

2959 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

- 120 KPa NATIVE SOIL
- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 - 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
- 100 KPa NATIVE SOIL
- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 - 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR
 - 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
- 90 KPa ENGINEERED FILL SOIL
- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
 - 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

- 120 KPa NATIVE SOIL
- F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
- 100 KPa NATIVE SOIL
- F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD
- 90 KPa ENGINEERED FILL SOIL
- F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

BRICK VENEER LINTELS (WL)

- WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

- WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

- L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (ORC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

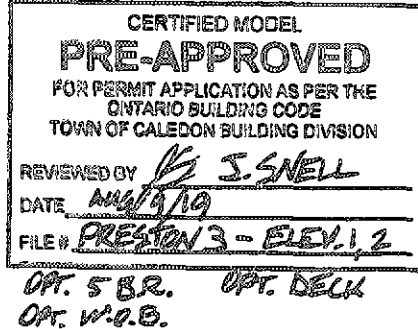
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ROOF FRAMING

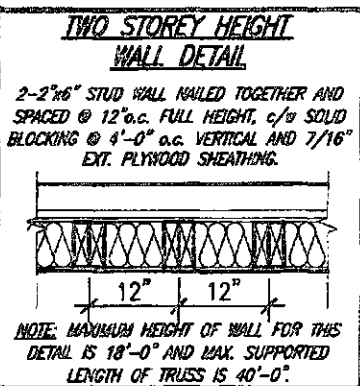
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:	
ENERGY STAR V-17	
JANUARY 2018	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)
WALLS ABOVE GRADE	4.75 (R22+R5)
BASEMENT WALLS	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT	98% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 HLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 HLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs



STRUDET INC.
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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
PRESTON 3, ELEVATION 1		ENERGY EFFICIENCY - ENERGY STAR	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	591.69 S.F.	148.36 S.F.	25.07 %
LEFT SIDE	1140.42 S.F.	72.17 S.F.	6.33 %
RIGHT SIDE	1140.42 S.F.	53.00 S.F.	4.65 %
REAR	591.69 S.F.	143.69 S.F.	24.28 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3464.22 S.F.	417.22 S.F.	12.04 %
TOTAL SQ. M.	321.83 S.M.	38.76 S.M.	12.04 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
PRESTON 3, ELEVATION 2		ENERGY EFFICIENCY - ENERGY STAR	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	591.69 S.F.	141.39 S.F.	23.90 %
LEFT SIDE	1160.25 S.F.	72.17 S.F.	6.22 %
RIGHT SIDE	1160.25 S.F.	53.00 S.F.	4.57 %
REAR	591.69 S.F.	143.69 S.F.	24.28 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3503.88 S.F.	410.25 S.F.	11.71 %
TOTAL SQ. M.	325.52 S.M.	38.11 S.M.	11.71 %

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

APPLICANT COPY

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JUN 13 2019

TOWN OF CALEDON
BUILDING DIVISION
FILE NO.



ENERGY STAR- V 17

PRESTON 3
ENERGY STAR

Electrical Contractor
Registration Agency

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (872-7239).
PLUG IN SAFELY HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.plugsafely.ca

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP 25/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP 19/18	GW

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
drawing no.
18023-
date
SEPT. 2018
drawn by
checked by
3/16" = 1'-0"

PRESTON 3
11.6m
project no.
18023
drawing no.
A0

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INDICATES REDUCED SIDE YARD CONDITION



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STRUDET INC.
FOR STRUCTURE ONLY

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

DEC 20 2018

PRESTON 3
ENERGY STAR

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TOWN OF CALEDON
CLERKING SECTION

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11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18
no.	description	date	by	no.	description	date

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Outcome Subbing Code to be a Designer.

qualification information

Richard Vink 24

name

signature

registration information

VAS Design Inc. 42

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.476
va3design.com

***Greenpark.**

Project name AMBERTS LANE HOME CORP. PH.2

Site EPT. 2018

Owner by -

dated by -

scale 3/16" = 1'-0"

BASEMENT

PRESTON 3
11.6m

project no.
18023

- ELEV. '1'
the corner

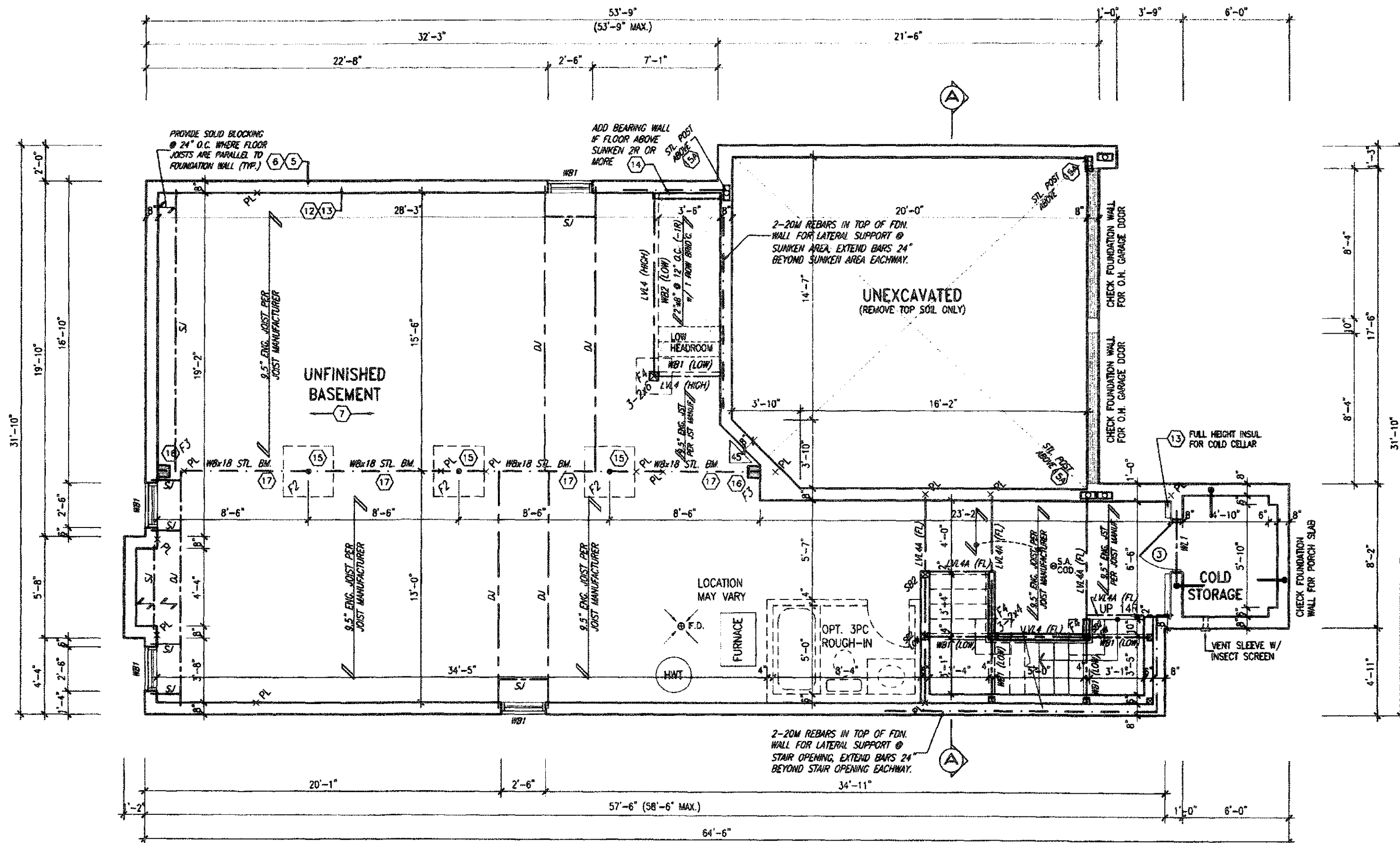
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drawing no.
A1

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INDICATES REDUCED SIDE YARD CONDITION

2959 SF.



BASEMENT PLAN - ELEV. '2'

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1500 MM

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

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PRESTON 3 ENERGY STAR

FEB 06 2019

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STRUDET INC. FOR STRUCTURE ONLY

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11		2	REVISED ROOF SLOPES PER A.C.	SEP 25/18	GW
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW	SEP 19/18	GW
no. description	date	by	no. description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink 24488
 BCN
 signature
 Vink
 42658
 VAS Design Inc.
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 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

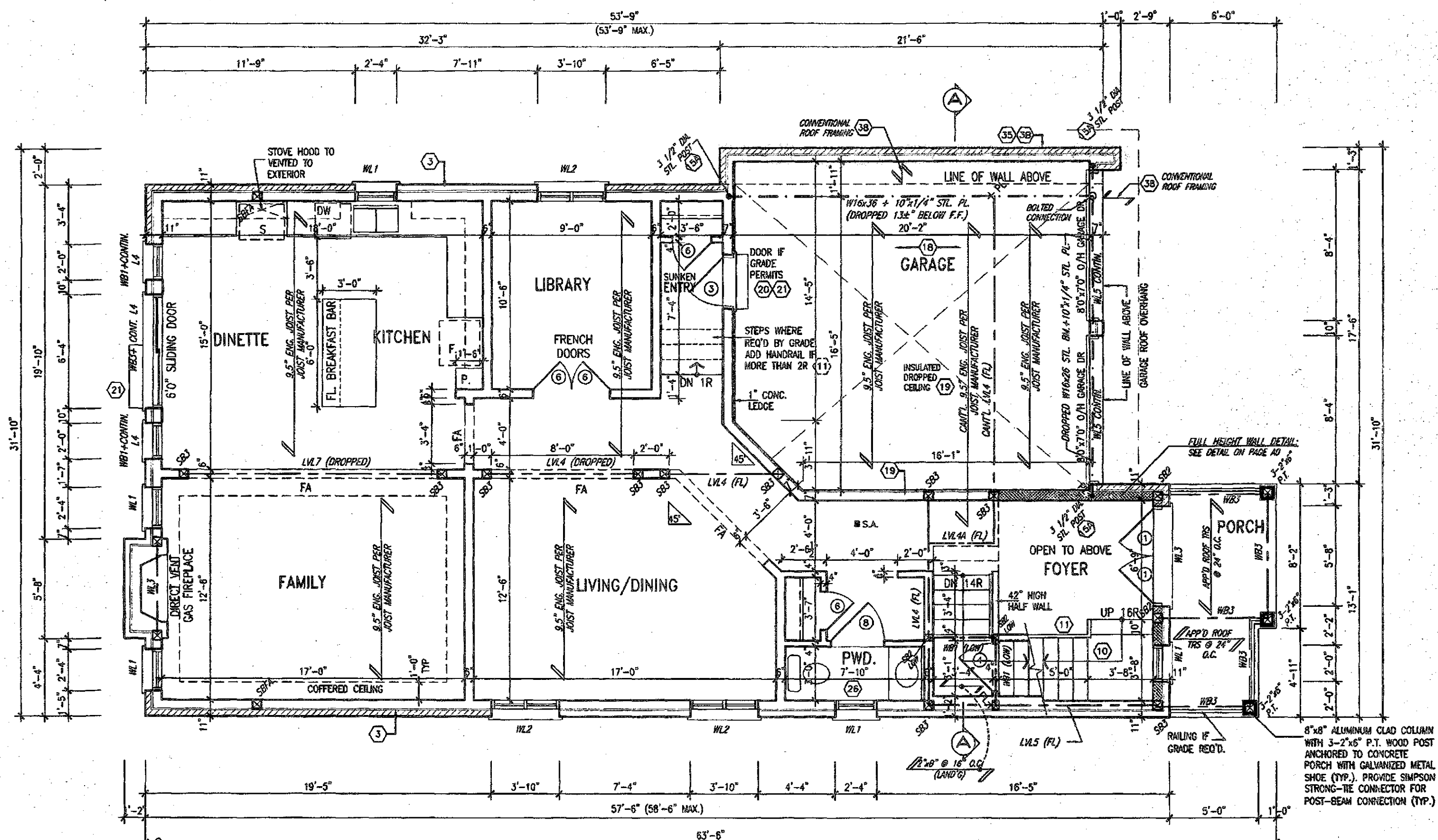
Greenpark.
 project name
 LAMBERTS LANE HOME CORP. PH.2
 municipality
 CALEDON
 date
 SEPT. 2018
 drawn by
 GW
 checked by
 3/16" = 1'-0"
 scale
 BASEMENT PLAN - ELEV. '2'
 18023-PRESTON-3

PRESTON 3
 11.6m
 project no.
 18023
 drawing no.
 A1a

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2959 SF.

45 MIN. F.R.R.



GROUND FLOOR PLAN - ELEV. '1'

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

ALL INFORMATION CONTAINED
HEREIN IS UNCLASSIFIED
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THE NATIONAL ARCHIVE CODE

DEC 20 2018

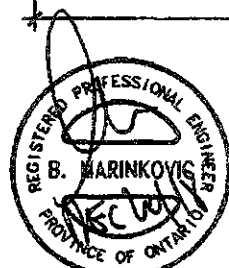
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TOWN OF CALEDON
BUILDING SECTION

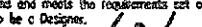
PRESTON 3
ENERGY STAR

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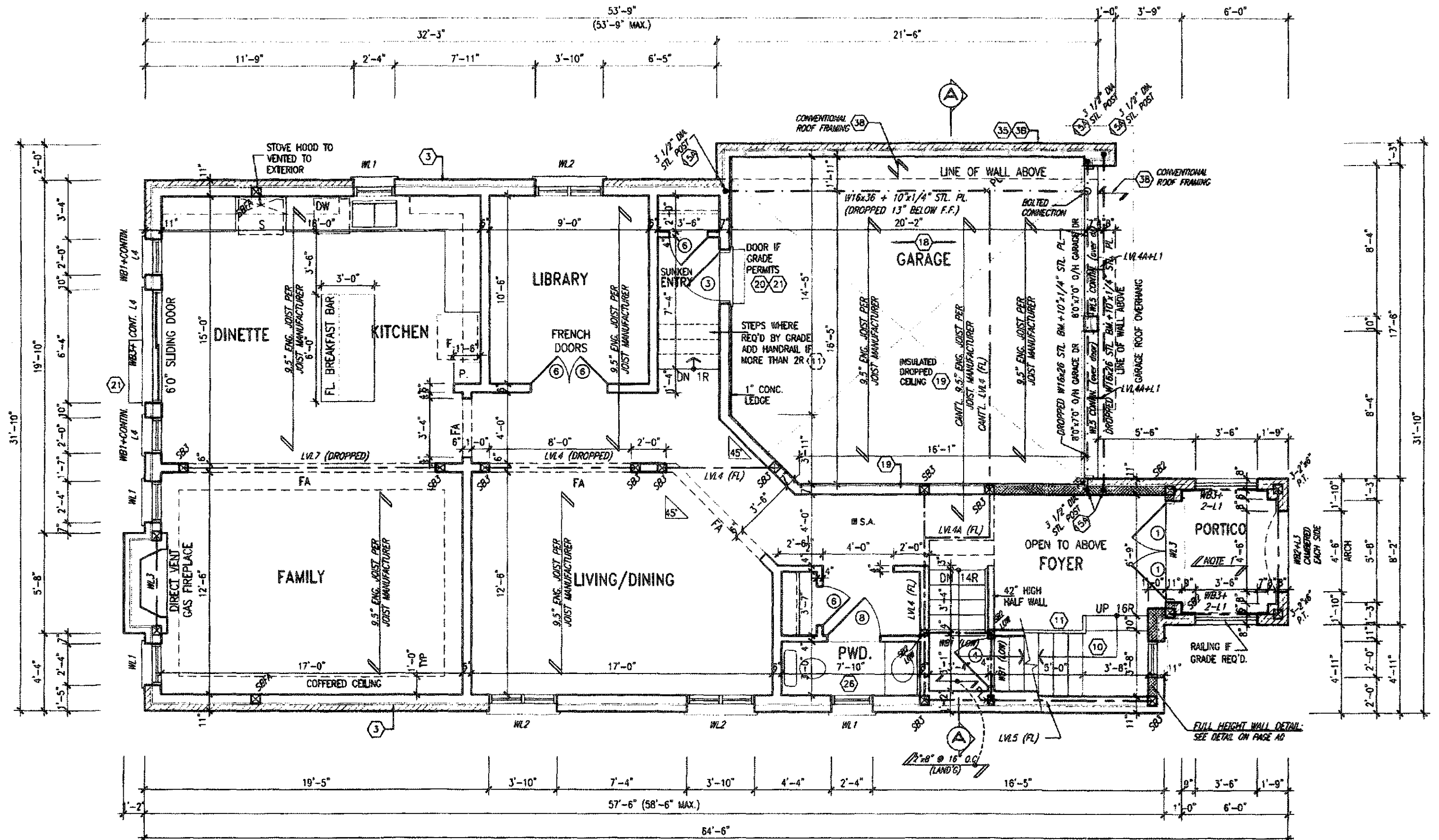
STRUDET INC.
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18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Richard Vink  24488 BOH	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 T 416.630.2255 F 416.630.4762 va3design.com	 Project name LAMBERTS LANE HOME CORP. PH.2 Municipality CALEDON Date Sept. 2018 Drawn by - Checked by - Scale 3/16" = 1'-0" Title GROUND FLOOR PLAN - ELEV. '1' DWG - NORTHWESTERN 2018-022251-0001-01-001-001-PRESTON-1.dwg - Sheet 22 of 22 - PLOT FILE 18023-PRESTON-3	PRESTON 3 11.6m Project No. 18023 Drawing No. A2
17			8						
16			7						
15			6						
14			5						
13			4						
12			3						
11			2						
10			1						
no.	description	date	by	no.	description	date	by		
				4	ISSUED FOR PERMIT.	DEC 20/18	GW		
				5	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW		
				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW		
				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW		

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INDICATES REDUCED SIDE YARD CONDITION

2959 SF.



GROUND FLOOR PLAN - ELEV. '2'

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
W/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
W/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

PRESTON 3
ENERGY STAR

FEB 06 2019



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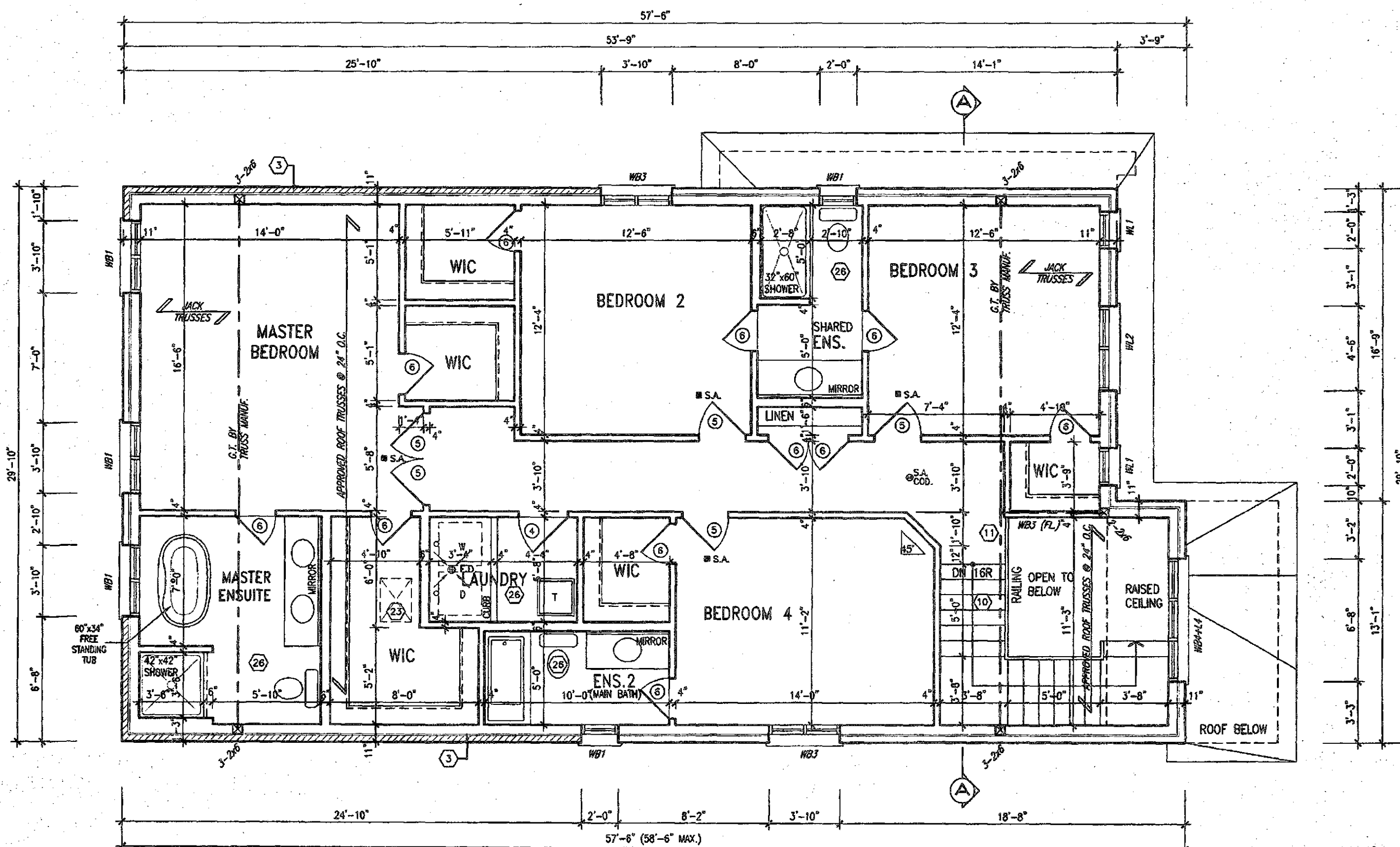
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qualification information
Richard Vink
signature
24488
BCR
42658
VAS Design Inc.
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VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
city
CALEDON
date
SEPT. 2018
checked by
scale
3/16" = 1'-0"

PRESTON 3
11.6m
project no
18023
drawing no.
A2a

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SECOND FLOOR PLAN (4 BED) - ELEV. '1'

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

DEC 20 2018

PRESTON 3
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



STRUDET INC.
FOR STRUCTURE ONLY

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3
3.6.3.8.(1)(d) & 3.6.3.13.(1)(f).

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	
16				7	-	-	qualification information:
15				6	-	-	Richard Vink
14				5	-	-	<i>R Vink</i> 2448
13				4	ISSUED FOR PERMIT.	DEC 20/18 GW	signature BC
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18 GW	registration information A255
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18 GW	VAS Design Inc.
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18 GW	
no.	description	date	by	no.	description	date	by

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark

Project name
AMBERTS LANE HOME CORP. PH.2 **CALL**

to
SEPT. 2018 **SECOND FLOOR**

Can be
#

checked by notes
= **3/16" = 1'-0"**

PRESTON 3
11.6m

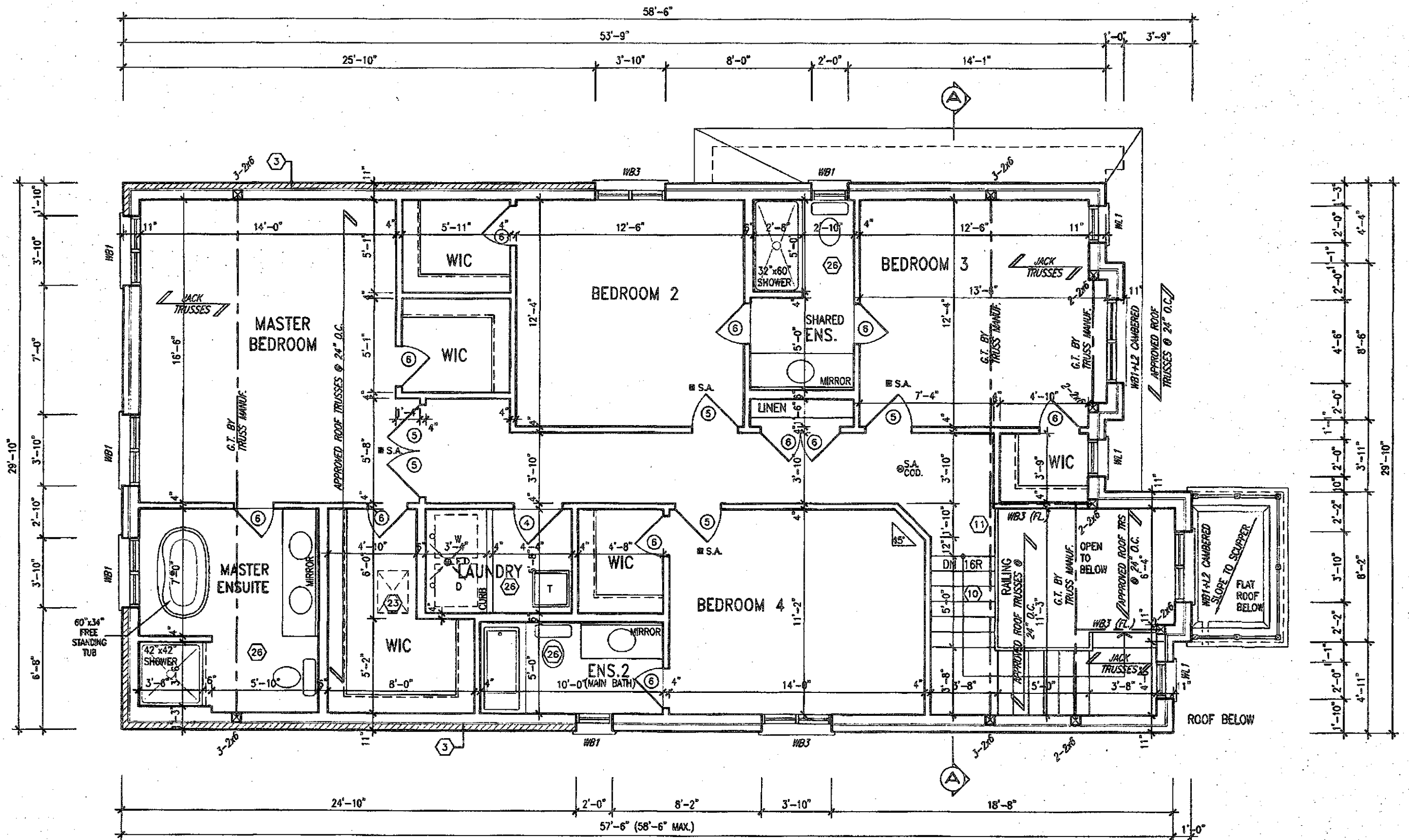
project no.
18023

N - ELEV. '1'

file name
18023-PRESTON-3

drawing no.
A3

2959 SF.



SECOND FLOOR PLAN (4 BED) - ELEV. '2'

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

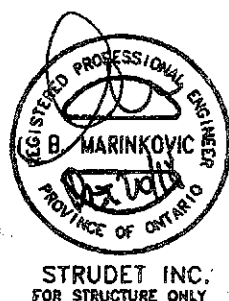
SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

DEC 20 2018

PRESTON 3 ENERGY STAR

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STRUDET INC. FOR STRUCTURE ONLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(i).

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	ISSUED FOR PERMIT	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
signature
registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

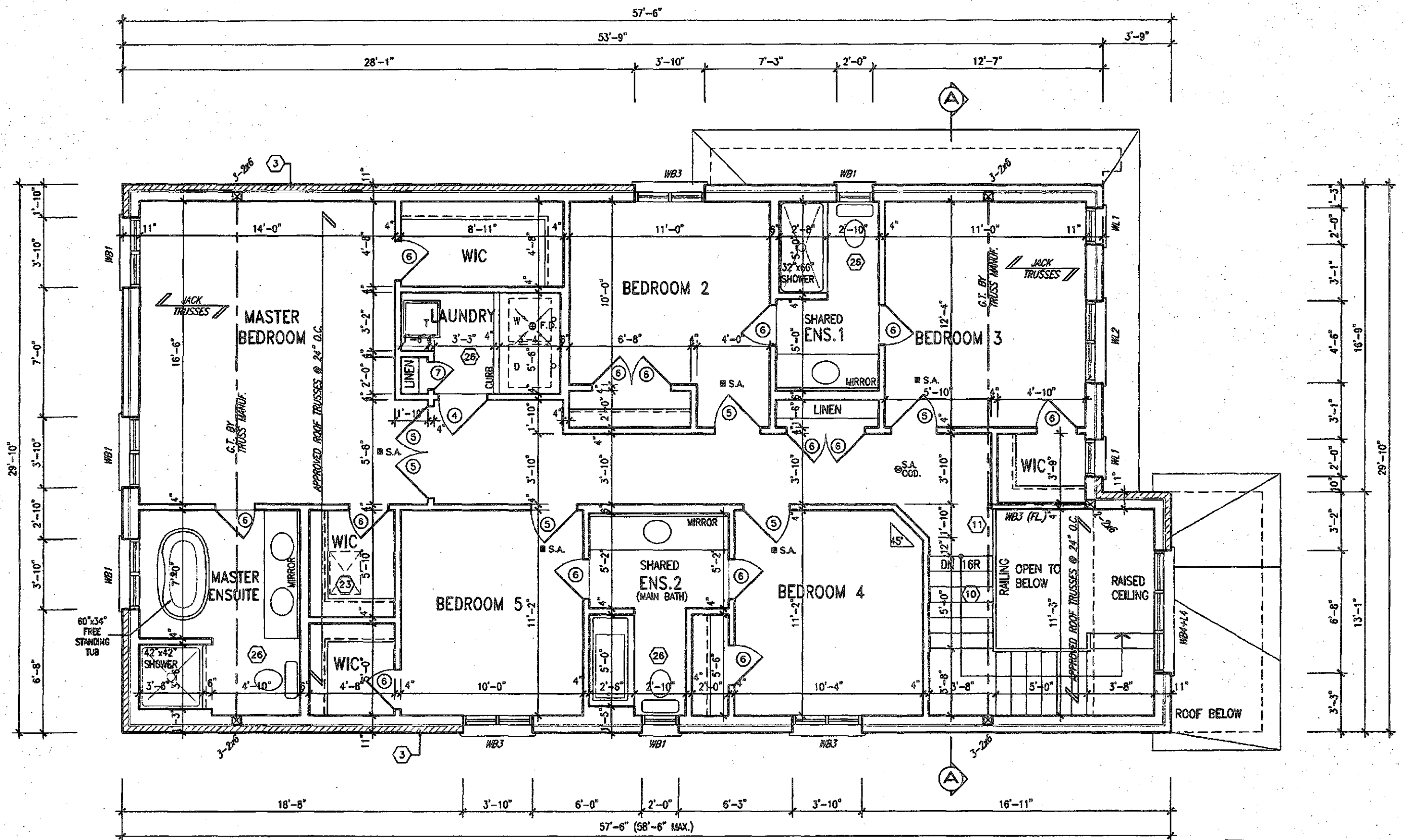
VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
date
SEPT. 2018
drawn by
GW
checked by
3/16" = 1'-0"

PRESTON 3
11.6m
project no.
18023
drawing no.
A3a

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2959 SF.

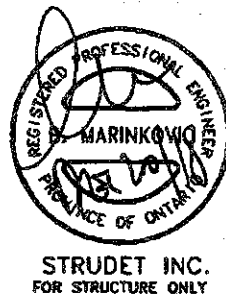


OPT. SECOND FLOOR PLAN (5 BED) - ELEV. '1'

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(a) & 3.8.3.13.(1)(f).



STRUDET INC.
FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

DEC 20 2018

PRESTON 3
ENERGY STAR
11.6m

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW
9							

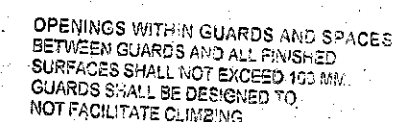
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
BCO
signature
VA3 Design Inc. 42658

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 416.630.4782
va3design.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
date
SEP. 2018
drawn by
GW
scale
3/16" = 1'-0"
18023-PRSTON-3

PRESTON 3
11.6m
project no.
18023
drawing no.
A4

THE CHAIRMAN OF THE BOARD OF
DIRECTORS OF THE
UNITED STATES DEPARTMENT OF
THE ARMY
WASHINGTON, D. C.



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

RECEIVED
JUN 10 1966
U.S. AIR FORCE
AIR FORCE OFFICE OF SPECIAL INVESTIGATION
WASHINGTON, D.C.

it is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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STRUDET INC.
FOR STRUCTURE ONLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 3.8.3.8.(1)(u) & 3.8.3.13.(1)(v).

		-	9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
18		-	8			qualification information
17		-	7			Bishard Vink R Vink signature 2446
16		-	6			name registration information WAS Design Inc. 4265
15		-	5			
14		-	4	ISSUED FOR PERMIT DEC 20/18 GW		
13		-	3	ROOF-FLOOR-ENG. CO-ORD. NOV 29/18 GW		
12		-	2	REVISED ROOF SLOPES PER A.C. SEP. 25/18 GW		
11		-	1	PRELIMINARY ISSUED FOR CLIENT REVIEW SEP. 19/18 GW		
10		-	no.	description date by no.	description	date by

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**VA3
DESIGN**

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name	city/township
LAMBERTS LANE HOME CORP. PH.2	CALEDON

DATE: SEPT. 2018
 DRAWN BY: checked by: scale: 3/16" = 1'-0"
 FILE NAME: 16023-PRESTICH-3

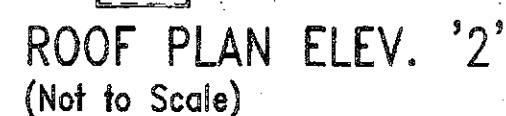
PRESTON 3
11.6m

A4a

THE OFFICE OF THE ATTORNEY GENERAL
OF THE STATE OF NEW YORK
IN SENATE
JANUARY 10, 1912
REPORT

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THE DEPARTMENT OF THE ARMY
OFFICE OF THE CHIEF OF STAFF
WASHINGTON, D. C. 20315



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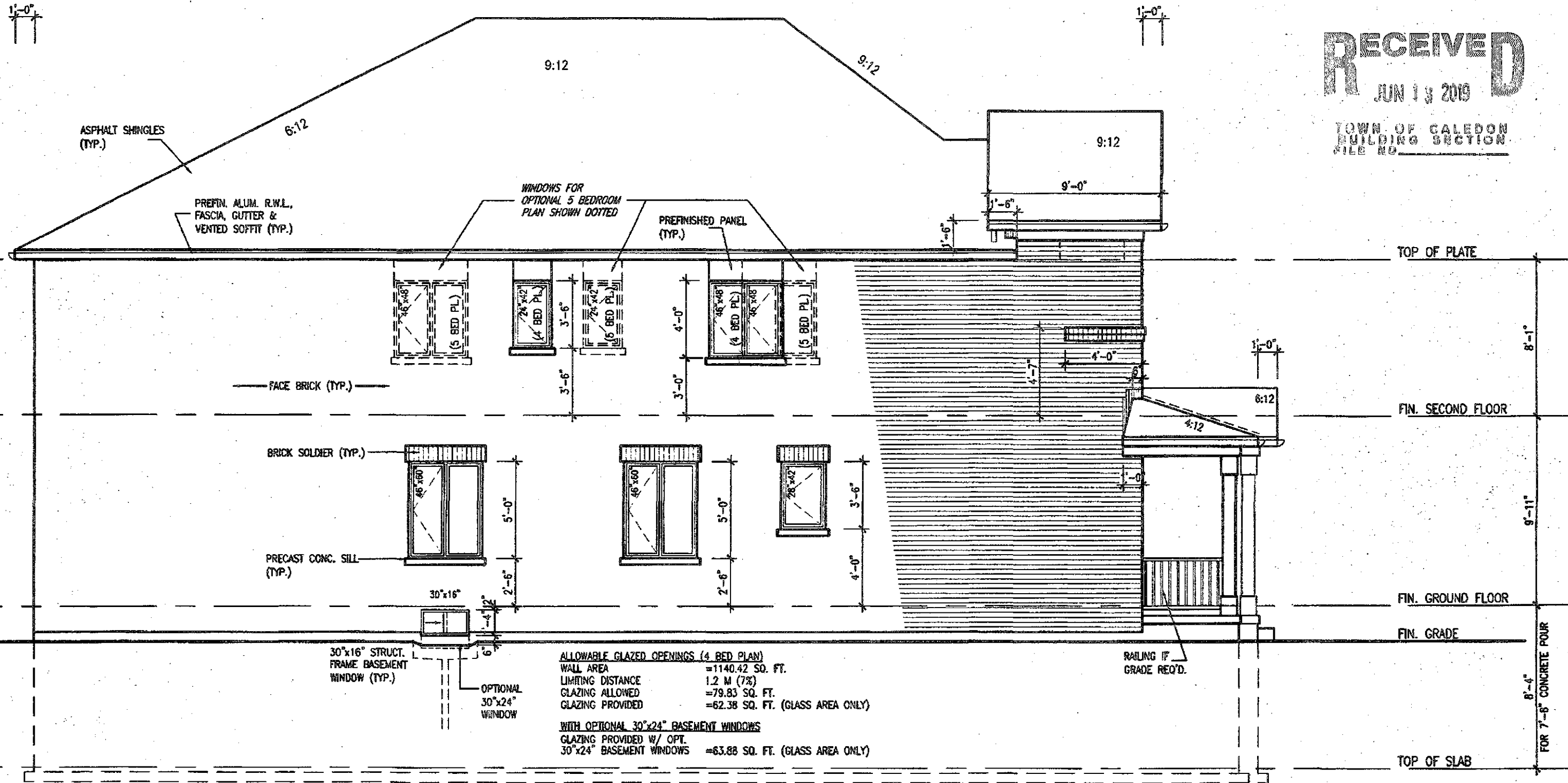
2959 SF.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



LEFT SIDE ELEVATION '1'

ALLOWABLE GLAZED OPENINGS (4 BED PLAN)
WALL AREA = 1140.42 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED = 79.83 SQ. FT.
GLAZING PROVIDED = 62.38 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 83.88 SQ. FT. (GLASS AREA ONLY)

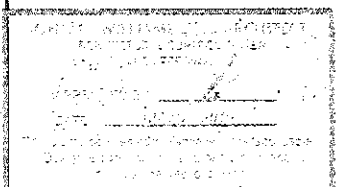
ALLOWABLE GLAZED OPENINGS (5 BED PLAN)
WALL AREA = 1140.42 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED = 79.83 SQ. FT.
GLAZING PROVIDED = 75.82 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 77.32 SQ. FT. (GLASS AREA ONLY)

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	ISSUED FOR PERMIT	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP 25/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP 19/18	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
BCR
signature
V.A.S. Design Inc. 42658
The undersigned must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

DEC 20 2018

PRESTON 3
ENERGY STAR

Greenpark.

PRESTON 3
11.6m

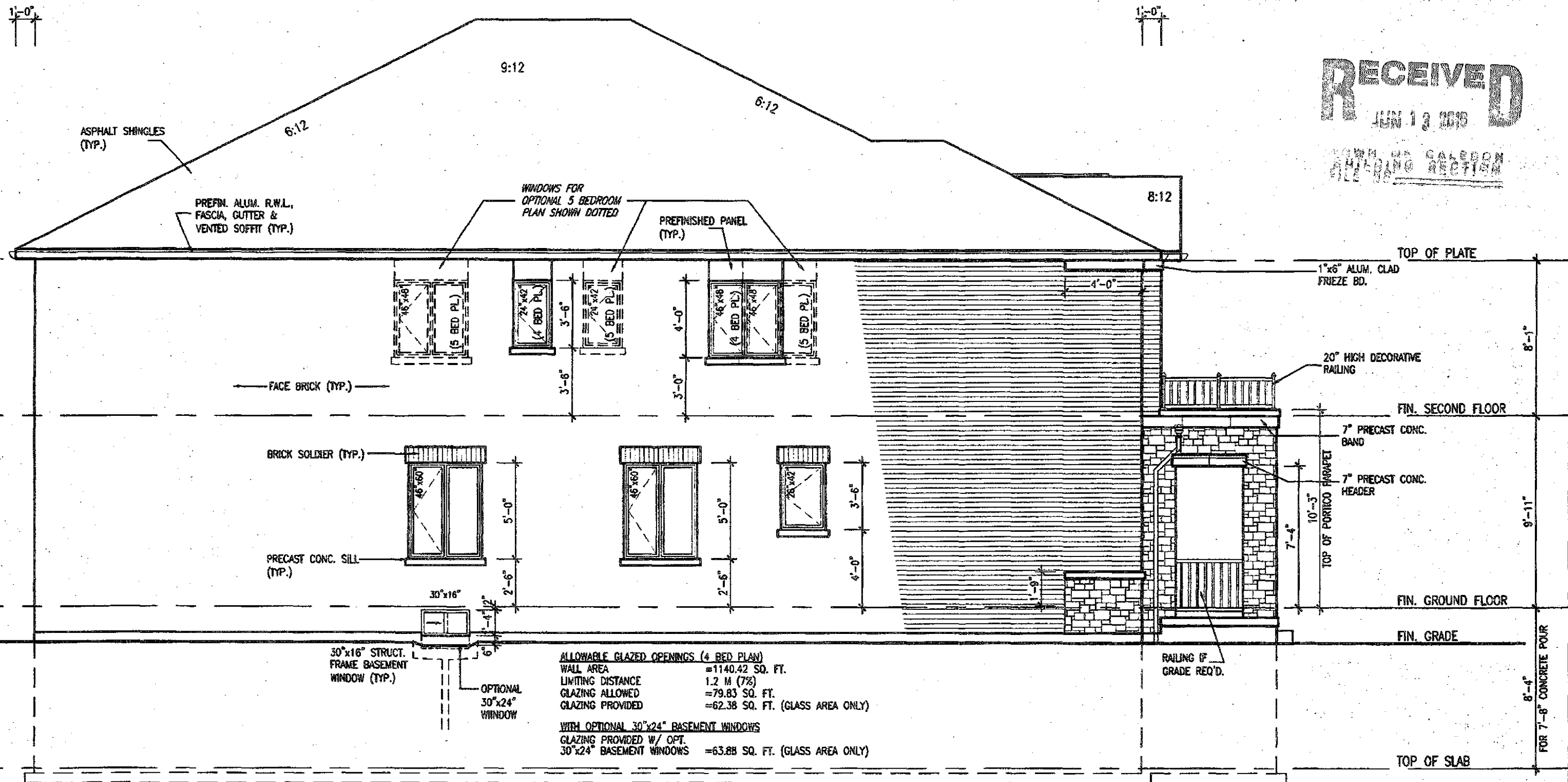
project name	LAMBERTS LANE HOME CORP. PH.2	municipality	CALEDON	project no.	18023
date	SEP. 2018	checked by	3/16" = 1'-0"	drawing no.	A6
drawn by	GW	scale	3/16" = 1'-0"	file name	18023-PRESTON-3
date	SEP. 2018	checked by	3/16" = 1'-0"	file name	18023-PRESTON-3

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2959 SF.

THIS STRUCTURE MUST BE
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EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

RECEIVED
JUN 13 2019
TOWN OF CALEDON
BUILDING DEPARTMENT



LEFT SIDE ELEVATION '2'

ALLOWABLE GLAZED OPENINGS (4 BED PLAN)
WALL AREA = 1140.42 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED = 79.83 SQ. FT.
GLAZING PROVIDED = 62.38 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS = 63.88 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS (5 BED PLAN)
WALL AREA = 1140.42 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED = 79.83 SQ. FT.
GLAZING PROVIDED = 75.82 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS = 77.32 SQ. FT. (GLASS AREA ONLY)

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

DEC 20 2018

PRESTON 3
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

APPROVED FOR THE TOWN OF CALEDON
ARCHITECTURAL CONTROLLER
[Signature]
TOWN OF CALEDON

18			9		
17			8		
16			7		
15			6		
14			5		
13			4	ISSUED FOR PERMIT.	DEC 20/18 GW
12			3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18 GW
11			2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18 GW
no.	description	date	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Richard Vink 24488
name registration information 8091
signature
VA3 Design Inc. 42653
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
Project name LAMBERTS LANE HOME CORP. PH.2 municipality CALEDON
Date SEPT. 2018
Drawn by GW
Checked by 3/16" = 1'-0"
Scale 18023-PRESTON-3
Title name
Drawing no. A6a

PRESTON 3
11.6m
project no. 18023
drawing no. A6a

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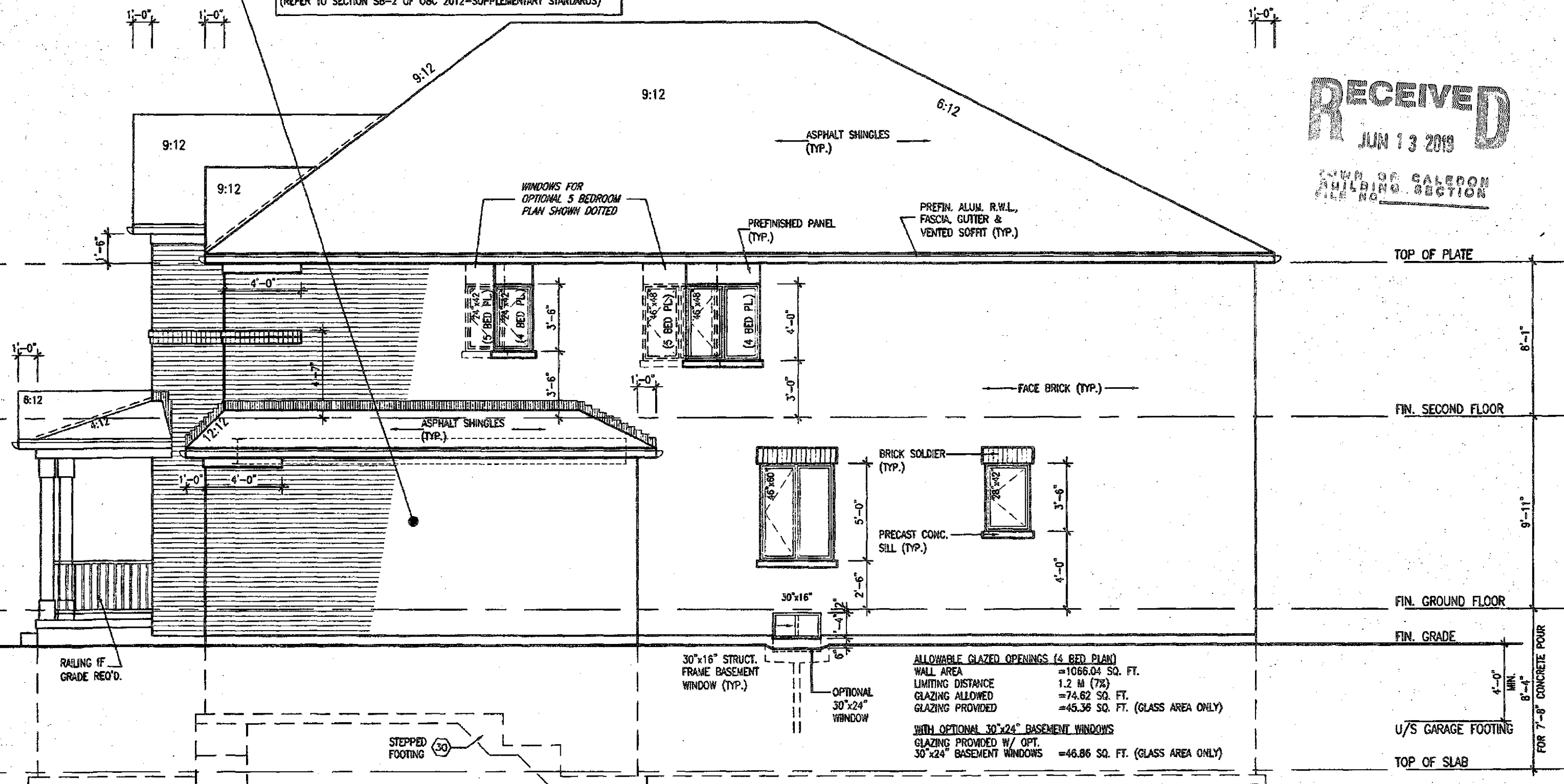
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CURRENT BUILDING CODE

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

RECEIVED
JUN 13 2019

TOWN OF CALEDON
BUILDING SECTION



RIGHT SIDE ELEVATION '1'

ALLOWABLE GLAZED OPENINGS (5 BED PLAN)

WALL AREA	=1068.04 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=74.62 SQ. FT.
GLAZING PROVIDED	=45.36 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	=46.88 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS (5 BED PLAN)	
WALL AREA	=1068.04 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=74.62 SQ. FT.
GLAZING PROVIDED	=45.36 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS = 46.86 SQ. FT. (GLASS AREA ONLY)

DEC 20 2018 PRESTON 3 ENERGY STAR

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17			8				
16			7			qualification information	
15			6			Richard Vink 24488	
14			5			signature BCS	
13			4	ISSUED FOR PERMIT.	DEC 20/18	name registration information	
12			3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	VA3 Design Inc. 42658	
11			2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	Designer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
10			1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	SEP. 19/18		
no.	description	date	by	no.	description	date	by



VA3
DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2 municipality
CALEDON

date
SEPT. 2018 drawing no.
18023

drawn by
3/16" = 1'-0" title
RIGHT SIDE ELEVATION - ELEV. '1'

GSW - H:\GSW\2018\20180925\VA3-18023-CALEDON PH.2\2018-09-25-VA3-18023-CALEDON.dwg - Thu - Sep 22 2018 - 1:45 PM

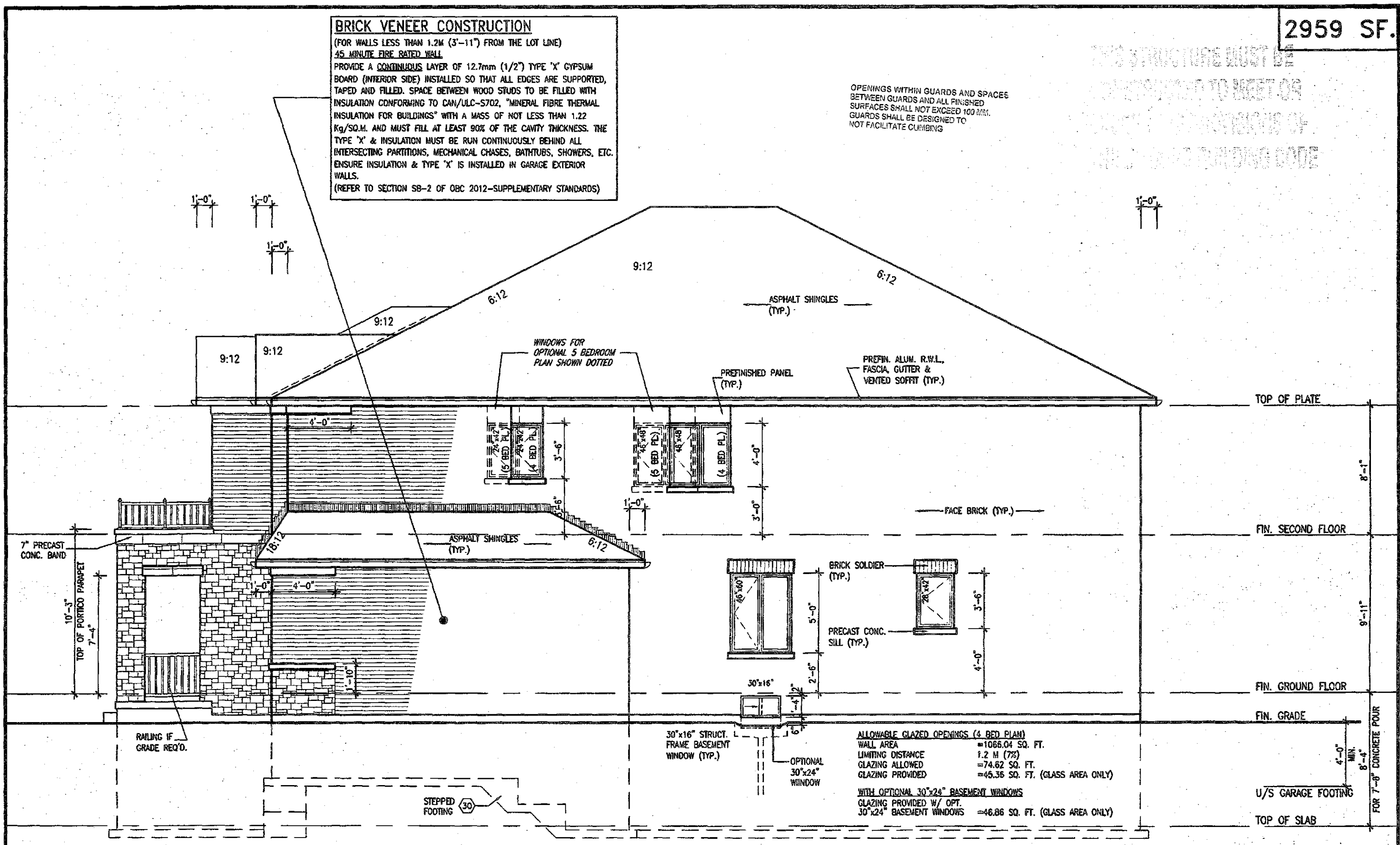
A7

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2959 SF.

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



RIGHT SIDE ELEVATION '2'

ALLOWABLE GLAZED OPENINGS (4 BED PLAN)
WALL AREA = 1066.04 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED = 74.62 SQ. FT.
GLAZING PROVIDED = 45.36 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 46.86 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS (5 BED PLAN)
WALL AREA = 1066.04 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED = 74.62 SQ. FT.
GLAZING PROVIDED = 45.36 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 46.86 SQ. FT. (GLASS AREA ONLY)

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	ISSUED FOR PERMIT	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP 25/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP 19/18	GW
9							

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
drawing no.
18023-PRESTON-3
date
SEPT. 2018
checked by
3/16" = 1'-0"

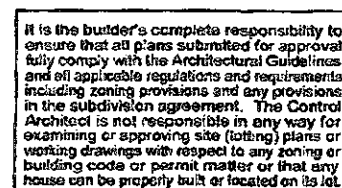
PRESTON 3
11.6m
project no.
18023
drawing no.
A7a

DEC 20 2018

PRESTON 3
ENERGY STAR

THE OFFICE OF THE ATTORNEY GENERAL
CONSTITUTIONAL BUREAU OF
EXAMINATION
THE OFFICE OF THE ATTORNEY GENERAL

RECEIVED
JUN 13 2013
SOUTH
TELEPHONE SECTION



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]

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THE STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE AMERICAN BIRMINGHAM CODE



 Greenpark.		PRESTON 3 11.6m
project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON	project no. 18023
date SEPT. 2018	drawing no. REAR ELEVATION - ELEV. '2'	
drawn by SW	checked by ~	scale 3/16" = 1'-0"
file name 18023- PRESTON-3		A8a

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THE UNITED STATES GOVERNMENT
CONSTITUTIONAL COMMISSION
OFFICE OF THE ATTORNEY GENERAL
WASHINGTON, D.C. 20540

SALE OF
SECTION



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

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PRESTON 3
ENERGY STAR

18		9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17		8				qualification information	
16		7				Richard Vink	24488
15		6				<i>R. Vink</i>	6031
14		5				signature	
13		4	ISSUED FOR PERMIT.	DEC 20/18	GW	some registration information	42658
12		3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW	VAS Design Inc.	
11		2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW		
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW		
no. description		date	by	no. description	date	by	

VAS DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2N 1R4
1 416.630.2235 / 416.630.4782
vasdesign.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2

date
SEPT. 2018

drawn by
GW

checked by
-

scale
3/16" = 1'-0"

municipality
CALEDON

SECTION A-A, ELEV. '1'

18823-PRESTON-3

PRESTON 3

11.6m

project no.
18023

drawing no.
A9

ALL OTHER INFORMATION RELATIVE TO THIS CASE IS BEING HANDLED AS A SEPARATE MATTER.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

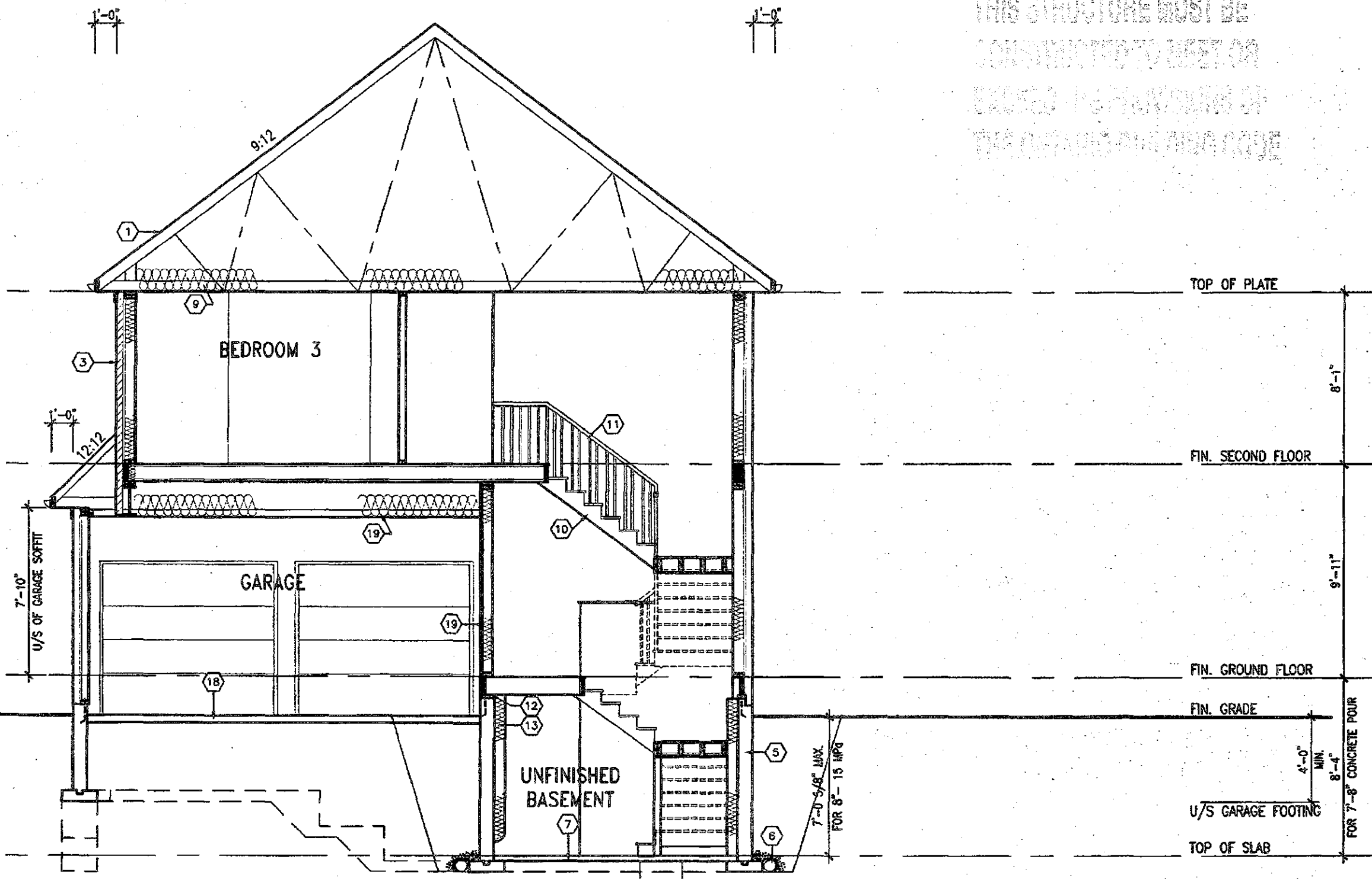
1. The first step is to identify the problem or question that needs to be addressed. This involves understanding the context and the specific requirements of the task.

2. Next, it is important to gather relevant information and data. This can be done through research, consultation with experts, or by analyzing existing data sets.

3. Once the information is gathered, the next step is to develop a plan or strategy to solve the problem. This plan should outline the steps to be taken and the resources needed.

4. The fourth step is to implement the plan. This involves carrying out the tasks outlined in the plan and monitoring progress as you go.

5. Finally, it is important to evaluate the results of the process. This involves comparing the actual outcomes with the expected results and identifying any areas for improvement.



SECTION A-A
ELEVATION '29



STRUDET INC.
FOR STRUCTURE ONLY

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DEC 20 2018

PRESTON 3
ENERGY STAR

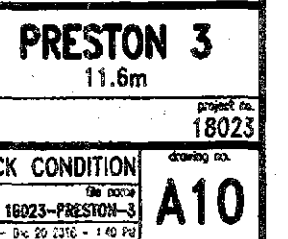
[illegible]

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THIS DOCUMENT CONTAINS
UNCLASSIFIED INFORMATION
DATE 01-10-2001 BY 60322
REASON: 25X(1)
FOR OFFICIAL USE ONLY
STANDARD FORM NO. 64

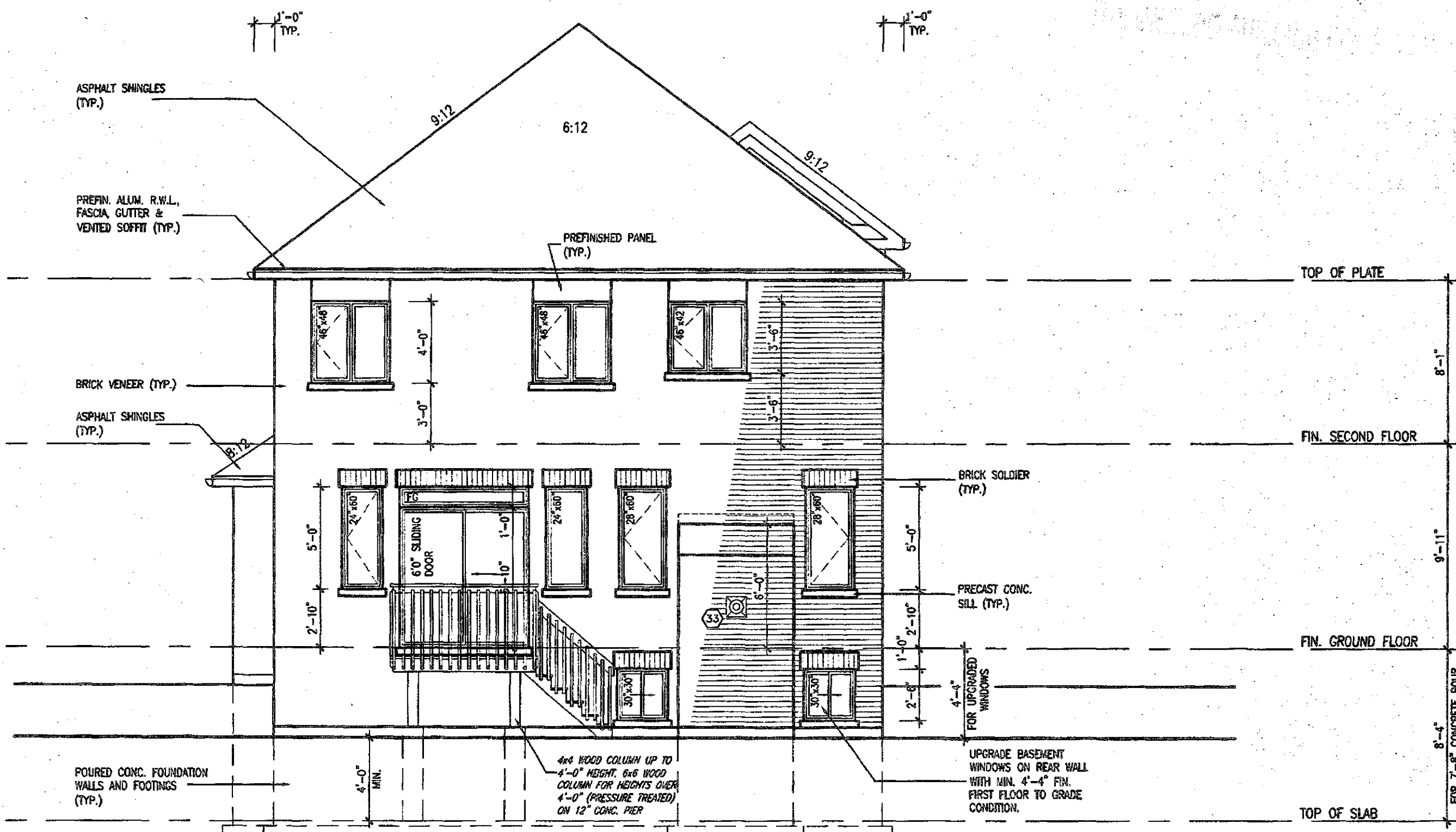


VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



PRESTON 3
ENERGY STAR

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



REAR ELEVATION '1'-
DECK CONDITION

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

DEC 20 2018

PRESTON 3
ENERGY STAR

[illegible]

As shown, the findings reflect the importance and design of the economic security of VAS DESIGN. Protection of the security is what is in fact a security measure within VAS DESIGN, within the security.

2959 SF.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE OFFICIAL BUILDING CODE

RECEIVED
JUN 13 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

ASPHALT SHINGLES
(TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

6:12

9:12

PREFINISHED PANEL
(TYP.)

BRICK VENEER (TYP.)

ASPHALT SHINGLES
(TYP.)

12:12

BRICK SOLDIER
(TYP.)

PRECAST CONC.
SILL (TYP.)

FOR UPGRADED
WINDOWS

UPGRADE BASEMENT
WINDOWS ON REAR WALL
WITH MIN. 4'-4" FIN.
FIRST FLOOR TO GRADE
CONDITION.

POURED CONC. FOUNDATION
WALLS AND FOOTINGS
(TYP.)

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT. 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED)
ON 12" CONC. PIER

TOP OF PLATE

FIN. SECOND FLOOR

FIN. GROUND FLOOR

TOP OF SLAB

FOR 7'-8" CONCRETE POUR

REAR ELEVATION '2'-
DECK CONDITION

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REFER TO FINAL GRADING PLAN.

DEC 20 2018

PRESTON 3
ENERGY STAR

18			9		
17			8		
16			7		
15			6		
14			5		
13			4	ISSUED FOR PERMIT.	DEC 20/18 GW
12			3	ROOF-FLOOR-ENG CO-ORD.	NOV 29/18 GW
11			2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24468
signature
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2

municipality
CALEDON

PRESTON 3
11.6m

project no.
18023

date
SEPT. 2018

checked by
3/18 = 1'-0"

REAR ELEVATION '2' - DECK CONDITION

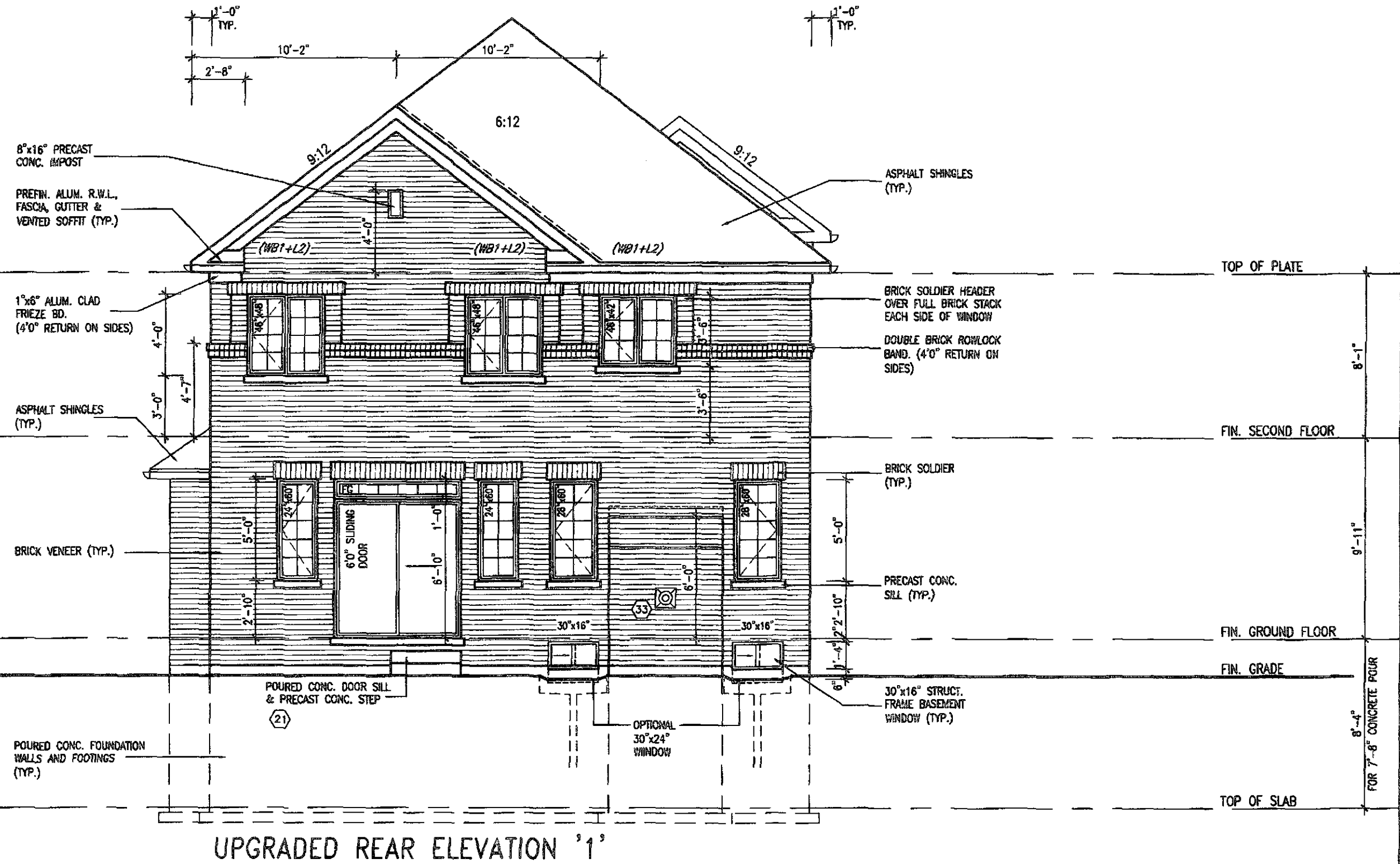
18023-PRESTON-3

drawing no.
A11a

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2959 SF.

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EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE



UPGRADED REAR ELEVATION '1'

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 14 2019

PRESTON 3
ENERGY STAR



no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	UPGRADED REAR ELEV ISSUED FOR REVIEW.	JAN 24/19	GW
13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
42658
VAS Design Inc.
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
date
SEPT. 2018
drawn by
GW
checked by
3/16" = 1'-0"

PRESTON 3
11.6m
project no.
18023
drawing no.
A12
18023-REAR ELEV. '1'
18023-REAR ELEV. '1'
18023-REAR ELEV. '1'
18023-REAR ELEV. '1'

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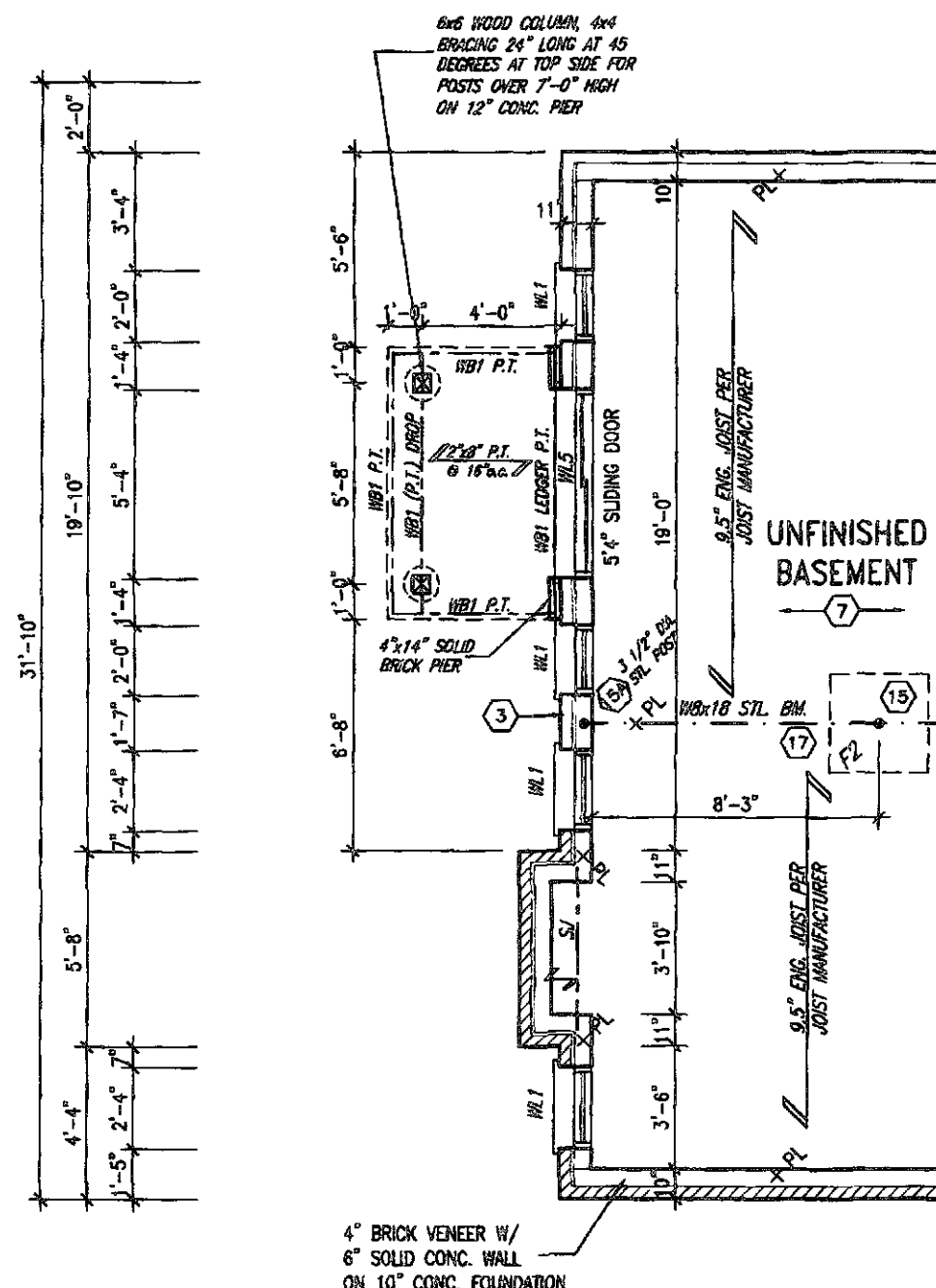
THE STRUCONE MUST BE
CONTINUED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE NATIONAL BUILDING CODE



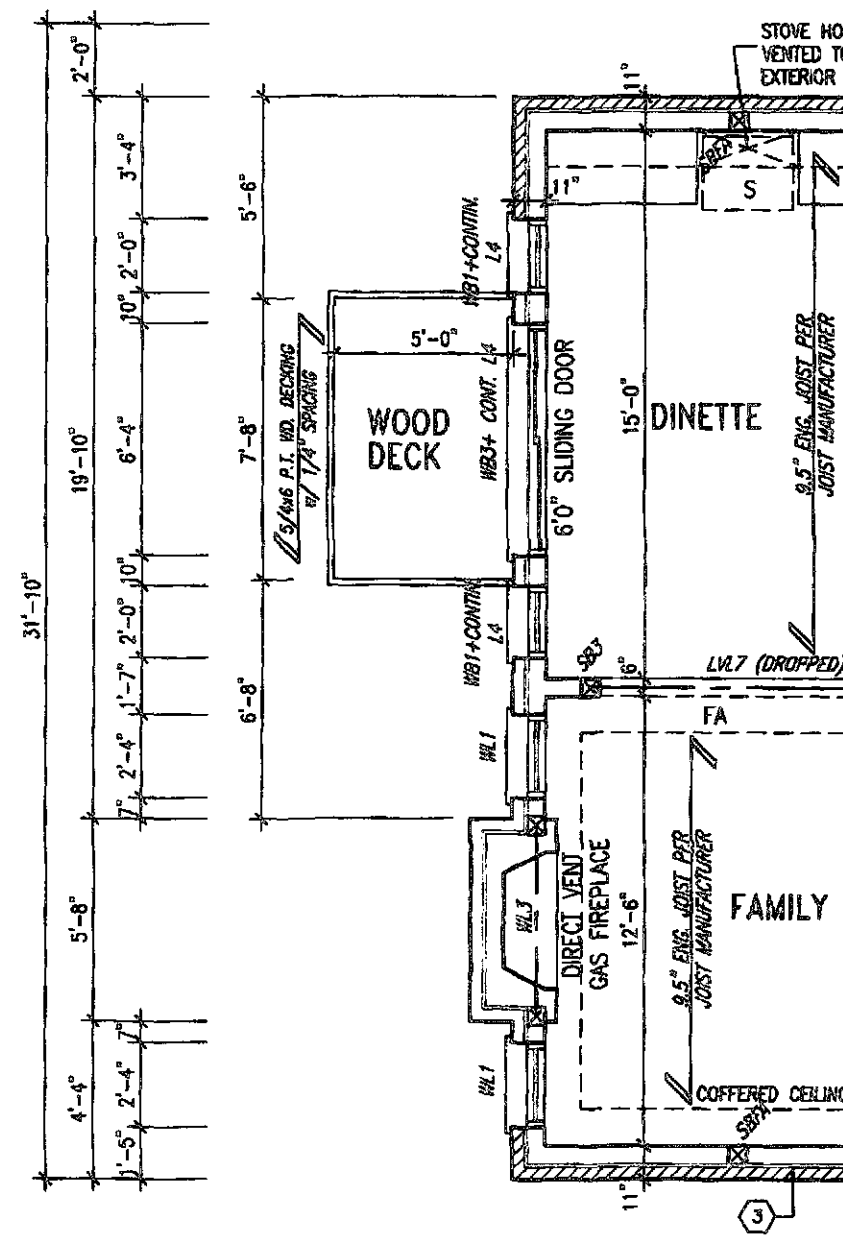
2959 SF.

THE CHAIRMAN OF THE BOARD OF
DIRECTORS OF THE BOARD OF
DIRECTORS OF THE BOARD OF
DIRECTORS OF THE BOARD OF
DIRECTORS OF THE BOARD OF

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



PARTIAL BASEMENT PLAN
WALKOUT CONDITION



PARTIAL GROUND FLOOR PLAN
WALKOUT CONDITION

REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-0" FROM FINISHED FIRST FLOOR TO GRADE.

VENEEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WALKOUT WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5-3)
FOR ADDITIONAL WOOD DECK INFORMATION.

RECEIVED
JUN 13 2006
SOUTH OREGON SECTION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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STRUDET INC.
FOR STRUCTURE ONLY

18				9			
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14				5			
13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
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11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Identification Information
 Richard Vink *R Vink* 2448
 name signature

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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4787
ve3design.com

Greenpark

LAMBERTS LANE HOME CORP. PH.2 CALEDON

SEPT. 2018

PARTIAL PLANS- WA

drawn by

checked by

GN

-

$3/16" = 1'-0"$

PRESTON 3
11.6m

project no.
18023

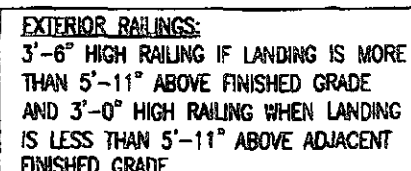
PRESTON 3
ENERGY STAR

A13

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CONTAINED WITHIN THE
FOOTER OF THE MESSAGE
AND MUST BE TRANSMITTED
WITH THE MESSAGE

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____



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ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

REAR ELEVATION '1'-
WALKOUT CONDITION

6x6 WOOD COLUMN, 4x4
BRACING 24" LONG AT 45
DEGREES AT TOP SIDE FOR
POSTS OVER 7'-0" HIGH
ON 12" CONC. PIER

FEB 14 2019

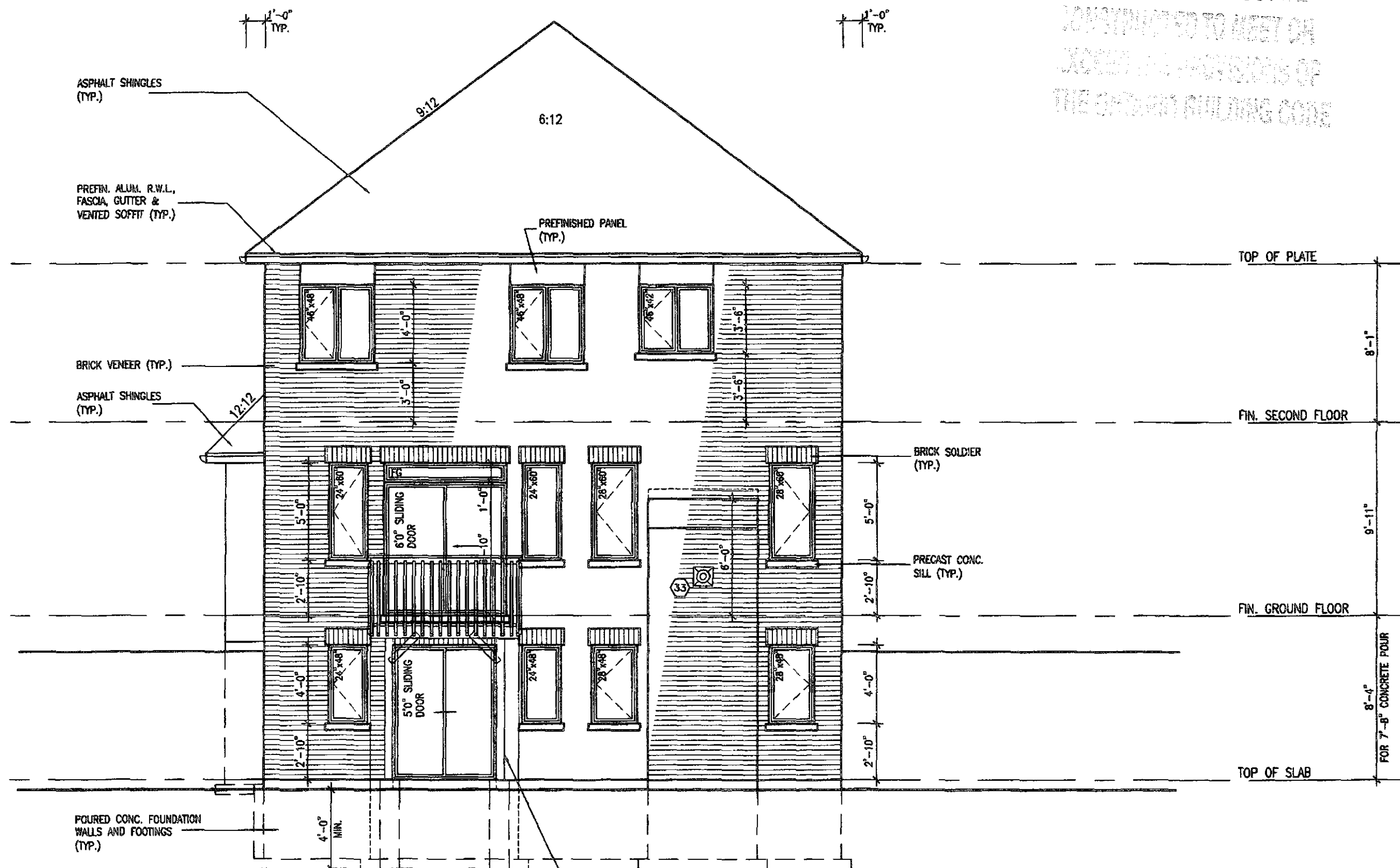
PRESTON 3
ENERGY STAR

[illegible]

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OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS SIGNATURE MUST BE
FORWARDED TO MEET AN
EXACT REQUIREMENT OF
THE AIRCRAFT BUILDING CODE



EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

REAR ELEVATION '2'—
WALKOUT CONDITION

6x6 WOOD COLUMN, 4x4
BRACING 24" LONG AT 45
DEGREES AT TOP SIDE FOR
POSTS OVER 7'-0" HIGH
ON 12" CONC. PIER

FEB 14 2019

PRESTON 3
ENERGY STAR

18		9		The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782 va3design.com	 Greenpark. LAMBERTS LANE HOME CORP. PH.2 CALEDON	PRESTON 3 11.6m 1802
17		8					
16		7					
15		6					
14		5					
13		4	ISSUED FOR PERMIT.	DEC 20/18	GW		
12		3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW		
11		2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW		
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW		
no.	description	date	by	no.	description	date	by

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checked by: **3/16" = 1'-0"**
GW - MARYANN (360.121.8016) (647.027) - DCA (416.630.4782) (416.630.2255) (416.630.4782)
18023 - PRESTON-3
18023 - PRESTON-3

checked by: **18023 - PRESTON-3**

All American registrations listed documents and dates as the country's entry to the 1932 Summer Olympic Games in London, England.