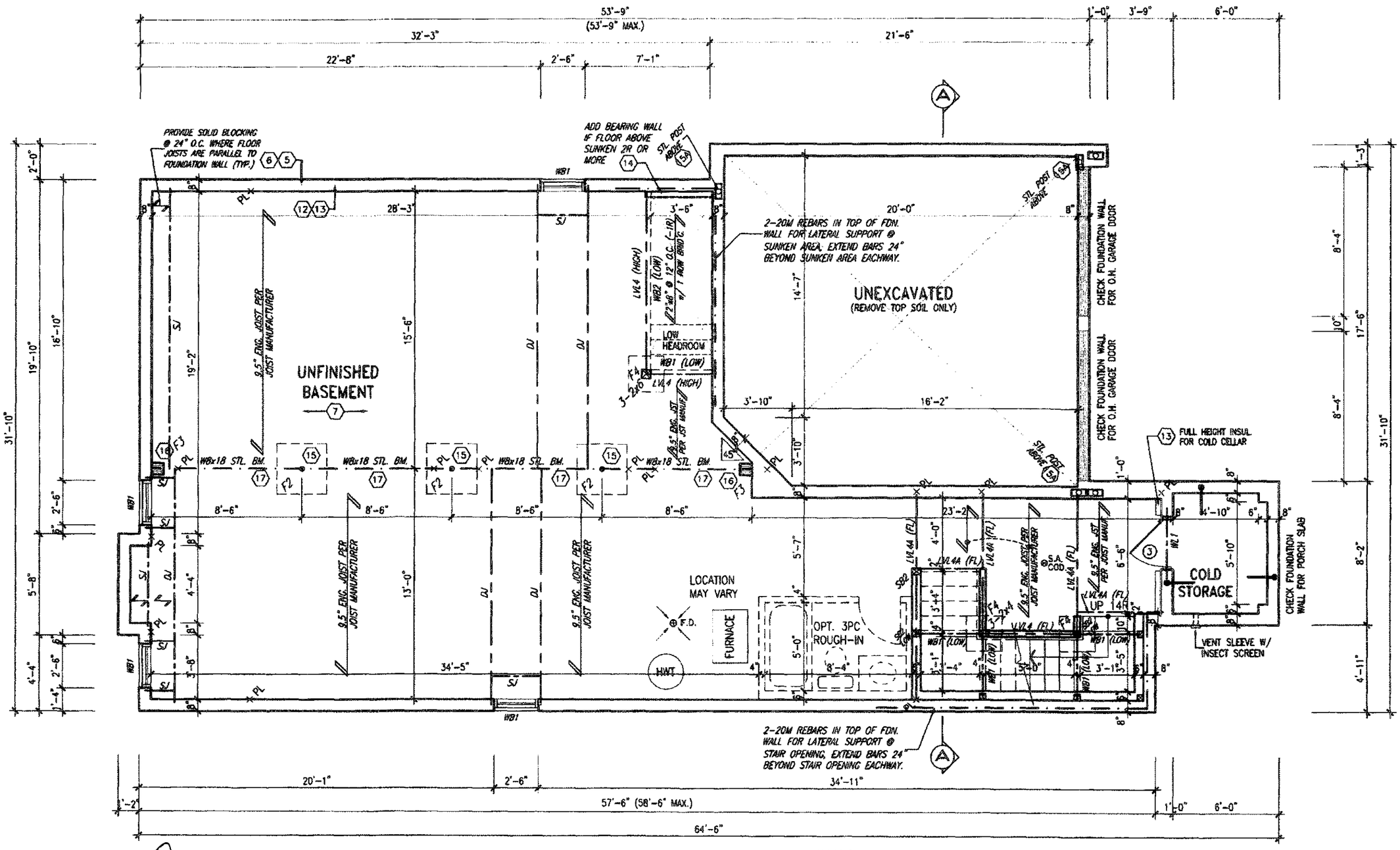
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	LAMBERTS LANE HOME CORP. PH.2
municipality	CALEDON
PRESTON 3	11.6m
project no.	18023
date	SEPT. 2018
drawing title	BASEMENT PLAN – ELEV. '1'
drawn by	GW
checked by	–
scale	3/16" = 1'-0"
file name	18023-PRESTON-3
drawing no.	A1

INDICATES REDUCED SIDE YARD CONDITION

2959 SF.



BASEMENT PLAN – ELEV. '2'

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 M M

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

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FEB 06 2019

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

KOREN SHUBINSKI LTD. ARCHITECT

PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT	DEC 20/18	GW
3	ROOF-FLOOR-ENG CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information: Richard Vink — 24488 — BCIN
registration information: VA3 Design Inc. — 42658
signature: R Vink

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

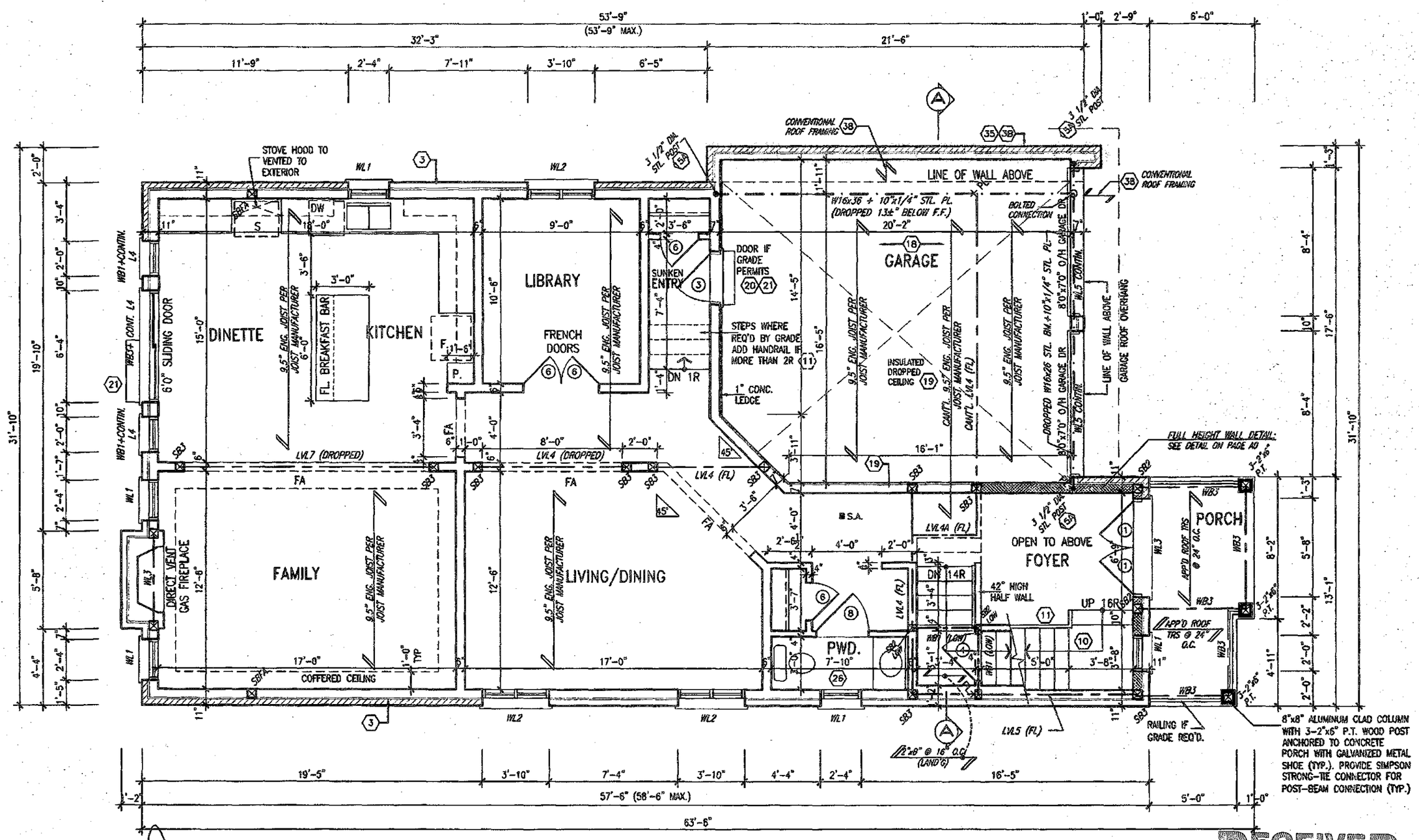
Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	BASEMENT PLAN – ELEV. '2'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A1a	

INDICATES REDUCED SIDE YARD CONDITION

2959 SF.

45 MIN. F.R.R.



GROUND FLOOR PLAN - ELEV. '1'

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

DEC 20 2018

RECEIVED JUN 13 2019 TOWN OF CALEDON BUILDING SECTION FILE NO.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

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18				9			
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13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
Richard Vink — signature — 24488
name — registration information
VA3 Design Inc. — BCIN — 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4762
va3design.com

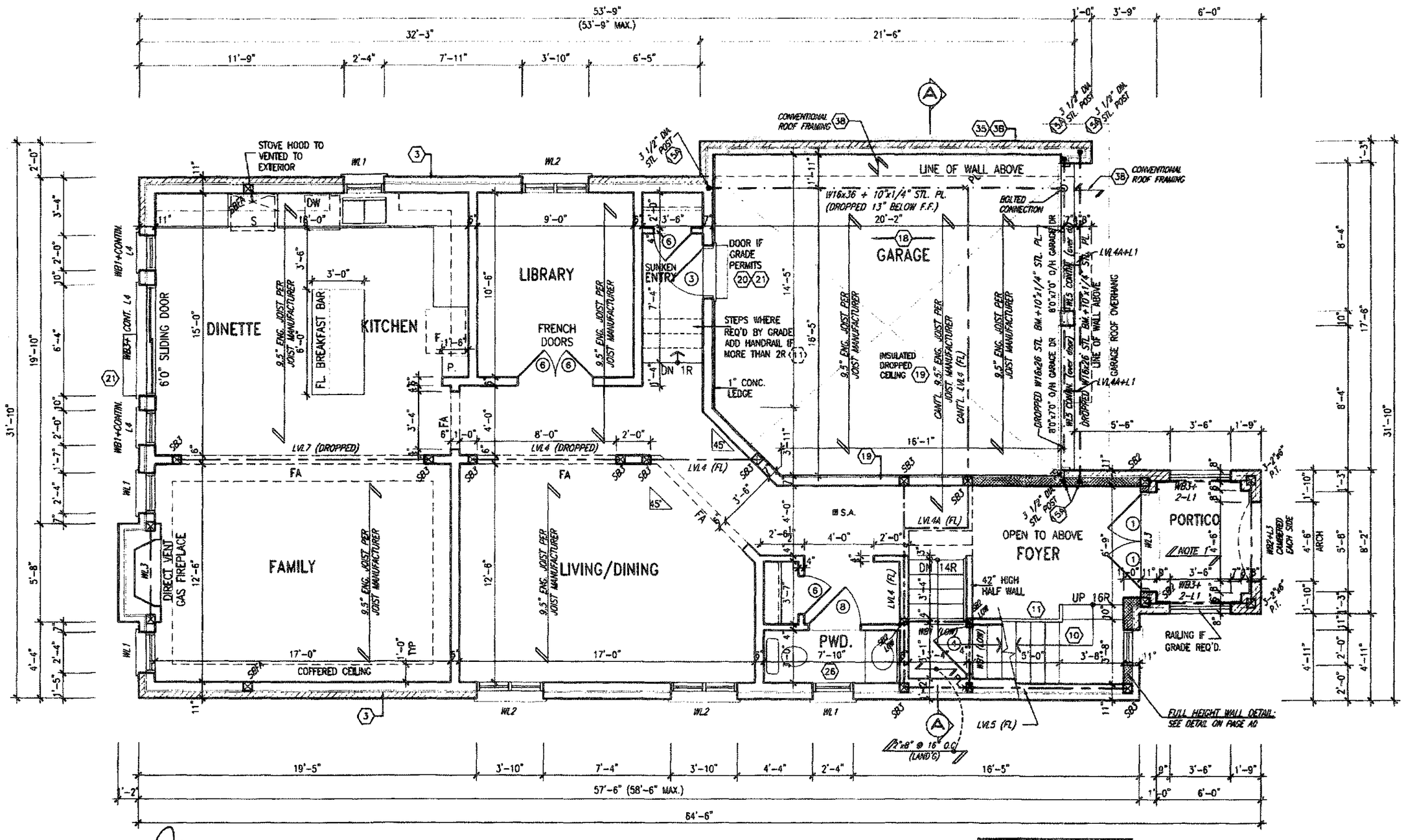
Greenpark.

PRESTON 3
11.6m

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no. 18023
date: SEPT. 2018
GROUND FLOOR PLAN - ELEV. '1'
drawn by: GW
checked by:
scale: 3/16" = 1'-0"
file name: 18023-PRESTON-3
drawing no. A2

INDICATES REDUCED SIDE YARD CONDITION

2959 SF.



GROUND FLOOR PLAN – ELEV. '2'

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. C.L.G. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE SHEATHING + SINGLE PLY ROOF MEMBRANE (SLOPE TO DRAIN)

FEB 06 2019

PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — BCIN
registration information
VA3 Design Inc. — 42658

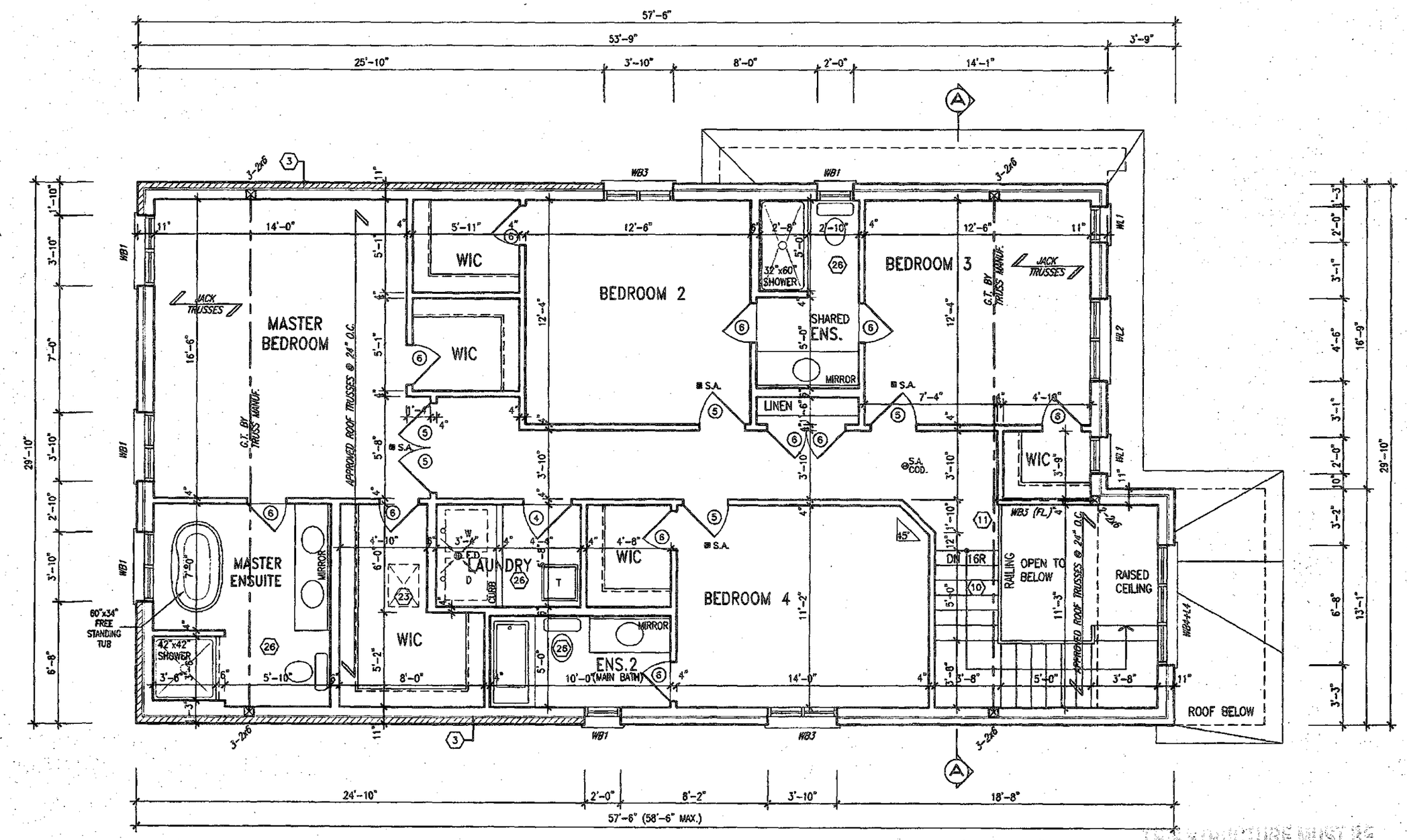
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	GROUND FLOOR PLAN – ELEV. '2'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no.	A2a

2959 SF.



SECOND FLOOR PLAN (4 BED) – ELEV. '1'

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

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REGISTERED PROFESSIONAL ENGINEER
R. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

DEC 2 0 2018

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PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
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registration information
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VA3 DESIGN
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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	SECOND FLOOR PLAN – ELEV. '1'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A3	

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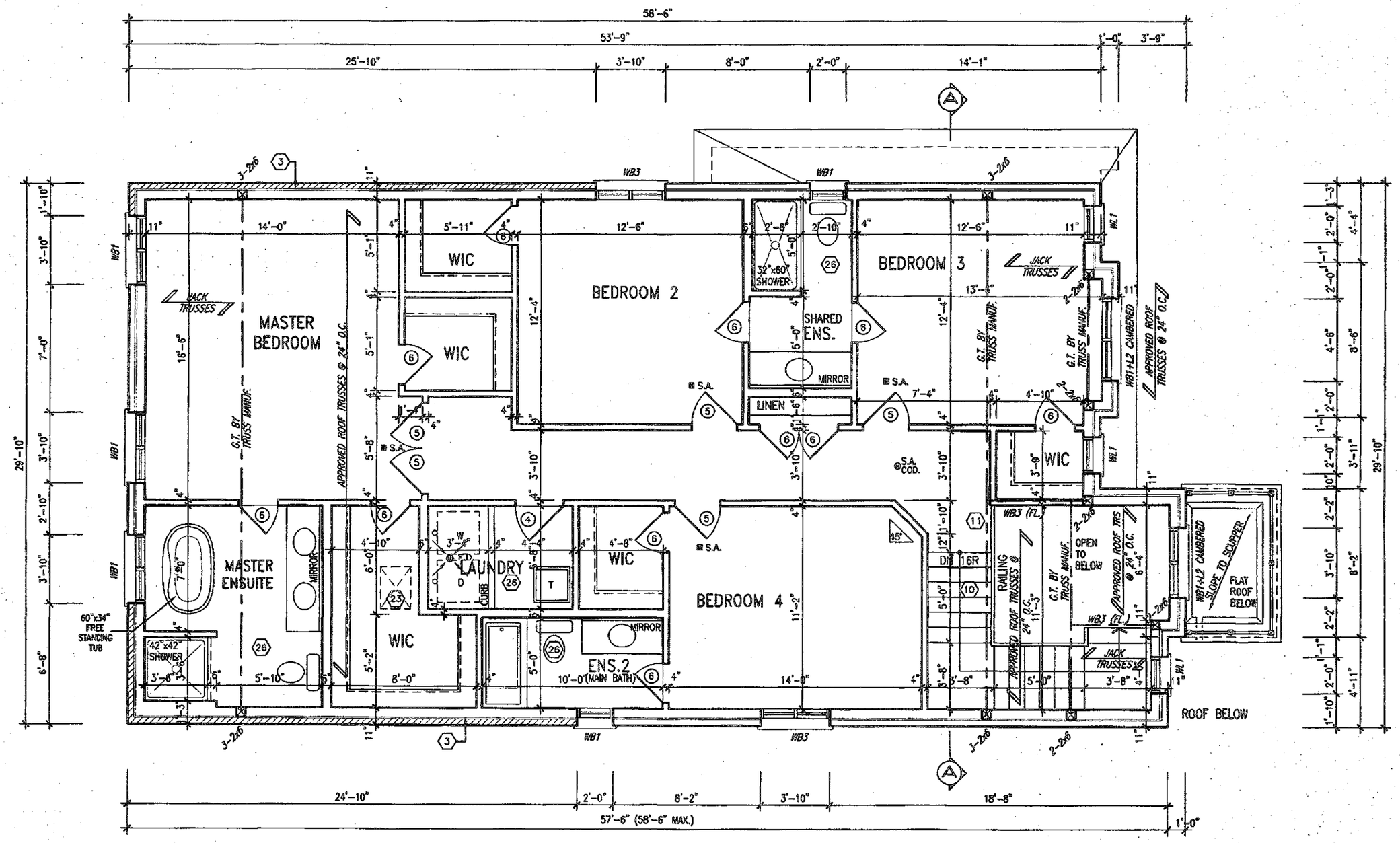
2959 SF.



SECOND FLOOR PLAN (4 BED) – ELEV. '2'

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REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

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THIS DRAWING MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

DEC 2 0 2018

PRESTON 3
ENERGY STAR

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qualification information
Richard Vink — signature — 24488
name — BCIN
registration information
VA3 Design Inc. — 42658

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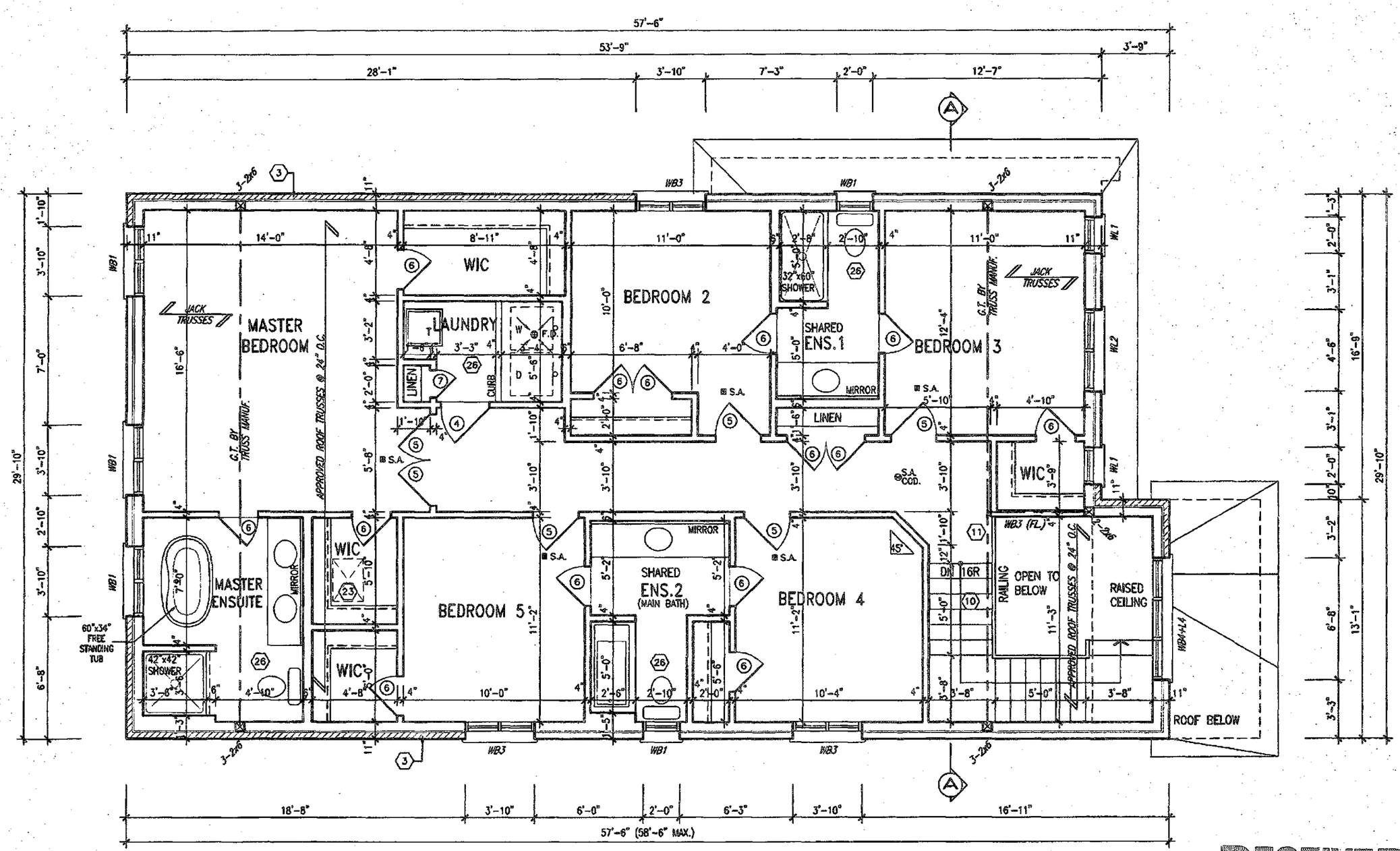
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	SECOND FLOOR PLAN – ELEV. '2'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A3a	

2959 SF.



OPT. SECOND FLOOR PLAN (5 BED) – ELEV. '1'

STUDET INC.
FOR STRUCTURE ONLY

REGISTERED PROFESSIONAL ENGINEER
D. MARINKOVIC
PROVINCE OF ONTARIO

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.
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DEC 2 0 2018

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TOWN OF CALEDON
BUILDING SECTION
FILE NO.

PRESTON 3
ENERGY STAR

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3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
name: Richard Vink — signature — BCIN 24488
registration information: VA3 Design Inc. — 42658

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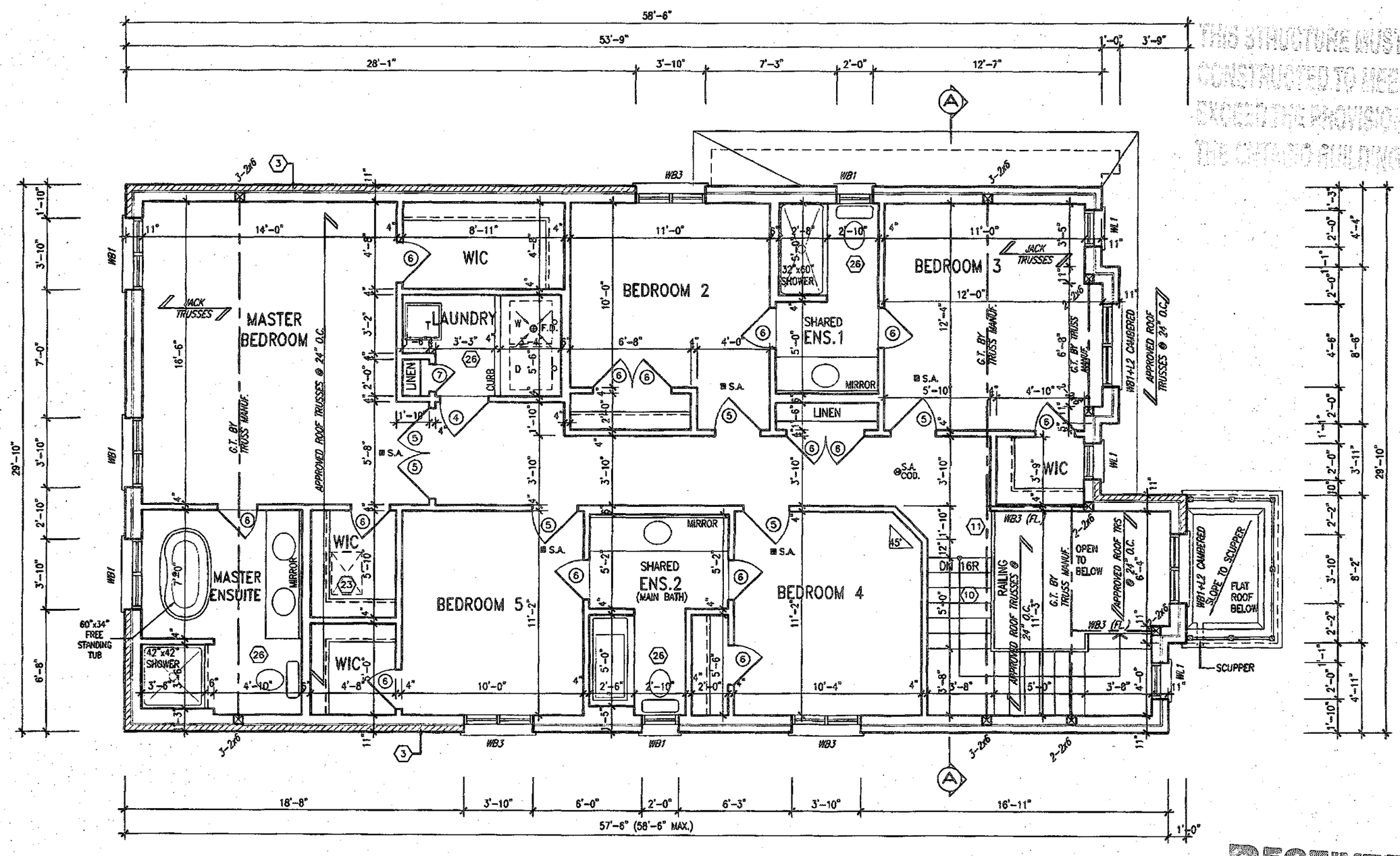
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	OPT. SECOND FLOOR PLAN– ELEV. '1'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A4	

2959 SF.



OPT. SECOND FLOOR PLAN (5 BED) – ELEV. '2'

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

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REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

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DEC 20 2018

PRESTON 3
ENERGY STAR

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3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information: Richard Vink, signature: R Vink, 24488
registration information: VA3 Design Inc., BCIN 42658

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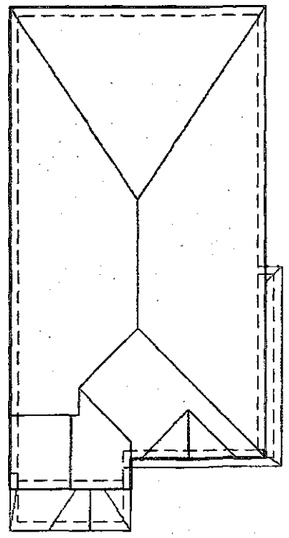
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	OPT. SECOND FLOOR PLAN– ELEV. '2'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023–PRESTON–3
drawing no. A4a	

2959 SF.



ROOF PLAN ELEV. '1'
(Not to Scale)

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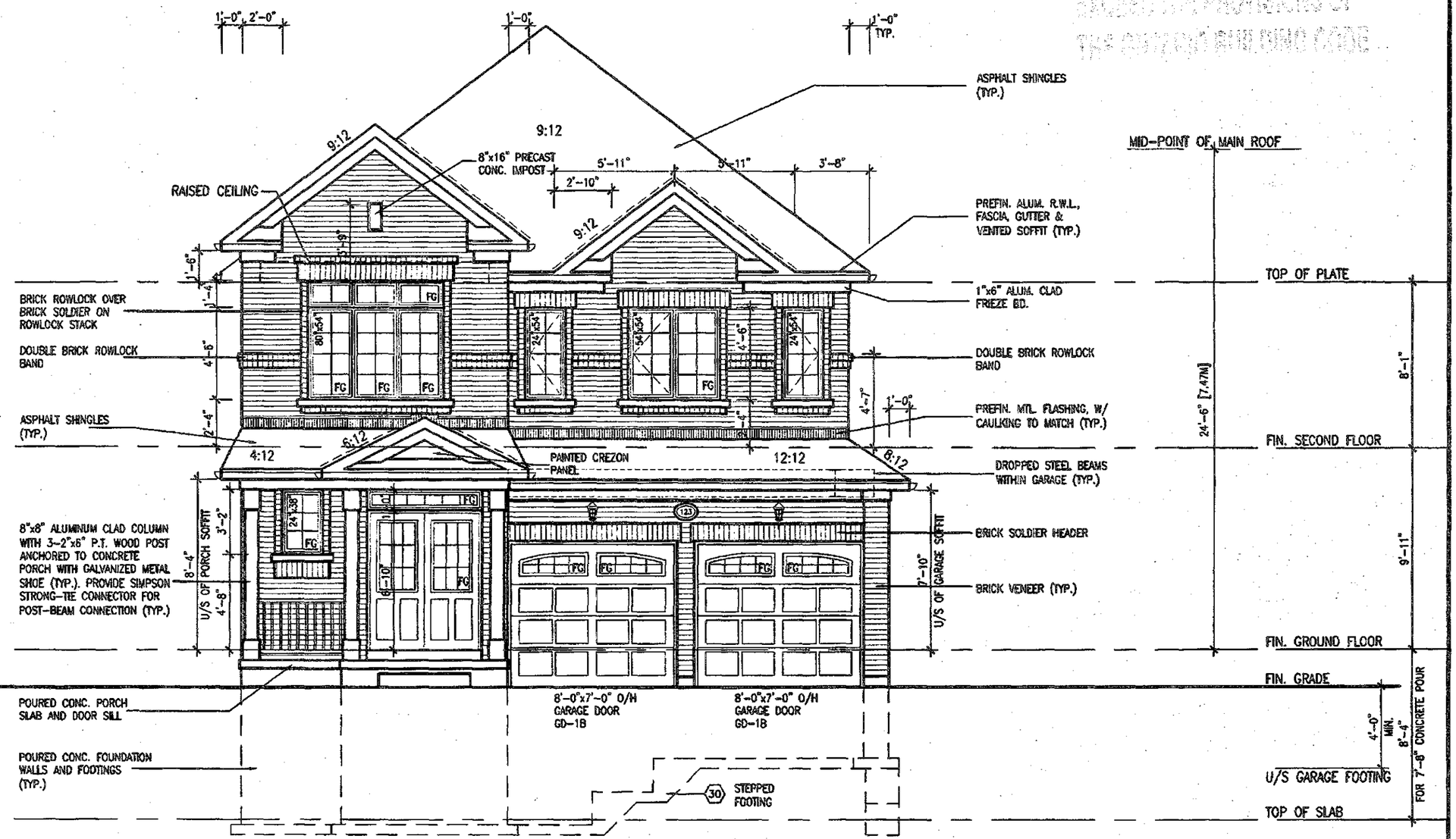

FRONT ELEVATION '1'

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS WITH INTEGRATED MASONRY LEDGE ON SIDES WHERE GRADE ALLOWS.

DEC 2 0 2018

PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
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qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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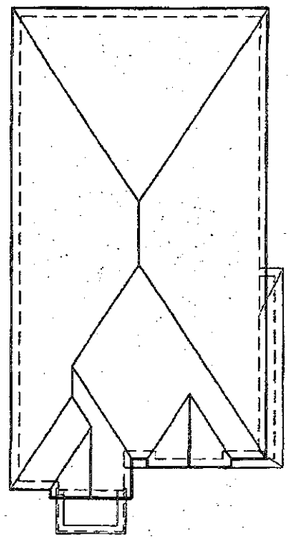
va3design.com

Greenpark.

PRESTON 3
11.6m

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no.: 18023
date: SEPT. 2018
FRONT ELEVATION - ELEV. '1'
drawn by: GW
checked by: --
scale: 3/16" = 1'-0"
file name: 18023-PRESTON-3
drawing no.: A5

2959 SF.



ROOF PLAN ELEV. '2'
(Not to Scale)

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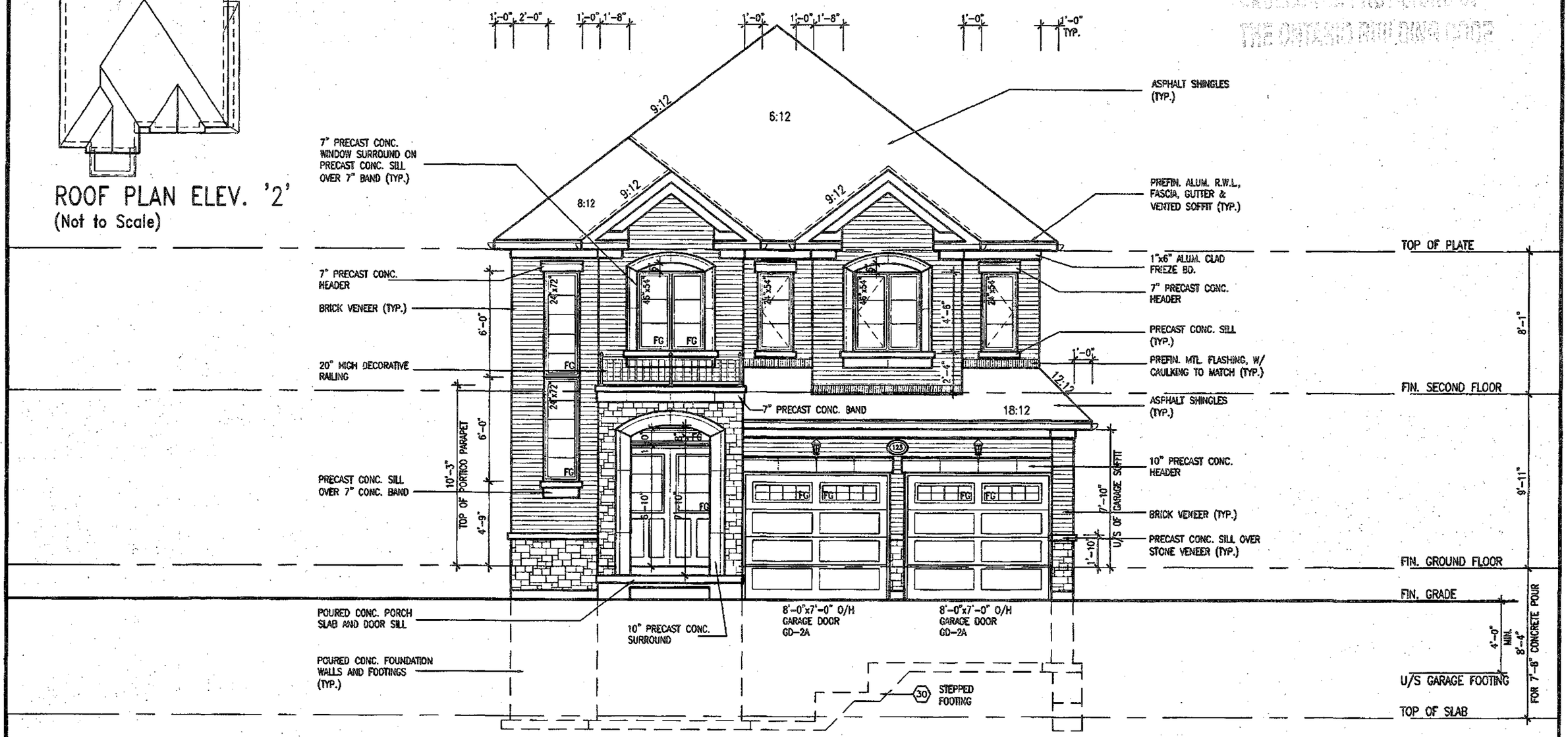

FRONT ELEVATION '2'

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PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS WITH INTEGRATED MASONRY LEDGE ON SIDES WHERE GRADE ALLOWS.

DEC 2 0 2018

PRESTON 3
ENERGY STAR

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13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
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va3design.com

Greenpark.

PRESTON 3
11.6m

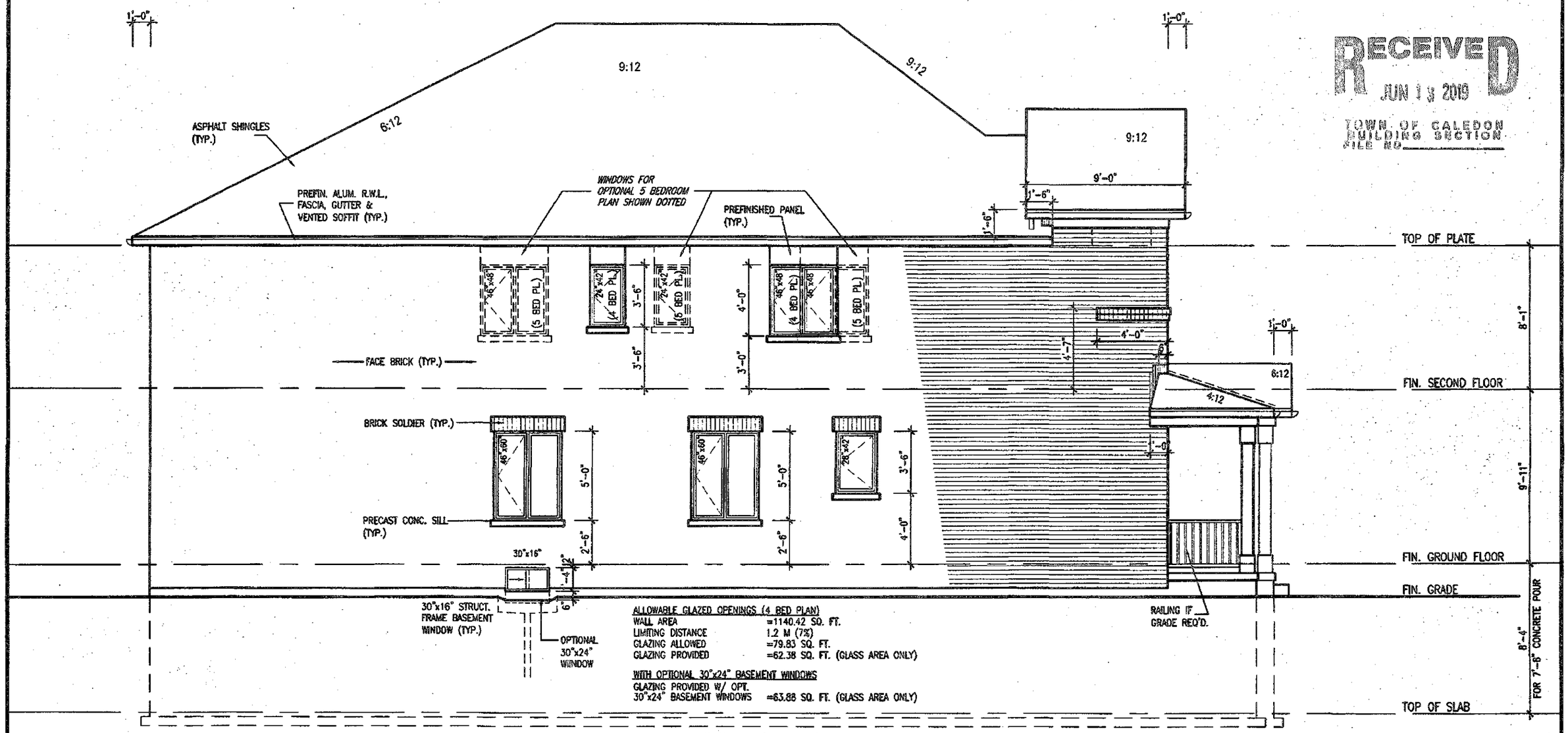
project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no.: 18023
date: SEPT. 2018
FRONT ELEVATION - ELEV. '2'
drawn by: GW
checked by: –
scale: 3/16" = 1'-0"
file name: 18023-PRESTON-3
drawing no.: A5a

2959 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



ALLOWABLE GLAZED OPENINGS (4 BED PLAN)

WALL AREA	=1140.42 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=79.83 SQ. FT.
GLAZING PROVIDED	=62.38 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=83.88 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS (5 BED PLAN)

WALL AREA	=1140.42 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=79.83 SQ. FT.
GLAZING PROVIDED	=75.82 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=77.32 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION '1'

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

DEC 20 2018

PRESTON 3
ENERGY STAR

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3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
name: Richard Vink — signature: R Vink
registration information: 24488 (BCIN) — VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2 — municipality: CALEDON

PRESTON 3
11.6m

project no. 18023

date: SEPT. 2018 — LEFT SIDE ELEVATION – ELEV. '1'

drawn by: GW — checked by: – — scale: 3/16" = 1'-0" — file name: 18023-PRESTON-3

drawing no. A6

2959 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2019
TOWN OF CALEDON
PLANNING SECTION

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

ALLOWABLE GLAZED OPENINGS (4 BED PLAN)

WALL AREA	=1140.42 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=79.83 SQ. FT.
GLAZING PROVIDED	=62.38 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=63.88 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION '2'

ALLOWABLE GLAZED OPENINGS (5 BED PLAN)

WALL AREA	=1140.42 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=79.83 SQ. FT.
GLAZING PROVIDED	=75.82 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=77.32 SQ. FT. (GLASS AREA ONLY)

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

DEC 2 0 2018

PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
Richard Vink — signature — 24488
name — registration information
VA3 Design Inc. — 42658 — BCIN

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va3design.com

Greenpark.

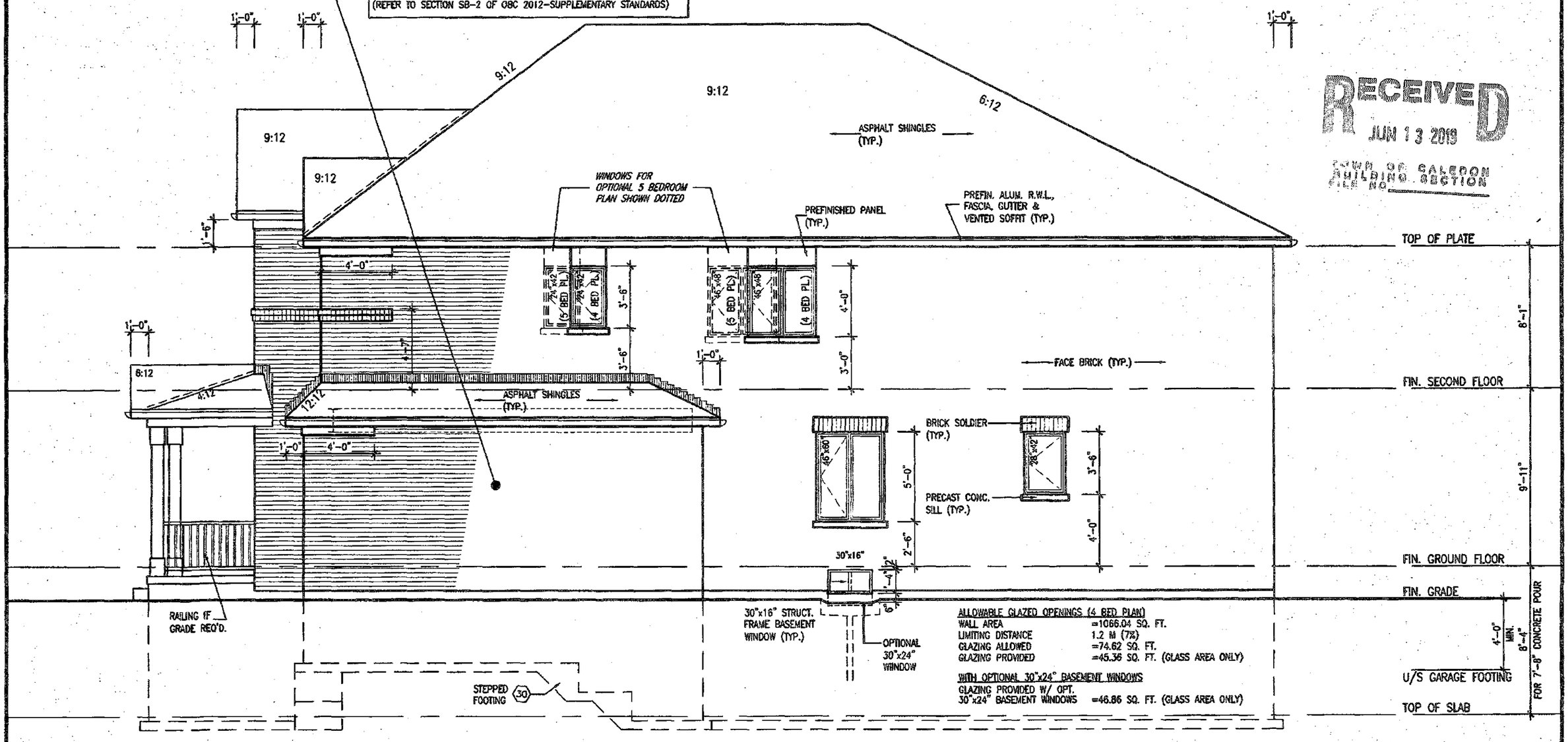
project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	LEFT SIDE ELEVATION - ELEV. '2'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A6a	

2959 SF.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION 9B-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



RIGHT SIDE ELEVATION '1'

ALLOWABLE GLAZED OPENINGS (4 BED PLAN)
WALL AREA =1066.04 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED =74.62 SQ. FT.
GLAZING PROVIDED =45.36 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS =46.86 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS (5 BED PLAN)
WALL AREA =1066.04 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED =74.62 SQ. FT.
GLAZING PROVIDED =45.36 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
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DEC 20 2018

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
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qualification information
name: Richard Vink — signature — 24488
registration information
VA3 Design Inc. — 42658

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va3design.com

Greenpark.

project name	LAMBERTS LANE HOME CORP. PH.2
municipality	CALEDON
project no.	18023
date	SEPT. 2018
drawing title	RIGHT SIDE ELEVATION - ELEV. '1'
drawn by	GW
checked by	-
scale	3/16" = 1'-0"
file name	18023-PRESTON-3
drawing no.	A7

PRESTON 3
11.6m

2959 SF.

THIS STRUCTURE MUST BE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE

BRICK VENEER CONSTRUCTION

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(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

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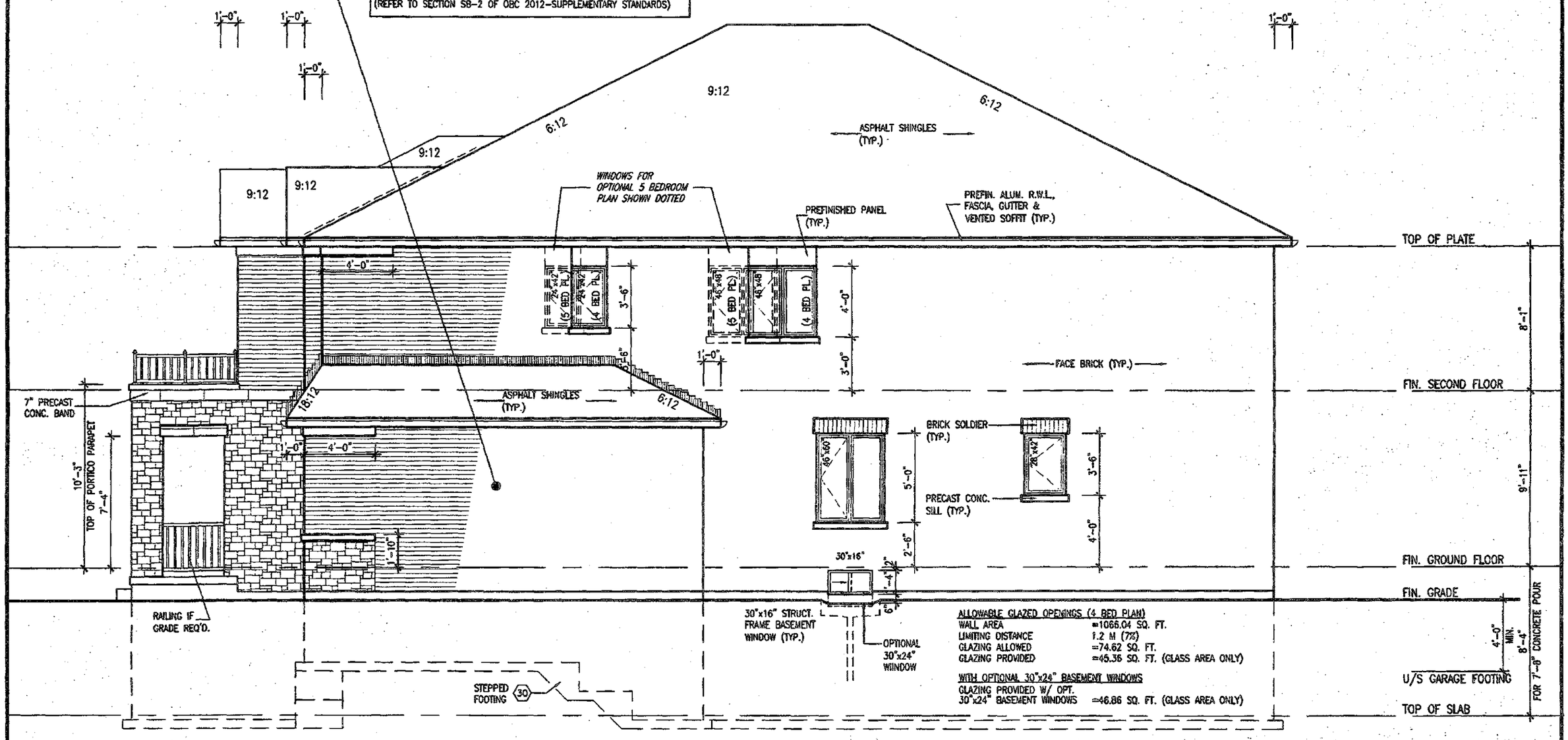

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WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS =46.86 SQ. FT. (GLASS AREA ONLY)

RIGHT SIDE ELEVATION '2'

ALLOWABLE GLAZED OPENINGS (5 BED PLAN)
WALL AREA =1066.04 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

DEC 2 0 2018

PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42658

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va3design.com

Greenpark.

project name: LAWBERTS LANE HOME CORP. PH.2
municipality: CALEDON

PRESTON 3
11.6m

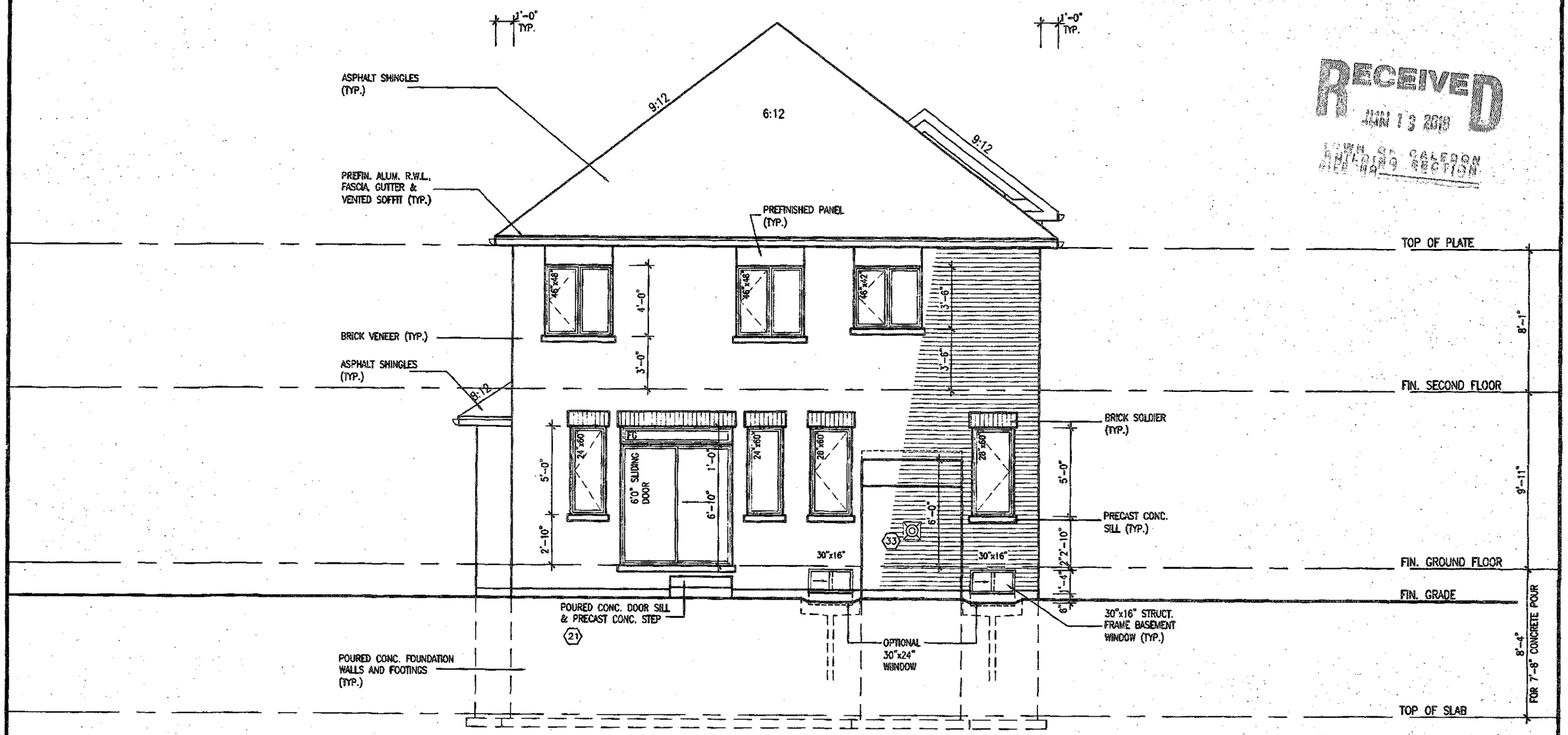
project no. 18023

date: SEPT. 2018
RIGHT SIDE ELEVATION - ELEV. '2'
drawn by: GW
checked by:
scale: 3/16" = 1'-0"
file name: 18023-PRESTON-3
drawing no. A7a

2959 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED ENERGUIDE 80

RECEIVED JUN 13 2018 TOWN OF CALEDON BUILDING SECTION



REAR ELEVATION '1'

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DEC 20 2018

PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
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qualification information
Richard Vink — signature — 24468
name — registration information — BCIN
VA3 Design Inc. — 42658

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va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	REAR ELEVATION – ELEV. '1'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A8	

2959 SF.

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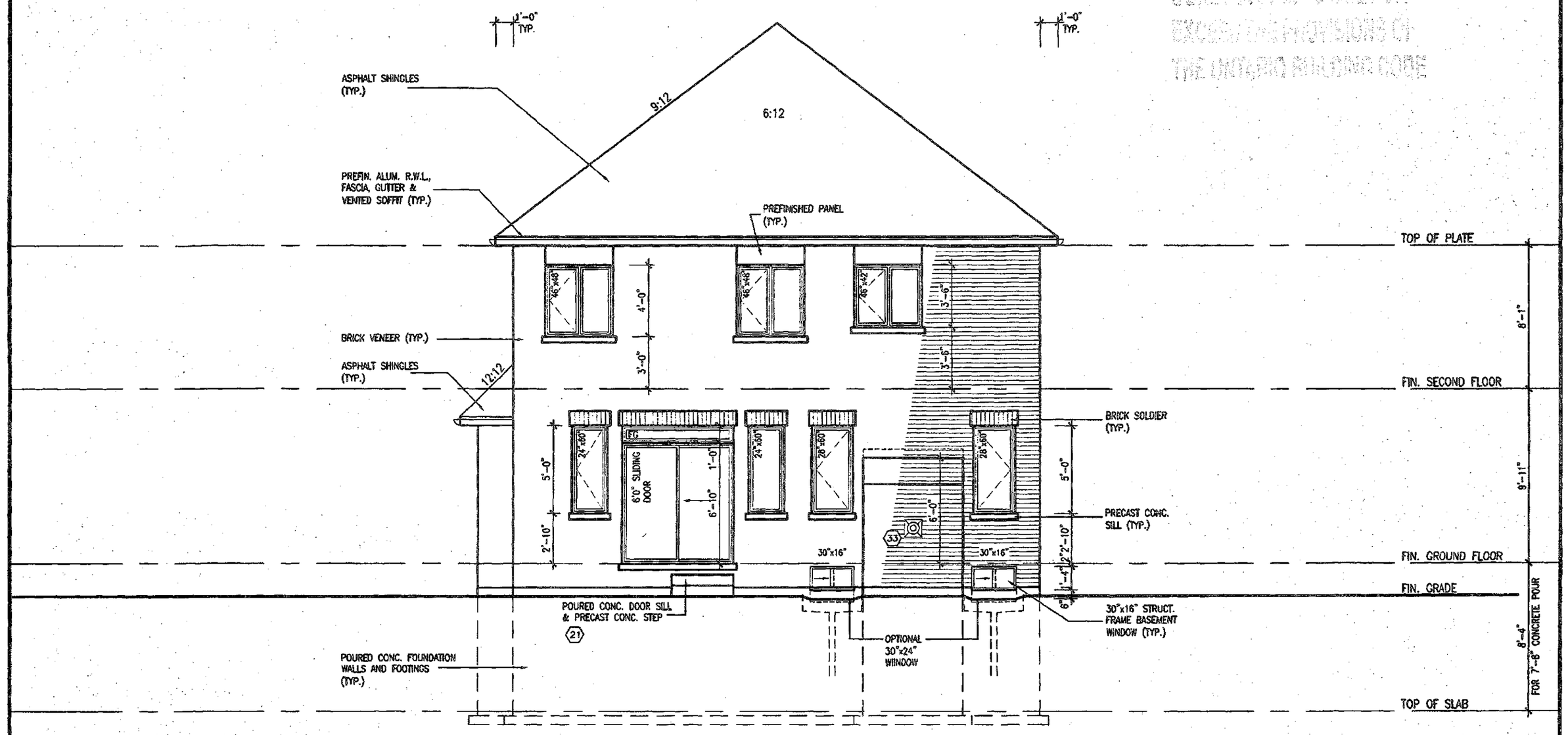

REAR ELEVATION '2'

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

DEC 2 0 2018

PRESTON 3
ENERGY STAR

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name signature BCIN
registration information
VA3 Design Inc. 42658

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Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	REAR ELEVATION - ELEV. '2'
drawn by: GW	checked by: ~
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A8a	

2959 SF.

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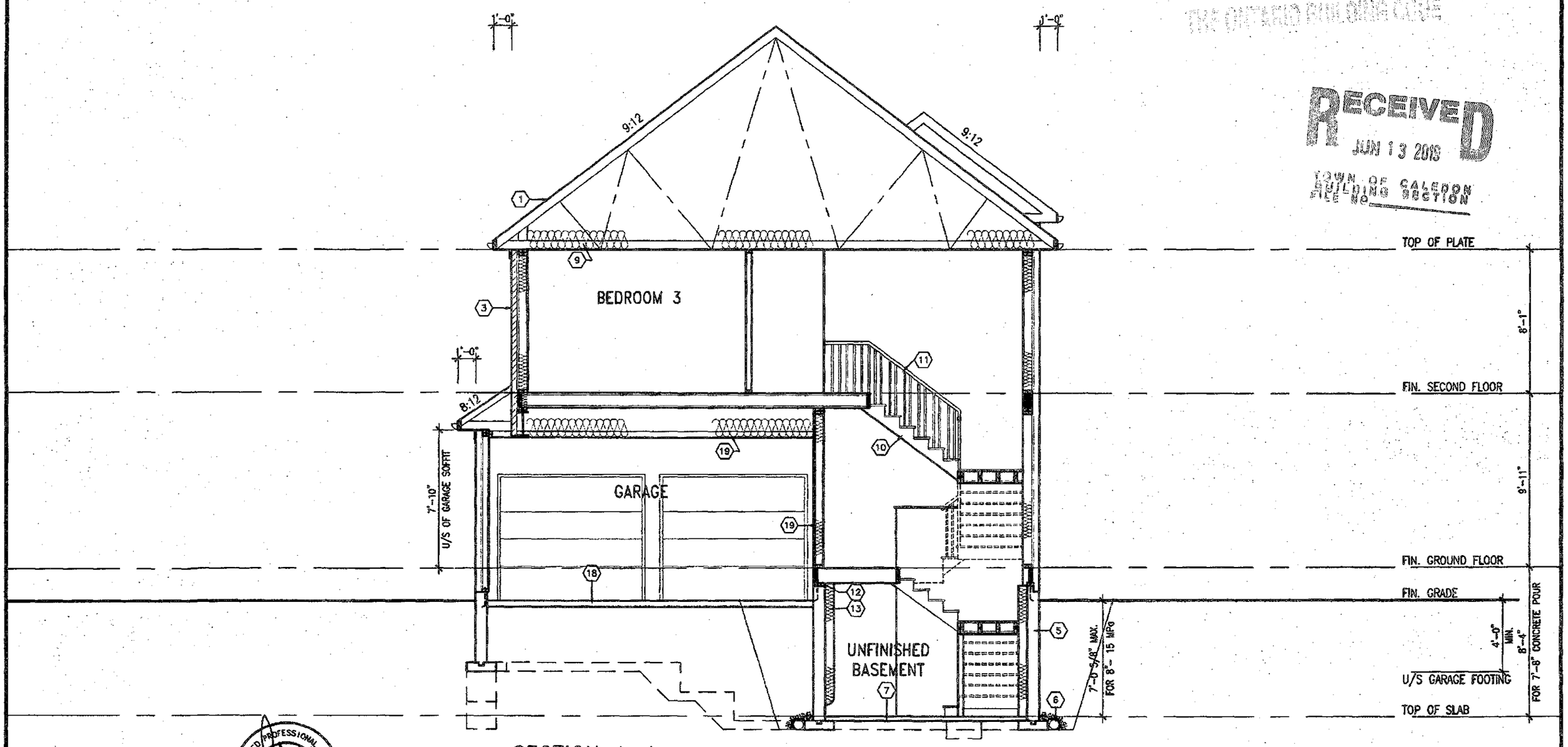

SECTION A-A
ELEVATION '1'

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

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DEC 20 2018

PRESTON 3
ENERGY STAR

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Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	SECTION A-A, ELEV. '1'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A9	

2959 SF.

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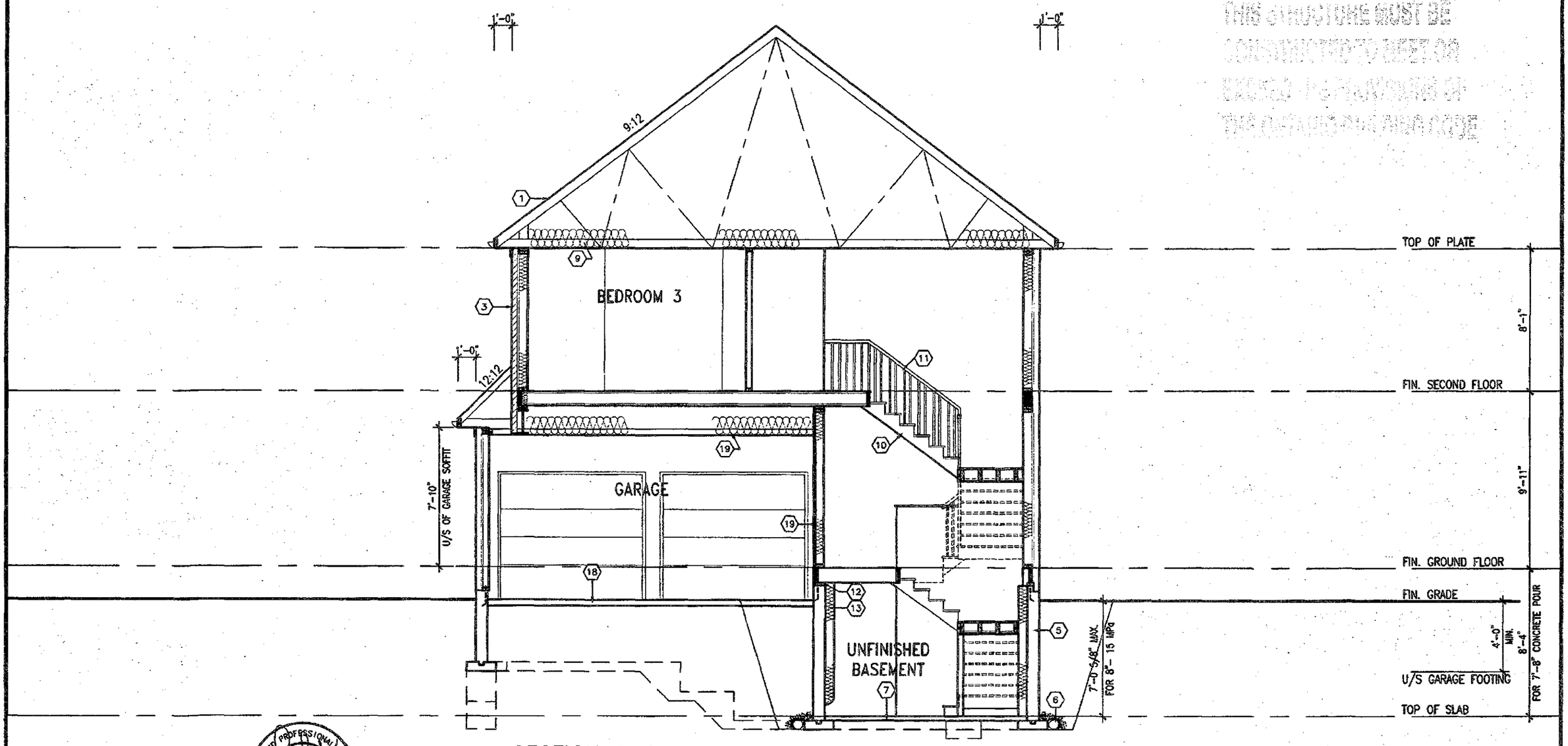

SECTION A-A
ELEVATION '2'

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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

DEC 20 2018

PRESTON 3
ENERGY STAR

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Greenpark.

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PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	SECTION A-A, ELEV. '2'
drawn by: GW	checked by: -
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A9a	

INDICATES REDUCED SIDE YARD CONDITION

2959 SF.

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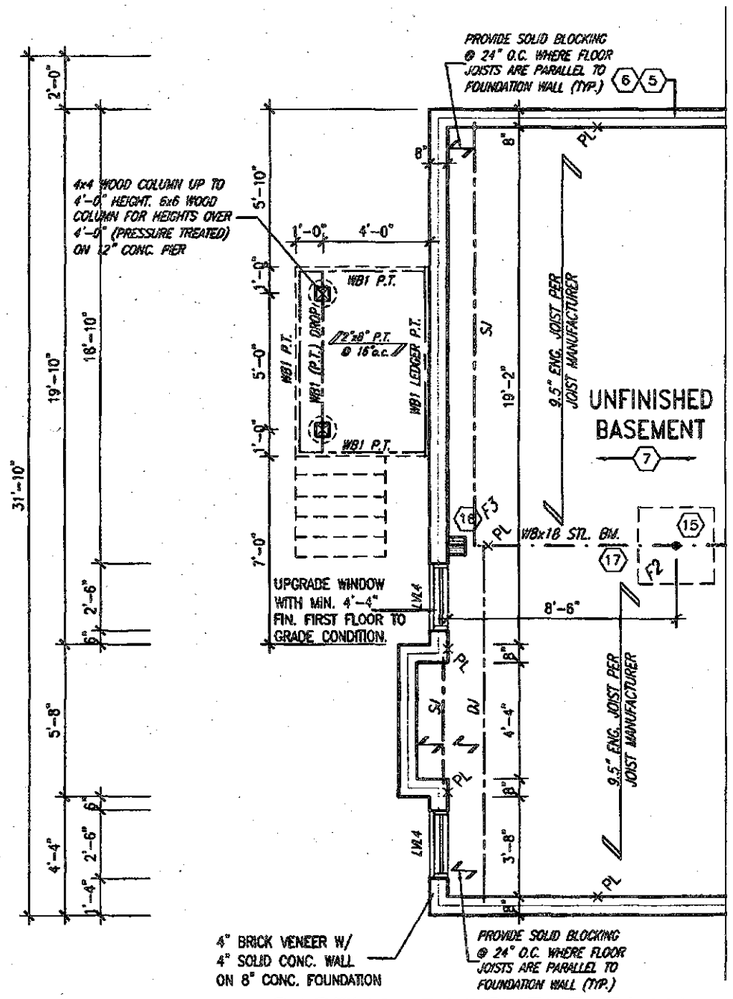
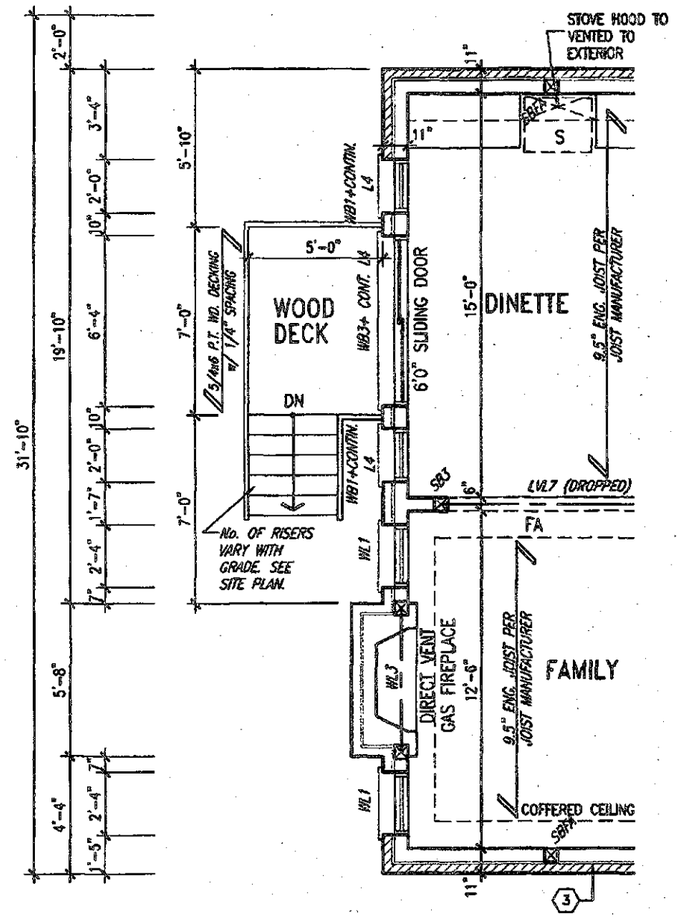


PARTIAL BASEMENT PLAN
DECK CONDITION



PARTIAL GROUND FLOOR PLAN
DECK CONDITION

REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

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REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

DEC 20 2018

PRESTON 3
ENERGY STAR

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4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — BCIN
registration information
VA3 Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

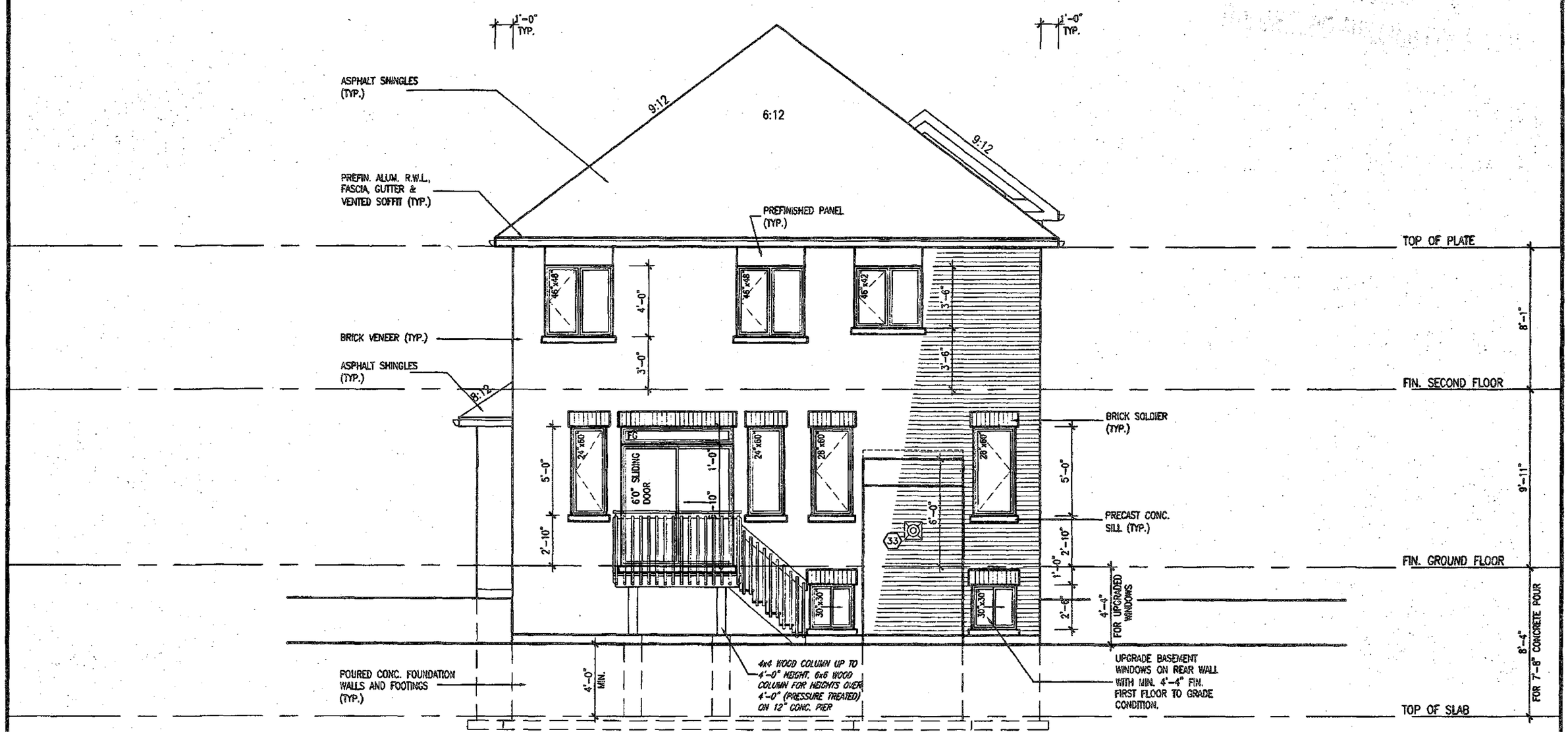
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	PARTIAL PLANS– DECK CONDITION
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A10	

2959 SF.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



REAR ELEVATION '1'– DECK CONDITION

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

DEC 2 0 2018

PRESTON 3
ENERGY STAR

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2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
Richard Vink — signature — 24488
name — registration information — BCIN
VA3 Design Inc. — 42658

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va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	REAR ELEVATION '1' – DECK CONDITION
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A11	

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2959 SF.

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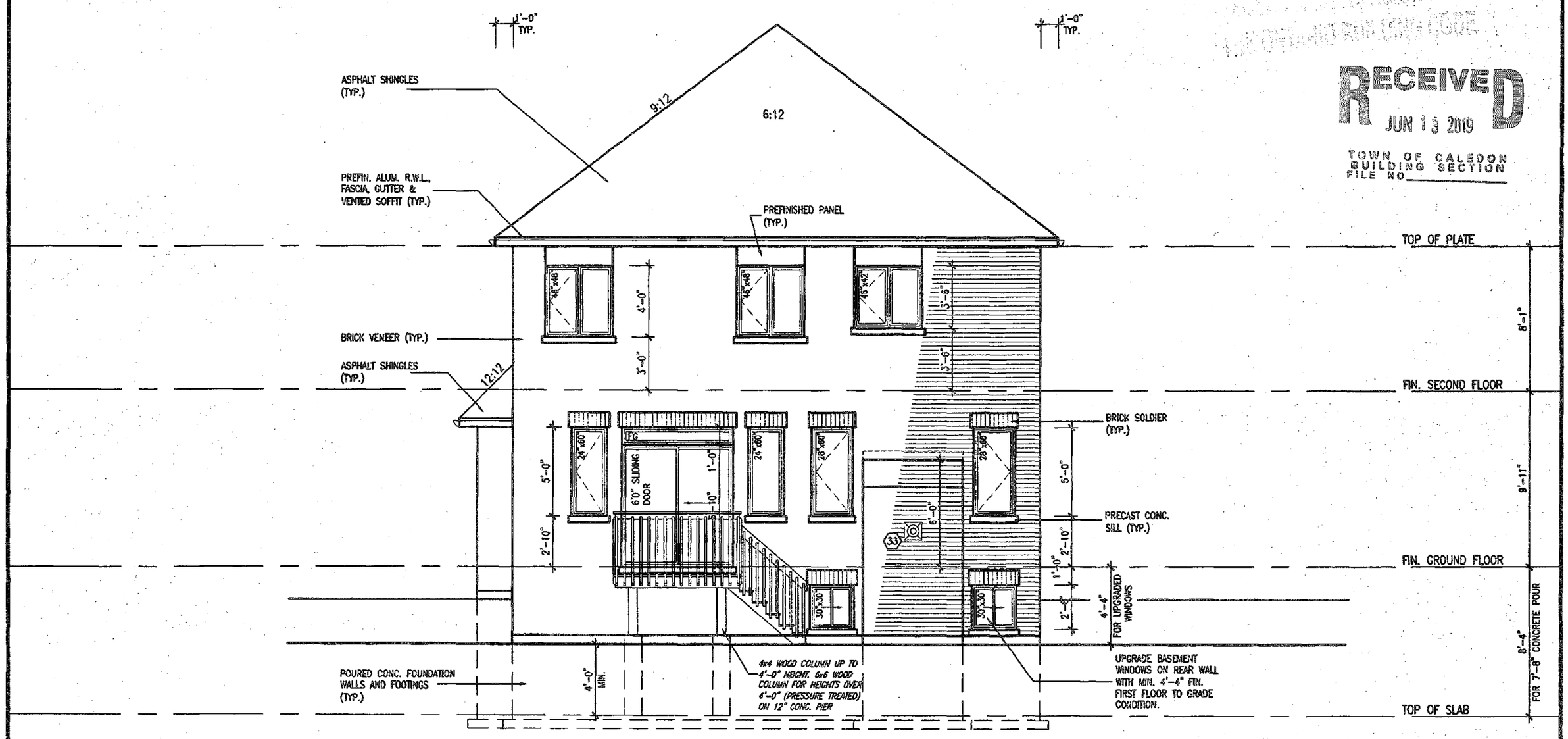
THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.



REAR ELEVATION '2'– DECK CONDITION

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

DEC 20 2018

PRESTON 3
ENERGY STAR

no.	description	date	by
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4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
Richard Vink — 24488
name — signature — BCIN
registration information
VA3 Design Inc. — 42658

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Toronto ON M2J 1R4
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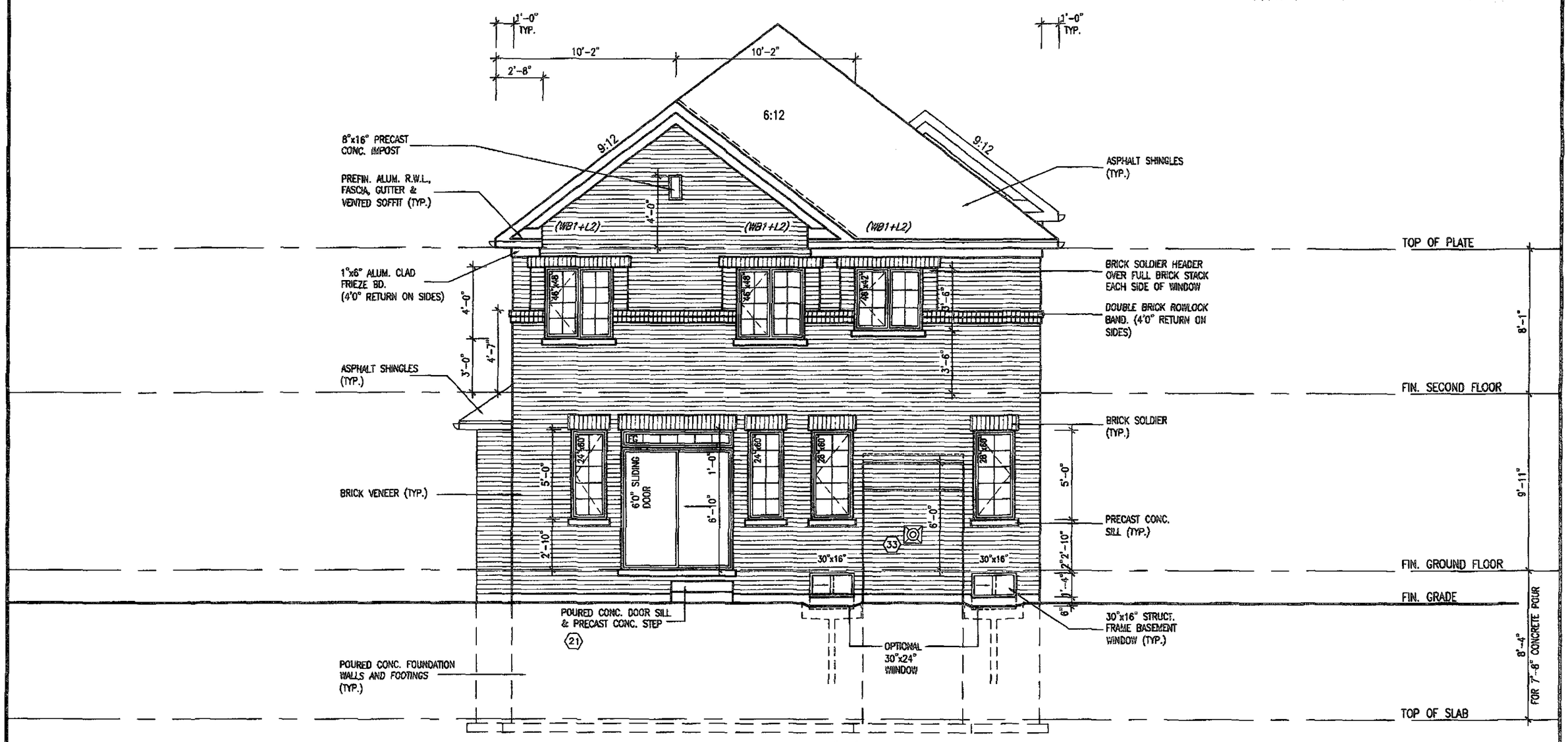
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	REAR ELEVATION '2' – DECK CONDITION
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A11a	

2959 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE CONTENT OF THE ONTARIO BUILDING CODE



UPGRADED REAR ELEVATION '1'

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

FEB 14 2019

PRESTON 3
ENERGY STAR

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5	UPGRADED REAR ELEV ISSUED FOR REVIEW.	JAN 24/19	GW
4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information

name: Richard Vink — signature — BCIN 24488

registration information: VA3 Design Inc. — 42658

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Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	UPGRADED REAR ELEV. '1'
drawn by: GW	checked by: – / scale: 3/16" = 1'-0"
file name: 18023-PRESTON-3	drawing no. A12

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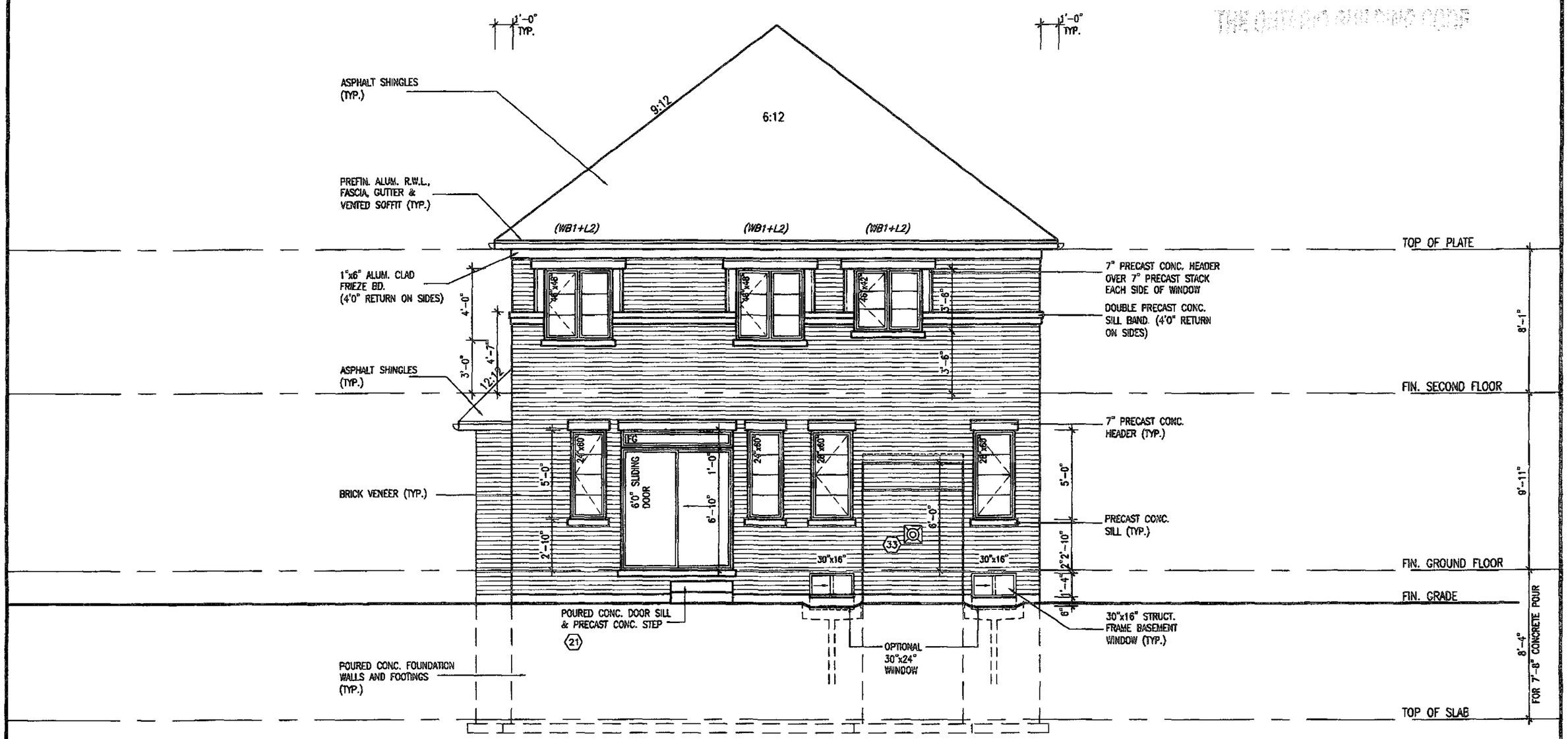
2959 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE OBC AND CNBC CODE



UPGRADED REAR ELEVATION '2'

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FEB 14 2019

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1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information — Richard Vink — signature — 24488
registration information — VA3 Design Inc. — 42658

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va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	UPGRADED REAR ELEV. '2'
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A12a	

INDICATES REDUCED SIDE YARD CONDITION

2959 SF.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

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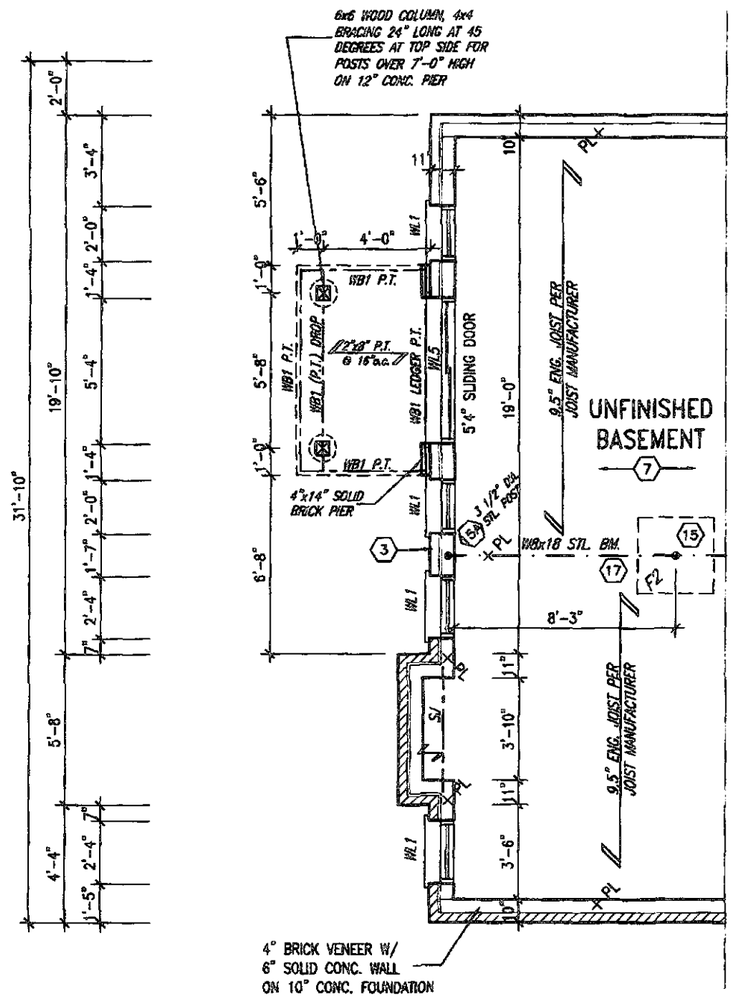
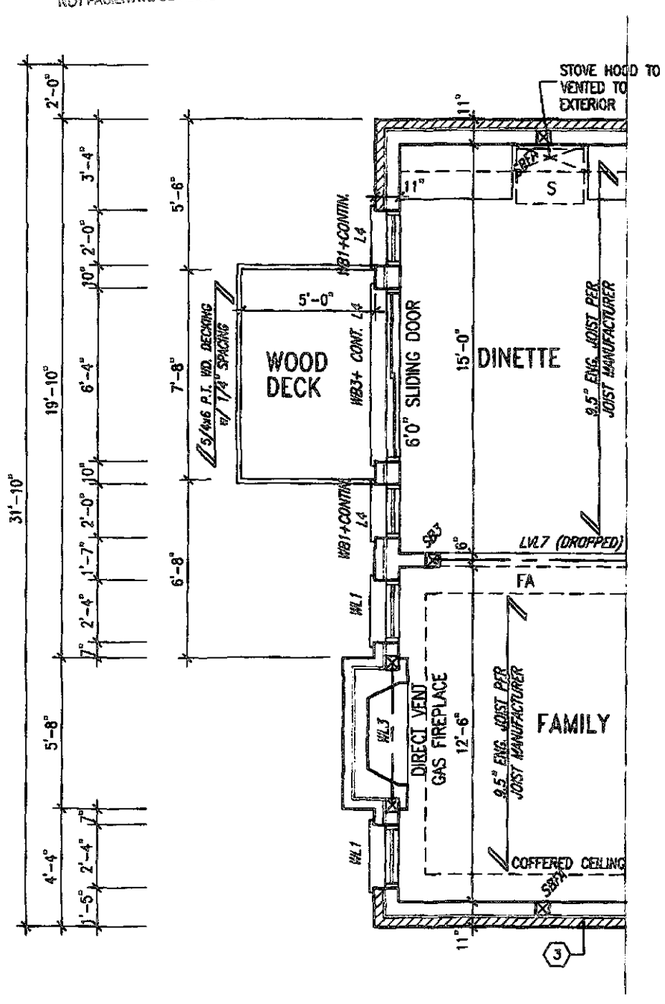


PARTIAL BASEMENT PLAN
WALKOUT CONDITION



PARTIAL GROUND FLOOR PLAN
WALKOUT CONDITION

REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS . BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WALKOUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5-3) FOR ADDITIONAL WOOD DECK INFORMATION.

RECEIVED
JAN 13 2019
TOWN OF CALEDON
PLANNING SECTION

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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

FEB 14 2019

PRESTON 3
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specification information
Richard Vink — signature — 24488
name — registration information
VA3 Design Inc. — 42658

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va3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	PARTIAL PLANS- WALKOUT CONDITION
drawn by: GW	checked by: -
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A13	

2959 SF.

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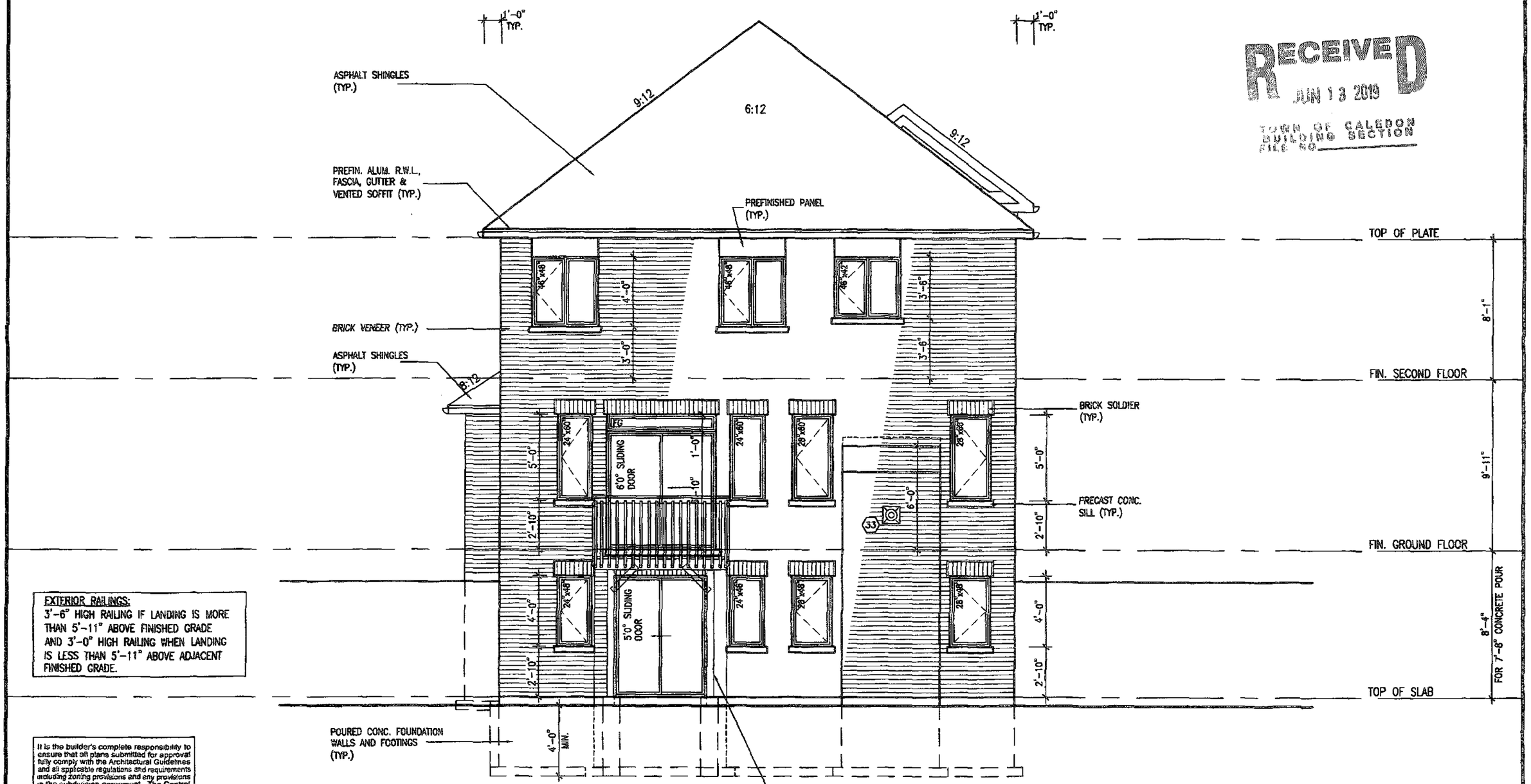
RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.



EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

REAR ELEVATION '1'– WALKOUT CONDITION

6x6 WOOD COLUMN, 4x4 BRACING 24" LONG AT 45 DEGREES AT TOP SIDE FOR POSTS OVER 7'-0" HIGH ON 12" CONC. PIER

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FEB 14 2019

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2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
name: Richard Vink — signature — 6009
registration information
VA3 Design Inc. — 42658

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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2	municipality: CALEDON
PRESTON 3 11.6m	project no. 18023
date: SEPT. 2018	REAR ELEVATION '1' – WALKOUT CONDITION
drawn by: GW	checked by: –
scale: 3/16" = 1'-0"	file name: 18023-PRESTON-3
drawing no. A14	

2959 SF.

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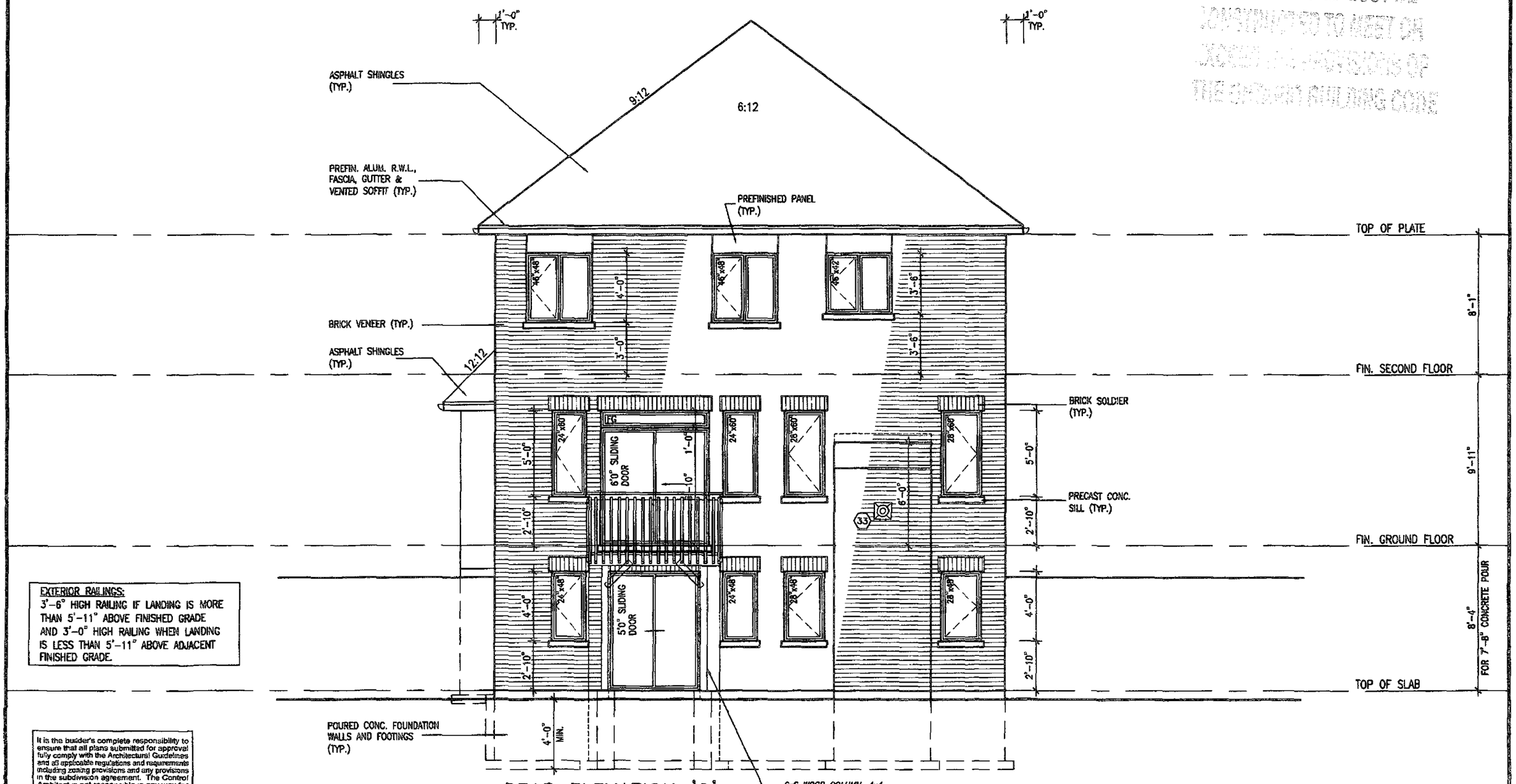

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

REAR ELEVATION '2'- WALKOUT CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

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2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

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qualification information
Richard Vink — signature — 24486
name — registration information
VA3 Design Inc. — 42658

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va3design.com

Greenpark.

project name	LAMBERTS LANE HOME CORP. PH.2
municipality	CALEDON
project no.	18023
date	SEPT. 2018
drawing title	REAR ELEVATION '2' - WALKOUT CONDITION
drawn by	GW
checked by	-
scale	3/16" = 1'-0"
file name	18023-PRESTON-3
drawing no.	A14a

PRESTON 3
11.6m