

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HT. C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY *K. Miller*
DATE *Aug 23/19*
PROJECT *URBAN 1*

OPT. COLO CELLAR
DOOR HOUSE TO GARAGE

TWO STOREY HEIGHT WALL DETAIL

DOOR SCHEDULE:

- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
- 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
- 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
- 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" INTERIOR)
- 4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

STRUDET INC.



FOR STRUCTURE ONLY

NOTE:

WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-3% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

- WL1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90x90x6) + 2'-2" x 8" SPR.
WL2 = 4' x 3'1 1/2" x 5'16" (100x90x6) + 2'-2" x 8" SPR.
WL3 = 5' x 3'1 1/2" x 5'16" (125x90x6) + 2'-2" x 10" SPR.
WL4 = 6' x 3'1 1/2" x 3'8" (150x90x10) + 2'-2" x 12" SPR.
WL5 = 6' x 4' x 3'8" (150x100x10) + 2'-2" x 12" SPR.
WL6 = 5' x 3'1 1/2" x 5'16" (125x90x6) + 2'-2" x 12" SPR.
WL7 = 5' x 3'1 1/2" x 5'16" (125x90x6) + 3'-2" x 10" SPR.
WL8 = 5' x 3'1 1/2" x 5'16" (125x90x6) + 3'-2" x 12" SPR.
WL9 = 6' x 4' x 3'8" (150x100x10) + 3'-2" x 12" SPR.

WOOD LINTELS:

- WB1 = 2'-2" x 8" SPRUCE BEAM
WB2 = 3'-2" x 8" SPRUCE BEAM
WB3 = 2'-2" x 10" SPRUCE BEAM
WB4 = 3'-2" x 10" SPRUCE BEAM
WB5 = 2'-2" x 12" SPRUCE BEAM
WB6 = 3'-2" x 12" SPRUCE BEAM
WB7 = 5'-2" x 12" SPRUCE BEAM
WB10 = 4'-2" x 8" SPRUCE BEAM
WB11 = 4'-2" x 10" SPRUCE BEAM

STEEL LINTELS:

- L1 = 3'1 1/2" x 3'1 1/2" x 1 1/4" (90x90x6)
L2 = 4' x 3'1 1/2" x 5'16" (100x90x6)
L3 = 5' x 3'1 1/2" x 5'16" (125x90x6)
L4 = 6' x 3'1 1/2" x 3'8" (150x90x10)
L5 = 6' x 4' x 3'8" (150x100x10)
L6 = 7' x 4' x 3'8" (180x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

- LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

RECEIVED
JUL 31 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

URBAN 1 ELEV.-1 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	142.00	20.94 %
LEFT SIDE	1020.00	74.00	7.25 %
RIGHT SIDE	1020.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %

URBAN 1 ELEV.-1A ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	142.00	20.94 %
LEFT SIDE	1020.00	74.00	7.25 %
RIGHT SIDE	1020.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %

URBAN 1 ELEV.-2 ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	686.00	150.00	21.87 %
LEFT SIDE	1020.00	74.00	7.25 %
RIGHT SIDE	1020.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %

URBAN 1 ELEV.-2A ENERGY EFFICIENCY- ENERGY STAR

ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	132.00	19.47 %
LEFT SIDE	1020.00	74.00	7.25 %
RIGHT SIDE	1020.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %

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ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	132.00	19.47 %
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RIGHT SIDE	1020.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %

URBAN 1 ELEV.-2A ENERGY EFFICIENCY- ENERGY STAR

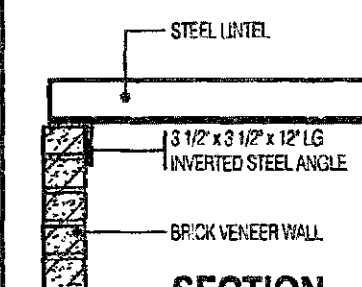
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	132.00	19.47 %
LEFT SIDE	1020.00	74.00	7.25 %
RIGHT SIDE	1020.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %

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ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	132.00	19.47 %
LEFT SIDE	1020.00	74.00	7.25 %
RIGHT SIDE	1020.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %

AREA CALCULATIONS ELEVATION 1,1A,2 & 2A

LOWER LEVEL AREA	=	504 Sq. Ft.
MAIN LEVEL AREA	=	725 Sq. Ft.
UPPER AREA	=	779 Sq. Ft.
TOTAL FLOOR AREA	=	2008 Sq. Ft.
ADD OPEN AREAS	=	20 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2028 Sq. Ft.
GROUND FLOOR COVERAGE	=	504 Sq. Ft.
GARAGE COVERAGE / AREA	=	231 Sq. Ft.
PORCH COVERAGE / AREA	=	72 Sq. Ft.
COVERAGE W/ PORCH	=	807 Sq. Ft.
	=	749 Sq. m.
COVERAGE W/O PORCH	=	735 Sq. Ft.
	=	68.3 Sq. m.



INVERTED STEEL ANGLE DETAIL

Scale: 3/4" = 1'-0"

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB < 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR @ ZONE 2 (R 29/1V 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	COMBINED SPACE AND WATER HEATING P911 TESTED - MIN. TPF .96
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR @ HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH / STALE
DRAIN WATER HEAT RECOVERY	NOT REQUIRED
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	100% CFLs OR LEDs

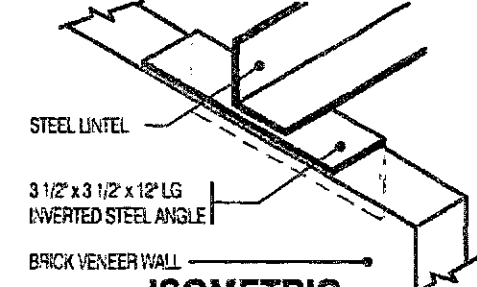
2-2x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

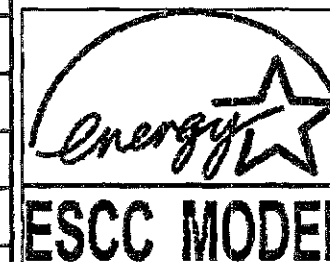
TWO STOREY HEIGHT WALL DETAIL

A COMPLETE SET OF REVIEWED DRAWINGS &
SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME
DURING CONSTRUCTION AS PER O.B.C.



Scale: 3/4" = 1'-0"

MAY 02 2019



ENERGY STAR - V 17

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

2028 TOWNHOUSE

URBAN 1 ELEVATION 1,1A,2 & 2A

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
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THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
3	FEB. 7, 2019	ISSUED FOR PRICING
2	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW
1	APRIL 26, 2018	INTRODUCED INTO PROJECT FROM VAQUITA - URBAN 1

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.1.5 of the building code.

Walter Botter 21031
SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.1.4 of the building code.
Jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
MODEL
SCALE
3/16" = 1'-0"
PROJ. No. 18-18
C.W.G. No. 0

APPLICANT COPY

PAD FOOTING 120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR
UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS FOR 3 STOREY TOWNHOUSES

REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

120 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS.

30"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW EXTERIOR WALLS.
(UNLESS OTHERWISE NOTED.)

38"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

30"x8" CONCRETE STRIP FOOTINGS (WITH REBAR), AS NOTED ON PLANS.

32"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW EXTERIOR WALLS
(UNLESS OTHERWISE NOTED.)

52"x12" CONCRETE STRIP FOOTINGS - REINF. WITH REBAR BELOW PARTY WALLS.

100 KPa NATIVE SOIL

26"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW FOUNDATION WALLS.

30"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW EXTERIOR WALLS.

46"x10" CONCRETE STRIP FOOTINGS REINF. WITH REBAR BELOW PARTY WALLS.

GENERAL NOTE :

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

NOTE:

ALL GARAGE SLABS, PORCH SLABS,
STAIRS (EXPOSED CONC. FLAT WORK) TO
BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE
FOR ALL MANDATORY INSPECTIONS. REFER TO
ATTACHED BUILDING PERMIT FOR DETAILS

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE
REVIEWED IN CONJUNCTION WITH SITE PLAN)

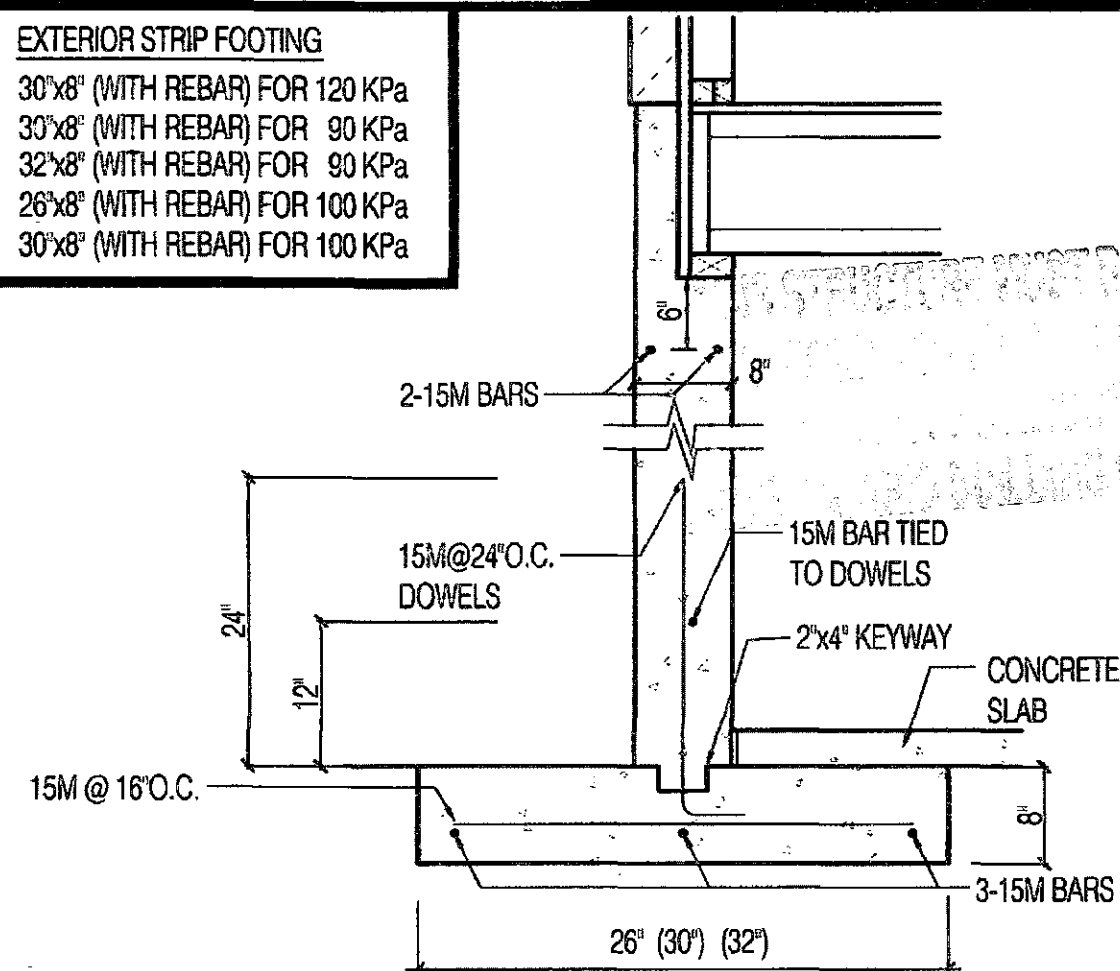
RECEIVED
JUL 31 2019

TOWN OF CALEDON

FILE NO.

EXTERIOR STRIP FOOTING

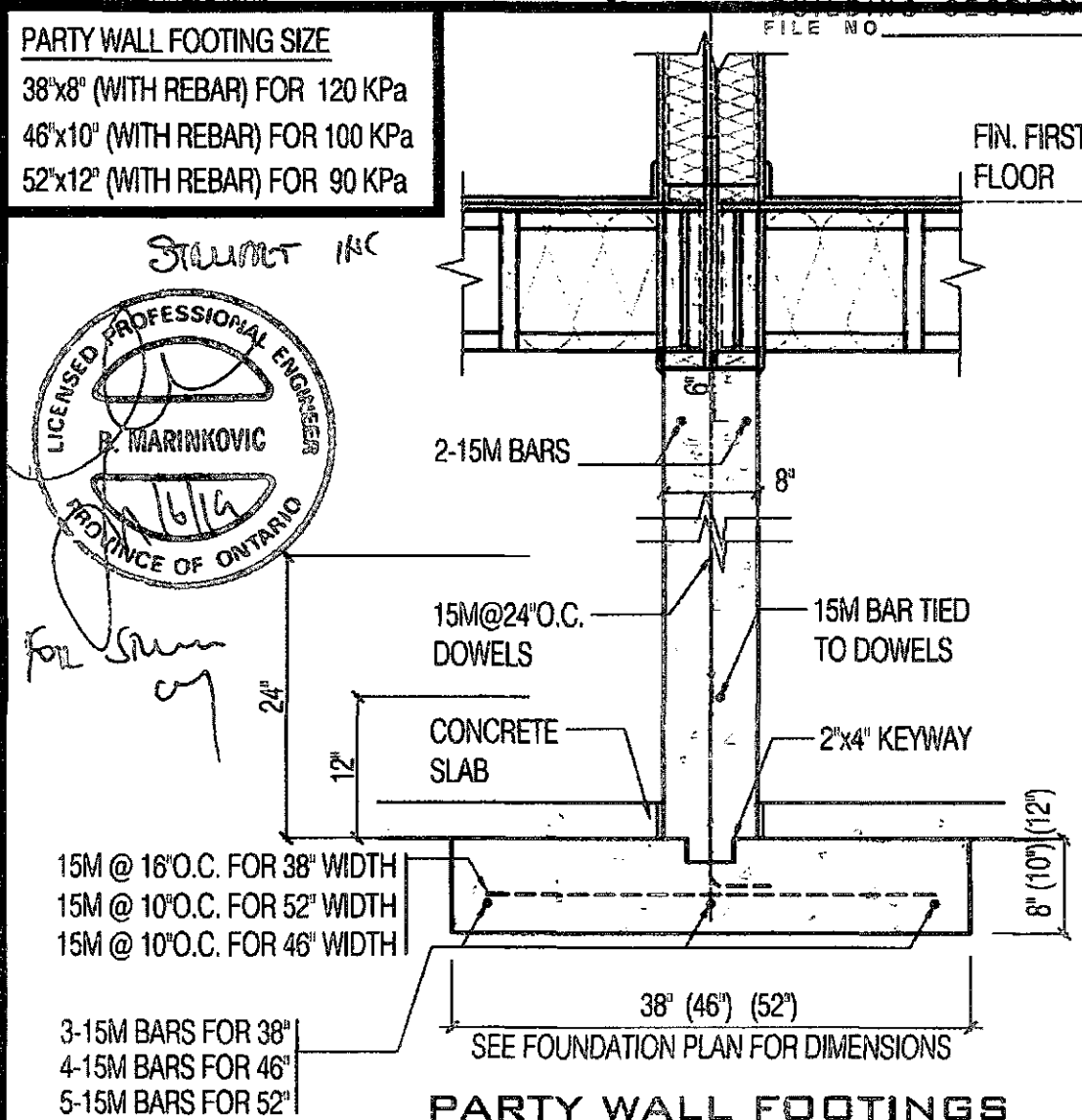
- 30"x8" (WITH REBAR) FOR 120 KPa
30"x8" (WITH REBAR) FOR 90 KPa
32"x8" (WITH REBAR) FOR 90 KPa
26"x8" (WITH REBAR) FOR 100 KPa
30"x8" (WITH REBAR) FOR 100 KPa



EXTERIOR STRIP FOOTINGS

PARTY WALL FOOTING SIZE

- 38"x8" (WITH REBAR) FOR 120 KPa
46"x10" (WITH REBAR) FOR 100 KPa
52"x12" (WITH REBAR) FOR 90 KPa



PARTY WALL FOOTINGS

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING :

- GROUND FLOOR ROOF
STRUCTURE
- BASEMENT AND GROUND
FLOOR LINTELS
- GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
- DOUBLE VOLUME WALL
LOCATION AND DETAILS
- CONCRETE SLABS

JUL 16 2019

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

2028 TOWNHOUSE

URBAN 1 ELEVATION 1,1A,2 & 2A

ENERGY STAR

O.REG. 332/12

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CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
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THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, INVENTS MUST BE REPAIRED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
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7		
6		
5		
4		
3		
2	JULY 15, 2019	REVISED PER CITY COMMENTS REISSUED TO CLIENT
1	JULY 15, 2019	ADDED FOOTING SIZE PAGE TO DRAWING SET

No: DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless Design is exempt under Division C, Subsection
3.2.5 of the B.C.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless Design is exempt under Division C, Subsection
3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

FOOTING SIZES/DETAILS

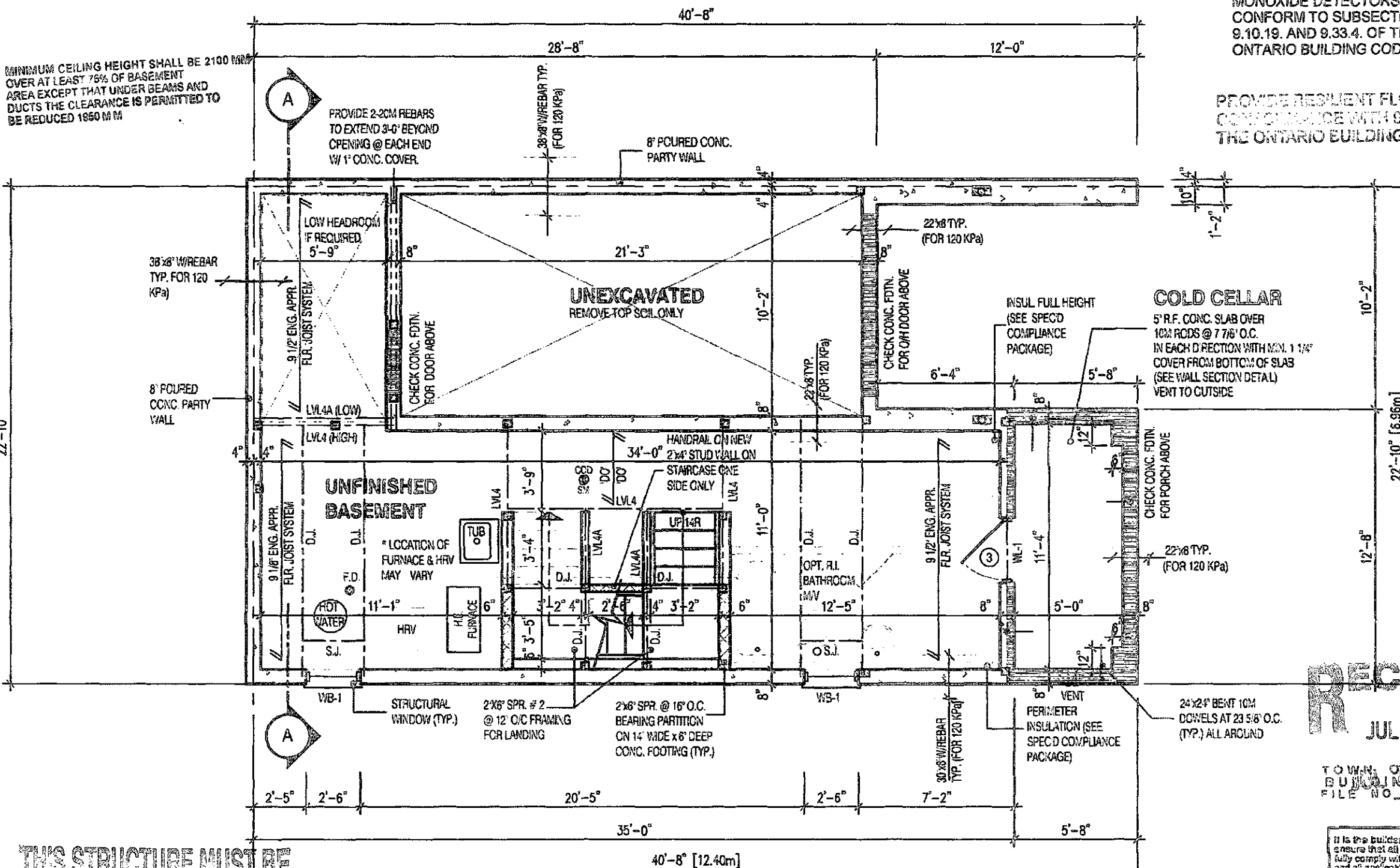
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL:
SCALE:
3/16" = 1'-0"
PROJ. No. DWG. No.
18-18 0-1

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 MM

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

PROVIDE RESILIENT FLOORING IN CONTACT WITH 9.30.1.2. OF THE ONTARIO BUILDING CODE



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE

NOTE: REFER TO SHEET NO. 0-1 FOR UNTEL BEAMS AND DOOR SIZE

NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'

NOTE: THESE DRAWINGS ARE TO BE READ IN CONNECTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

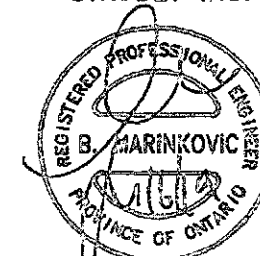
NOTE:

SUBFLOOR TO BE 3/4" OSB ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (AS MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: JUL 17, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2028
TOWNHOUSE
URBAN 1
ELEVATION 1,1A,2 & 2A
ENERGY STAR
O.REG. 332/12

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AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO FLOORING FOOTINGS.
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7	
6	
5	JULY 15, 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
4	JUNE 20, 2019 REVISED LVL PER TOWN COMMENTS REISSUED TO CLIENT
3	FEB. 9 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

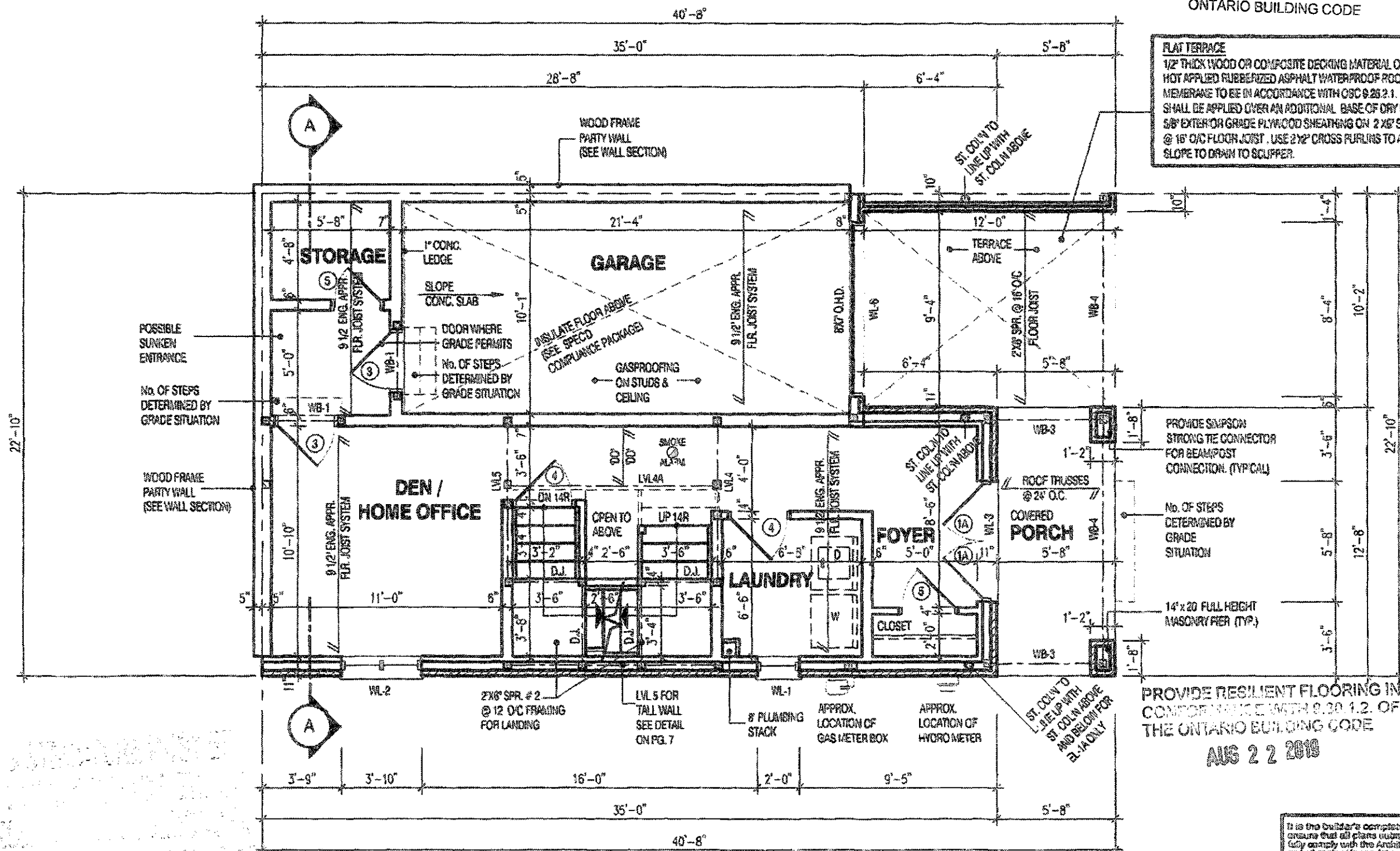
Walter Boller 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCN

BASEMENT LEVEL
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18
SHEET NO. 1



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

FLAT TERRACE
1/2" THICK WOOD OR COMPOSITE DECKING MATERIAL OVER HOT APPLIED RUBBERIZED ASPHALT WATERPROOF ROOFING MEMBRANE TO BE IN ACCORDANCE WITH OSC 9.26.2.1. AND SHALL BE APPLIED OVER AN ADDITIONAL BASE OF DRY FELT ON 5/8" EXTERIOR GRADE PLYWOOD SHEATHING ON 2 X6 SPR #2 @ 16" O/C FLOOR JOIST. USE 2 X2" CROSS PURLINS TO ACHIEVE SLOPE TO DRAIN TO SCUPPER.

2028
TOWNHOUSE
URBAN 1
ELEVATION 1,1A,2 & 2A
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL PROVIDE ALL SERVICES AND CONDITIONS AS A RESPONSIBLE PROFESSIONAL CONSULTANT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE WORK.

7	
6	
5	AUG. 22, 2019 REVISED PER CITY COMMENTS
4	JULY 15, 2019 REVISED PER CITY COMMENTS
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PERMIT
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Bolter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.24 of the building code.
Jardin design group inc. 27763
FIRM NAME BCIN

LOWER LEVEL
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
SCALE: 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 2

NOTE:
REFER TO SHEET NO. 0-1 FOR UNITS, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7". 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 5/8" OSB ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COLN ABOVE
LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
REPEAT NOTE
SHOWER WEEPERS

STRUDET INC.

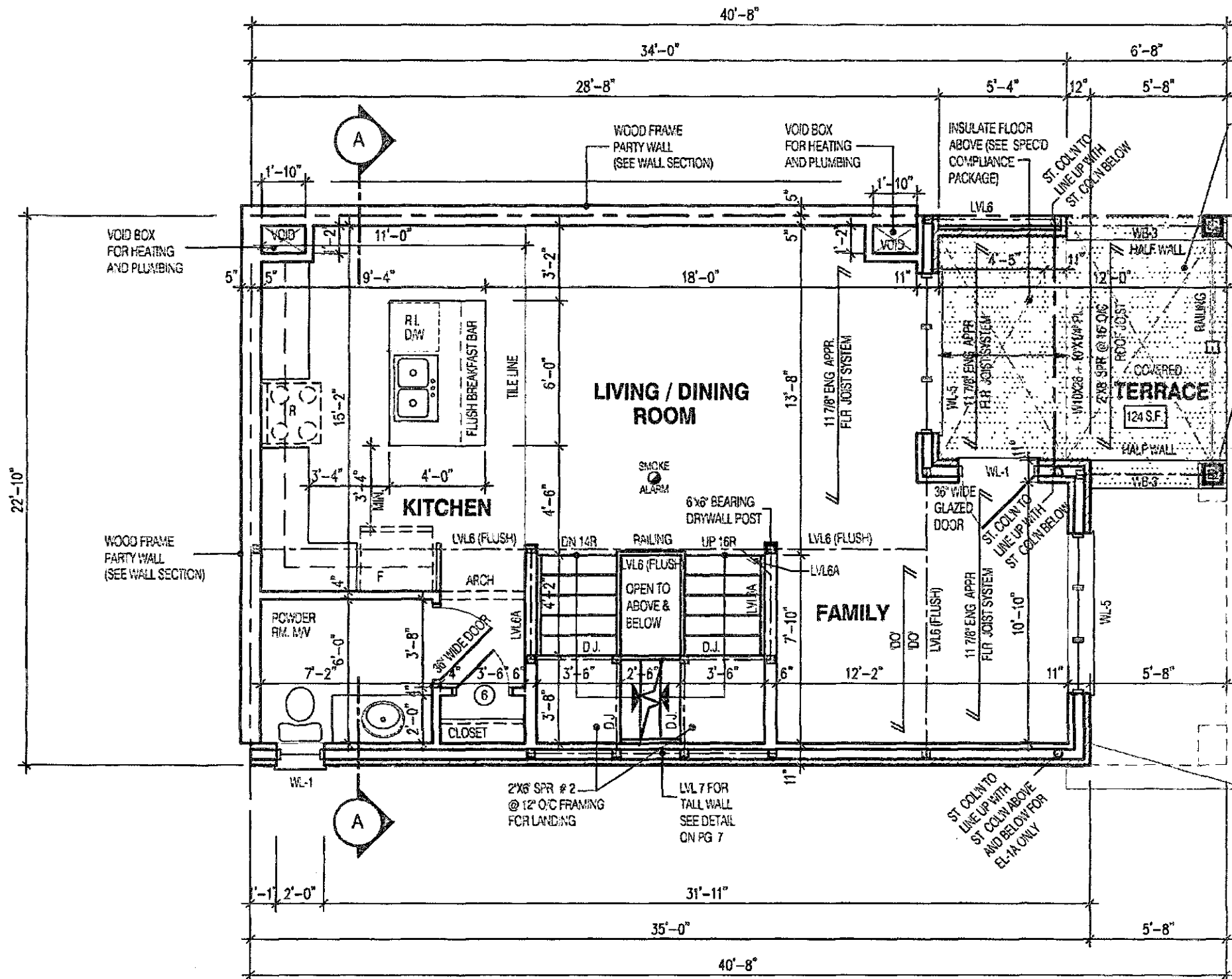


FOR STRUCTURE ONLY

It is the Builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD., ARCHITECT
STRUCTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG. 22, 2019
The undersigned hereby certifies that the design complies with the applicable Building Code and that the design is in accordance with the requirements of the Building Code.



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

FLAT ROOF
ASPHALT ROOFING AND WATER PROOFING SHALL BE IN ACCORDANCE WITH CBC 9.26.2.1. AND SHALL BE APPLIED OVER AN ADDITIONAL BASE OF DRY FELT ON 1/2\" SHEATHING ON 2\" x 8\" ROOF JOIST @ 16\" O.C. DRAIN TO SCUPPER

PROVIDE SIMPSON STRONG TIE CONNECTOR FOR BEAM/POST CONNECTION. (TYPICAL)

8\" x 8\" WD. COLN W/ CAP AND BASE TIED TOP AND BOTTOM TO 14\" x 14\" x 42\" H. PIER BELOW (TYP.)

RECEIVED
JUL 31 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

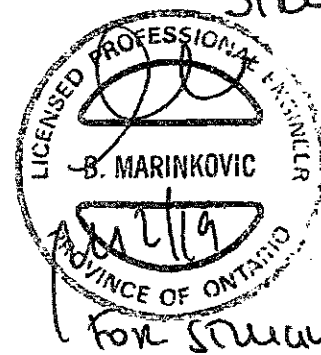
NOTE:

SUBFLOOR TO BE 5/8\" OSB ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE



STUDDY INC

for stream on

2028
TOWNHOUSE

URBAN 1
ELEVATION 1 & 1A

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	FEB 8 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7 2019	ISSUED FOR PRICING
1	JULY 19 2018	ISSUED FOR STRUCTURAL REVIEW

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

MAIN LEVEL EL-1 & 1A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16\" = 1'-0\"
PROJ. No. 18-18
DWG. No. 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 29, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE CONTRACTOR SHALL DESIGN AND CONSTRUCT THE DRAINAGE AND CONDUIT SYSTEM FOR THE PROJECT. THE DESIGN SHALL BE IN ACCORDANCE WITH THE DESIGN CRITERIA, SPECIFICATIONS AND STANDARDS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE DRAINAGE AND CONDUIT SYSTEM, INCLUDING THE DESIGN OF THE DRAINAGE STRUCTURES, CONDUITS, AND PIPES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE DRAINAGE AND CONDUIT SYSTEM, INCLUDING THE CONSTRUCTION OF THE DRAINAGE STRUCTURES, CONDUITS, AND PIPES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE AND CONDUIT SYSTEM, INCLUDING THE MAINTENANCE OF THE DRAINAGE STRUCTURES, CONDUITS, AND PIPES.

7		
6		
5	AUG. 6, 2018	REVISED PER CITY COMMENTS RESUBMITTED TO CLIENT
4	JULY 15, 2018	REVISED PER CITY COMMENTS RESUBMITTED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

DATE:	WORK DESCRIPTION:
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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Design Professional.


QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

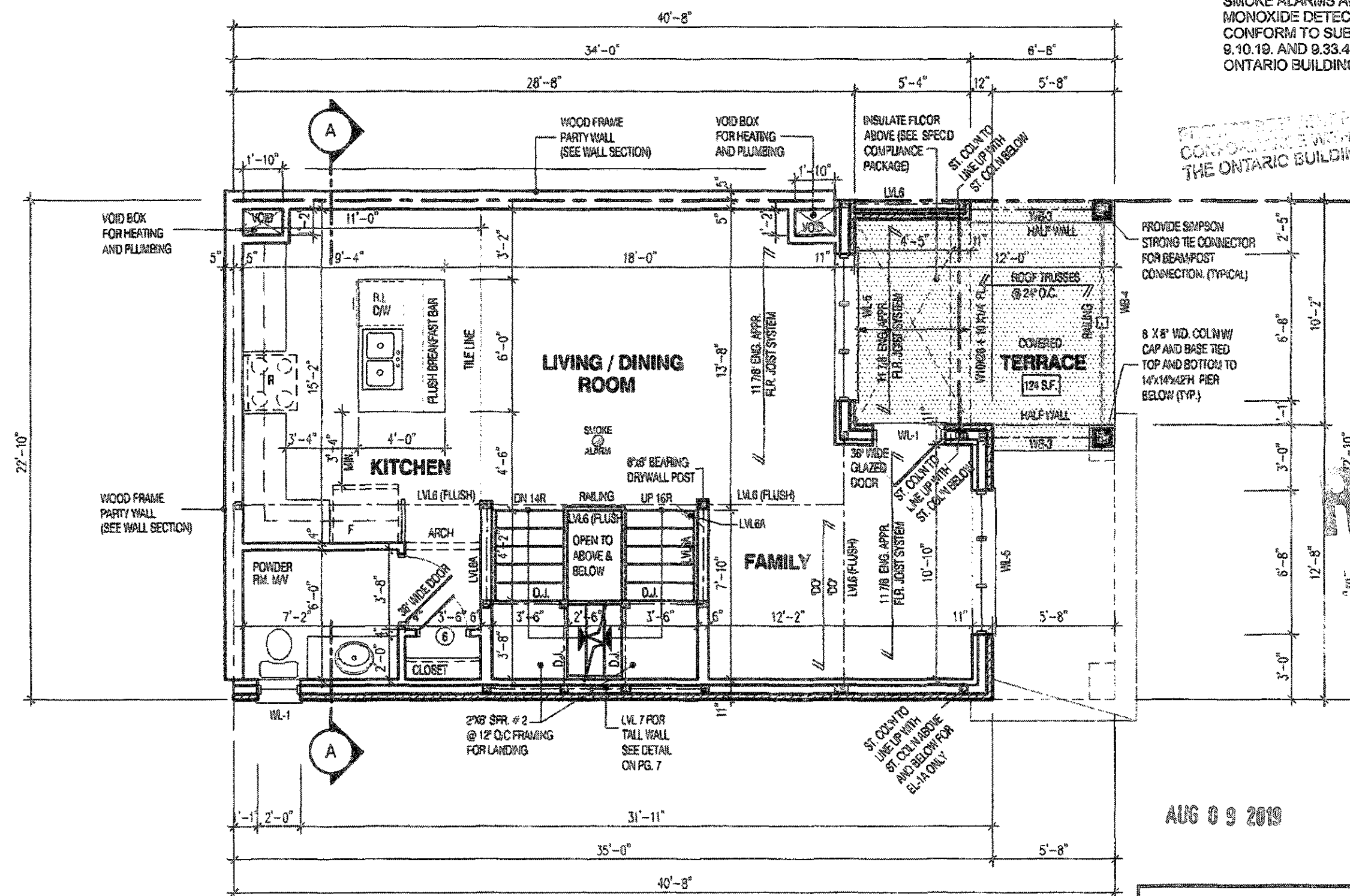
Walter Boller *W. Boller* 21031
NAME SIGNATURE ROOM

REGISTRATION INFORMATION
Any and all marks design is exempt under Section C, Subsection
1.2 of the trademark code

jardin design group inc.	27763
FIRM NAME	DET

MAIN LEVEL EL-2 & 2A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

 BILD®	MODEL:	
	SCALE: $3/16" = 1'-0"$	
	PROJ. NO. 18-18	DWG. NO. 3A



PROJECT DOES NOT COMPLY WITH
CONFORMANCE WITH S.C.O. 1.2. OF
THE ONTARIO BUILDING CODE

PROVIDE SIMPSON
STRONG TIE CONNECTOR
FOR BEAM/POST
CONNECTION. (TYPICAL)

8 X 8" WD. COLN/W/
CAP AND BASE TIED
— TOP AND BOTTOM TO
14" X 14" X 2H FIER
BELOW (TYP.)

12-8
12-10
RECEIVED
AUG 15 2019
TOWN OF CALEDON
BUILDING SECTION

STRUTZ INC.



FOR STRUCTURE ONLY

AUG 09 2019

NOTE:










SUBFLOOR TO BE
5/8" OSB ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER

LEGEND:

- | | |
|---|--|
|  | BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D) |
|  | INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE |
|  | STL. PLATE FOR STEEL COLN ABOVE |
|  | LVL
LAMINATED VENEER LUMBER |
|  | S.J.
SINGLE JOIST |
|  | D.J.
DOUBLE JOIST |
|  | T.J.
TRIPLE JOIST |
|  | REPEAT NOTE |
|  | SNOWER VEEPEERS |

It is the builder's complete responsibility to ensure that all plans submitted for any zoning fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for obtaining or approving site (building) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: AUG 12, 2016

This library contains many more books, and more
 designs for dresses, hats, and boots, and
 a large number of other things.

2028
TOWNHOUSE
URBAN 1
ELEVATION 1 & 1A
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE WITH THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
THE ARCHITECT'S GROUP IS NOT RESPONSIBLE FOR THE ACCURACY OF THE EXISTING STRUCTURE'S DIMENSIONS OR FOR THE RESULTS OF A BUILDING INSPECTION. THE ARCHITECT'S GROUP IS NOT RESPONSIBLE FOR THE RESULTS OF A BUILDING INSPECTION.
THE ARCHITECT'S GROUP IS NOT RESPONSIBLE FOR THE RESULTS OF A BUILDING INSPECTION.
THE ARCHITECT'S GROUP IS NOT RESPONSIBLE FOR THE RESULTS OF A BUILDING INSPECTION.

7	
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4	JULY 15, 2019 REVISED PER CITY COMMENTS
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PERMITS
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION:

RECEIVED
JUL 31 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.
JUL 16 2019
Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

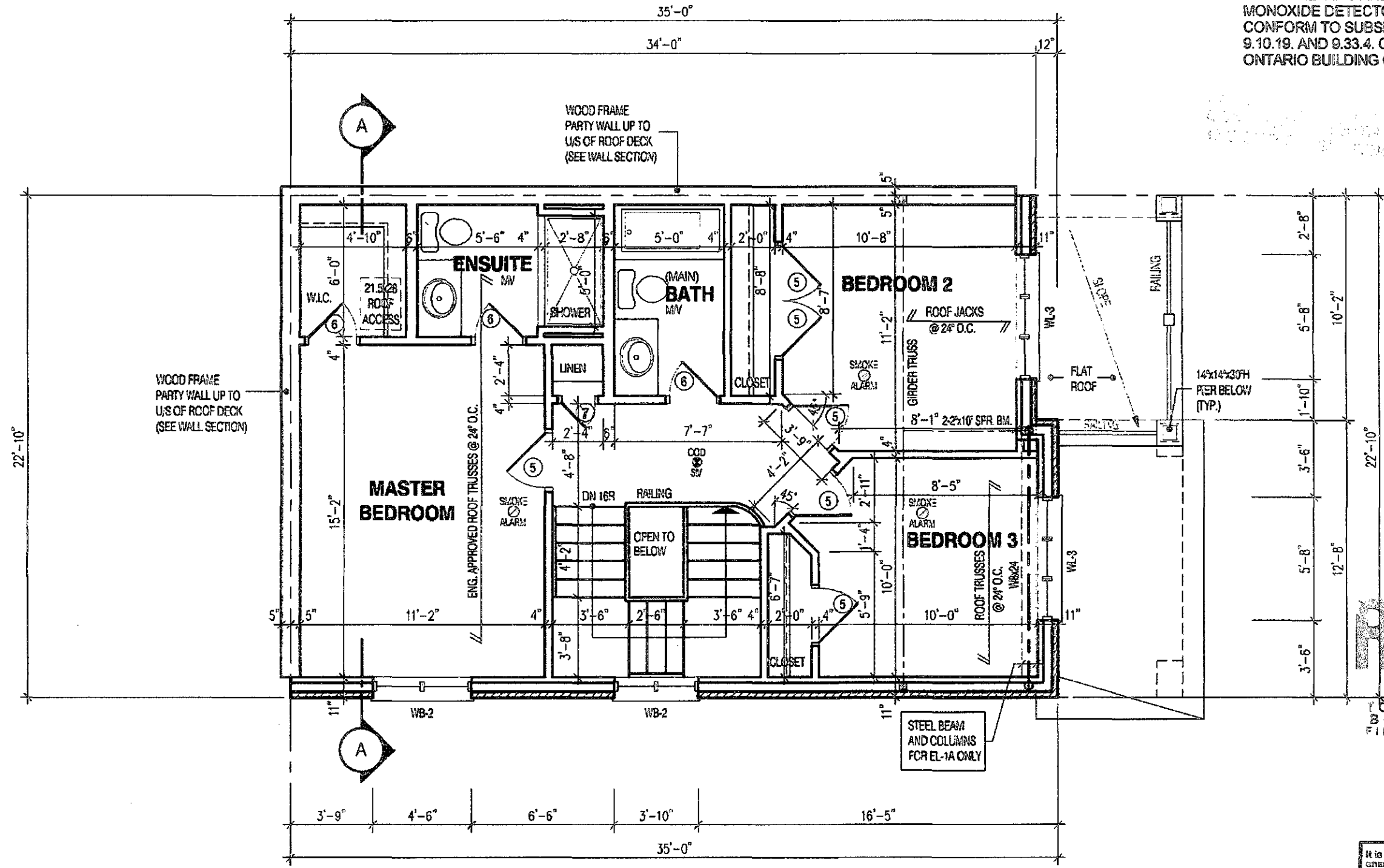
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under OBC, Subsection 1.2.5 of the building code.

Walter Boffa 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under OBC, Subsection 1.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

UPPER LEVEL EL-1 & 1A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
MODEL:
SCALE:
3/16" = 1'-0"
PROJ. No. 18-18
DIAG. No. 4

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED ALL REQUIREMENTS OF THE ONTARIO BUILDING CODE

STRUDER INC
B. MARINKOVIC
PROV. OF ONTARIO
JUL 16/19
for Struder only

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE JUL 17, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JACO DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JACO DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION PROVIDED. THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. RESPECT TO THE APPROPRIATE ENGINEERING JURISDICTIONS BEFORE PROCEED WITH ANY WORK.

AS CONSTRUCTION EVENTS MUST BE REPORTED PRIOR TO POLICE RECORDS.

JACO DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT PROVIDED BY AND IS THE PROPERTY OF JACO DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4	JULY 15, 2019	REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No:	DATE:	WORK DESCRIPTION:
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Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
32.5 of the Act.

Walter Boffa *WBE* 21031

NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		


32.4 of the building code
larkin design group inc. 27743

FIRST NAME BCN

UPPER LEVEL EL-2
LAMBERTS LANE PHASE 2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

	MODEL
---	-------



SCALE
3,15 = 1-0'

BILD°	PRO. No.	ENG. No.
	18-18	4A

15	10	374
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RECEIVED
JUL 31 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

JUL 16 2019










THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

A circular professional seal for a Licensed Professional Engineer in the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "B. MARINKOVIC" is printed above the license number "1619". The seal is stamped over a document with a grid background.

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

LEGEND:

	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ.)
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
	STL. PLATE FOR STEEL COLN ABOVE
	LAMINATED VENEER LUMBER
	SINGLE JOIST
	DOUBLE JOIST
	TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Code, and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. No Control Architect is not responsible in any way for zoning or approving site (lot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: JUL 17, 2019

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

O.REG. 332/12

THE CONTRACTOR SHALL CHECK FOR ANY FIELD CONDITIONS AND OCCUPANCY OF THE SITE BEFORE PROCEEDING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO JACOBS DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JACOBS DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SUPPLIED BY THE ENGINEER OR FOR CONSTRUCTION STARTED PRIOR TO THE ASSUANCE OF A BUILDING PERMIT. AFTER THE NECESSARY ENGINEERING DRAWINGS ARE PROVIDED BY THE WORK.

AS CONTRACTED, WORKS MUST BE KEPT FREE FROM POLLUTING FOOTINGS.

JACOBS DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT DEVELOPMENT OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JACOBS DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4	JULY 15, 2019	REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No:	DATE:	WORK DESCRIPTION:
-----	-------	-------------------

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Building Code

Walter Boller *Walter Boller* 21031
NAME SIGNATURE ECD

REGISTRATION INFORMATION
Registered unless design is exempt under Division C, Subsection
12.4 of the building code

Jardin design group inc.	27763
FIRM NAME	809

UPPER LEVEL EL-2A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

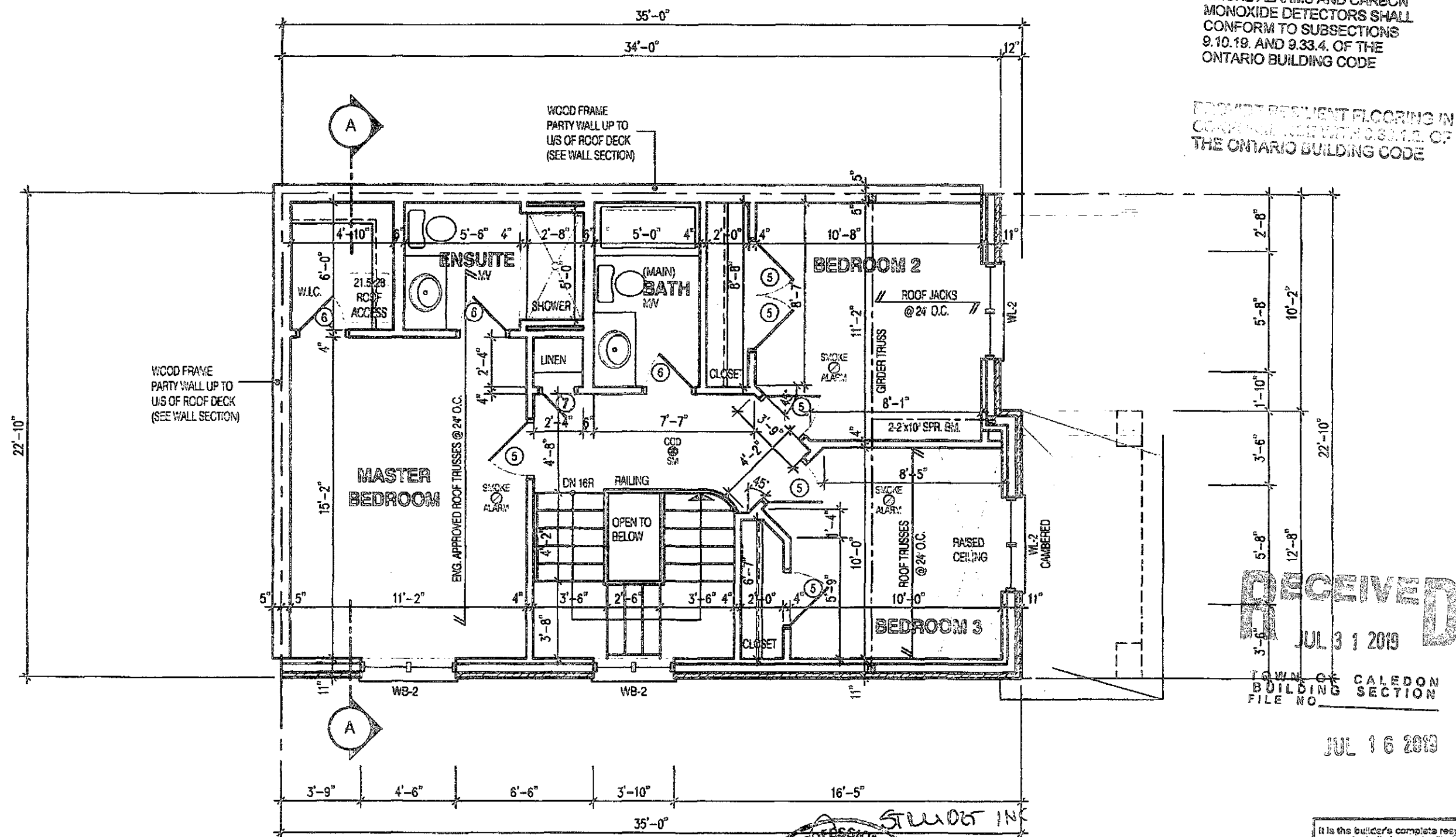
MODEL

SCALE 3/16 = 1-0

PRO. NO. 18-18

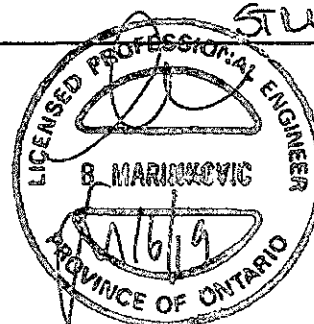
PAC. NO. 4B

PERMIT REQUIRED FOR FLOORING IN
COMMERCIAL BUILDINGS 3.12. OF
THE ONTARIO BUILDING CODE



RECEIVED
JUL 31 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUL 16 2019












For Summation

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

LEGEND:

-  BUILDING FACE < THAN 4'-0" (1.2m)
 (45 MIN. FIRE RATING REQ'D)
 INDICATES SOLID BEARING REQUIRED
 OR POINT LOAD FROM ABOVE
 STL. PLATE FOR STEEL COLN ABOVE
 LVL
 LAMINATED VENEER LUMBER
 S.J.
 SINGLE JOIST
 D.J.
 DOUBLE JOIST
 T.J.
 TRIPLE JOIST
 REPEAT NOTE
 SHOWER DRAIN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: JUL 17, 2019

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

URBAN 1
FRONT ELEV.-1

UNIT 82-1, 82-3, 85-1
85-3, & 90-3

LOWES HILL CIRCLE

90-1 DEER RIDGE TRAIL

PREFIN. ALUM. GUTTER,
R.W.L., FASCIA BD. &
VENTED SOFFIT (TYP.)

6" FRIEZE BOARD

TOP OF WOOD
PLATE

14" WIDE BRICK
PISTON WITH
1" PROJECTION

CONC. SILL
BRICK SOLDIER

UPPER LEVEL
FLOOR

2'-0"

2'-6"

2'-7"

2'-6"

10'-1"

5'-0"

3'-6"

BRICK STACK

MAIN LEVEL
FLOOR

1'-5"

2'-6"

1'-5"

US OF SOFFIT

14" x 20" FULL
HEIGHT MASONRY
PIER (TYP.)

8'-11"

7'-6"

10'-4"

2'-8"

8'-4"

CONC. SILL
WITH BRICK
SOLDIER BAND

FIN. BASEMENT
SLAB

NO. OF STEPS
VARY - SEE SITE PLAN

FOURED CONC. FOUNDATION
WALL - SEE FLOOR PLANS
FOR WALL THICKNESS

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE URBAN BUILDING CODE

URBAN 1
FRONT ELEV.-1A

UNIT 82-2, 82-4, 85-2,
85-4, & 90-4

LOWES HILL CIRCLE
(REVERSE)

PREFIN. ALUM. GUTTER,
R.W.L., FASCIA BD. &
VENTED SOFFIT (TYP.)

6" FRIEZE BOARD

TOP OF WOOD
PLATE

14" WIDE BRICK
PISTON WITH
1" PROJECTION

CONC. SILL
BRICK SOLDIER

UPPER LEVEL
FLOOR

2'-0"

2'-6"

2'-7"

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10'-1"

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BRICK STACK

MAIN LEVEL
FLOOR

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8'-11"

7'-6"

10'-4"

2'-8"

8'-4"

CONC. SILL
WITH BRICK
SOLDIER BAND

FIN. BASEMENT
SLAB

NO. OF STEPS
VARY - SEE SITE PLAN

FOURED CONC. FOUNDATION
WALL - SEE FLOOR PLANS
FOR WALL THICKNESS

90-2
DEER RIDGE TRAIL

UNIT 82-2, 82-4, 85-2,
85-4, & 90-4

LOWES HILL CIRCLE
(REVERSE)

PREFIN. ALUM. GUTTER,
R.W.L., FASCIA BD. &
VENTED SOFFIT (TYP.)

6" FRIEZE BOARD

TOP OF WOOD
PLATE

14" WIDE BRICK
PISTON WITH
1" PROJECTION

CONC. SILL
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UPPER LEVEL
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MAIN LEVEL
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US OF SOFFIT

14" x 20" FULL
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8'-11"

7'-6"

10'-4"

2'-8"

8'-4"

CONC. SILL
WITH BRICK
SOLDIER BAND

FIN. BASEMENT
SLAB

NO. OF STEPS
VARY - SEE SITE PLAN

FOURED CONC. FOUNDATION
WALL - SEE FLOOR PLANS
FOR WALL THICKNESS

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

RECEIVED
JUL 31 2019
TOWN OF CALEDON
BUILDING SECTION

2028
TOWNHOUSE
URBAN 1
ELEVATION 1 & 1A

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL PERMITS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN GROUP
NO LATER THAN 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
THE DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN
ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSULTED, WORKS MUST BE VERIFIED PRIOR TO POLYMER
POURING.
THE DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7	
6	
5	
4	JULY 15, 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 9, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW

No: DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.5 of the Building Code.

Walter Boller 27037
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCN

FRONT ELEV.- 1 & 1A

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL

SCALE 3/16" = 1'-0"

PROJ. No. 18-18 DWG. No. 5

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE: JUL 17, 2019

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

JUL 16 2019

RECEIVED
SEP 16 2019
TOWN OF CALEDON BUILDING SECTION

2028
TOWNHOUSE
URBAN 1
ELEVATION 1 & 1A

ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL OVERSIGHT AND CONSTRUCTION DETAILS AS SHOWN IN THESE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SITE DATA, OR ENGINEERING INFORMATION PROVIDED ON THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY INFORMATION FROM THE SURVEYOR AND ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE SURVEYOR AND ENGINEER.
JARDIN DESIGN GROUP INC. DOES NOT WARRANT OR GUARANTEE THE GENERAL DESIGN OF THE WORK AND ASSUMES NO LIABILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DESIGN. THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED TO AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED.

7	
6	
5	SEPT. 03, 2019 REVISION TO ROOF SLOPES
4	JULY 15, 2019 REVISED PER CITY COMMENTS
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 10, 2018 ISSUED FOR STRUCTURAL REVIEW

No. DATE WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUADRANT INFORMATION
Required unless design is exempt under Ontario C. Subsection 1.2.5 of the Building Code

Walter Boller 21037
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Ontario C. Subsection 1.2.4 of the Building Code

Jardin design group inc. 27763
FIRM NAME BCN

FRONT ELEV.- 1 & 1A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE: 3/16" = 1'-0"
PROJ No 18-18
DWG No 5

URBAN 1
FRONT ELEV.-1

UNIT 82-1, 82-3, 85-1
85-3, & 90-3

LOWES HILL CIRCLE

90-1 DEER RIDGE TRAIL

APPROVED
For construction as per the
Ontario Building Code
Town of Caledon Building Department
Initial K.M. Har
Date Sept. 30/19
File # OMD URBAN 1 Rev 01

REVISION TO ROOF HEIGHT/SLOPE AND INCUSION
SADDLE OF TRUSS FOR BLOCK 83.

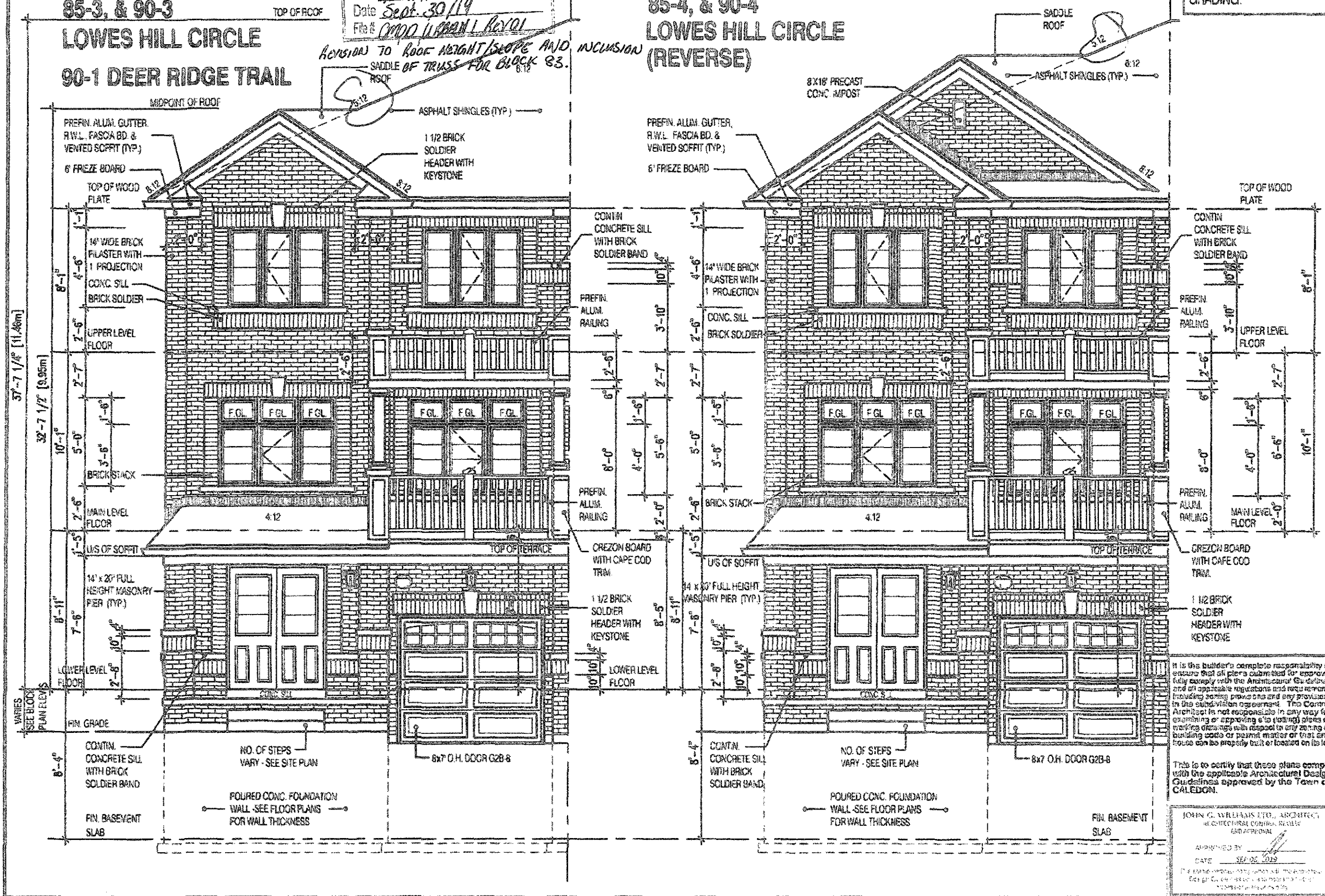
URBAN 1
FRONT ELEV.-1A

UNIT 82-2, 82-4, 85-2,
85-4, & 90-4

LOWES HILL CIRCLE

(REVERSE)

90-2
DEER RIDGE TRAIL



JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL
APPROVED BY
DATE SEP 26 2019
If a construction drawing is not approved by the Architect, the contractor shall not be responsible for the construction of the building.

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS
A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION AS PER O.B.C.

REVISIONS MUST BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION AS PER O.B.C.

APPLIED

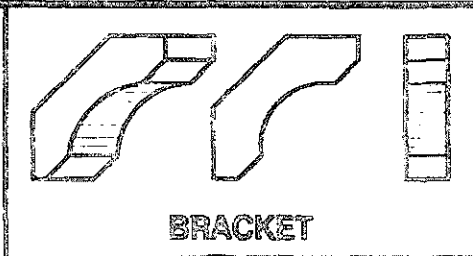
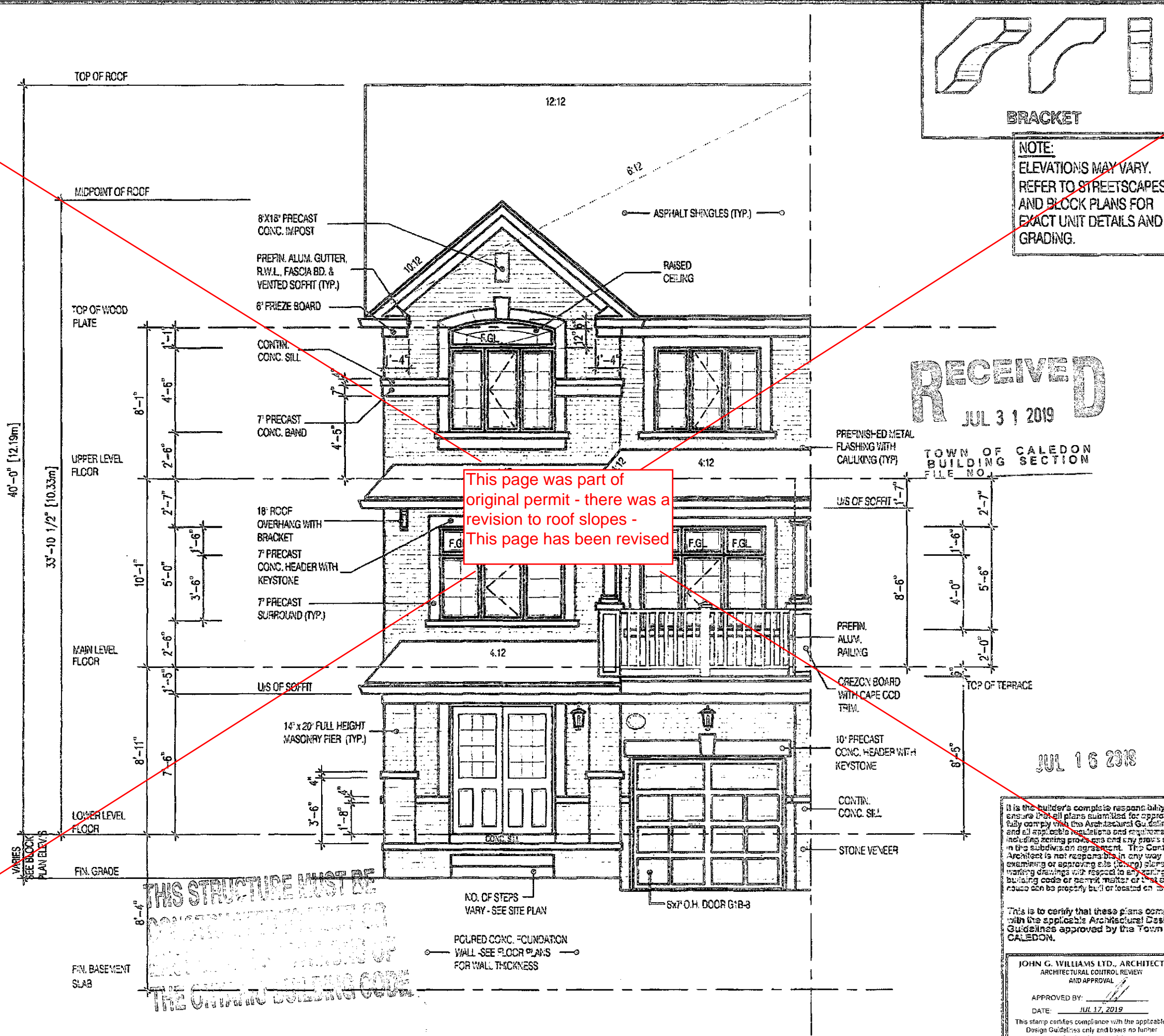
URBAN 1
FRONT ELEV.-2

UNIT 83-1 &
83-3 UNIT 89-3
& 93-3 LOWES
HILL CIRCLE

UNIT 91-1
DEER RIDGE
TRAIL

UNIT 83-2 &
83-4 UNIT 89-4
& 93-4 LOWES
HILL CIRCLE
(REVERSE)

UNIT 91-2
DEER RIDGE
TRAIL
(REVERSE)



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

RECEIVED
JUL 31 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUL 16 2018

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (topo) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 17, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2028 TOWNHOUSE	
URBAN 1 ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.	
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.	
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POLARIS FOOTING.	
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK (AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS).	
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.	
7	
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5	
4	JULY 15, 2019 REVISED PER CITY COMMENTS PRESENTED TO CLIENT
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
No.	DATE: WORK DESCRIPTION.
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.	
Waiter Botter	21031
NAME	SIGNATURE BCN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
jardin design group inc.	27763
FIRM NAME	BCN
FRONT ELEVATION 2	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL	
SCALE 3/16" = 1'-0"	
PRO. No.	ENG. No.
18-18	5A

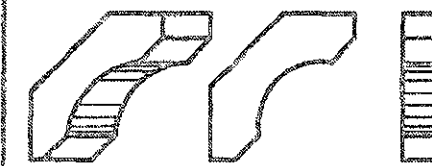
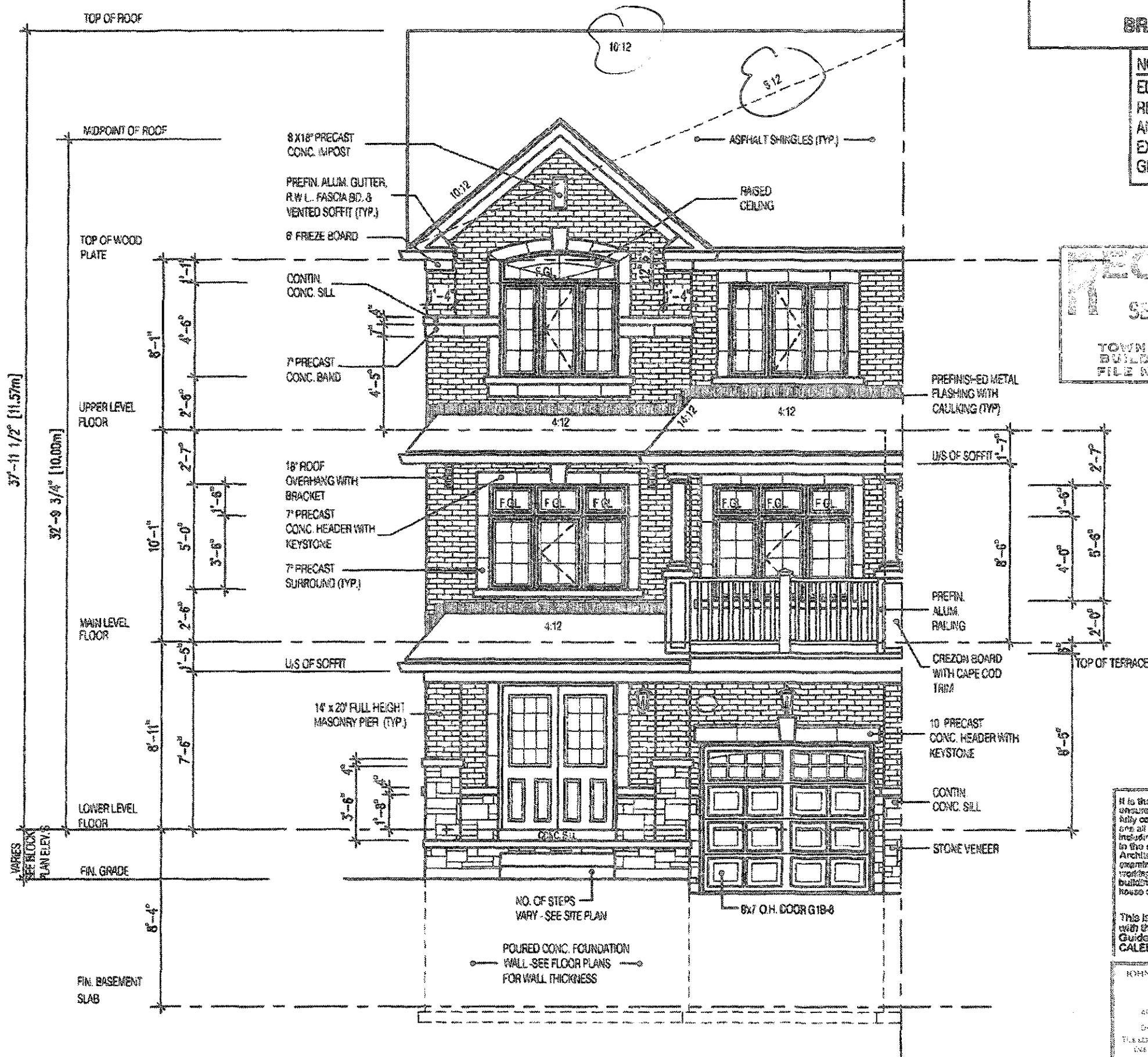
URBAN 1
FRONT ELEV.-2

UNIT 83-1 &
83-3 UNIT 89-3
& 93-3 LOWES
HILL CIRCLE

UNIT 91-1
DEER RIDGE
TRAIL

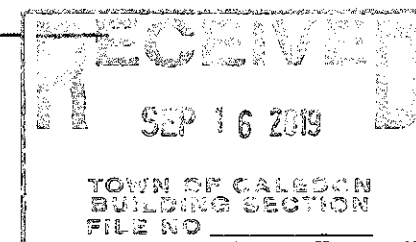
UNIT 83-2 &
83-4 UNIT 89-4
& 93-4 LOWES
HILL CIRCLE
(REVERSE)

UNIT 91-2
DEER RIDGE
TRAIL
(REVERSE)



BRACKET

NOTE
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.



2028
TOWNHOUSE

URBAN 1
ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO COMMENCING WORK. A 11 LOCALS ALONG MAY BE REQUIRED TO BE REPORTED TO THE TOWN OF CALEDON PRIOR TO COMMENCING WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. SUPPORT TO THE APPLICABLE ENGINEERING OR SURVEYING PROFESSIONAL'S WORK SHALL BE PROVIDED BY THE CLIENT PRIOR TO COMMENCING WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE TO CARRY OUT GENERAL REVIEW OF THE DESIGN AND ASSURES NO LIABILITY FOR THE FAILURE OF THE CONSTRUCTION OR FOR CONSTRUCTION TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5	SEPT. 03, 2019	REVISION TO ROOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PERMITTING
1	JULY 9, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

Walker Botter *WBE* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

SCALE: 3/16"=1'-0"
PROJ. NO. 18-18
DATE NO. 5A

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (existing) plans or existing drawings with respect to any zoning or building codes or permit matters or that any house can be properly built or located on the lot.

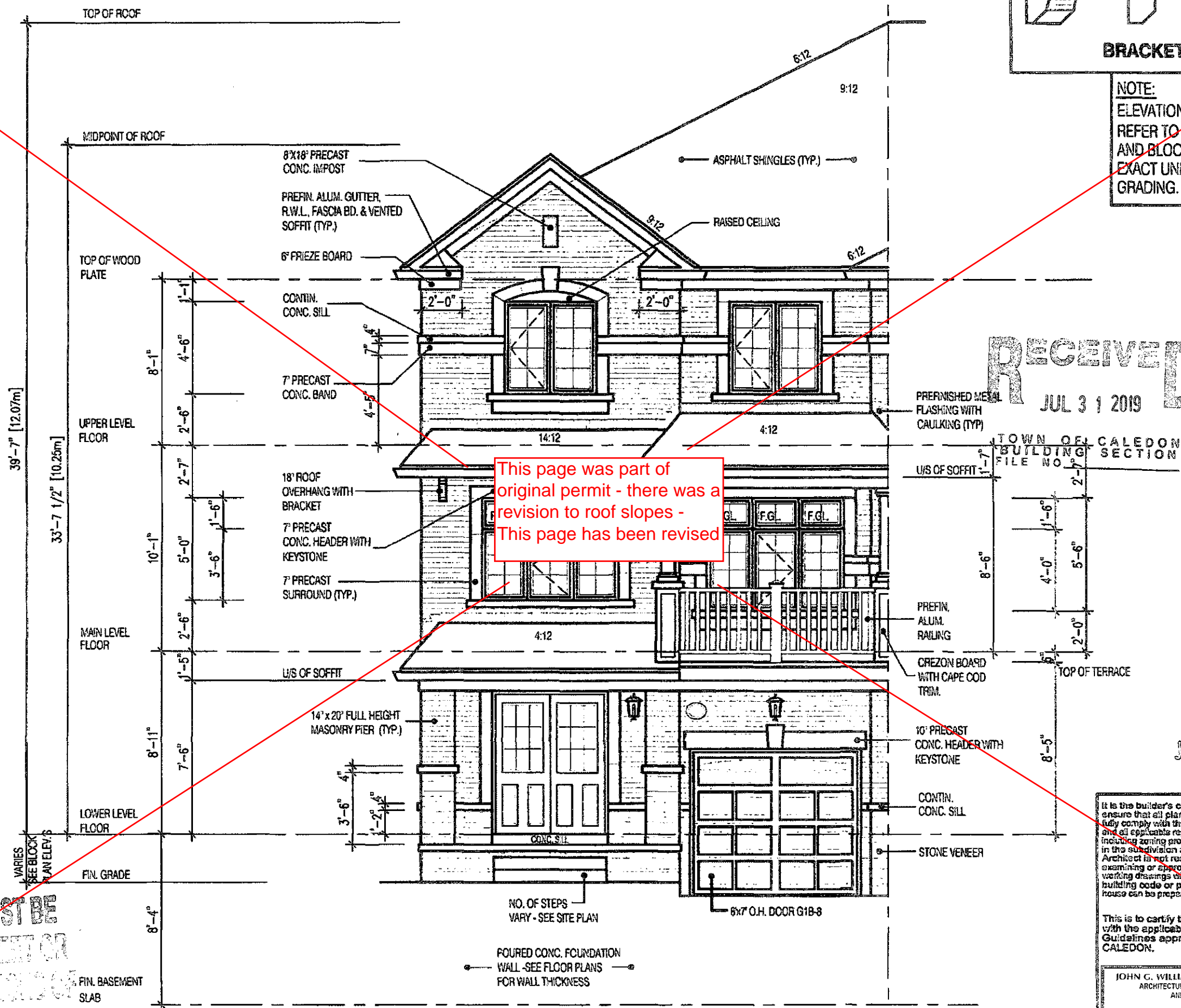
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP. 05, 2019
This stamp certifies compliance with the applicable Architectural Design Guidelines approved by the Town of CALEDON.


URBAN 1
FRONT
ELEV.-2A

UNIT 86-3
LOWES HILL
CIRCLE

UNIT 86-2
LOWES HILL
CIRCLE
(REVERSE)



This page was part of original permit - there was a revision to roof slopes - This page has been revised


BRACKET

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

RECEIVED
JUL 31 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO. 17

2028
TOWNHOUSE
URBAN 1
ELEVATION 2A
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED DIMENSIONS MUST BE REVERSED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.


No.	DATE	WORK DESCRIPTION
7		
6		
5		
4	JULY 15, 2019	REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.


QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

Walter Botter  21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 2A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON


BILD

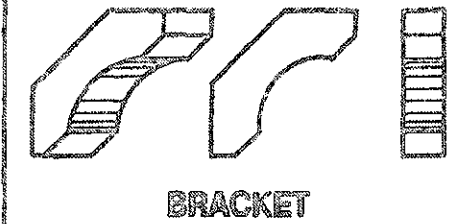
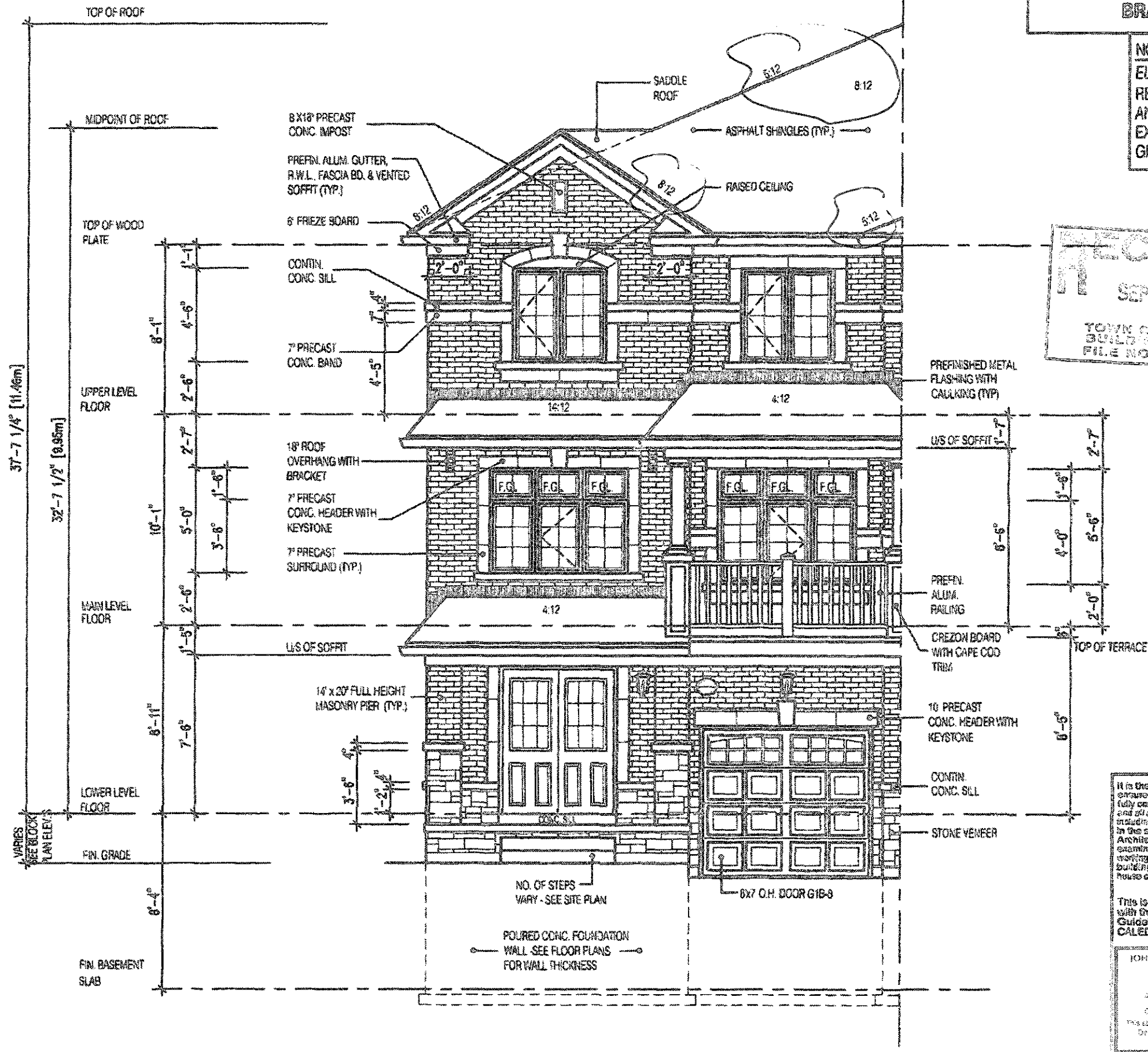
MODEL
SCALE
3/16" = 1'-0"
PROJ. No. 18-18
DWG. No. 5B

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE

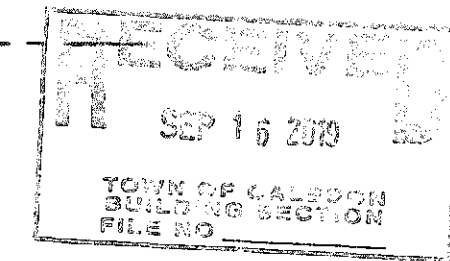
URBAN 1
FRONT
ELEV.-2A

UNIT 86-3
LOWES HILL
CIRCLE

UNIT 86-2
LOWES HILL
CIRCLE
(REVERSE)



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING



2028
TOWNHOUSE

URBAN 1
ELEVATION 2A

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND COSTS OF FINISHES, MATERIALS, ELEVATIONS AND CONSTRUCTION SHALL BE REPRODUCED TO THE CONTRACTOR'S OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS AND FOR THE CONSTRUCTION OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS OR FOR THE CONSTRUCTION OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING.

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THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

No.	DATE	WORK DESCRIPTION
7		
6		
5	SEPT. 01, 2019	REVISION TO ROOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS ISSUED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 9, 2018	ISSUED FOR STRUCTURAL REVIEW

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Registered under the Design Act, 1991
J.S. of the O.C.B.C.

Walter Butler *Walter Butler* 21031
NAME SIGNATURE ICON

REGISTRATION INFORMATION
Registered under the Design Act, 1991
J.S. of the O.C.B.C.

jardin design group inc. 27763
FIRM NAME ICON

FRONT ELEVATION 2A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

SCALE:
3/16"=1'-0"
FRONT No. 18-18
DRAW No. 5B

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to engineering or building code or permit matter or that any house can be properly built or located on the lot.

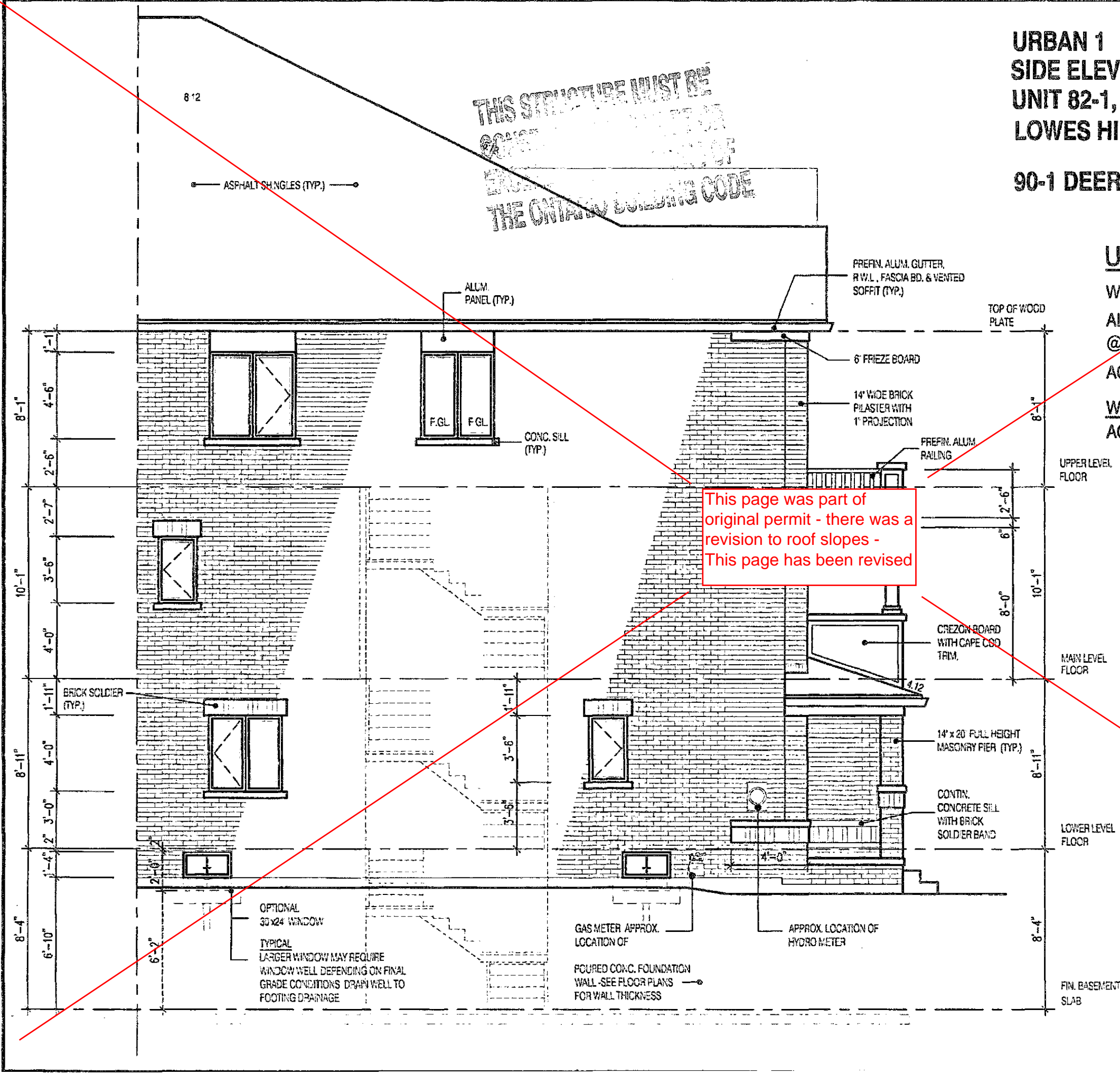
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL POWER
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 05, 2019
This drawing is the property of the Architect and is not to be reproduced or used for any other project without the written permission of the Architect.

THIS STRUCTURE MUST BE
CONSTRUCTED IN ACCORDANCE WITH
THE ONTARIO BUILDING CODE

URBAN 1
SIDE ELEV.-1
UNIT 82-1, 82-3, 85-1, 85-3, & 90-3
LOWES HILL CIRCLE
90-1 DEER RIDGE TRAIL

2028
TOWNHOUSE
URBAN 1
ELEVATION 1
ENERGY STAR
O.REG. 332/12



This page was part of
original permit - there was a
revision to roof slopes -
This page has been revised

UNPROTECTED OPENINGS

WALL AREA	1020	φ
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	71.4	φ
ACTUAL GLAZED AREA	55.6	φ
WITH OPT. 30"x24" WINDOWS ACTUAL GLAZED AREA	58.5	φ

RECEIVED
JUL 31 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 29, 2019
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

MAY 02 2019

No.	DATE:	WORK DESCRIPTION
7		
6		
5		
4		
3	FEB 8 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.7.5 of the Building Code.

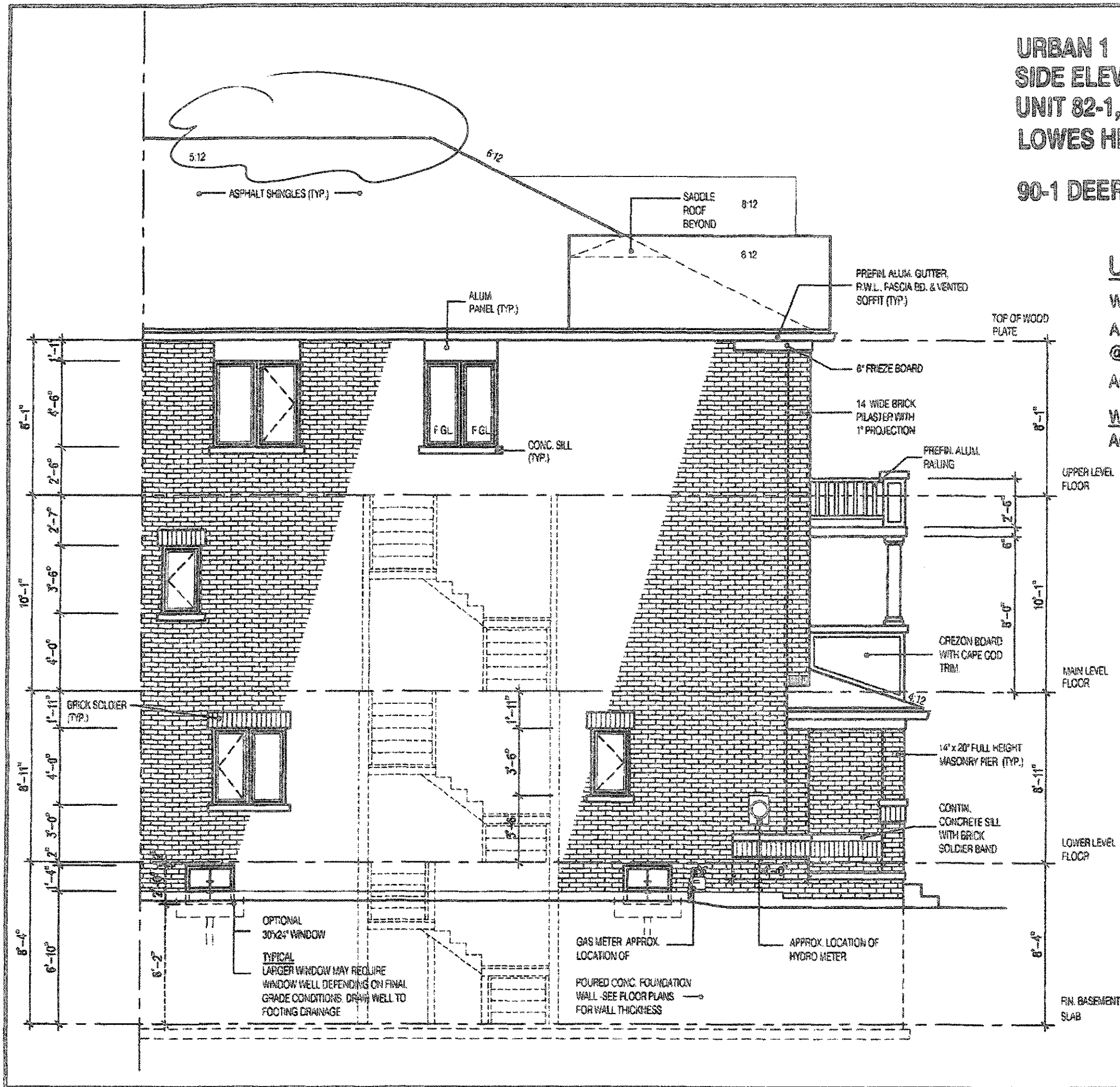
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

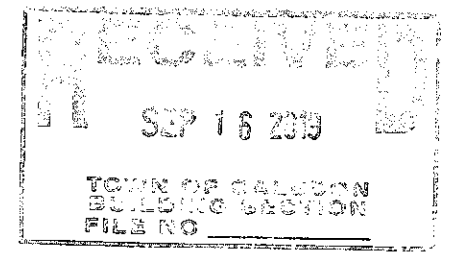
MODEL
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18 DWA. NO. 6



URBAN 1
SIDE ELEV.-1
UNIT 82-1, 82-3, 85-1, 85-3, & 90-3
LOWES HILL CIRCLE
90-1 DEER RIDGE TRAIL

UNPROTECTED OPENINGS

WALL AREA	1020
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	71.4
ACTUAL GLAZED AREA	55.6
WITH OPT. 30"x24" WINDOWS	
ACTUAL GLAZED AREA	58.5



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving the (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any route can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN C. WILLIAMS LTD., ARCHITECT
APPROVED BY: [Signature]
DATE: SEP 08, 2019
To a client or the client's agent, I hereby certify that the above is a true and correct copy of the original drawing as submitted to the Town of Caledon.

2028
TOWNHOUSE
URBAN 1
ELEVATION 1
ENERGY STAR
O.REG. 332/12

The contractor shall check and verify all dimensions and locations of the building and its components and shall be responsible for any errors or omissions in the drawings or specifications. The contractor shall be responsible for any errors or omissions in the drawings or specifications. The contractor shall be responsible for any errors or omissions in the drawings or specifications.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION OF THE BUILDING OR THE SAFETY OF ANY PERSONS OR PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ANY PERSONS OR PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ANY PERSONS OR PROPERTY.

JARDIN DESIGN GROUP INC. DOES NOT INTEND TO CARRY OUT OR BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING OR THE SAFETY OF ANY PERSONS OR PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ANY PERSONS OR PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ANY PERSONS OR PROPERTY.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IT IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

7		
6		
5	SEPT. 03, 2019	REVISION TO ROOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS RESUBMITTED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRODIG
1	JULY 8, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has entered and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION:
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Walter Boller 21031
NAME SIGNATURE BON

REGISTRATION INFORMATION:
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BON

SIDE ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL

SCALE:
3/16" = 1'-0"

PROJ. No 18-18 DWG. No 6

URBAN 1
SIDE ELEV.-1A
UNIT 82-2, 82-4, 85-2, 85-4, & 90-4
LOWES HILL CIRCLE
(REVERSE)
90-1 DEER RIDGE TRAIL

2028
TOWNHOUSE
URBAN 1
ELEVATION 1A
ENERGY STAR
O.REG. 332/12

UNPROTECTED OPENINGS

WALL AREA	1020	⌘
ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD)	71.4	⌘
ACTUAL GLAZED AREA	55.6	⌘
WITH OPT. 30"X24" WINDOWS		
ACTUAL GLAZED AREA	58.5	⌘

This page was part of
original permit - there was a
revision to roof slopes -
This page has been revised

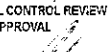
RECEIVED
JUL 3 1 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Central
Architect is not responsible in any way for
examining or approving (or failing) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: MAY 29, 2019
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

MAY 02 2019

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
AND PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THIS DRAWING OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE COPIED.

7		
6		
5		
4		
3	FEB 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a Designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Building Code

Walter Botter  27031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code

jardin design group inc. 27763
FIRM NAME BCIN

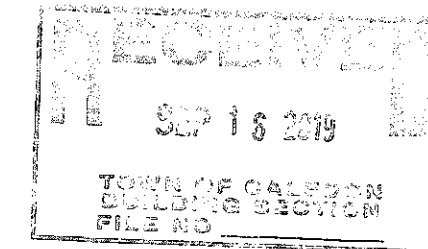
SIDE ELEVATION 1A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16"=1'-0"
PROJ. No. 18-18
DWG. No. 61

URBAN 1
SIDE ELEV.-1A
UNIT 82-2, 82-4, 85-2, 85-4, & 90-4
LOWES HILL CIRCLE
(REVERSE)
90-1 DEER RIDGE TRAIL

UNPROTECTED OPENINGS

WALL AREA	1020 #
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	71.4 #
ACTUAL GLAZED AREA	55.6 #
WITH OPT. 30"x24" WINDOWS	
ACTUAL GLAZED AREA	58.5 #



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
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GRADING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 05, 2019
This stamp is the professional seal of the architect.
Design Guidelines and any other rules and regulations.
Professional responsibility.

2028
TOWNHOUSE
URBAN 1
ELEVATION 1A
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE ENGINEERING OR ARCHITECTURAL DRAWINGS SHALL BE MADE.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE VALUE OF THE CONTRACTOR'S OR SUB-CONTRACTOR'S WORK OR THE WORK IN ADDITION TO THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5	SEPT. 03, 2019	REVISION TO POOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS RESUBMITTED TO CLIENT
3	FEB. 6, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 9, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.co

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Ontario Building Code.

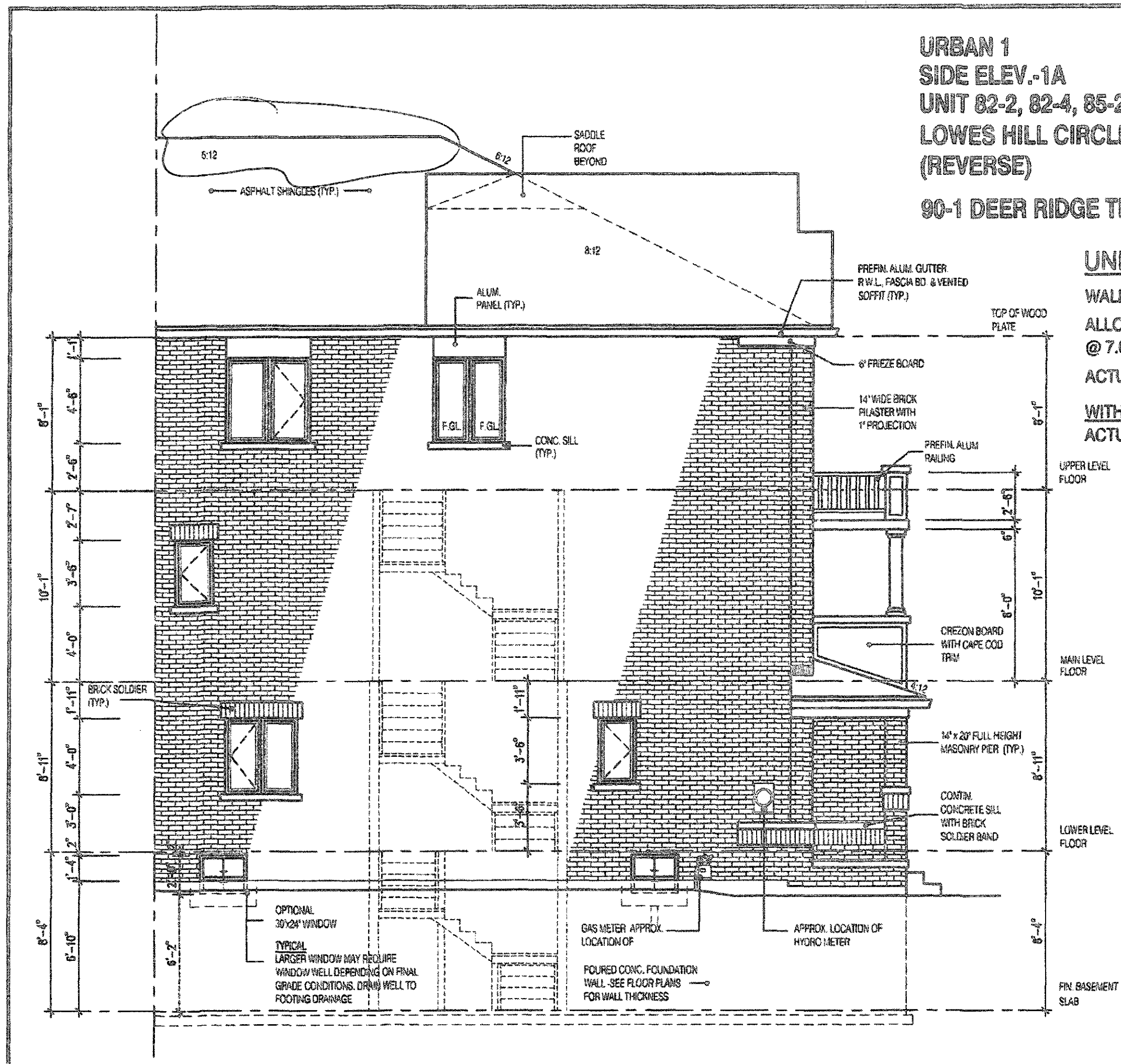
Walter Botter [Signature] 21031
NAME SIGNATURE BCIN

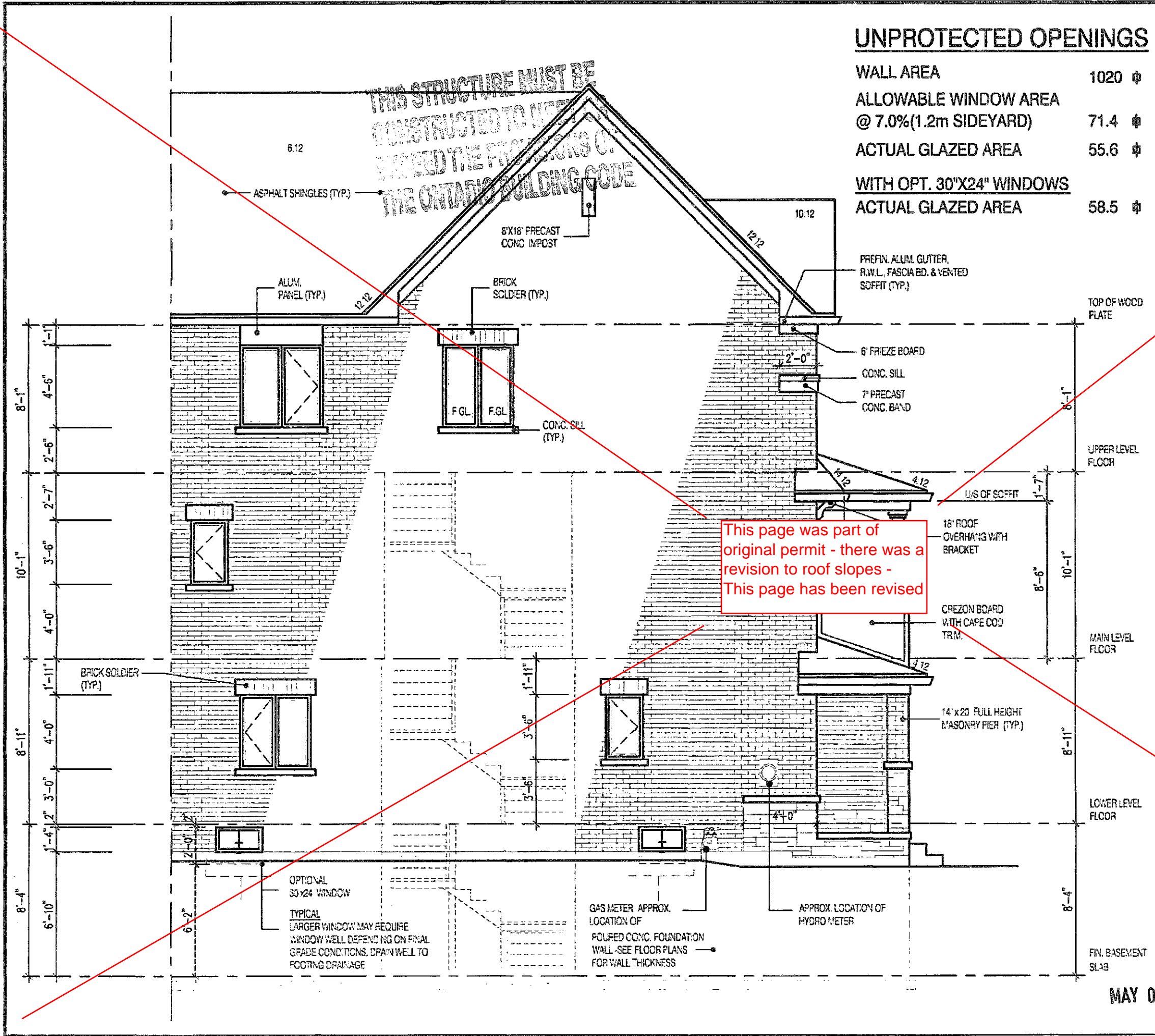
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Ontario Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL:
SCALE: 3/16" = 1'-0"
PROJ No. 18-18
DWG No. 6-1





UNPROTECTED OPENINGS

WALL AREA	1020	sq ft
ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD)	71.4	sq ft
ACTUAL GLAZED AREA	55.6	sq ft
WITH OPT. 30\"X24\" WINDOWS		
ACTUAL GLAZED AREA	58.5	sq ft

URBAN 1
SIDE ELEV.-2
UNIT 83-1 & 83-3
UNIT 89-3 & 93-3
LOWES HILL CIRCLE
UNIT 91-1
DEER RIDGE TRAIL

UNIT 83-2 & 83-4
LOWES HILL CIRCLE
UNIT 89-4 & 93-4
LOWES HILL CIRCLE
(REVERSE)
UNIT 91-2
DEER RIDGE TRAIL
(REVERSE)

JUL 3 1 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 29, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

MAY 0 2 2019

2028
TOWNHOUSE

URBAN 1
ELEVATION 2

ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, INHERITS MUST BE VERIFIED PRIOR TO ROLLING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4		
3	FEB 9 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW
NO.	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

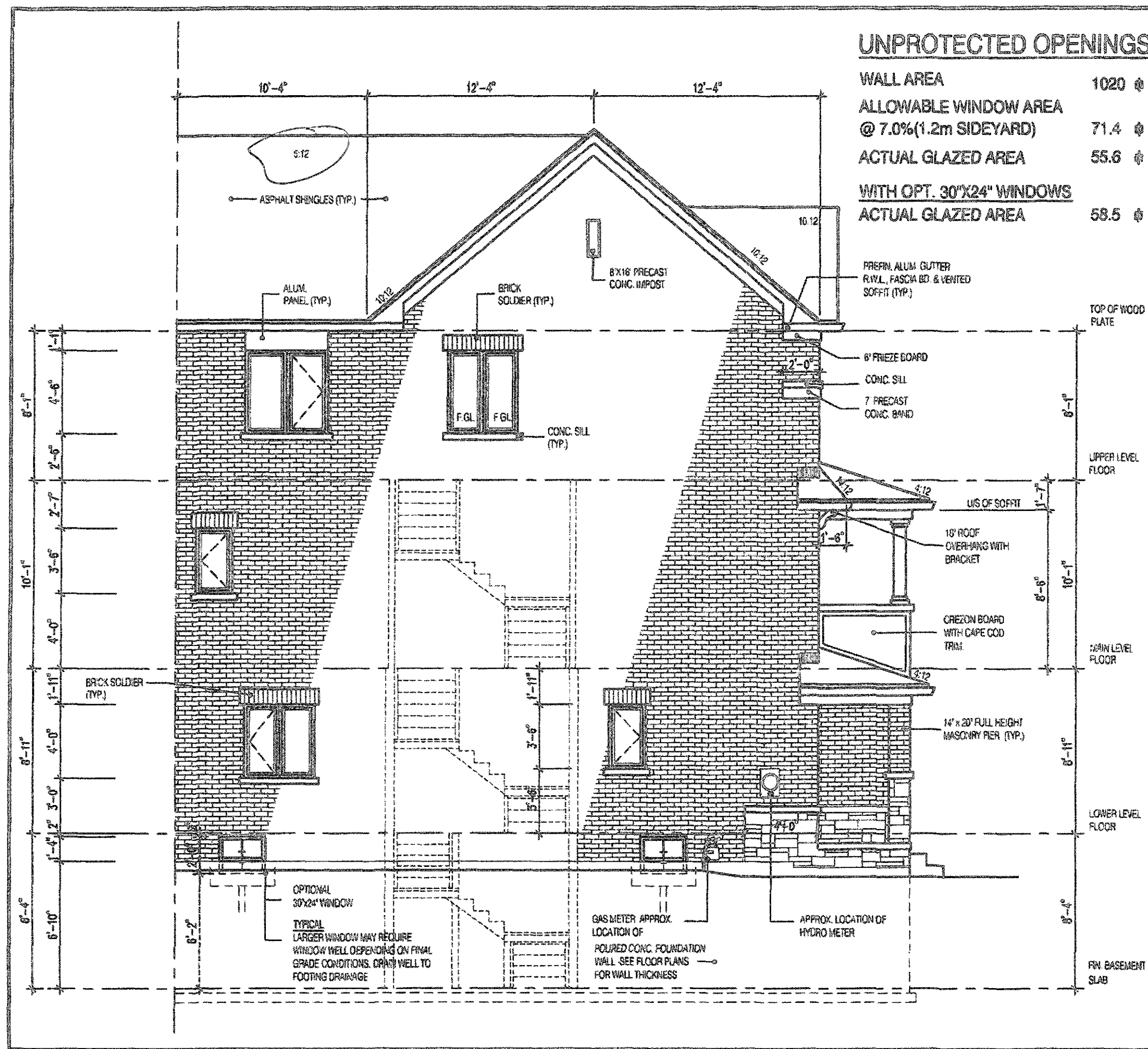
Walter Botter [Signature] 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCN

SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
Scale 3/16" = 1'-0"
PROJ. NO. 18-18
DWG. NO. 6A



2028 TOWNHOUSE

URBAN 1 ELEVATION 2

ENERGY STAR

O.REG. 332/12

THIS CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE BEGINNING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTS ON GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY INFORMATION OR EXISTING CONDITIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF A BUILDING MEASUREMENT. BEFORE THE CONTRACTOR COMMENCES WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES.

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DATE	REVISION
7	
6	
5	SEPT 03, 2019 REVISION TO ROOF SLOPES
4	JULY 15, 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 10, 2018 ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Section C, Subsection 3.2.5 of the Building Code.

Walter Boffert *Walter Boffert* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Section C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2

LAMBERTS LANE PHASE 2

TOWN OF CALEDON

BILD

MODEL

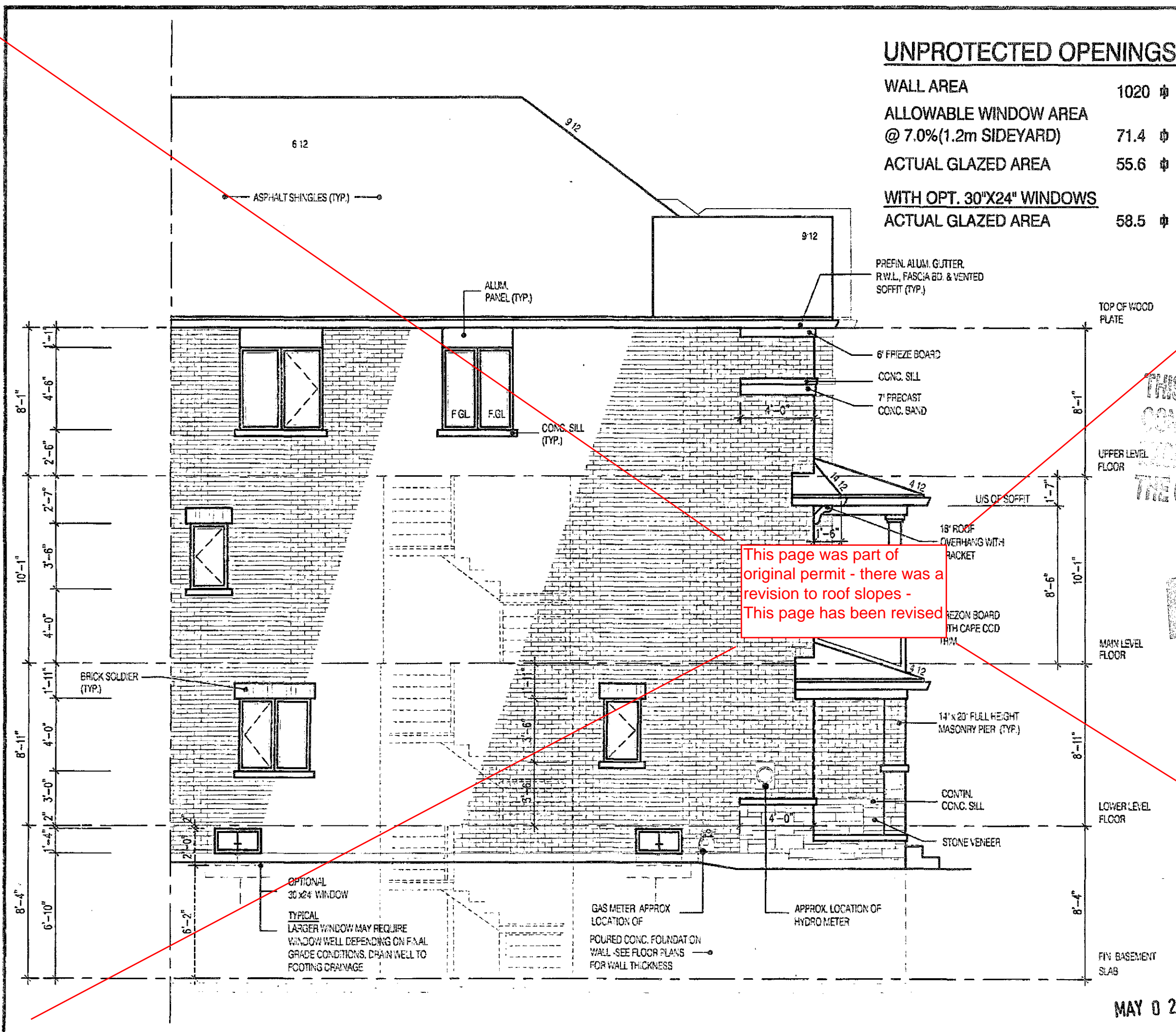
SCALE: 3/16" = 1'-0"

PROJ. No. 18-18 DWG. No. 6A

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY *[Signature]*
DATE SEP 05, 2019

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



UNPROTECTED OPENINGS	
WALL AREA	1020 ϕ
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	71.4 ϕ
ACTUAL GLAZED AREA	55.6 ϕ
WITH OPT. 30"X24" WINDOWS	
ACTUAL GLAZED AREA	58.5 ϕ

URBAN 1
SIDE ELEV.-2A
UNIT 86-3
LOWES HILL
CIRCLE

UNIT 86-2
LOWES HILL
CIRCLE
(REVERSE)

THIS STRUCTURE MUST BE
CONSTRUCTED IN ACCORDANCE WITH
THE PROVISIONS OF
THE ONTARIO BUILDING CODE

RECEIVED
JUL 31 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to
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comply with the Architectural Guidelines
and all applicable regulations and requirements
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with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAY 29, 2019

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

2028
TOWNHOUSE

URBAN 1
ELEVATION 2A

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
NO LATER THAN COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7		
6		
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3	FEB 8 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No.	DATE	WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca		
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.		
Walter Botter		21031
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.		
jardin design group inc.	27763	BCIN
FIRM NAME		

SIDE ELEVATION 2A

LAMBERTS LANE PHASE 2

TOWN OF CALEDON

MODEL

SCALE 3/16" = 1'-0"

PROJ. NO. 18-18

S&G. No. AR

This page was part of
original permit - there was a
revision to roof slopes -
This page has been revised

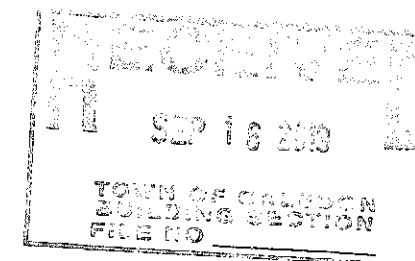
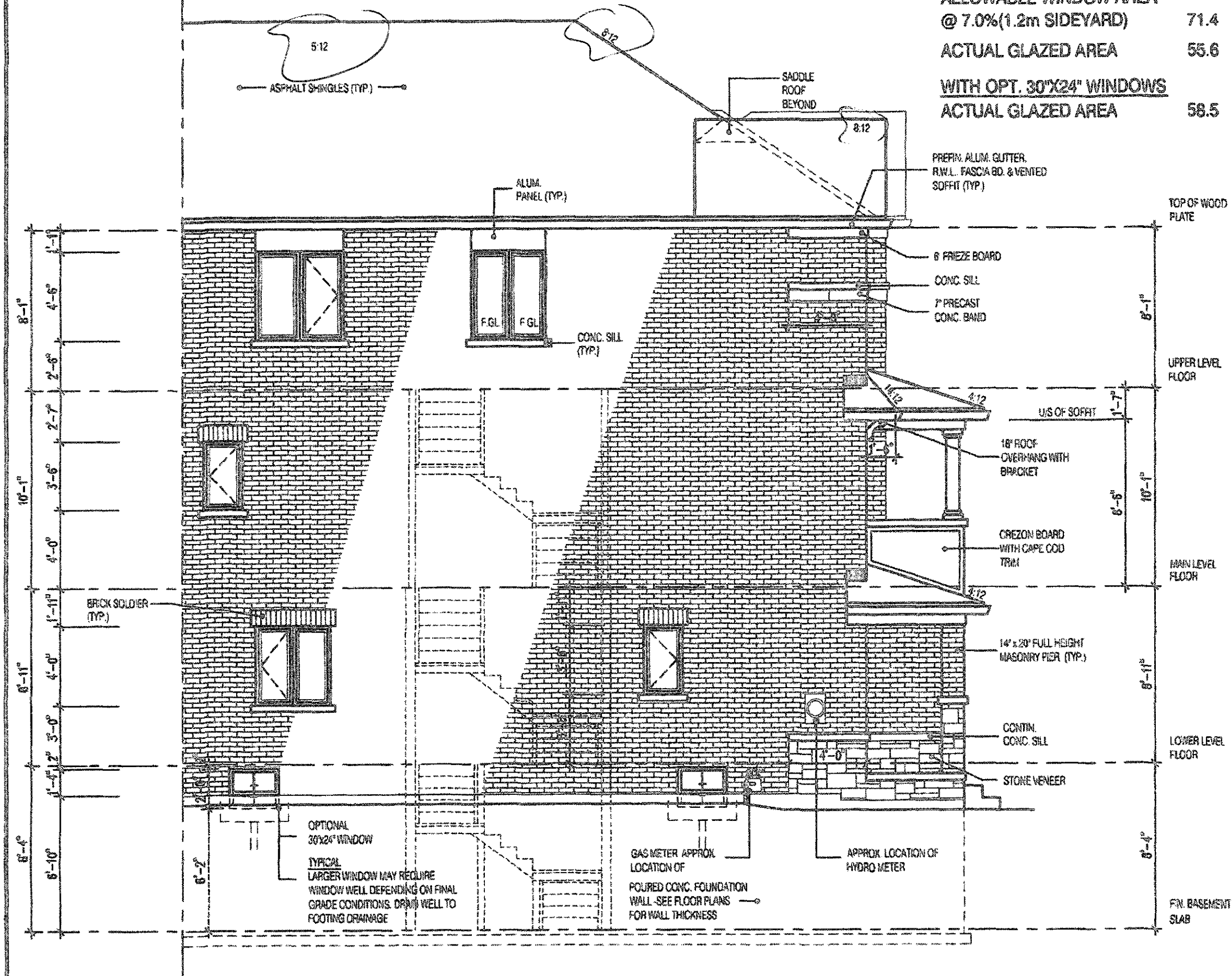
MAY 02 2019

UNPROTECTED OPENINGS

WALL AREA	1020 #
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	71.4 #
ACTUAL GLAZED AREA	55.6 #
WITH OPT. 30"x24" WINDOWS	
ACTUAL GLAZED AREA	58.5 #

URBAN 1
SIDE ELEV.-2A
UNIT 86-3
LOWES HILL
CIRCLE

UNIT 86-2
LOWES HILL
CIRCLE
(REVERSE)



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for commencing or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

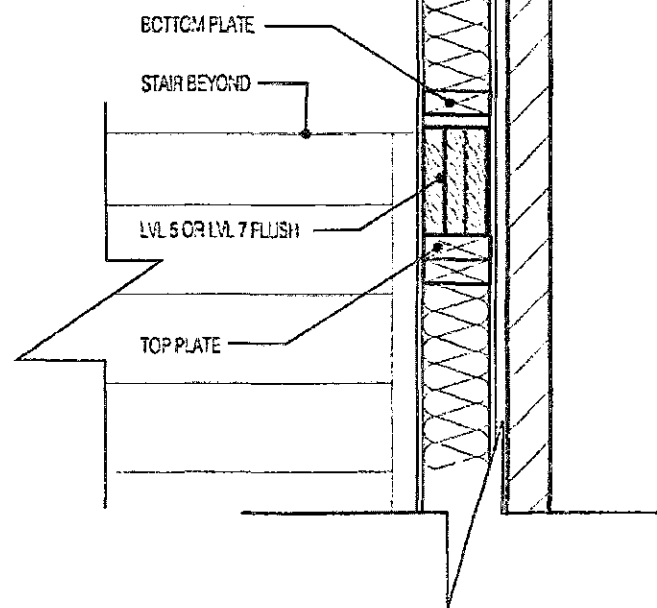
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURE CONTROL DIVISION
AND APPROVAL
DATE: SEP 16, 2019
The undersigned is a duly qualified and licensed Architect under the provisions of the Architectural Act, R.S.O. 1990, c. 19, and is not responsible for the design or construction of the building or any part thereof.

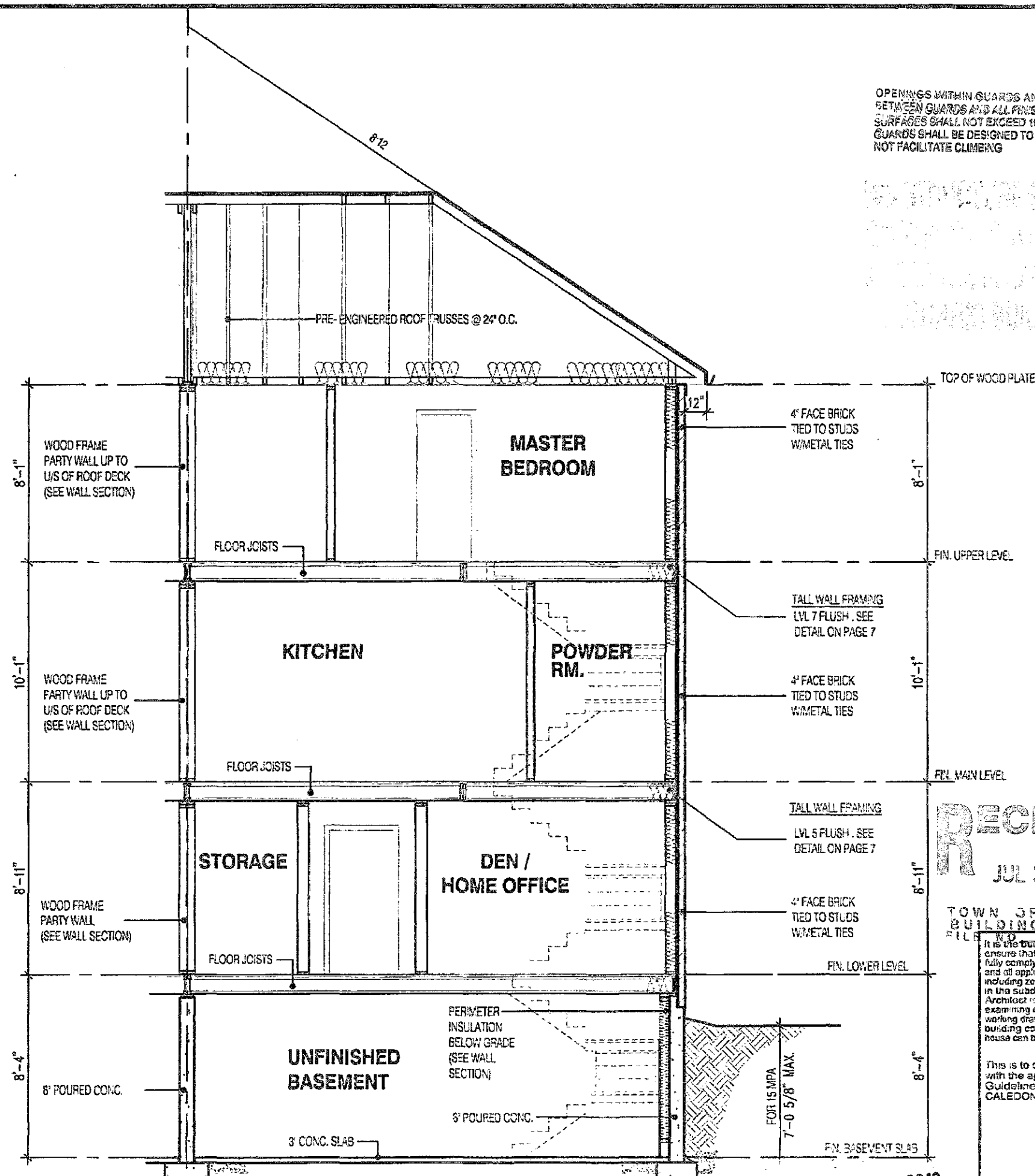
2028	
TOWNHOUSE	
URBAN 1	
ELEVATION 2A	
ENERGY STAR	
O.REG. 332/12	
<p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWING PREPARED AS A 1:1 COPY. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT OR GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF BLIND STRUCTURAL OR ENGINEERING INFORMATION AND/OR THESE DRAWINGS OR FOR CONSTRUCTION ERRORS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING OR ARCHITECTURAL PROFESSIONAL FOR WORK AS INDICATED BY THE DRAWING.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</p>	
7	
6	
5	SEPT. 03, 2019 REVISION TO ROOF SLOPES
4	JULY 15, 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2018 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 9, 2018 ISSUED FOR STRUCTURAL REVIEW
No.	DATE: WORK DESCRIPTION:
<p>Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 1.2.5 of the Building Code.</p> <p>Water Butler 21031 NAME SIGNATURE BON</p> <p>REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code.</p> <p>Jardin design group inc. 27769 FIRM NAME BON</p>	
SIDE ELEVATION 2A	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
<p>MODEL:</p> <p>SCALE: 3/16"=1'-0"</p> <p>PROJ. No. 18-18</p> <p>DWG. No. 6B</p>	



THIS SIDE INDICATES
TALL WALL CONDITION



B TALL WALL FRAMING
N.T.S.



SECTION A-A

MAY 02 2019

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

2028
TOWNHOUSE
URBAN 1
ELEVATION 1,1A,2 & 2A
ENERGY STAR
O.REG. 332/12

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No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWS No. 7

RECEIVED
JUL 31 2019

TOWN OF CALEDON
BUILDING SECTION

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Central
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
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Guidelines approved by the Town of
CALEDON.