

2759 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS**120 KPa NATIVE SOIL**

- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS**120 KPa NATIVE SOIL**

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x16" CONCRETE PAD
- F3 = 30"x30"x12" CONCRETE PAD
- F4 = 24"x24"x12" CONCRETE PAD
- F5 = 16"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
- F2 = 38"x38"x16" CONCRETE PAD
- F3 = 32"x32"x14" CONCRETE PAD
- F4 = 26"x26"x12" CONCRETE PAD
- F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 46"x48"x20" CONCRETE PAD
- F2 = 40"x40"x16" CONCRETE PAD
- F3 = 34"x34"x14" CONCRETE PAD
- F4 = 28"x28"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY APPLICATIONS MUST BE FILED FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (672-7233) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR TO FIND A CONTRACTOR AT www.electricalsafety.ca



CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY **J. SNELL**
DATE **JULY 10/19**

FILE # **BA/PRESTON 11-6501**

BRICK VENEER LINTELS (WL)

- WL1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x8.0L) + 2-2"x8" SPR. No.2
- WL2 = 4' x 3'-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
- WL3 = 5' x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
- WL4 = 6' x 3'-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
- WL5 = 6' x 4' x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
- WL6 = 5' x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
- WL7 = 5' x 3'-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
- WL8 = 5' x 3'-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
- WL9 = 6' x 4' x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

- WB1 = 2-2"x8" (2-38x184) SPR. No.2
- WB2 = 3-2"x8" (3-38x184) SPR. No.2
- WB3 = 2-2"x10" (2-38x235) SPR. No.2
- WB4 = 3-2"x10" (3-38x235) SPR. No.2
- WB5 = 2-2"x12" (2-38x286) SPR. No.2
- WB6 = 3-2"x12" (3-38x286) SPR. No.2
- WB7 = 5-2"x12" (5-38x286) SPR. No.2
- WB11 = 4-2"x10" (4-38x235) SPR. No.2
- WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
- LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
- LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
- LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
- LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
- LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
- LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
- LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
- LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
- LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
- LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
- LVL8 = 2-1 3/4"x14" (2-45x356)
- LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

- L1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x8.0L)
- L2 = 4' x 3'-1/2" x 5/16" (100x90x8.0L)
- L3 = 5' x 3'-1/2" x 5/16" (125x90x8.0L)
- L4 = 6' x 3'-1/2" x 3/8" (150x90x10.0L)
- L5 = 6' x 4' x 3/8" (150x100x10.0L)
- L6 = 7' x 4' x 3/8" (180x100x10.0L)

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

PRESTON 11 ELEVATION '1'			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	626.00 S.F.	113.93 S.F.	18.20 %
LEFT SIDE	1075.00 S.F.	225.83 S.F.	21.01 %
RIGHT SIDE	1046.00 S.F.	46.33 S.F.	4.43 %
REAR	602.00 S.F.	149.02 S.F.	24.75 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3349.00 S.F.	535.11 S.F.	15.98 %
TOTAL SQ. M.	311.13 S.M.	49.71 S.M.	15.98 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

PRESTON 11 ELEVATION '2'			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	620.00 S.F.	100.88 S.F.	16.27 %
LEFT SIDE	1076.00 S.F.	200.05 S.F.	18.59 %
RIGHT SIDE	1046.00 S.F.	46.33 S.F.	4.43 %
REAR	602.00 S.F.	149.02 S.F.	24.75 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3344.00 S.F.	496.28 S.F.	14.84 %
TOTAL SQ. M.	310.67 S.M.	45.11 S.M.	14.84 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

PRESTON 11 ELEVATION '1' (ALT. PLAN)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	626.00 S.F.	113.93 S.F.	18.20 %
LEFT SIDE	1075.00 S.F.	225.83 S.F.	21.01 %
RIGHT SIDE	1046.00 S.F.	52.33 S.F.	5.00 %
REAR	602.00 S.F.	139.27 S.F.	23.13 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3349.00 S.F.	531.36 S.F.	15.87 %
TOTAL SQ. M.	311.13 S.M.	49.36 S.M.	15.87 %

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

PRESTON 11 ELEVATION '2' (ALT. PLAN)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	620.00 S.F.	100.88 S.F.	16.27 %
LEFT SIDE	1076.00 S.F.	200.05 S.F.	18.59 %
RIGHT SIDE	1046.00 S.F.	52.33 S.F.	5.00 %
REAR	602.00 S.F.	139.27 S.F.	23.13 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3344.00 S.F.	492.53 S.F.	14.73 %
TOTAL SQ. M.	310.67 S.M.	45.76 S.M.	14.73 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

ENERGY STAR V-17

JANUARY 2019

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR @ ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	95% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	75% SRE ENERGY STAR @ HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% IE EFFICIENCY
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.28 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
2 ROWS FOR SPANS GREATER THAN 7'0".

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		10' OR MORE	CEILING	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT. 6" SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	FEB 05/19	GW
11				2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW

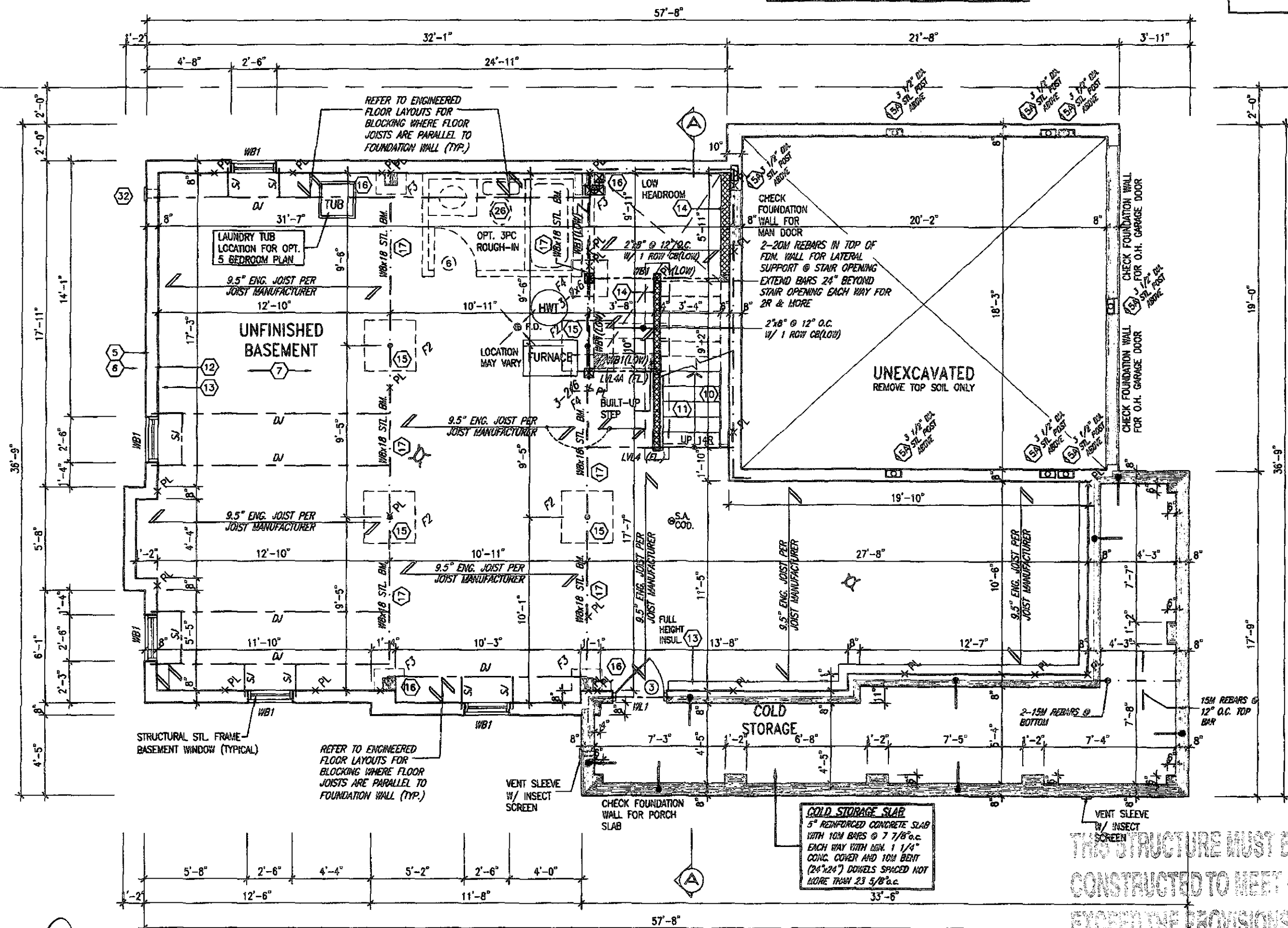
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
signature	Richard Vink 24488
name	Richard Vink
registration information	6079
firm name	VAS Design Inc.
firm address	42658

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2H 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
CALEDON
date
SEP. 2018
drawn by
checked by
scale
3/16" = 1'-0"

PRESTON 11
11.6m
project no.
18023
drawing no.
A0
GENERAL NOTES & CHARTS
18023-PRESTON-11
18023-PRESTON-11.dwg - (cd - Feb 13 2019 - 30" x 42")

2759 SF.



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CANADIAN BUILDING CODE

RECEIVED
JUN 10 2019

FEB 14 2019
PRESTON 11
ENERGY STAR

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
No. 10252
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	FEB 05/19	GW
11				2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW
no.	description	date	by	no.	description	date	by

VA3
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
t 416.630.2255 f 416.830.4
va3design.com

PRESTON 11
11.6m

project name	18023	project no	18023
LAMBERTS LANE HOME CORP. PH.2	CALEDON		
date	SEP. 2016	FOUNDATION PLAN - ELEV. '1'	drawing no.
drawn by	WT	checked by	18023-PRESTON-11
		scale	A1
		3/16" = 1'-0"	

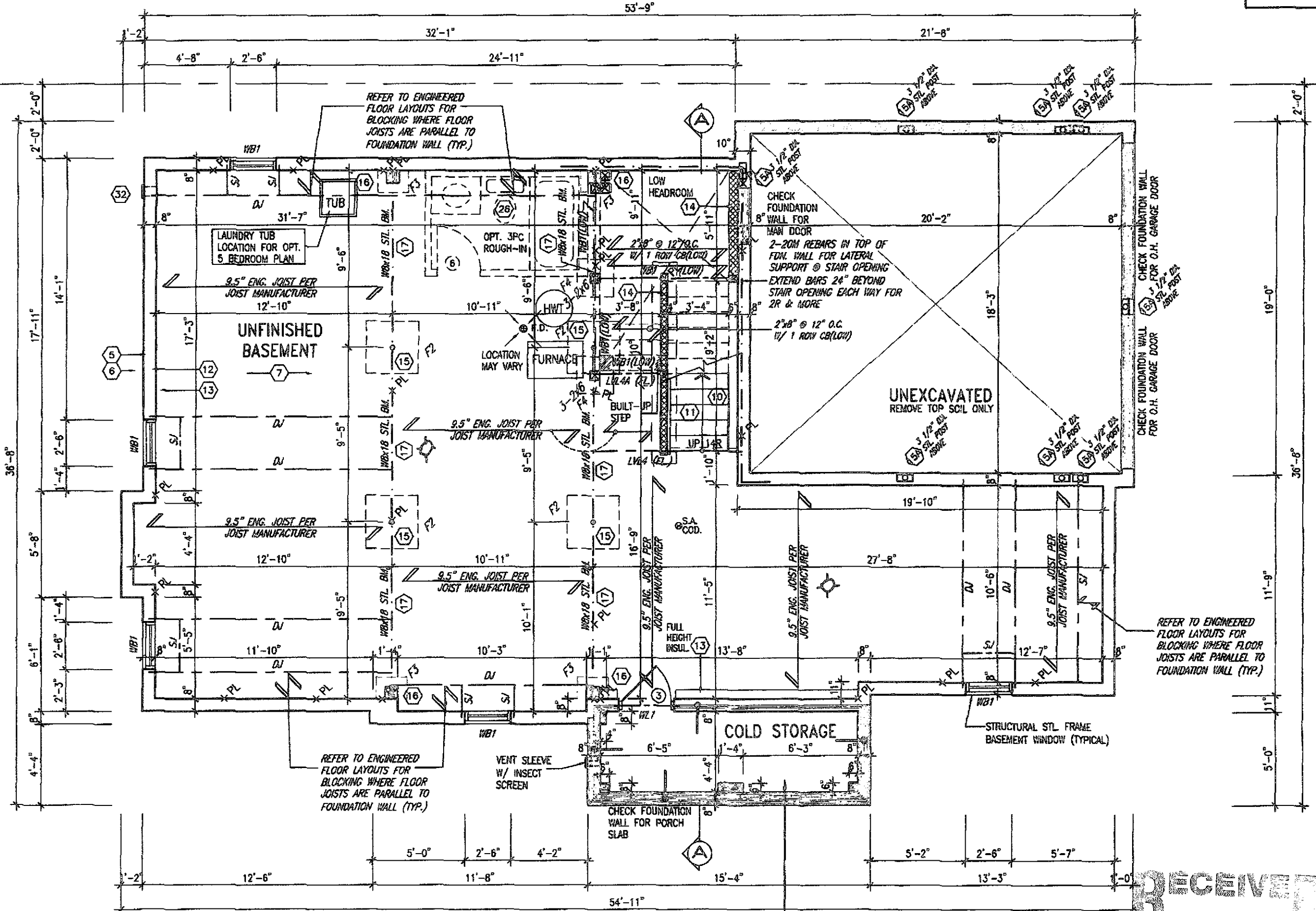
10. ಈ ಕೆಳಕಂಡ ಮಾಹಿತಿಯನ್ನು, ಸರ್ಕಾರ ಕೆಳಕಂಡಂತಿರುವ ಉದ್ದೇಶಕ್ಕಾಗಿ ಈ ಮಾಹಿತಿಯನ್ನು ಸಂಗ್ರಹಿಸಿ, ವಿತರಿಸುತ್ತಿದೆ: ಈ ಮಾಹಿತಿಯು ಸರ್ಕಾರದ ಅಥವಾ ಸರ್ಕಾರದ ಅಂಗವಾಗಿರುವ ಯಾವುದೇ ಇತರ ಅಂಗದಿಂದ ಸಂಗ್ರಹಿಸಲ್ಪಟ್ಟಿದೆ.

INDICATES REDUCED SIDE YARD CONDITION

2759 SF.

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 MM

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE



STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE BASEMENT PLAN - ELEV. '2'
CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOUELS SPACED NOT MORE THAN 23 5/8" o.c.

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION

FEB 06 2019

PRESTON 11
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

18		9			
17		8			
16		7			
15		6			
14		5			
13		4			
12		3	ISSUED FOR PERMIT.	FEB 05/19	GV
11		2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GV
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GV
no.	description	date	by	no.	description

The undersigned has retained and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
name
registration information
VA3 Design Inc. 42658
255 Consumers Rd Suite 120
Toronto, ON M2L 1R4
t 416.830.2255 / 416.830.4762
va3design.com

VA3 DESIGN

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Toronto, ON M2L 1R4
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va3design.com

Greenpark

project name
LAMBERTS LANE HOME CORP. PH.2
CALEDON
SEP. 2018
drawn by
5/16" = 1'-0"

PRESTON 11
11.6m

FOUNDATION PLAN - ELEV. '2'

18023-PRESTON-11
drawing no. A1a

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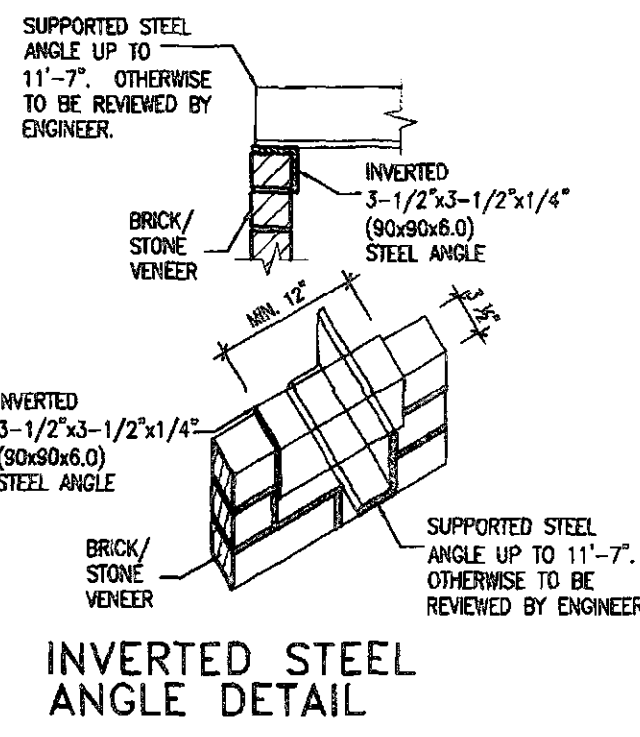
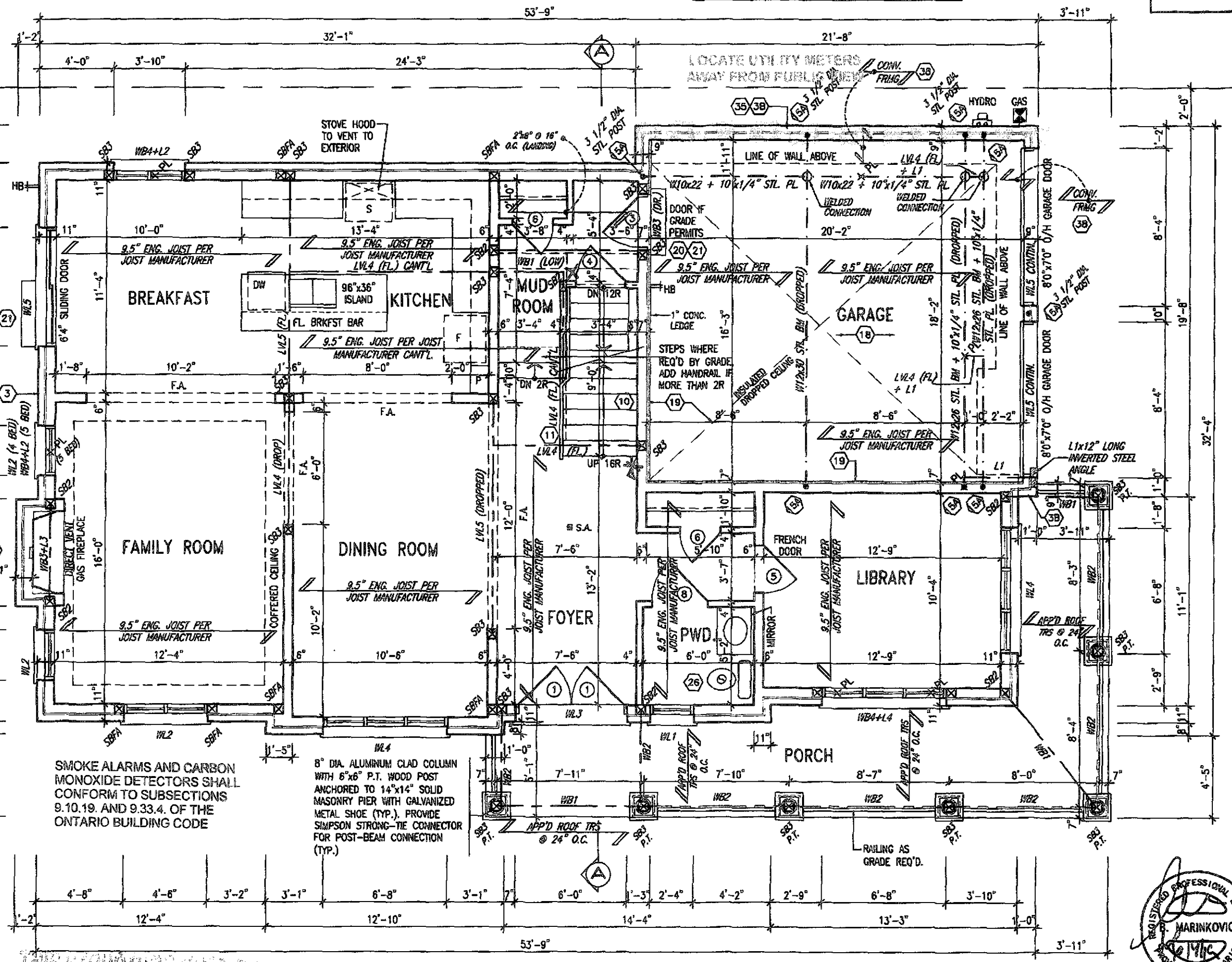
2759 SF.

INDICATES REDUCED SIDE YARD CONDITION

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

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GROUND FLOOR PLAN - ELEV. '1'
* 3-WAY SWITCH CONTROLLING LIGHT OVER STAIRS
X 1-WAY SWITCH MINIMUM CONTROLLING LIGHT OVER BASEMENT STAIRS

RECEIVED JUN 10 2019

FEB 14 2019

PRESTON 11 ENERGY STAR



STRUDET INC. FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
17				9			
16				8			
15				7			
14				6			
13				5			
12				4			
11				3	ISSUED FOR PERMIT.	FEB 05/19	GW
10				2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GW
9				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name
registration information
VAS Design Inc. 42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2 CALEDON
date
SEP. 2018
checked by
3/16\"/>

PRESTON 11
11.6m
project no.
18023
drawing no.
A2
16023-PRESTON-11
16023-12 279 - 30\"/>

INDICATES REDUCED SIDE YARD CONDITION

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

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SUPPORTED STEEL
ANGLE UP TO _____
11'-7". OTHERWISE
TO BE REVIEWED BY
ENGINEER.

INVERTED
3-1/2"x3-1/2"x1/4"
(90x90x6.0)
STEEL ANGLE

INVERTED STEEL ANGLE DETAIL

INVERTED
- 3-1/2"x3-1/2"x1/4"
(90x90x6.0)
STEEL ANGLE

SUPPORTED STEEL
ANGLE UP TO 11'-7".
OTHERWISE TO BE
REVIEWED BY ENGINEER.

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

GROUND FLOOR PLAN - ELEV. '2'

RECEIVED
JUN 10 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

FEB 06 2019

PRESTON 11
ENERGY STAR

A circular professional seal for a Registered Professional Engineer in the Province of Ontario. The seal contains the text "REGISTERED PROFESSIONAL ENGINEER" around the top and "PROVINCE OF ONTARIO" around the bottom. In the center, the name "P. MARINKOVIC" is printed. There are two handwritten signatures over the seal: one at the top and one at the bottom.

STRUDET INC.
FOR STRUCTURE ONLY

18			9			The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8			
16			7			qualification information
15			6			Richard Vink 24381
14			5			name R Vink 24381
13			4			signature 24381
12			3	ISSUED FOR PERMIT.	FEB 05/19	GW 42655
11			2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GW 42655
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW 42655
no. description		date	by	no. description	date	by



VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
www.3design.com



project name	multiple
LAMBERTS LANE HOME CORP. PH.2	CALEDON

PRESTON 11
11.6m

GROUND FLOOR PLAN - ELEV. '2'

ending on.

2a

All drawings, specifications, related documents and details are the property of M/S. HANU, Bangalore. It is to be used only for the purpose for which it is submitted and is not to be reproduced or used in any manner without the written permission of M/S. HANU.

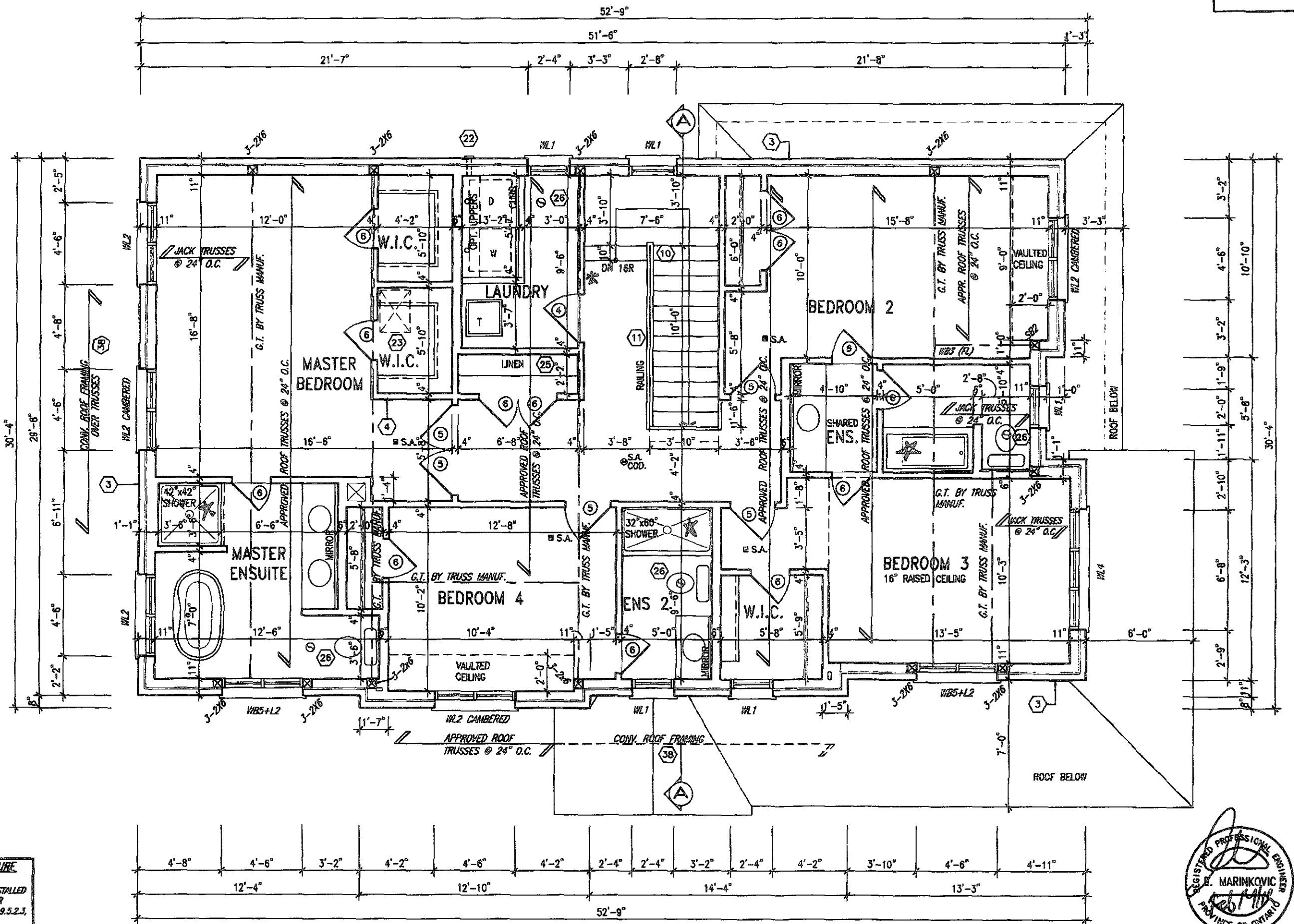
1. The first step is to identify the problem or goal. This involves understanding the current situation, identifying the desired outcome, and determining the scope of the project.

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO CBC 9.5.2.3,
3.8.3.8.1(f) & 3.8.3.13.1(f).

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

[illegible]

★ WATERPROOF WALL FINISH
AS PER 9.29.2.1.(i)

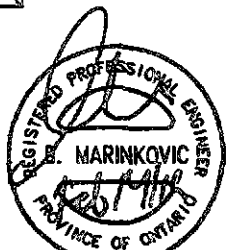
SECOND FLOOR PLAN - ELEV. '1'

RECEIVED
JUN 10 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

FEB 14 2019

PRESTON 11
ENERGY STAR



STRUDET INC.
FOR STRUCTURE ONLY

18.		9.			The undersigned has prepared and taken responsibility for this design and for the quantities and made the requirements set out in the Ontario Building Code to be a Designer.	
17.		8.			qualification information	
16.		7.			Richard Vink	24488
15.		6.			<i>R Vink</i>	SCM
14.		5.			name	
13.		4.			registration information	
12.		3.	ISSUED FOR PERMIT.	FEB 05/19	VAS Design Inc.	42656
11.		2.	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GW	
10.		1.	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW	
no.	description	date	by	no.	description	date

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

PRESTON 11

11.6m

project name

LAMBERTS LANE HOME CORP. PH.2

municipality

CALEDON

project no.

18023

city

SEP. 2018

drawn by

WT

checked by

3/16" = 1'-0"

scale

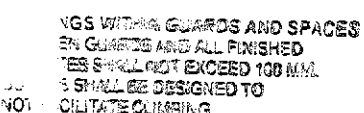
18023 - PRESTON - 11

DWG - K:\ARCHITECT\STATIONING\18023\18023-11.DWG (1:1) 11.6.PDF (PRESTON 11) 18023-PRESTON-11.dwg - Feb. 13 2018 - 3:01 PM

A3

NO drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

TO SHINE ON YOU
TO SHOW THE WORLD
TO PROVE TO EVERY
FOE OF THE
CONSTITUTION
THE STRONG WILL
TO WIN FREEDOM



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
32.38(1)(d) & 32.313(1)(d)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALÉDON.

SECOND FLOOR PLAN - ELEV. '29

RECEIVED
JUN 10 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

FEB 06 2019

PRESTON 11
ENERGY STAR



STRUDET INC
FOR STRUCTURE ONLY

[illegible]

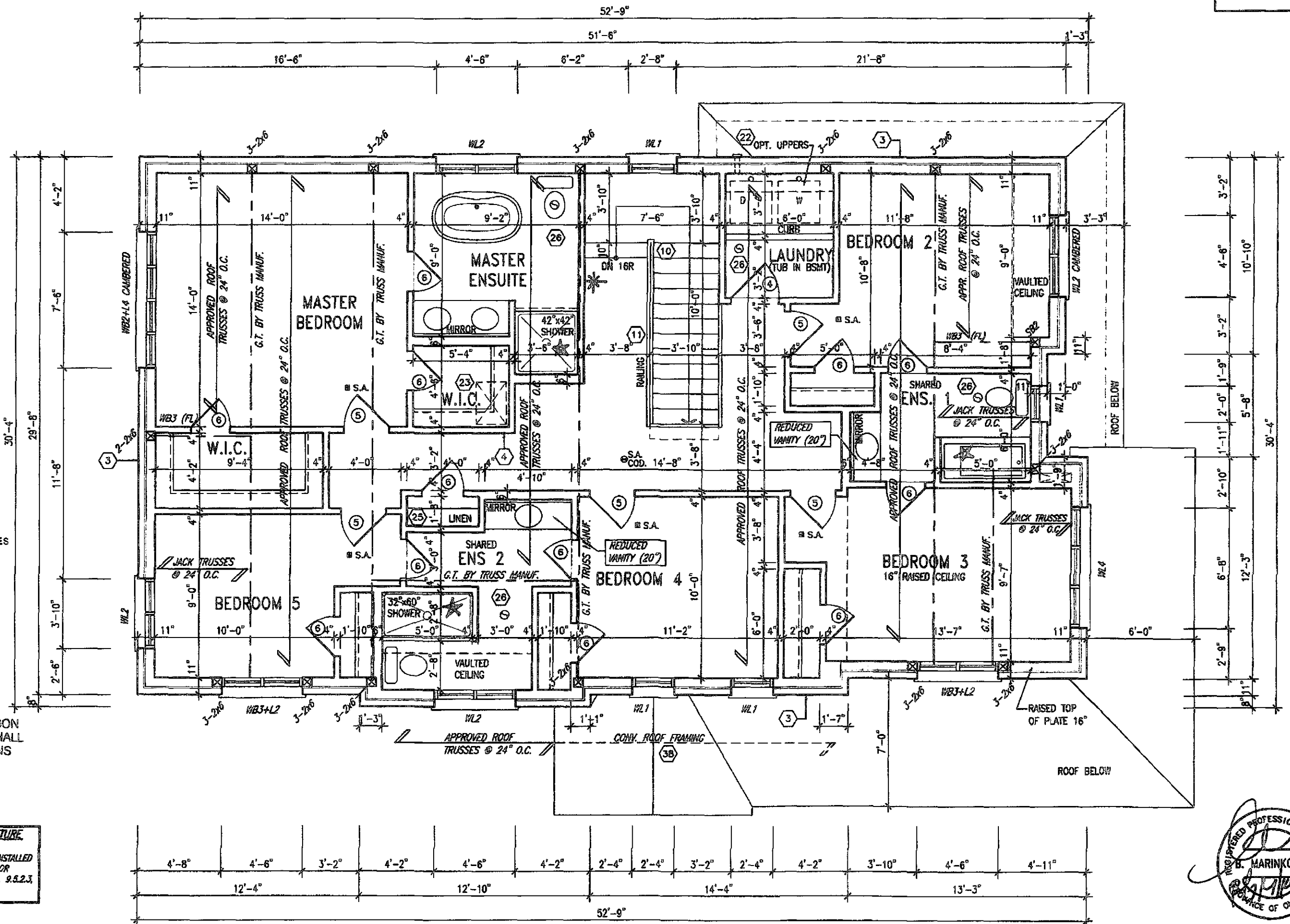
1. The first step in the process of the investigation is the identification of the problem. This is done by the investigator who is responsible for the study. The investigator must first identify the problem that is being investigated. This is done by the investigator who is responsible for the study. The investigator must first identify the problem that is being investigated.

THIS STRUCTURE WILL BE
CONSTRUCTED HERE FOR
EXCEEDING PROVISIONS OF
THE 1990 BUILDING CODE

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

JOHN G. McLELLAN, JR., WASHINGTON
20000
WASHINGTON, D.C.
APR 1961
1961
WASHINGTON, D.C.
WASHINGTON, D.C.



OPT. SECOND FLOOR PLAN (5 BED) - ELEV. '1'



STRUDET INC.
FOR STRUCTURE ONLY

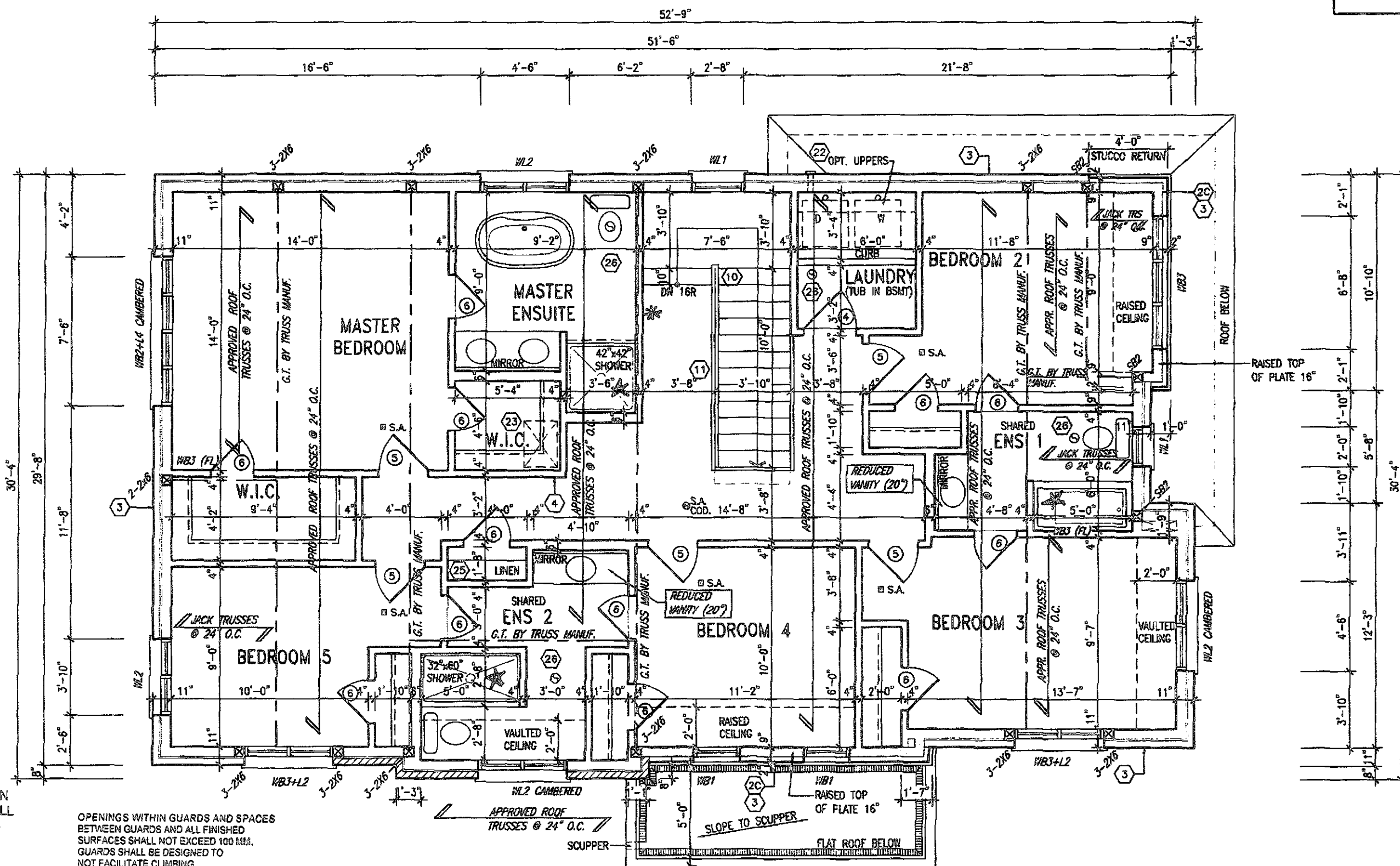
FEB 14 2019

PRESTON 11
ENERGY STAR

18.		9			The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 Greenpark™	PRESTON 11 11.6m	project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON	project no. 18023
17.		8									
16.		7									
15.		6									
14.		5									
13.		4									
12.		3	ISSUED FOR PERMIT.	FEB 05/19	GV						
11.		2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GW						
10.		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/16	GW						
no.	description	date	by	no.	description	date	by				

All drawings, specifications, related documents and designs are the copyright property of V&S DESIGN. Reproduction of the property in whole or in part is strictly prohibited without V&S DESIGN's written permission.

THIS IS THE FIRST
CONSTITUTION
EXCISE THE POWERS OF
THE GRAND JURY



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO CBC. 9.5.2.3,
3.8.3.2(1)(d) & 3.8.3.13(1)(f).

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

OPT. SECOND FLOOR PLAN (5 BED) - ELEV. '2'



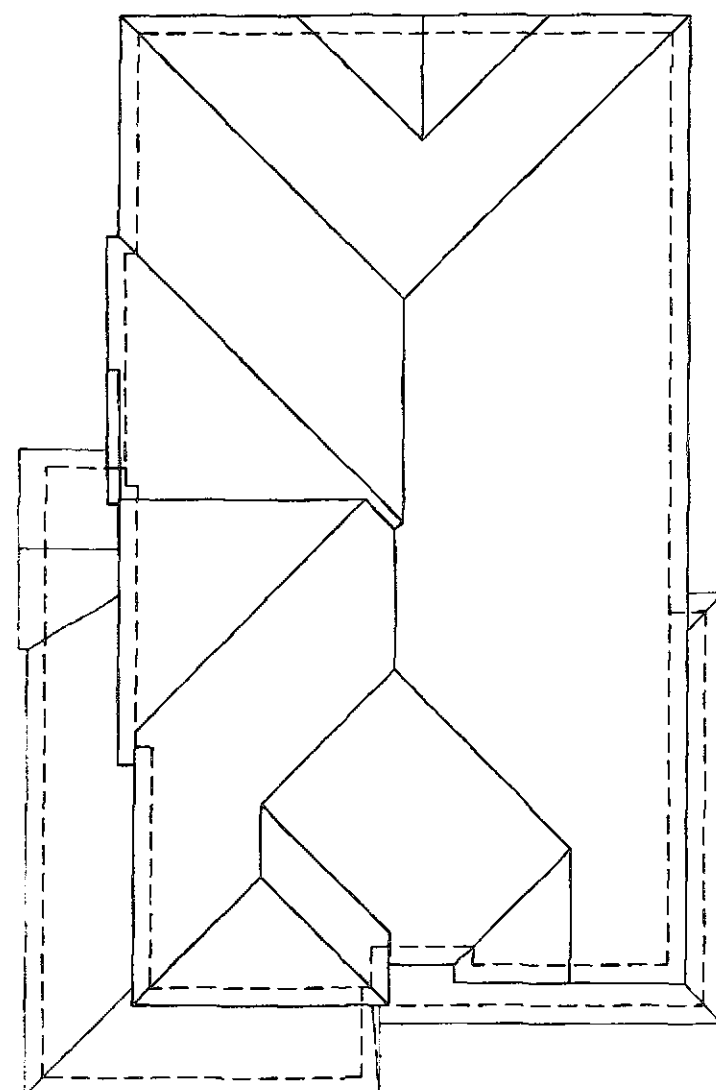
STRUDET INC.
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FEB 06 2019

PRESTON 11
ENERGY STAR

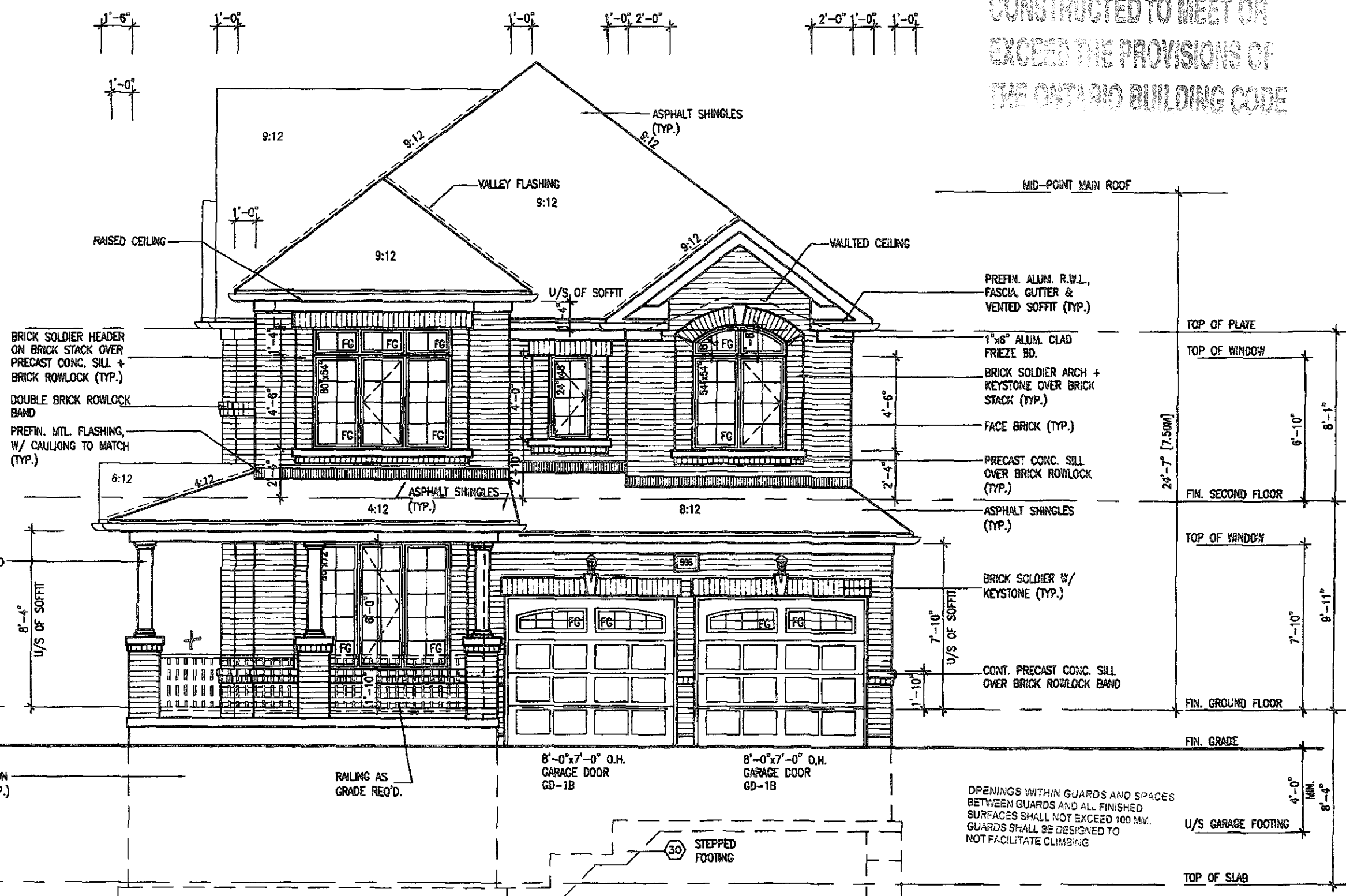
[illegible][illegible]

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE DRAFT BUILDING CODE



ROOF PLAN '1'

8" DIA. ALUMINUM CLAD
COLUMN WITH 6"x6" P.T.
WOOD POST ANCHORED TO
14"x14" SOLID MASONRY
PIER WITH GALVANIZED
METAL SHOE (TYP.).
PROVIDE SIMPSON
STRONG-TIE CONNECTOR
FOR POST-BEAM
CONNECTION (TYP.)



FRONT ELEVATION '1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

+ ALLUMARAIL - SEE
ATTACHED DETAIL

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	FEB 05/19	G
11				2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	G
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	G
no.	description	date	by	no.	description	date	h

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Wink 24

name

signature

qualification information

VAS Design Inc. 42

Contractor must notify all Consultants on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the service. Any use of any part is not allowed.



VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark

project name: LAMBERTS LANE HOME CORP. PH.2

SEP. 2010	FR
-----------	----

2 WT - 3/16" = 1" - 0"

PRESTON 11
11.6m

PRESTON 11
ENERGY STAR

A5

¹As discussed previously, related documents and letters are the essential elements of the FBI's investigation of the matter.

2759 SF.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

ROOF PLAN '2'

FRONT ELEVATION '2'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON

WORKING DRAWINGS TO PREPARE
FOR CONSTRUCTION
DATE: 02/05/2019
BY: [Signature]
CHECKED: [Signature]
DATE: 02/05/2019

18			9						
17			8						
16			7						
15			6						
14			5						
13			4						
12			3	ISSUED FOR PERMIT	FEB 05/19	GW			
11			2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GW			
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 28/18	GW			
no. description		date	by	no. description	date	by			

The undersigned has reviewed and taken responsibility for this design
and has the qualifications and made the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
signature
registration information
VAB Design Inc. 42858

Designer must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be copied.

VAB DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vabdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
city
CALEDON
date
SEP. 2018
checked by
3/16" = 1'-0"

PRESTON 11
11.6m
project no.
18023
drawing no.
A5a
FRONT ELEVATION '2'

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

[illegible]

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

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FEB 14 2019

PRESTON 11
ENERGY STAR

[illegible]

42. Other specifications, which amount to less than 1% of total weight, include:

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

1"x6" ALUM. CLAD
FRIEZE BD

BRICK PLASTER (TYP.)
PRECAST CONC. CAPITAL,
ON 20" WIDE RAISED BRICK
PLASTER ON PRECAST
CONC. BASE. ALL WITH 1"
PROJECTION (TYP.)

— CONT. PRECAST CONC. SILL (TYP.)

—CONT. PRECAST CONC. SILL
OVER STONE VENEER (TYP.)

FLANKAGE ELEVATION '2'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

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PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

18.				9.			
17.				8.			
16.				7.			
15.				6.			
14.				5.			
13.				4.			
12.				3.	ISSUED FOR PERMIT.	FEB 05/19	GI
11.				2.	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GI
10.				1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GI
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Design Briefing Code to be a Designer. qualification information		
Richard Vink	<i>R Vink</i>	244
name	signature	8
registration information VAS Design Inc.		
		426
Designer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All designs and qualifications are trademarks of VAS and the property of the Designer shall remain retained at the completion of the design and sign-off to be correct.		

**VA3
DESIGN**
255 Consumers Rd Suite
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

FEB 06 2019

PRESTON 11
ENERGY STAR

Greenpark

PRESTON 11
11.6m

project name	project location	project number
LAMBERTS LANE HOME CORP. PH.2	CALEDON	180

SEP. 2018		FLANKAGE ELEVATION "2"		A6	
Drawn by	checked by	date	18023-PRETO-11		
WT	-	3/16" = 1'-0"			

At Green Mountain, the amount of land on the eastern slope of the mountain is 12,000 acres, and the amount of land on the western slope is 12,000 acres.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

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[illegible]

FEB 14 2019

PRESTON 11
ENERGY STAR

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF CBC 2012-SUPPLEMENTARY STANDARDS)

[illegible]

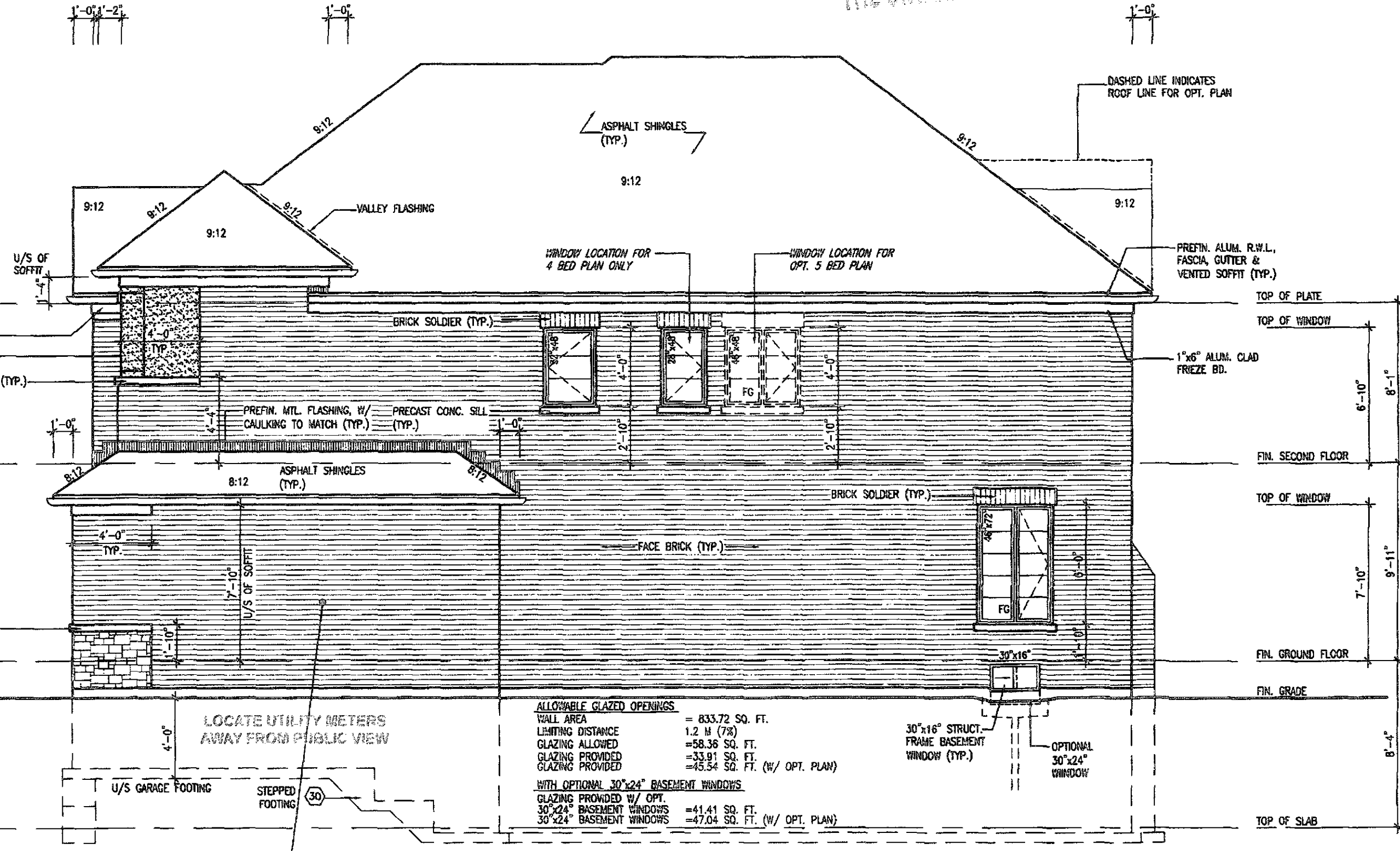
21. 1998年12月1日 星期一

2759 SF.

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THE ONTARIO BUILDING CODE

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON



ALLOWABLE GLAZED OPENINGS
WALL AREA = 833.72 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED = 58.36 SQ. FT.
GLAZING PROVIDED = 33.91 SQ. FT.
GLAZING PROVIDED = 45.54 SQ. FT. (W/ OPT. PLAN)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 41.41 SQ. FT.
30"x24" BASEMENT WINDOWS = 47.04 SQ. FT. (W/ OPT. PLAN)

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

RIGHT SIDE ELEVATION '2'
ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 06 2019

PRESTON 11
ENERGY STAR

18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT.	FEB 05/19 GW
11			2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18 GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
0					

The undersigned has reviewed and taken responsibility for this design and the quality of the work and the responsibility of the design is the responsibility of the undersigned.

Richard Vink
signature
24488
42658

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark		PRESTON 11 11.6m	
project name LAMBERTS LANE HOME CORP. PH.2	location CALEDON	project no. 18023	
date SEP. 2018	drawn by VT	checked by 3/16" = 1'-0"	scale 18023-PRESTON-11
drawing no. RIGHT SIDE ELEVATION '2'		A7a	

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2759 SF.

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CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

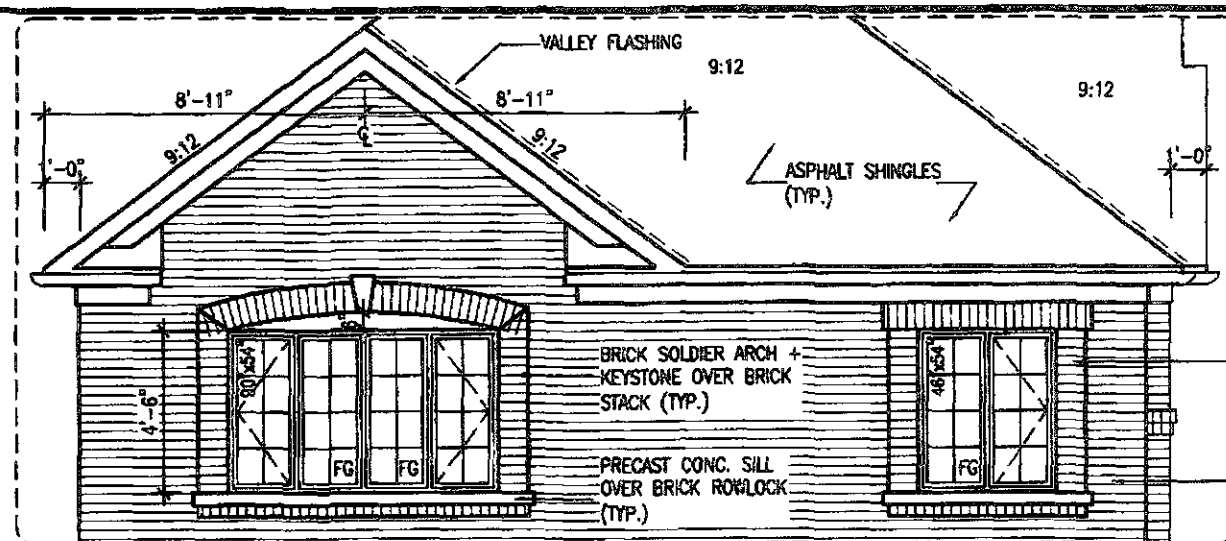
OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

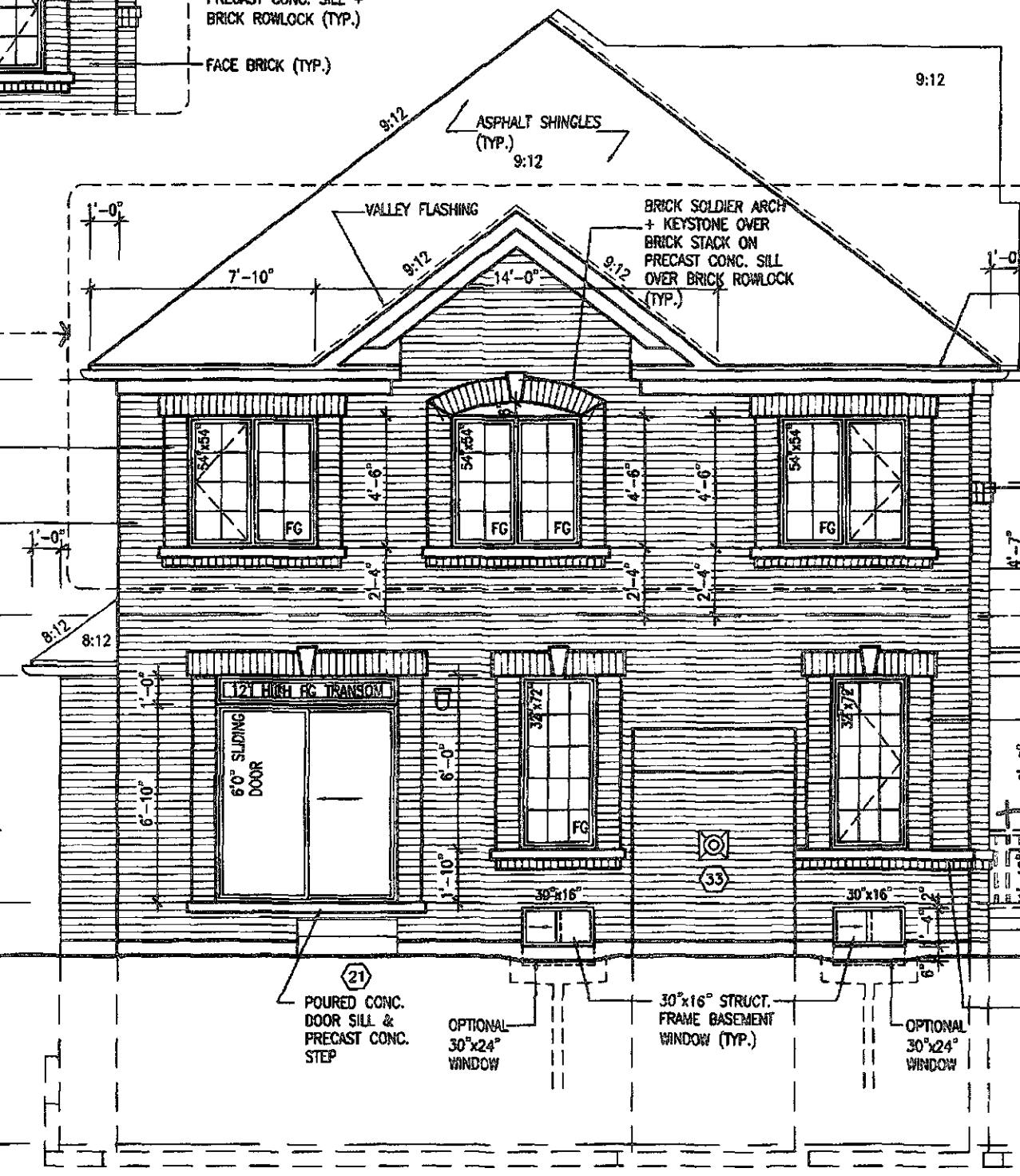
DOUBLE BRICK ROWLOCK
BAND

BRICK SOLDIER HEADER
+ KEYSTONE ON BRICK
STACK (TYP.)

RAILING AS
GRADE REQ'D.



REAR ELEVATION '1' OPT. 2ND FLOOR



REAR ELEVATION '1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 14 2019

PRESTON 11
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

Architect's Seal
Richard Vink
24408
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.6782
v3design.com

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	FEB 05/19	GV
11				2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GV
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP 26/18	GV

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
quacktion information
Richard Vink 24408
signature
name
registration information
V3 Design Inc. 42659

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.6782
v3design.com

Greenpark
project name
LAMBERTS LANE HOME CORP. PH.2
drawing no.
REAR ELEVATION '1'
18023-11

PRESTON 11
11.6m
project no.
18023
drawing no.
A8

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ENTIRE BUILDING CODE

7" PRECAST CONC.
HEADER ON 7" PRECAST
STACK OVER DOUBLE
PRECAST CONC. SILL
(TYP.)

7" PRECAST CONC. HEADER
+ KEYSTONE ON 7" -
PRECAST STACK OVER
PRECAST CONC. SILL (TYP.)

	Other
D	

7" PRECAST CONC.
HEADER ON 7" PRECAST
STACK OVER DOUBLE
PRECAST CONC. SILL
(TYP.)

VALLEY FLASHING

7" PRECAST CONC. ARCH
SURROUND + KEYSTONE
ON DOUBLE PRECAST
CONC. SILL (TYP.)

— PREFIN. ALUM. R.W.L.
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

—FACE BRICK (TYP.)

—PREMANUF. 20" HIGH
METAL DECORATIVE
RAILING (TYP.)

—SCUPPER

FIN. SECOND FLOOR

TOP OF WINDOW

10" PRECAST CONC.
— HEADER + KEYSTONE
ON 10" PRECAST CONC.
SURROUND (TYP.)

— CONT. PRECAST CONC. SILL
OVER STONE VENEER (TYP.)

FIN. GRADE

— RAILING AS
GRADE REQ'D.

TOP OF SLAB

REAR ELEVATION '2'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

FEB 06 2019

PRESTON 11
ENERGY STAR

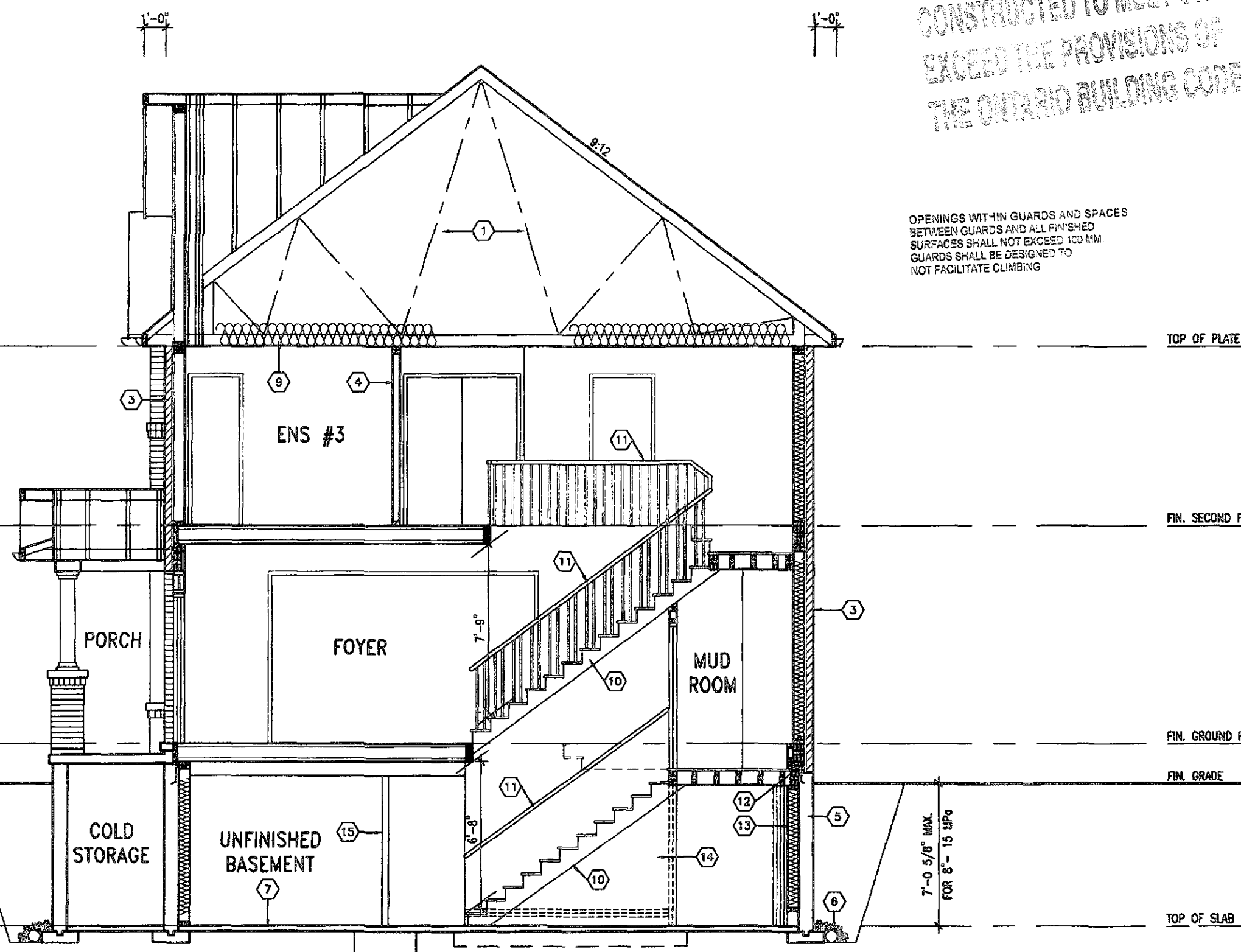
[illegible]

18		9			The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1K4 Tel: 416.630.2255 F: 416.630.4782 va3design.com	 PRESTON 11 11.6m	project name LAMBERTS LANE HOME CORP. PH.2 municipality CALEDON project no. 18023	drawing no. REAR ELEVATION '2' A8a
17		8		qualification information					
16		7		Richard Vink	24468				
15		6		signature	8001				
14		5		name	42658				
13		4		registration information	VA3 Design Inc.				
12		3	ISSUED FOR PERMIT.	FEB 05/19	(GV)	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which shall be returned at the completion of the work. Drawings are not to be copied.			
11		2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	(GV)				
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 28/18	(GV)				
no. description		date	by	no. description	date	by			

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THE OMBAN BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



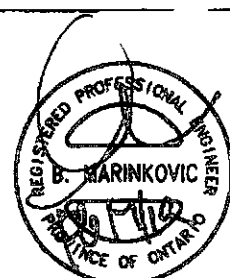
SECTION A-A
ELEVATION '1'

FEB 14 2019

PRESTON 11
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALIFORNIA.



STRUDET INC.
FOR STRUCTURE ONLY

18				9			The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink
14				5			name
13				4			signature <i>R Vink</i>
12				3	ISSUED FOR PERMIT.	FEB 05/19 GW	registration information
11				2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19 GW	VAS Design Inc.
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18 GW	426
no	description	date	by	no	description	date	by

**VA3
DESIGN**
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

Greenpark

LAMBERTS LANE HOME CORP. PH.2

CALEDON

SECTION

SEP. 2018

3/16" = 1'-0"

PRESTON 11
11.6m

SECTION A-A ELEV. 21'

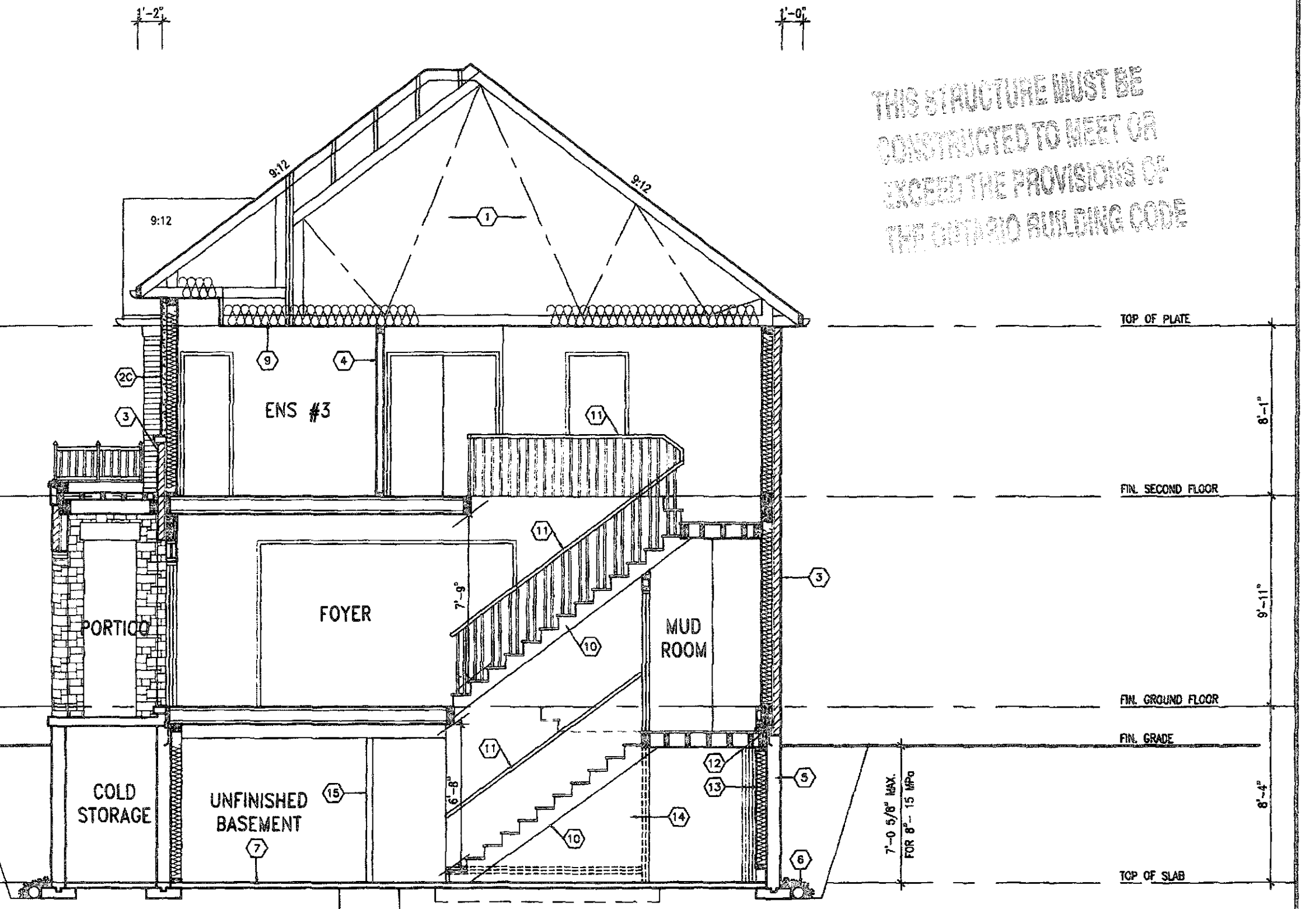
A9

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2759 SF.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
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EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



SECTION A-A
ELEVATION '2'

FEB 06 2019

PRESTON 11
ENERGY STAR

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STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	FEB 05/19	GW
11				2	ROOF-FLOOR-ENG. CO-ORD.	JAN 11/19	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification Information
Richard Vink 24488
name
signature
VA3 Design Inc. 42858
registration information

Designer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
Lamberts Lane Home Corp. PH.2
CALEDON
SEP. 2018
designed by
3/18" = 1'-0"

PRESTON 11
11.6m
SECTION A-A ELEV. '2'
18023-PRESTON-11
A9a

2759 SF.



VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26°, A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL WOOD DECK INFORMATION.



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE



STRUDET INC.
FOR STRUCTURE ONLY

FEB 14 2019

PRESTON 11
ENERGY STAR

[illegible]

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BETWEEN GUARDS AND ALL FINISHED
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GUARDS SHALL BE DESIGNED TO
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THE OREGON BUILDING CODE

REAR ELEVATION '1' OPT. 2ND FLOOR

BRICK SOLDIER HEADER
ON BRICK STACK OVER
PRECAST CONC. SILL +
BRICK ROWLOCK (TYP.)

FACE BRICK (TYP.) —

— PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER HEADER
— + KEYSTONE ON BRICK
E STACK (TYP.)

— RAILING AS
GRADE REQ'D

CONT. PRECAST
— CONC. SILL OVER
BRICK SOLDIER

REAR ELEVATION '1'-
DECK CONDITION

UPGRADE BASEMENT
WINDOWS ON REAR WALL
WITH MIN. 4'-4" FIN.—
FIRST FLOOR TO GRADE
CONDITION.

RECEIVED
JUN 10 2019

FEB 14 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

PRESTON 11
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

[illegible]

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DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

PRESTON 11
11.6m

project name **LAMBERTS LANE HOME CORP. PH.2** municipality **CALEDON**

project no.
18023

4-10 SEP. 2018		REAR ELEVATION '1'- DECK CONDITION		drawing no.
drawn by	checked by	scale	EIS DETAIL	A11
WT	-	$3/16" = 1'-0"$	18023-PRESTON-11	

A11

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE DUTMA BUILDING CODE.

7" PRECAST CONC.
HEADER ON 7" PRECAST
STACK OVER DOUBLE
PRECAST CONC. SILL
(TYP.)

7" PRECAST CONC. HEADER
+ KEYSTONE ON 7"
PRECAST STACK OVER
PRECAST CONC. SILL (TYP.)

REAR ELEVATION '2'-
DECK CONDITION

UPGRADE BASEMENT
WINDOWS ON REAR WALL
WITH MIN. 4'-4" FIN.—
FIRST FLOOR TO GRADE
CONDITION.

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3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 06 2019

PRESTON 11
ENERGY STAR

[illegible]

1. 凡在本行开立存款账户的客户，均可向本行申请开立支票。