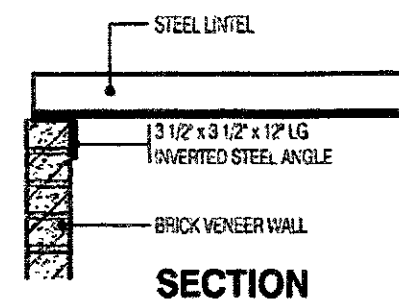
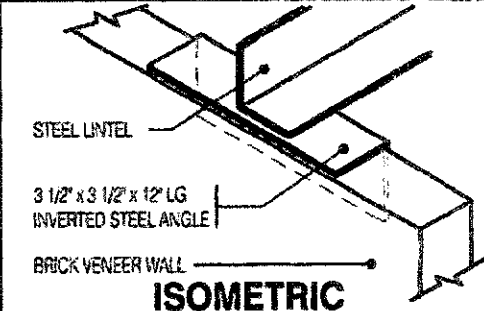


A COMPLETE SET OF REVENED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.



SECTION



ISOMETRIC

INVERTED STEEL ANGLE DETAIL

Scale: 3/4" = 1'-0"

DOOR SCHEDULE:

- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
- 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
- 2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
- 3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
- 4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
- 8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
- 12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

- WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2-2" x 8" SPR.
- WL2 = 4" x 3 1/2" x 5/16" (100x90x6) + 2-2" x 8" SPR.
- WL3 = 5" x 3 1/2" x 5/16" (125x90x6) + 2-2" x 10" SPR.
- WL4 = 6" x 3 1/2" x 5/16" (150x90x10) + 2-2" x 12" SPR.
- WL5 = 6" x 4" x 3/8" (150x100x10) + 2-2" x 12" SPR.
- WL6 = 5" x 3 1/2" x 5/16" (125x90x6) + 2-2" x 12" SPR.
- WL7 = 5" x 3 1/2" x 5/16" (125x90x6) + 3-2" x 10" SPR.
- WL8 = 5" x 3 1/2" x 5/16" (125x90x6) + 3-2" x 12" SPR.
- WL9 = 6" x 4" x 3/8" (150x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

- WB1 = 2-2" x 8" SPRUCE BEAM
- WB2 = 3-2" x 8" SPRUCE BEAM
- WB3 = 2-2" x 10" SPRUCE BEAM
- WB4 = 3-2" x 10" SPRUCE BEAM
- WB5 = 2-2" x 12" SPRUCE BEAM
- WB6 = 3-2" x 12" SPRUCE BEAM
- WB7 = 5-2" x 12" SPRUCE BEAM
- WB10 = 4-2" x 8" SPRUCE BEAM
- WB11 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

- L1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)
- L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 6)
- L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 6)
- L4 = 6" x 3 1/2" x 5/16" (150 x 90 x 10)
- L5 = 6" x 4" x 3/8" (150 x 100 x 10)
- L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

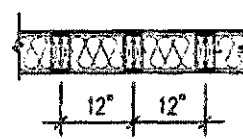
- LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
- LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
- LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
- LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
- LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
- LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
- LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
- LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
- LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
- LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
- LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
- LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
- LVL8 = 2-1 3/4" x 14" (2-45x356)
- LVL9 = 3-1 3/4" x 14" (3-45x356)

APPROVED
For construction as per the
Ontario Building Code
Town of Caledon Building Department
Initial D. Allman-Baraka
Date SEPTEMBER 3, 2019
File# URBAN 12 Elev. 1 & 2

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

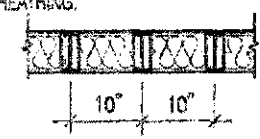
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT CAN SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 16'-0" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1 SE STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT CAN SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

URBAN 12 ELEV.-1		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	730.00	130.00	17.61 %
LEFT SIDE	1078.00	234.00	21.71 %
RIGHT SIDE	1058.00	0.00	0.00 %
REAR	730.00	0.00	0.00 %
TOTAL	3597.00	364.00	10.12 %

URBAN 12 ELEV.-2		ENERGY EFFICIENCY- ENERGY STAR	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	732.00	130.00	17.76 %
LEFT SIDE	1069.00	217.00	20.30 %
RIGHT SIDE	1058.00	0.00	0.00 %
REAR	730.00	0.00	0.00 %
TOTAL	3587.00	347.00	9.67 %

AREA CALCULATIONS
ELEVATION 1 & 2

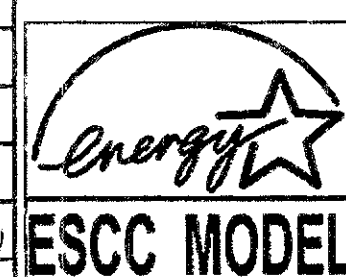
LOWER LEVEL AREA	=	578 Sq. Ft.
MAIN LEVEL AREA	=	857 Sq. Ft.
UPPER AREA	=	857 Sq. Ft.
TOTAL FLOOR AREA	=	2292 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2292 Sq. Ft.
GROUND FLOOR COVERAGE	=	578 Sq. Ft.
GARAGE COVERAGE / AREA	=	228 Sq. Ft.
PORCH COVERAGE / AREA	=	215 Sq. Ft.
COVERAGE W/ PORCH	=	1021 Sq. Ft.
COVERAGE W/O PORCH	=	806 Sq. Ft.

STRUDET INC.



FOR STRUCTURE ONLY

MAY 02 2019



ENERGY STAR - V 17

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB < 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (EA 29/01/14)
SPACE HEATING EQUIPMENT MINIMUM AFUE	COMBINED SPACE AND WATER HEATING P911 TESTED - MIN. TPFF .85
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HVAC MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH / STALE
DRAIN WATER HEAT RECOVERY	NOT REQUIRED
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLr) ATTACHED LEVEL 1 (3.0 ACH/0.25 NLr)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	100% CFLs OR LEDs

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2292
TOWNHOUSE

URBAN 12
ELEVATION 1 & 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
3	FEB. 7, 2019	ISSUED FOR PRICING
2	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW
1	APRIL 26, 2018	INTRODUCED INTO PROJECT FROM VAQUITA - URBAN 12

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Botter WBE 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.
jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

	MODEL	
	SCALE	3/16" = 1'-0"
	PROJ. No.	DWG. No.
		18-18 0

APPLICANT COPY

PAD FOOTING 120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x16" CONCRETE PAD
- F3 = 30"x30"x12" CONCRETE PAD
- F4 = 24"x24"x12" CONCRETE PAD
- F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 40"x40"x16" CONCRETE PAD
- F3 = 34"x34"x14" CONCRETE PAD
- F4 = 28"x28"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
- F2 = 38"x38"x16" CONCRETE PAD
- F3 = 32"x32"x14" CONCRETE PAD
- F4 = 26"x26"x12" CONCRETE PAD
- F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS FOR 3 STOREY TOWNHOUSES

REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

120 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS

30"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW EXTERIOR WALLS.

(UNLESS OTHERWISE NOTED.)

38"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

30"x8" CONCRETE STRIP FOOTINGS (WITH REBAR), AS NOTED ON PLANS.

32"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW EXTERIOR WALLS

(UNLESS OTHERWISE NOTED.)

52"x12" CONCRETE STRIP FOOTINGS - REINF. WITH REBAR BELOW PARTY WALLS..

100 KPa NATIVE SOIL

26"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW FOUNDATION WALLS.

30"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW EXTERIOR WALLS.

46"x10" CONCRETE STRIP FOOTINGS REINF. WITH REBAR BELOW PARTY WALLS.

GENERAL NOTE :

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

NOTE:

WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

RECEIVED
JUL 18 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

2292
TOWNHOUSE
URBAN 12
ELEVATION 1 & 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

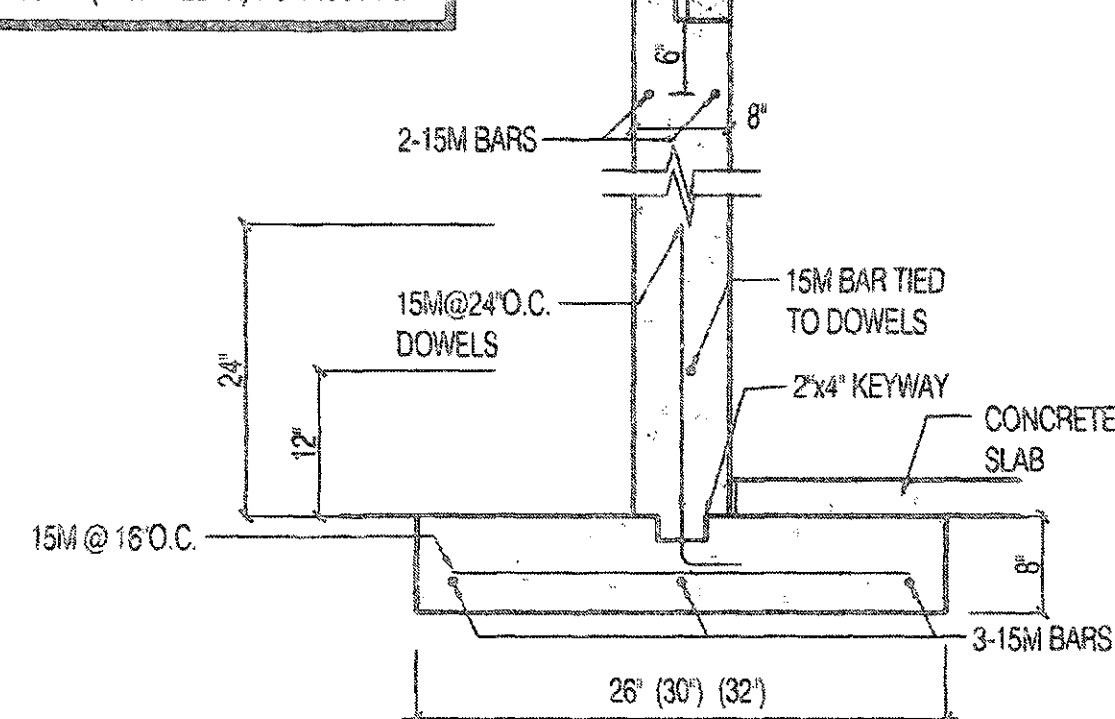
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY STATIONING, OR ANY OTHER INFORMATION RELAYED ON THESE DRAWINGS OR FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN ANY PERMITS OR APPROVALS FOR THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY JARDIN DESIGN GROUP INC. TO THE CLIENT FOR THE PROJECT DESCRIBED HEREIN. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

EXTERIOR STRIP FOOTING

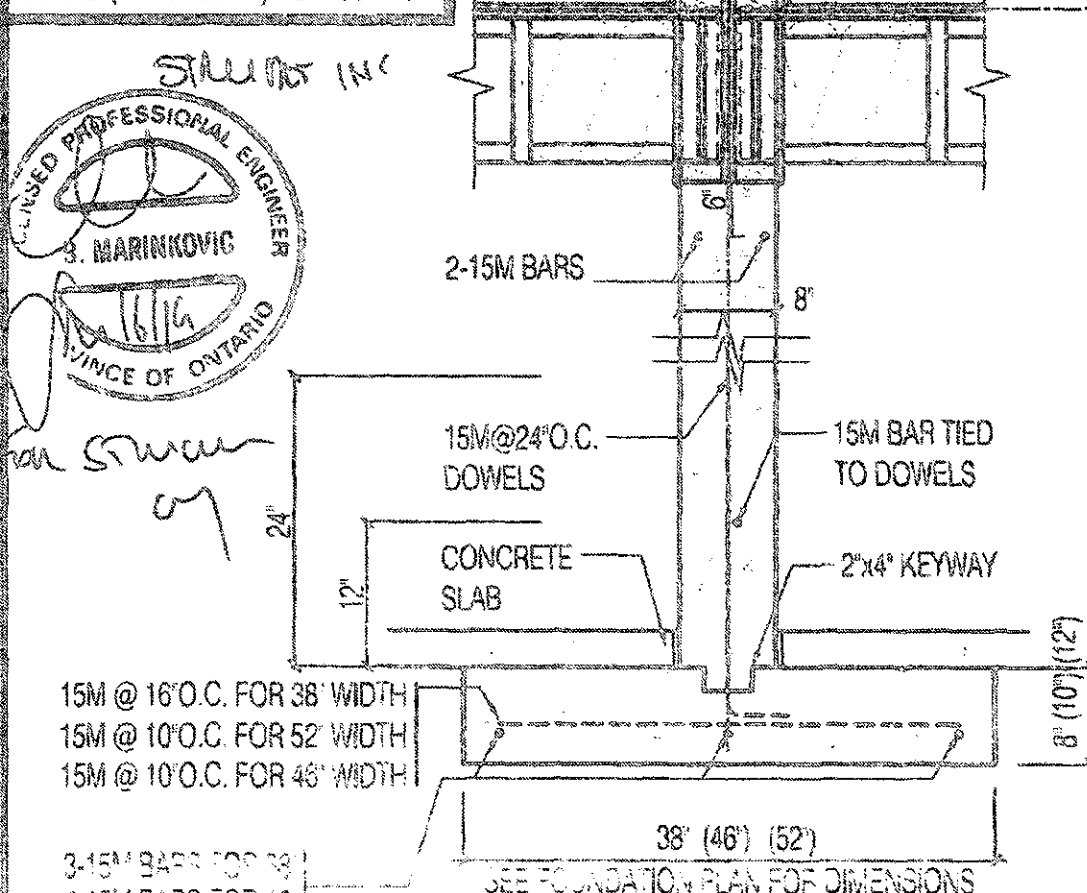
- 30"x8" (WITH REBAR) FOR 120 KPa
- 30"x8" (WITH REBAR) FOR 90 KPa
- 32"x8" (WITH REBAR) FOR 90 KPa
- 26"x8" (WITH REBAR) FOR 100 KPa
- 30"x8" (WITH REBAR) FOR 100 KPa



EXTERIOR STRIP FOOTINGS

PARTY WALL FOOTING SIZE

- 38"x8" (WITH REBAR) FOR 120 KPa
- 46"x10" (WITH REBAR) FOR 100 KPa
- 52"x12" (WITH REBAR) FOR 90 KPa



PARTY WALL FOOTINGS

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING :

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

JUL 16 2019

It is the builder's complete responsibility to ensure that all plans shown are for approval only and are not to be used for construction. The builder is responsible for obtaining all necessary permits and approvals. The builder is not responsible for any errors or omissions in the plans. The builder is not responsible for any damage to the property or any other loss. The builder is not responsible for any other matters. The builder is not responsible for any other matters.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

NO.	DATE	WORK DESCRIPTION
5		
4		
3		
2	JULY 15, 2019	REVISED PER CITY COMMENTS
1	JULY 15, 2019	ADDED FOOTING SIZE PAGE TO DRAWING SET

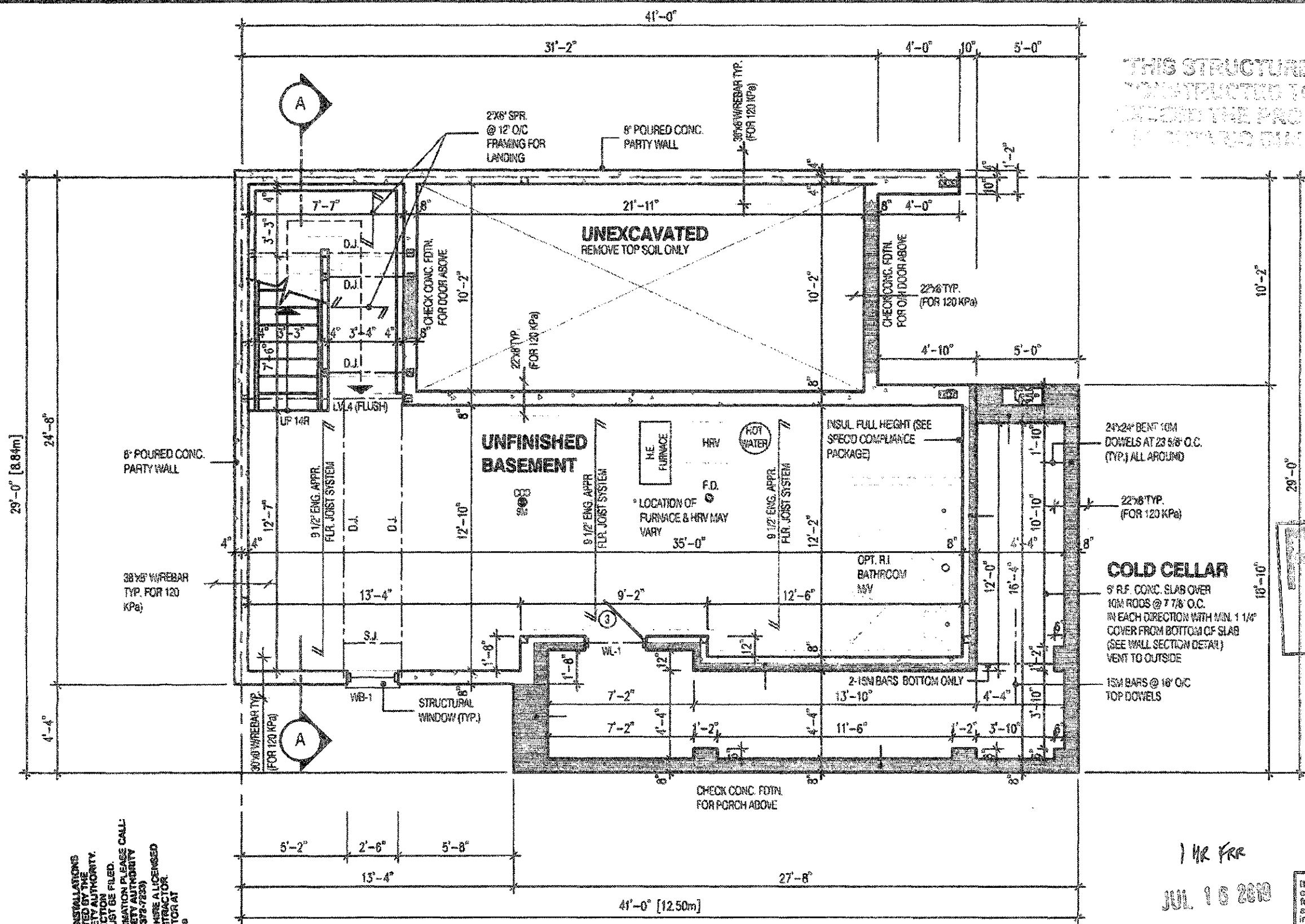
Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the Building Code.
Walter Boller 21031
NAME SIGNATURE BCQ
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code.
jardin design group inc. 27763
FIRM NAME BCQ

FOOTING SIZES/DETAILS
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/8" = 1'-0"
PROJ. NO. 18-18
DWG. NO. 0-1



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Council
Architect is not responsible in any way for
examining or approving site (plotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

2292	
TOWNHOUSE	
URBAN 12	
ELEVATION 1 & 2	
PACKAGE 'A4'	
O.REG. 332/12	
<p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATES ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.</p> <p>AS CONSTRUCTED, INHERITS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT OCCUPANCY.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS NOT TO BE REPRODUCED OR COPIED.</p>	
7	
6	
5	
4	JUL 15, 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019 ISSUED FOR PRICING
1	JUL 19, 2018 ISSUED FOR STRUCTURAL REVIEW
No:	DATE: WORK DESCRIPTION:
<p>jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUANTIFICATION INFORMATION Registered unless design is exempt under Division C, Subsection 1.2.5 of the building code.</p> <p>Walter Botter <i>Walter Botter</i> 21031 NAME SIGNATURE BCIN</p> <p>REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.</p> <p>Jardin design group inc. 27763 FIRM NAME BCIN</p> <p>BSMT. LEVEL EL-1 & 2 LAMBERTS LANE PHASE 2 TOWN OF CALEDON</p> <p>MODEL SCALE 3/16" = 1'-0" PROJ. No. 18-18 DRG. No. 1</p>	

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION REPORTS
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-453-5461 (573-7233)
PLUG IN SAFELY, HERE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.pluginsafely.ca

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1850 MM

NOTE:
REFER TO SHEET NO. 0-1 FOR UNTEL. BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 9'-7", 2 ROWS FOR SPANS GREATER THAN 7'

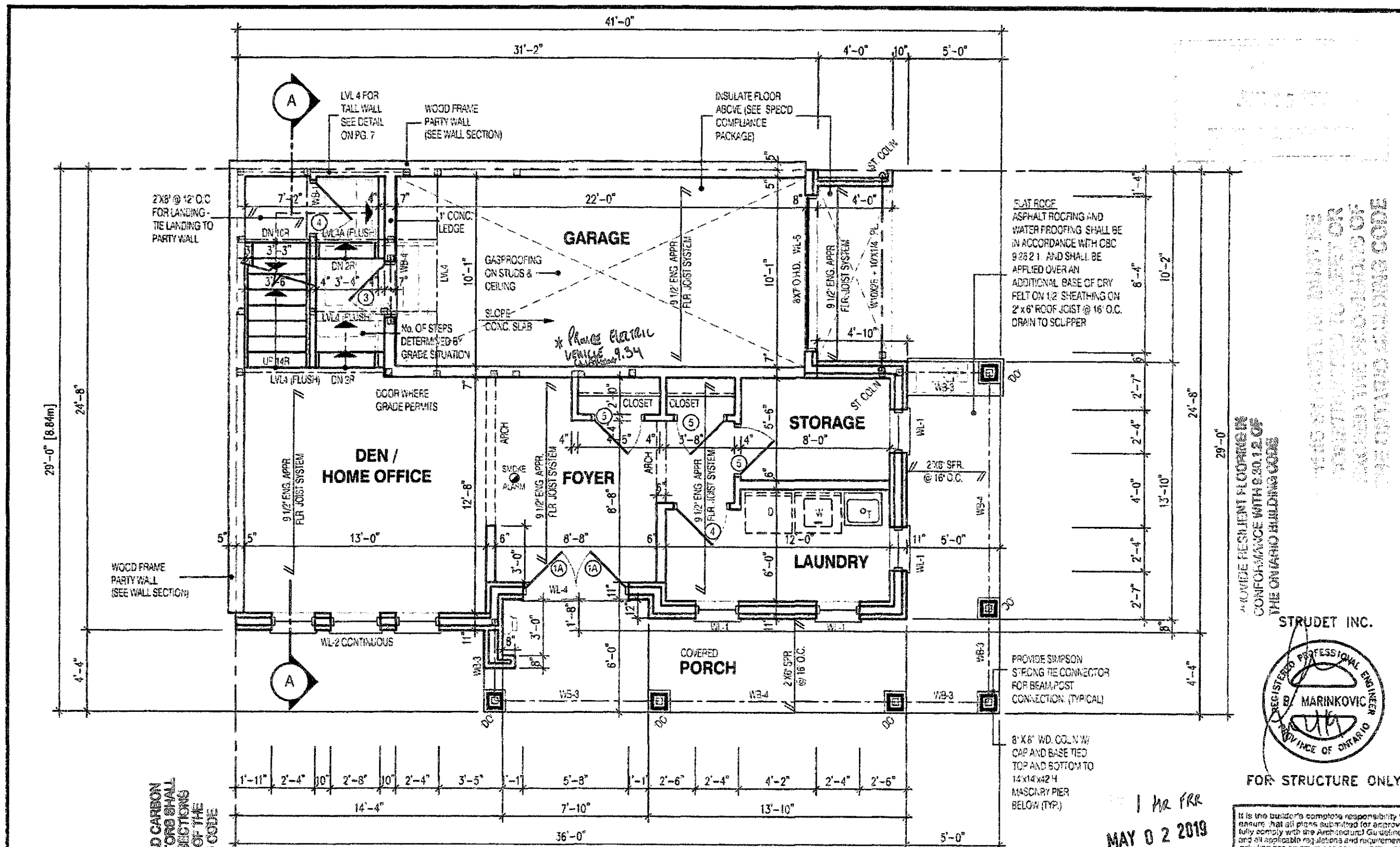
NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE
3/4" OSB ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.18. AND 9.33.4. OF THE ONTARIO BUILDING CODE

NOTE:
REFER TO SHEET NO. 0-1 FOR LVL. BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 6'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:
SUBFLOOR TO BE 5/8" OSB ON THIS LEVEL

NOTE:
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

- LEGEND:**
- BUILDING FACE < THAN 4'0" (1.2m) (AS MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER DRAIN

NOTE:
IT IS THE BUILDER'S COMPLETE RESPONSIBILITY TO ENSURE THAT ALL PLANS SUBMITTED FOR APPROVAL FULLY COMPLY WITH THE ARCHITECTURAL GUIDELINES AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS INCLUDING ZONING PROVISIONS AND ANY PROVISIONS IN THE SUBDIVISION AGREEMENT. THE CHAIRMAN ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR EXAMINING OR APPROVING SITE (HATCH) PLANS OR WORKING DRAWINGS WITH RESPECT TO ANY ZONING OR BUILDING CODES OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2292
TOWNHOUSE
URBAN 12
ELEVATION 1
PACKAGE 'A4'
O.REG. 332/12

THIS CONTRACTOR SHALL CHECK AND SIGN THIS DRAWING AND ALL OVERLAYS AND ADDITIONAL CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STREET, OR CITY ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTING PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, ALL DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUB CONTRACTOR TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

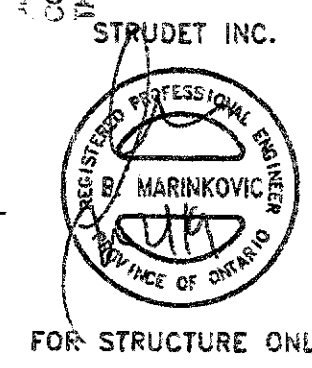
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

LOWER LEVEL EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

MODEL
SCALE 3/16" = 1'-0"
PROJ No. 18-18 DRG No. 2



UNIQUE RESIDENT FLOORING IS CONFORMANCE WITH 9.20.12 OF THE ONTARIO BUILDING CODE

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

1 hr FR
MAY 02 2019

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO LARSEN DESIGN GROUP IN WRITING TO COMMENCEMENT OF WORK.

LARSEN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SITE DATA OR ENGINEERING INFORMATION EXISTING ON THESE DRAWINGS OR FOR ANY CONSTRUCTION STARTING BEFORE THE ISSUANCE OF A BUILDING PERMIT. REPORT TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, DRAWINGS MUST BE RETURNED TO PROJECT FOR RECORD PURPOSES.

LARSEN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE RESULTS OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

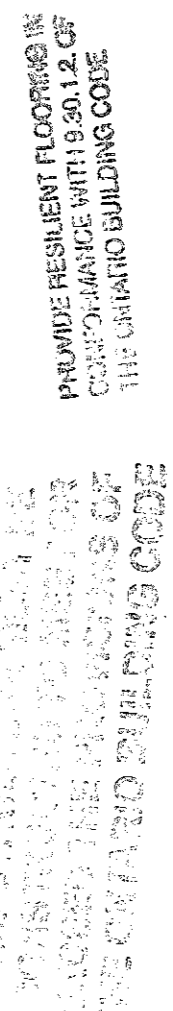
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS OWNED BY AND FOR THE PROPERTY OF LARSEN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE STOLEN.

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Code.

Walter Boffer <i>Walter Boffer</i> 21031		
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 12.4 of the building code		
Jardin design group inc.		27763
FIRM NAME		BCIN



For structure of

SUBFLOOR TO BE
5/8" OSB ON
THIS LEVEL

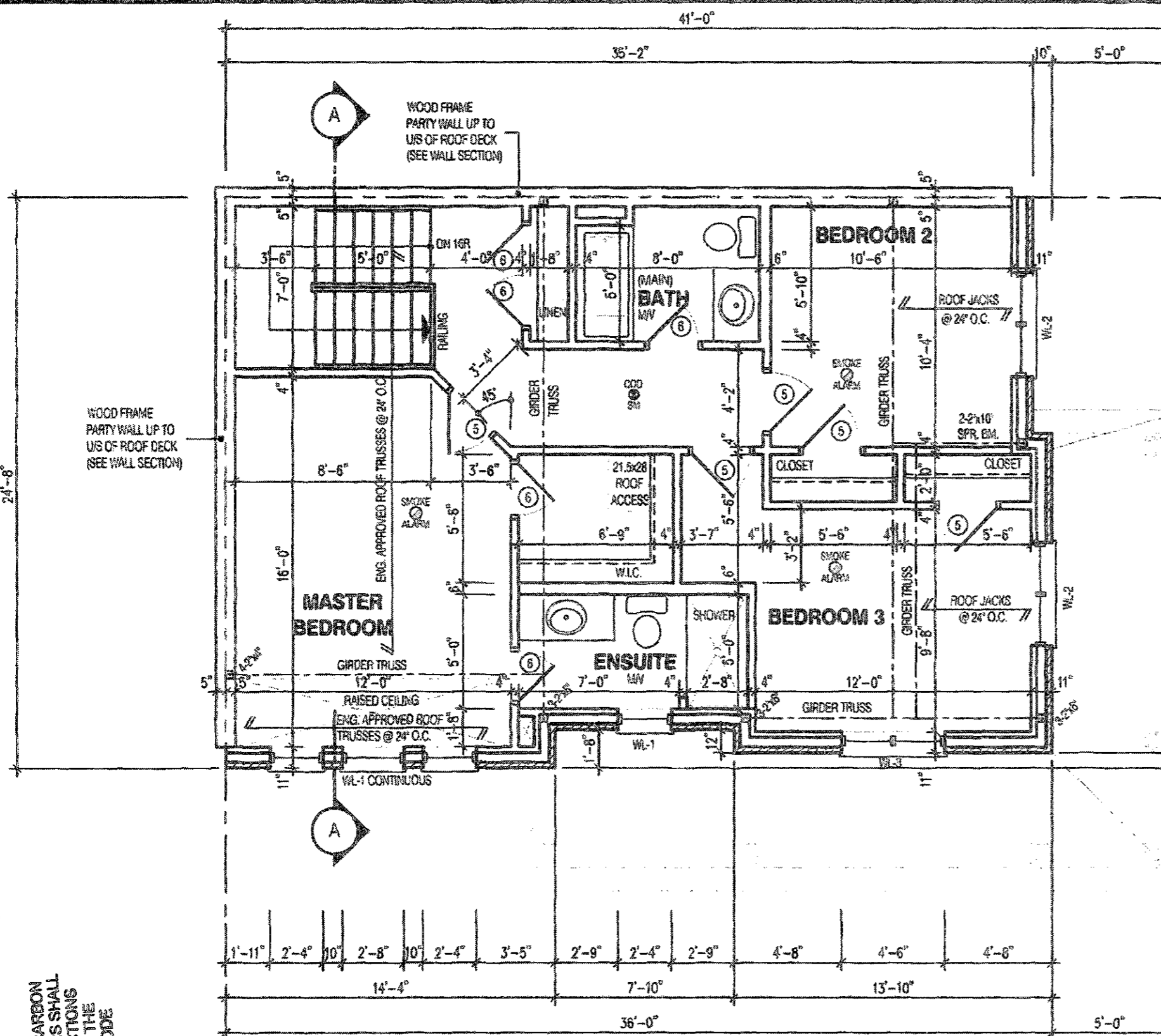
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER

 BUILDING FACE < THAN 4'-0" (1.2m)
 (AS MIN. FIRE RATING REQ'D)
 INDICATES SOLID BEARING REQUIRED
 OR POINT LOAD FROM ABOVE
 STL. PLATE FOR STEEL COLN. ABOVE
 LVL
 LVL LAMINATED VENEER LUMBER
 S.J. SINGLE JOIST
 D.J. DOUBLE JOIST
 T.J. TRIPLE JOIST
 REPEAT NOTE
 SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

PROVIDE RESILIENT FLOORING IN CONFORMANCE WITH 9.30.1.2. OF THE ONTARIO BUILDING CODE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE
 - LVL
 - S.J.
 - D.J.
 - T.J.
 - REPEAT NOTE
 - SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreements. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

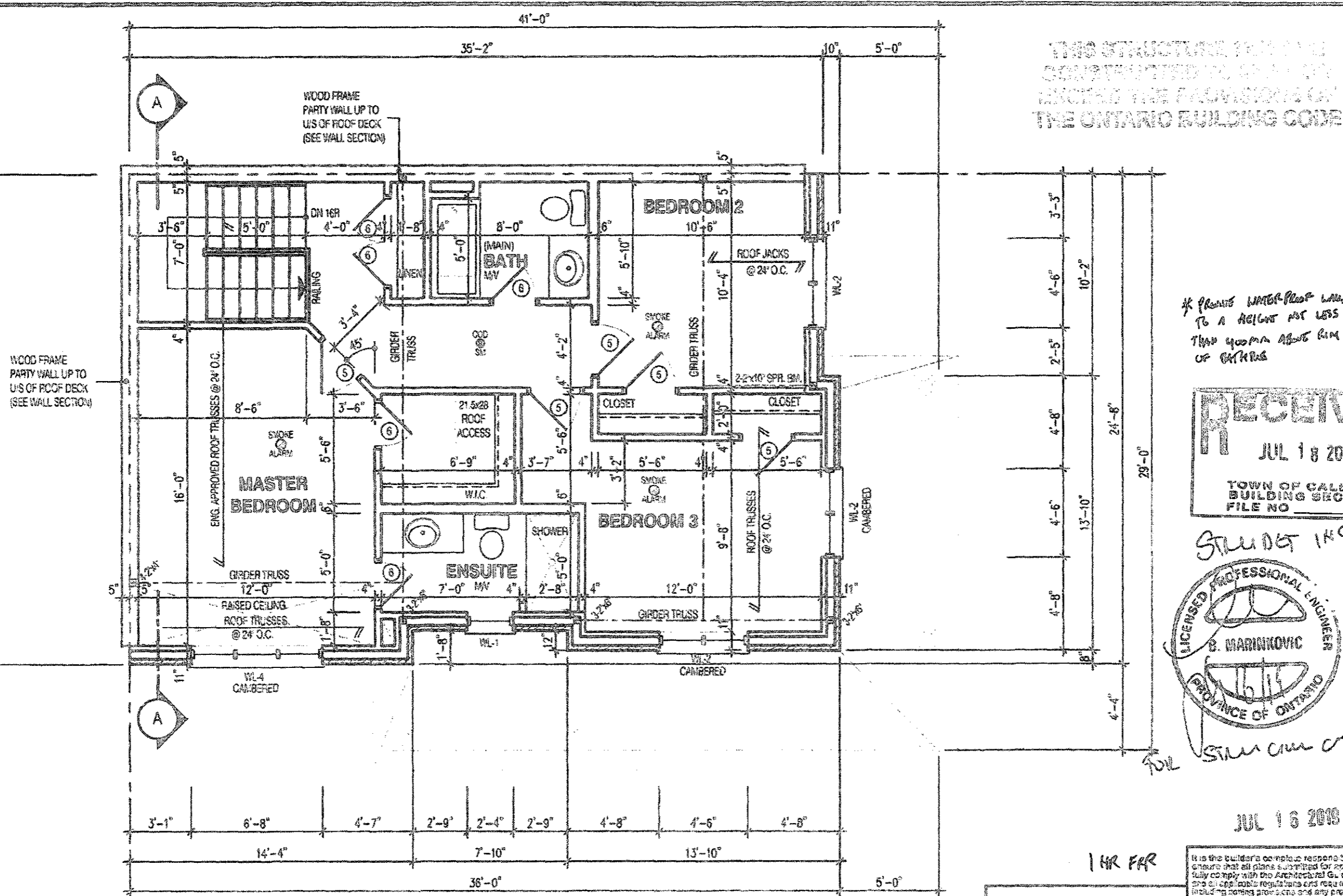
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL DESIGN GROUP INC.
400 BAYVIEW AVE. SUITE 100
SCARBOROUGH, ONTARIO M1S 1B7
TEL: (416) 291-1111
FAX: (416) 291-1112
WWW.JGWL.COM

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

STUDNET INC
LICENSED PROFESSIONAL ENGINEER
S. MARINKOVIC
PROVINCE OF ONTARIO
16/19

2292	
TOWNHOUSE	
URBAN 12 ELEVATION 1	
PACKAGE 'A4'	
O.REG. 332/12	
<p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.</p> <p>AS CONSTRUCTED, INTERIORS MUST BE VENTILATED PRIOR TO POURING FOOTINGS.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR ITS CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS FORWARDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</p>	
7	
6	
5	
4	JULY 15, 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
No.	DATE WORK DESCRIPTION
<p>jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN, ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.</p> <p>Walter Botter 21031 NAME SIGNATURE BCIN</p> <p>REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.</p> <p>jardin design group inc. 27763 FIRM NAME BCIN</p>	
UPPER LEVEL EL-1	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
MODEL	
SCALE 3/16" = 1'-0"	
PROJ. No.	DWG. No.
18-18	4



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.10. AND 9.33.4. OF THE ONTARIO BUILDING CODE

PROVIDE RESILIENT FLOORING IN CONFORMANCE WITH 9.30.1.2. OF THE ONTARIO BUILDING CODE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

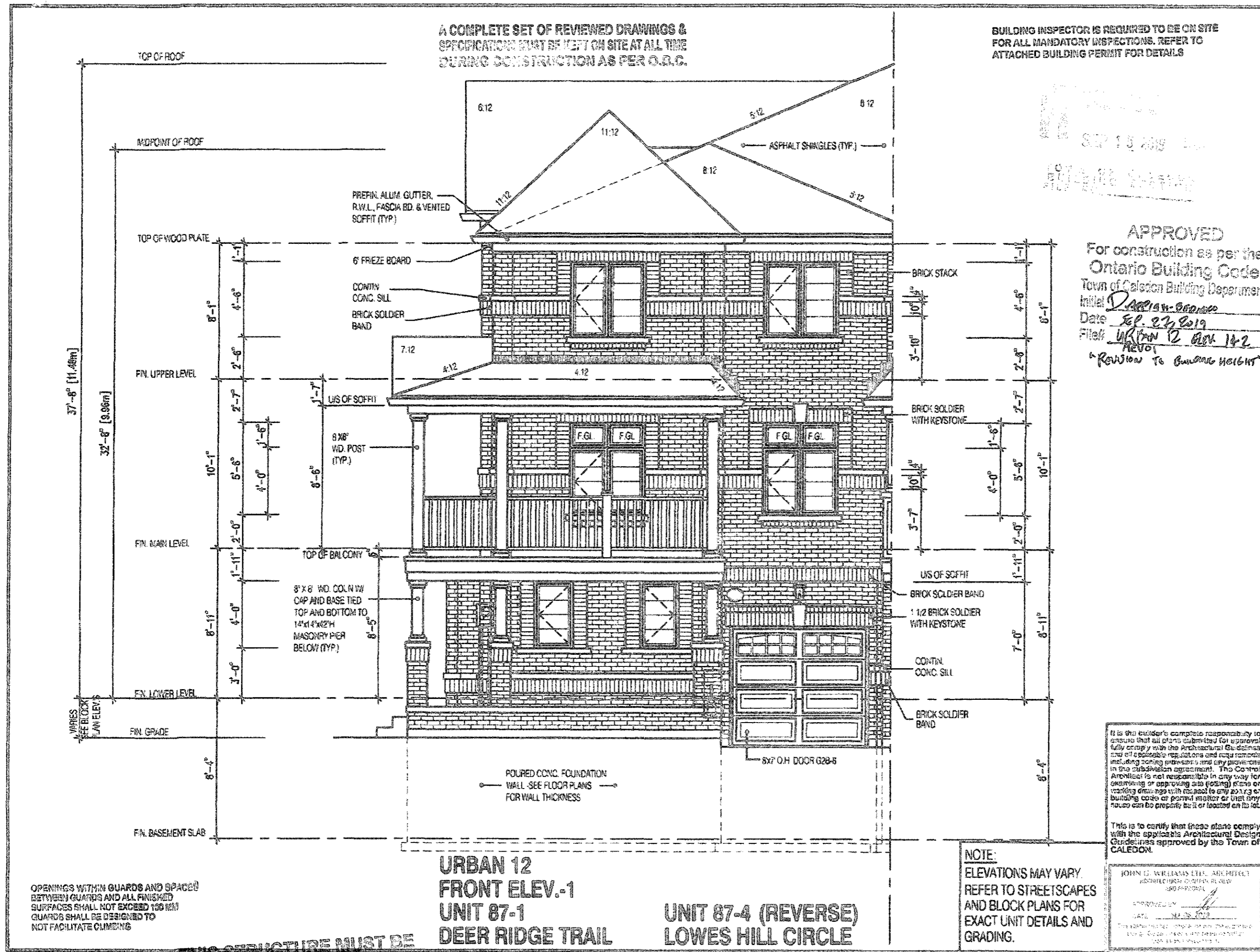
- LEGEND:**
- BUILDING FACE < 1/4\"/> (1.2%) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLUMN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - REPEAT NOTE
 - SMOKE SQUEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning and any other conditions in the subdivision agreement. The Council Architect is not responsible in any way for planning or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

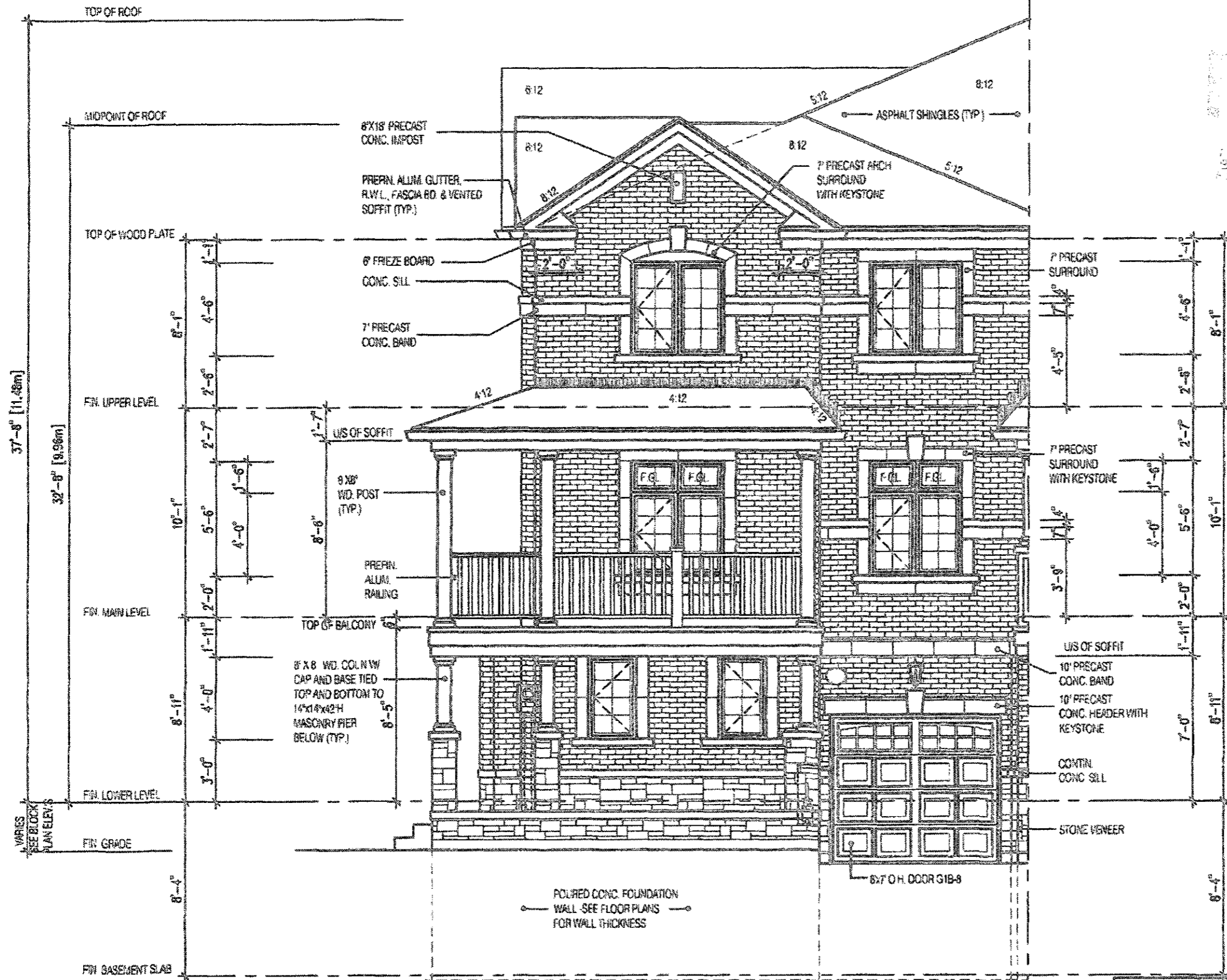
WATSON ENGINEERING LTD.
ARCHITECTURAL DESIGN
AND ENGINEERING
1000 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONTARIO M1S 1T5
TEL: (416) 291-1111
FAX: (416) 291-1112
WWW.WATSONENGINEERING.COM

2292	
TOWNHOUSE	
URBAN 12	
ELEVATION 2	
PACKAGE 'A4'	
O.REG. 332/12	
<p>THE TOWN OF CALEDON AND THE TOWN OF COUNCILS AND CONDITIONS ON SITE SET OUT IN PROCEEDING WITH CONSTRUCTION AND DISPOSITIONS SHALL BE PERMITTED TO APPLY, DESIGN OR GROUP AND PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE SIGNATURE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.</p> <p>AS CONSULTED INVENTS MUST BE DERIVED FROM THE POLYMER FOOTINGS.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS NOT TO BE REPRODUCED.</p>	
<p>RECEIVED JUL 18 2019 TOWN OF CALEDON BUILDING SECTION FILE NO.</p>	<p>3 JUL 15 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT</p> <p>3 FEB. 8 2019 ISSUED FOR BUILDING PERMIT</p> <p>2 FEB. 7 2019 ISSUED FOR PERMIT</p> <p>1 JULY 19 2018 ISSUED FOR STRUCTURAL REVIEW</p>
No.	DATE: WORK DESCRIPTION:
<p>jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p>	
<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required process design is required under Division C, Subsection 12.5 of the Building Code.</p>	
<p>Walter Boller NAME</p>	<p>21031 SIGNATURE</p>
<p>REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 12.4 of the Building Code.</p>	
<p>jardin design group inc. 27763 FIRM NAME</p>	
<p>UPPER LEVEL EL-2 LAMBERTS LANE PHASE 2 TOWN OF CALEDON</p>	
<p>BILD</p>	
<p>SCALE 3/16" = 1'-0"</p>	<p>PROJ. NO. 27763 SHEET NO. 4A</p>



2292	
TOWNHOUSE	
URBAN 12	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
<p>THE TOWN OF CALEDON AND NEIGHBOURHOODS DEPARTMENT HAS REVIEWED THE DRAWING AND APPROVED IT FOR CONSTRUCTION. THE TOWN OF CALEDON AND NEIGHBOURHOODS DEPARTMENT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DRAWING OR THE CONSTRUCTION OF THE BUILDING. THE TOWN OF CALEDON AND NEIGHBOURHOODS DEPARTMENT IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING. THE TOWN OF CALEDON AND NEIGHBOURHOODS DEPARTMENT IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING.</p>	
7	
6	
5	SEPT. 03, 2019
4	JULY 15, 2019
3	FEB. 8, 2019
2	FEB. 7, 2019
1	JULY 9, 2018
No DATE: WORK DESCRIPTION:	
<p>jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p>	
<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p>	
<p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 12.5 of the Building Code</p>	
<p>Walter Botter 21031 NAME SIGNATURE BCIN</p>	
<p>REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 12.6 of the Building Code</p>	
<p>jardin design group inc. 27763 FIRM NAME BCIN</p>	
FLANKAGE ELEV. 1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
<p>BILD</p>	
<p>SCALE: 3/16" = 1'-0"</p>	
PROJ NO	DWG NO
18-18	5

APPLICANT COPY



**URBAN 12
FRONT ELEV.-2
UNIT 80-3 & 86-1
LOWES HILL CIRCLE**

**UNIT 80-2 & 86-4 (REVERSE)
LOWES HILL CIRCLE**

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architecture Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN C. WILLIAMS LTD., ARCHITECT
APPROVED BY: [Signature]
DATE: SEP 05, 2019
The above information is provided for your information only and does not constitute a contract. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

2292	
TOWNHOUSE	
URBAN 12	
ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
<p>THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS. IF FOR ANY REASON IT IS DETERMINED THAT THERE IS A DISCREPANCY BETWEEN THESE DRAWINGS AND THE INFORMATION PROVIDED BY A THIRD PARTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE CORRECT INFORMATION AND FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE THIRD PARTY.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY A THIRD PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE CORRECT INFORMATION AND FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE THIRD PARTY.</p> <p>THIS DRAWING IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.</p>	
7	
6	
5	SEPT. 03, 2019 REVISION TO ROOF SLOPES
4	JULY 15, 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 9, 2018 ISSUED FOR STRUCTURAL REVIEW
No.	DATE: WORK DESCRIPTION:
<p>jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempted under Division C, Subsection 1.2.5 of the Building Code.</p> <p>Walter Boller [Signature] 21031 NAME SIGNATURE BCN</p> <p>REGISTRATION INFORMATION Required unless design is exempted under Division C, Subsection 1.2.4 of the Building Code.</p> <p>Jardin design group inc. 27763 FIRM NAME BCN</p>	
FLANKAGE ELEV.-2	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
<p>BILD</p> <p>SCALE: 3/16" = 1'-0"</p> <p>PROJ. No 18-18</p> <p>DWG. No 5A</p>	

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

2292
TOWNHOUSE
URBAN 12
ELEVATION 1
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION EXCEPT ON THE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

ALL CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK. ANY ASSUMPTIONS OR RESPONSIBILITIES FOR THE FAILURE OF THE CONSTRUCTION OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PERMITS
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter

21031

SIGNATURE

BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc.

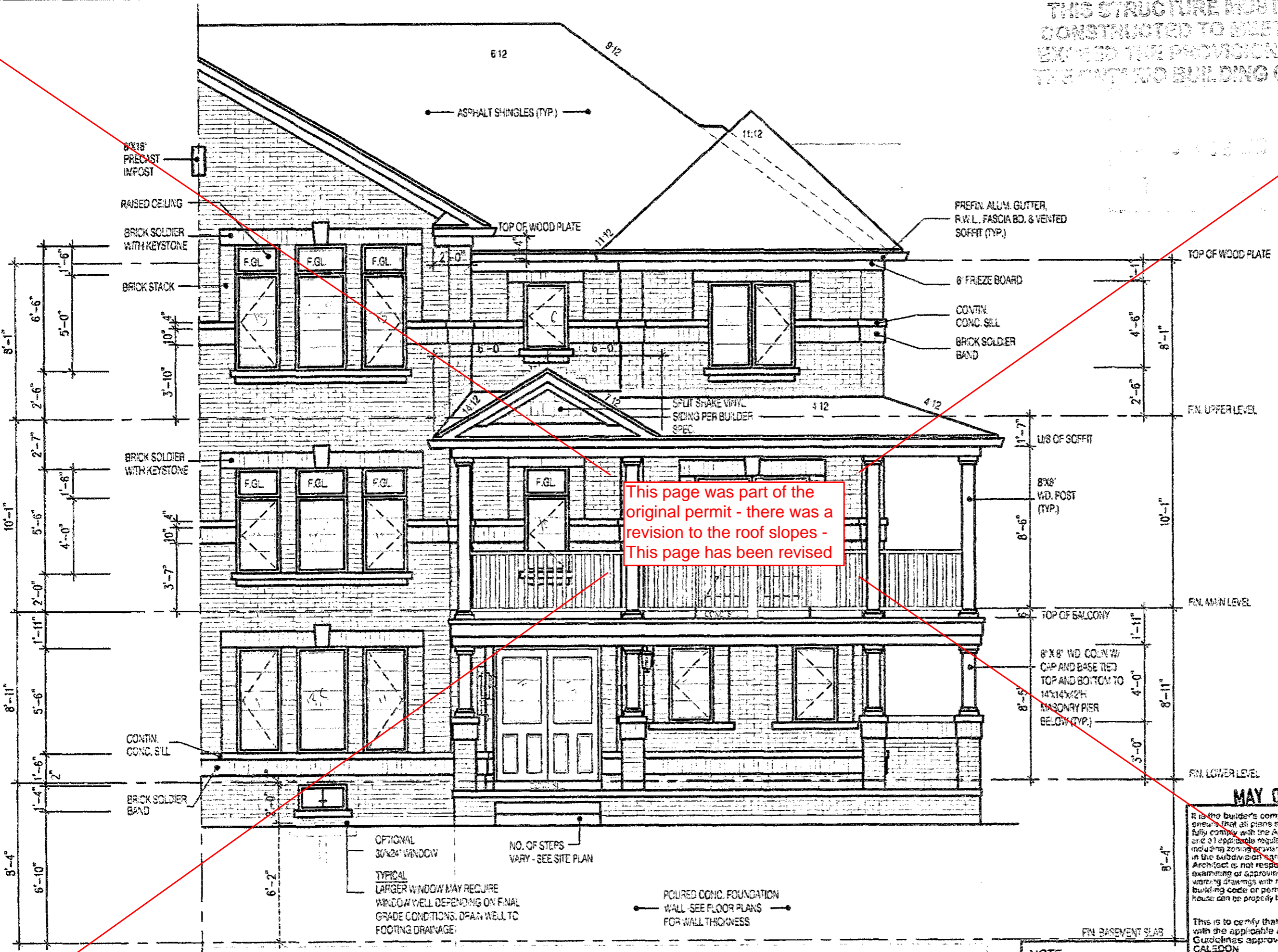
27763

FIRM NAME

BCIN

FRONT ELEV.-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
18-18
6



This page was part of the
original permit - there was a
revision to the roof slopes -
This page has been revised

URBAN 12
FLANKAGE ELEV.-1
UNIT 87-1 DEER RIDGE TRAIL
UNIT 87-4 (REVERSE) LOWES HILL CIRCLE

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

MAY 02 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ALL INFORMATION CONTAINED
HEREIN IS UNCLASSIFIED
DATE 08-19-2009 BY 60322 UCBAW

THE CONTRACTOR SHALL OBTAIN AND MAINTAIN ALL NECESSARY PERMITS AND CONSENTS ON BEHALF OF THE CONTRACTOR AND ITS CONSULTANTS. ANY DISCREPANCIES SHALL BE REPORTED TO AGENCIES INVOLVED BY THE OWNER TO GOVERNMENT OF INDIA.

WORK DESIGN GROUP IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION PROVIDED AND THESE DRAWINGS OR INFORMATION CONTAINED THEREIN STATES ONLY TO THE BEST OF AWARENESS OF THE GROUP. REGARD TO THE APPROPRIATE ENGINEERING AND DESIGN REQUIREMENTS FOR THE WORK.

AS CONSTRUCTED BY THE LOCAL REVENUE DEPARTMENT TO POLICE STATION.

WORK DESIGN GROUPING IS NOT BEING HELD TO BE RESPONSIBLE FOR GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE STRUCTURE OR FOR CONSTRUCTION TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.


THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF THE WORK DESIGN GROUP. I.E. THIS DRAWING IS NOT TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION:
-----	------	-------------------

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

NAME	SIGNATURE	ROOM
Walter Butler	<i>Walter Butler</i>	21031

jardin design group inc. 27763
FIRM NAME BON



BILD®

MODEL	
SCALE: 3/16" = 1'-0"	
PROJ No	DWG No
18-18	6

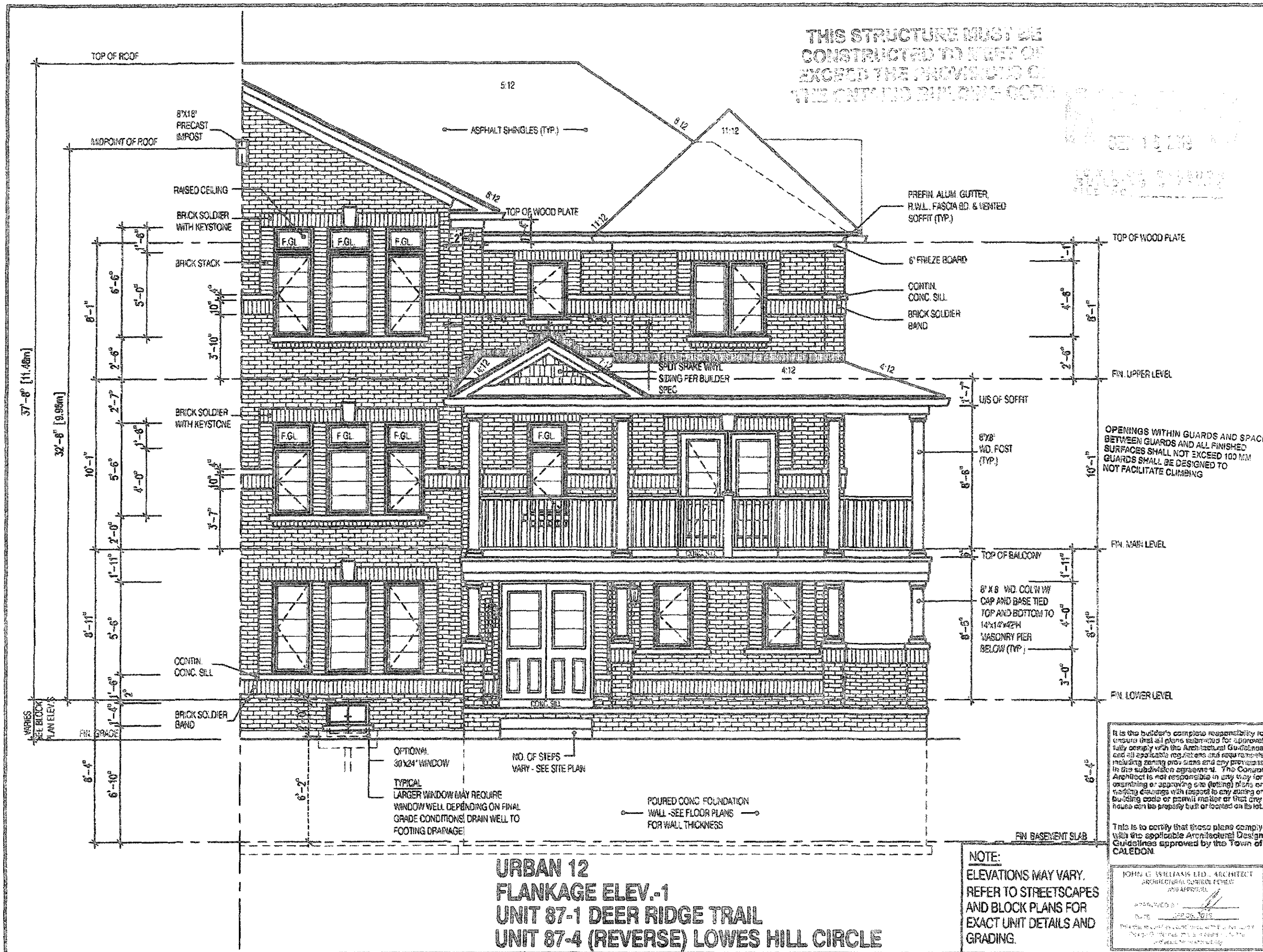
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
STRUCTURAL ENGINEER
AND APPRAISER

APPROVED BY: [Signature]
DATE: SEP 24 1978

THIS DOCUMENT IS NOT VALID UNLESS IT IS ACCOMPANIED BY THE
ORIGINAL CONTRACT AND SPECIFICATIONS, AND THE
ORIGINAL SURVEY DRAWINGS

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.



2292
TOWNHOUSE
URBAN 12
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONDUCTING OF THE SITE, SUPPLY AND INSTALLATION OF THE PILING AND PROTECTIVE CURBING, BE REPORTED TO JARVIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARVIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SUPPLIED ON THESE DRAWINGS OR FOR CONSTRUCTION. I AM NOT RESPONSIBLE FOR THE OBTAINING OF A BUILDING PERMIT OR FOR THE APPROPRIATE ENGINEERING DRAWINGS OR FOR MODELING WITH AID.

AS CONSTRUCTED IN PERS. MUST BE VERIFIED PRIOR TO PILING FOOTINGS.

JARVIN DESIGN GROUP INC. HAS NOT BEEN OBTAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBS CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PREPARED BY AND IS THE PROPERTY OF JARVIN DESIGN GROUP INC. IT IS LOANED TO YOU AND IS NOT TO BE REPRODUCED.

7		
6		
5		
4		
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
31.5 of the Act (see page 10)


NAME	SIGNATURE	BCIN
Walter Botter	<i>[Signature]</i>	21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

for copy list	Jardin design group inc.	27763
	FIRM NAME	BCIN

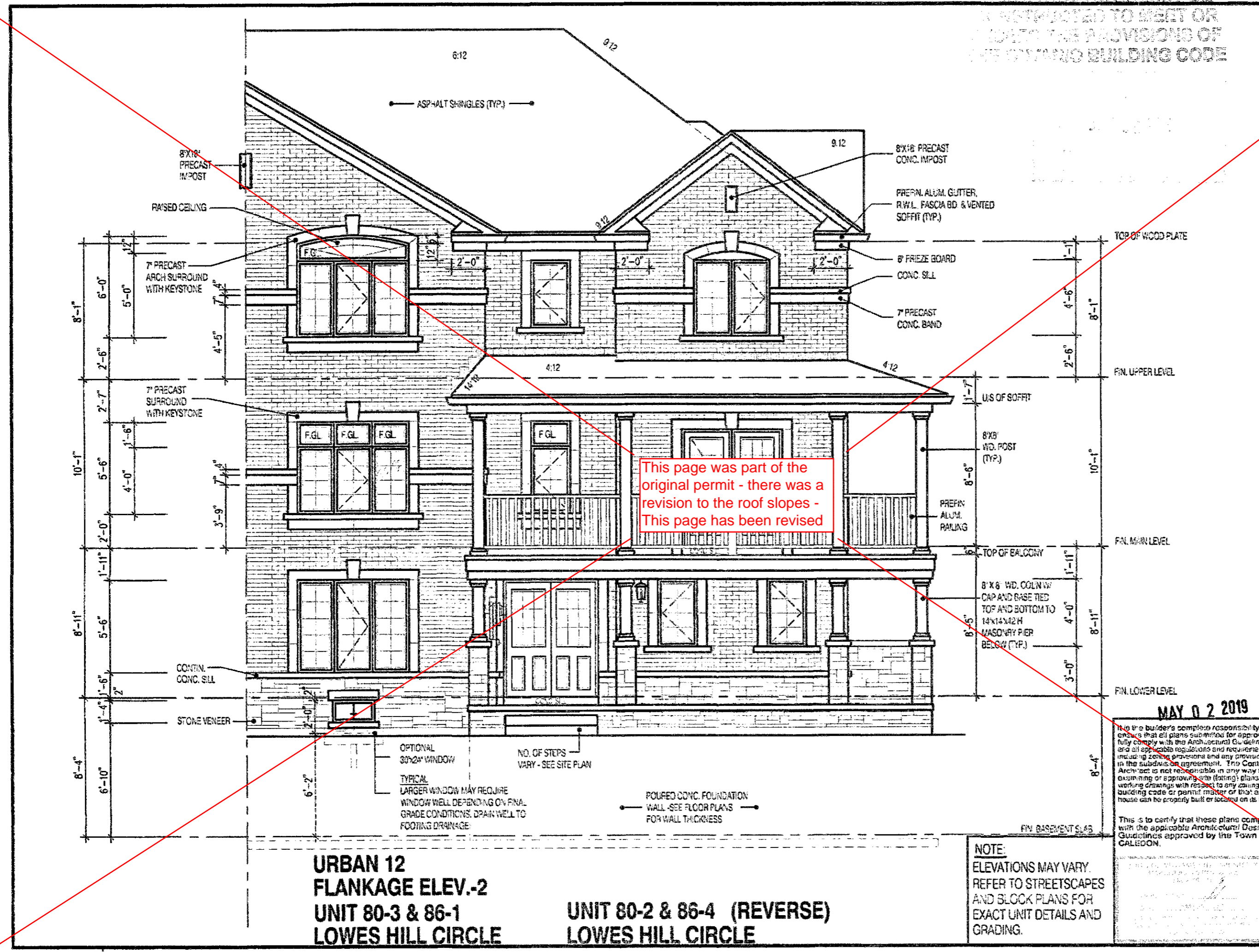
FRONT ELEV.-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON



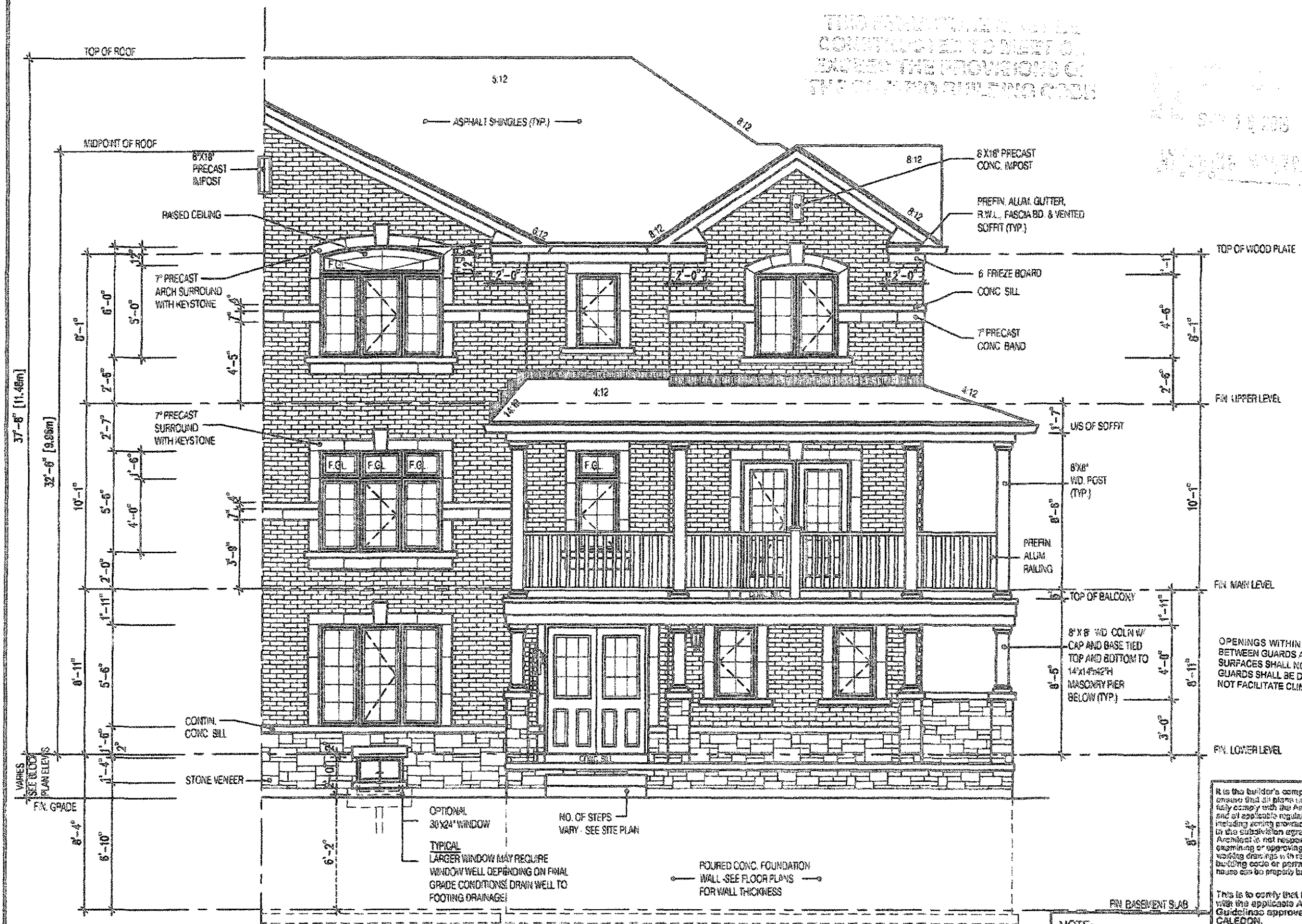
BILD

MODEL	
SCALE	3/16" = 1'-0"
PROJ. No.	DWG. No.
18-18	6A



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

TWO FORMS SHALL BE USED
CONSTRUCTION TO MEET &
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



**URBAN 12
FLANKAGE ELEV.-2
UNIT 80-3 & 86-1
LOWES HILL CIRCLE**

**UNIT 80-2 & 86-4 (REVERSE)
LOWES HILL CIRCLE**

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

**2292
TOWNHOUSE
URBAN 12
ELEVATION 2
ENERGY STAR
O.REG. 332/12**

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY INFORMATION OR ENGINEERING INFORMATION PROVIDED ON THESE DRAWINGS OR FOR CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

PROVISIONS OF THE ONTARIO BUILDING CODE AND THE ONTARIO FIRE CODE SHALL BE OBSERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

No.	DATE	WORK DESCRIPTION
7		
6		
5	SEPT. 03, 2019	REVISION TO ROOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 9, 2018	ISSUED FOR STRUCTURAL REVIEW

**jardin
DESIGN GROUP INC**
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Goller 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Registered architect design is exempted under the Ontario Building Code 1.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

**FRONT ELEV.-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON**

BILD

MODEL:
SCALE: 3/16" = 1'-0"
PROJ. No 18-18
Dwg. No 6A

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

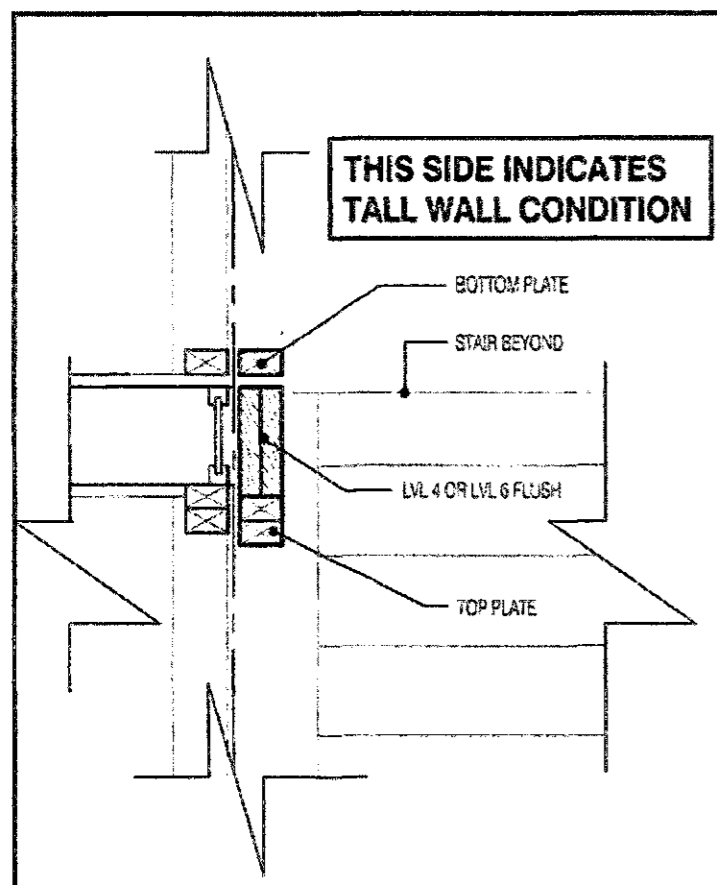
JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL LEVEL
AND APPROVAL
APPROVED BY
DATE: 2019.09.10
BY: [Signature]

STRUDET INC.



FOR STRUCTURE ONLY

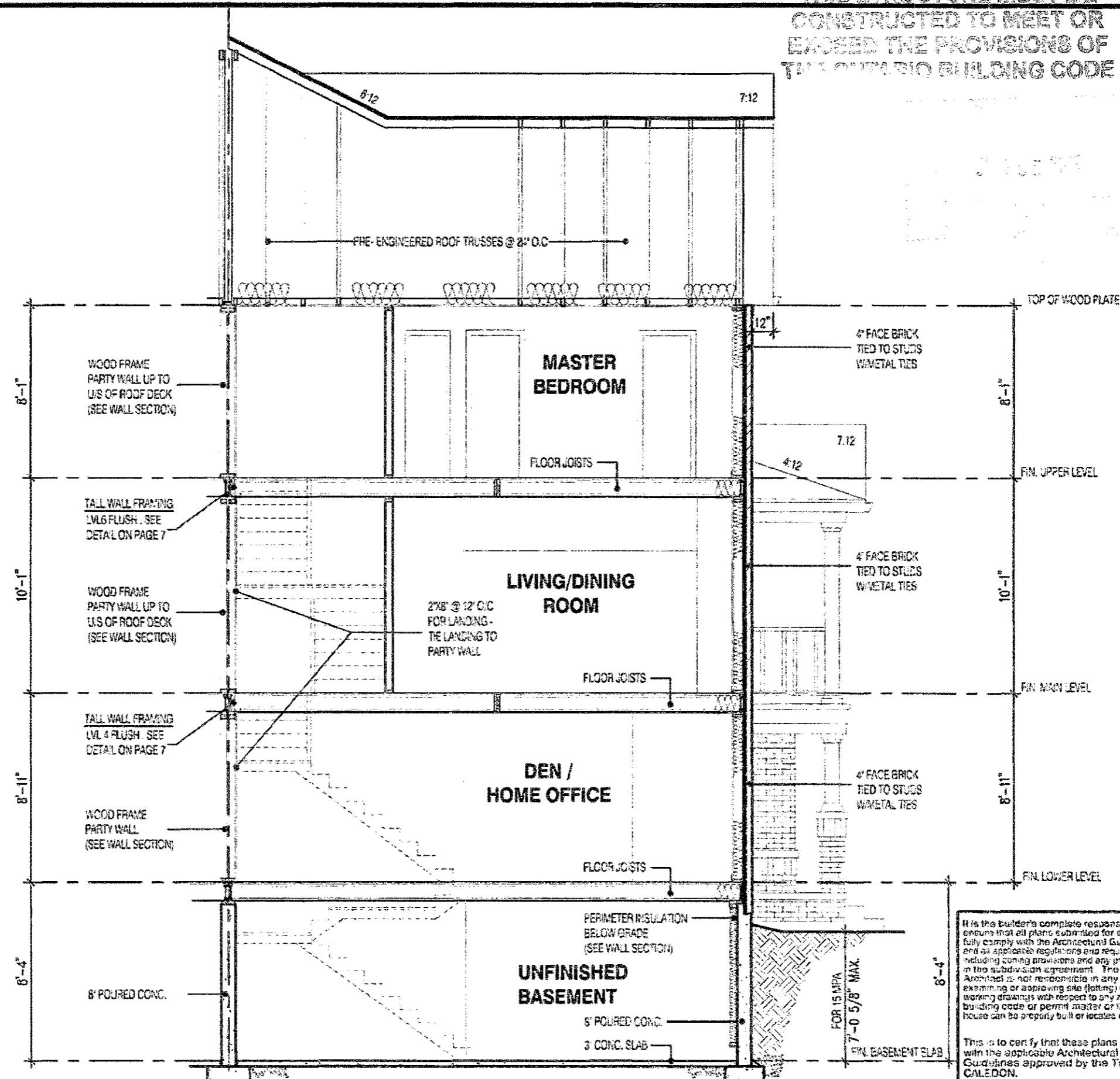
THIS SIDE INDICATES
TALL WALL CONDITION



B TALL WALL FRAMING

N.T.S.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



SECTION A-A

MAY 02 2019

2292

TOWNHOUSE

URBAN 12
ELEVATION 1

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION AND/OR ON THESE DRAWINGS OR FOR CONSEQUENCES OF ANY TYPE ARISING FROM THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED, INHERITS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CLARIFY THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

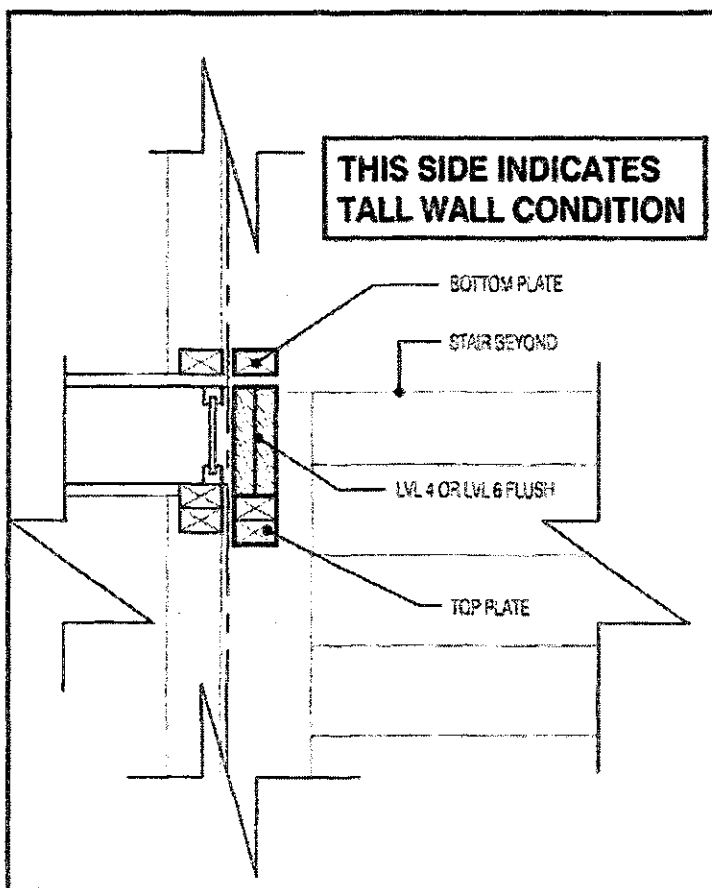
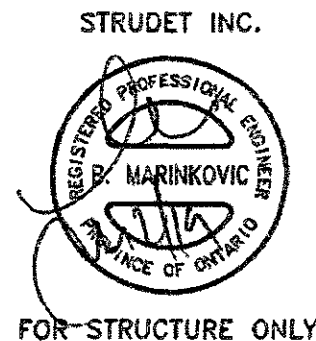
jardin design group inc. 27763
FIRM NAME BCIN

SECTION

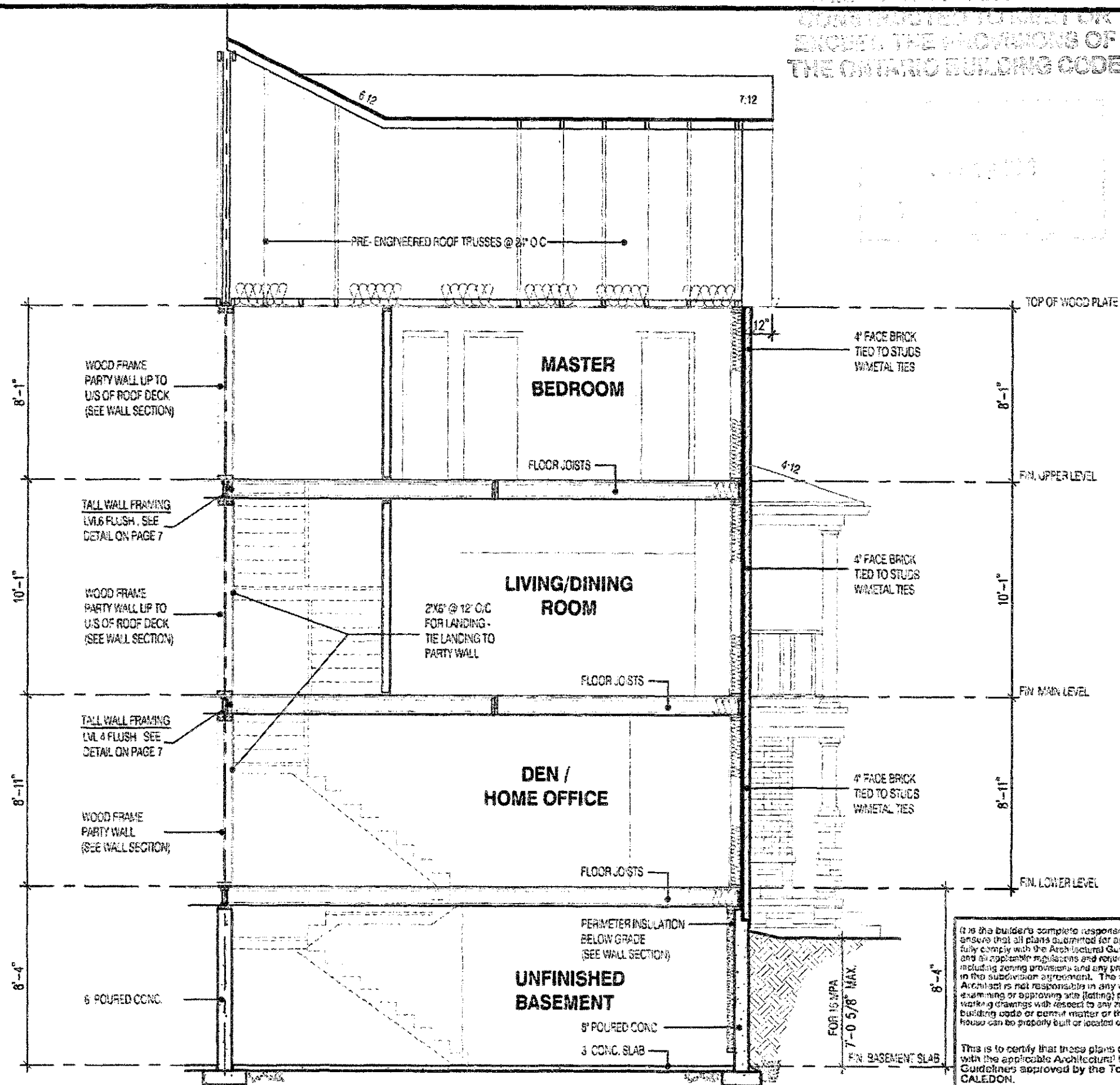
LAMBERTS LANE PHASE 2
TOWN OF CALEDON



MODEL	
SCALE	3/16" = 1'-0"
PROJ. No.	18-18
DWG. No.	7



B TALL WALL FRAMING
N.T.S.



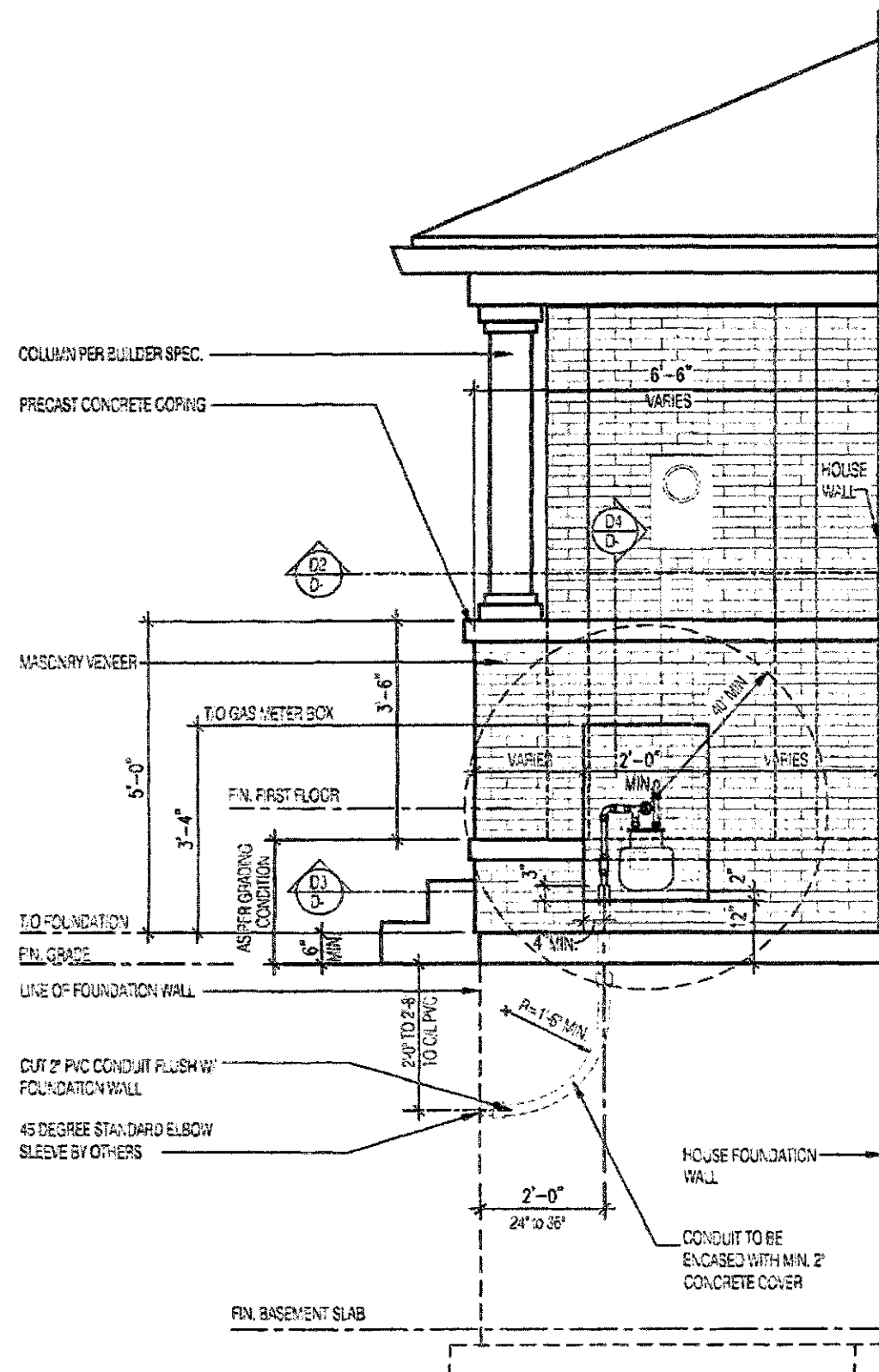
SECTION A-A

MAY 02 2019

2292	
TOWNHOUSE	
URBAN 12 ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
<small>THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS FOR PRECEDING WITH ADRG. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</small>	
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3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
No	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
<small>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</small>	
<small>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.</small>	
Walter Botter	21091
NAME	SIGNATURE BCIN
<small>It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving any (plotted) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.</small>	
<small>It is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.</small>	
Jardin design group inc. 27763	
FIRM NAME BCIN	
SECTION	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
MODEL	
SCALE 3/16" = 1'-0"	
PROJ. NO.	DWG. NO.
18-18	7A

FOR GAS METER BOX INSTALLATION
REFER ALSO TO ENBRIDGE GAS UTILITIES
DRAWINGS & SPECIFICATIONS

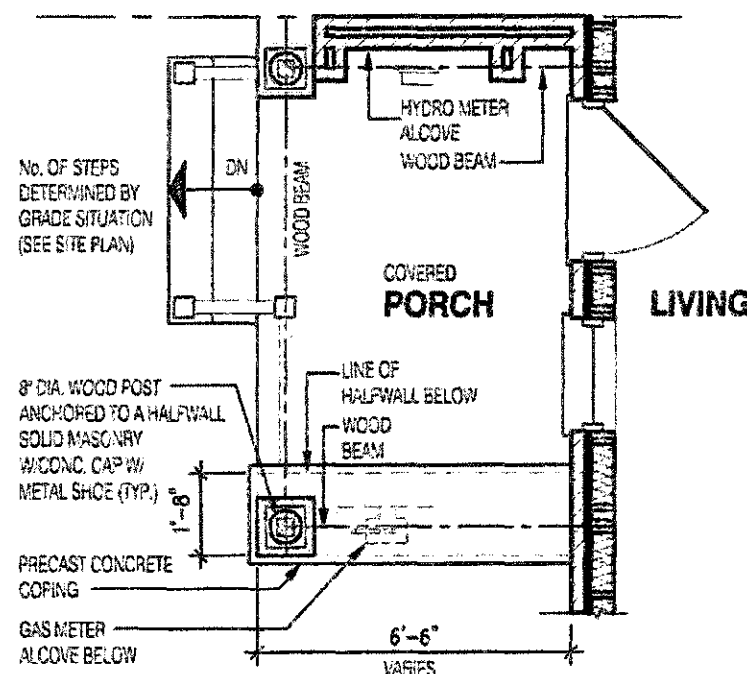
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CITY OF BUILDING CODE



**ELEVATION OF RECESSED WALL FOR GAS
METER AT PORCH**

Scale: 3/8" = 1'-0"

D-1



**PLAN OF RECESSED WALL FOR
GAS METER AT PORCH**

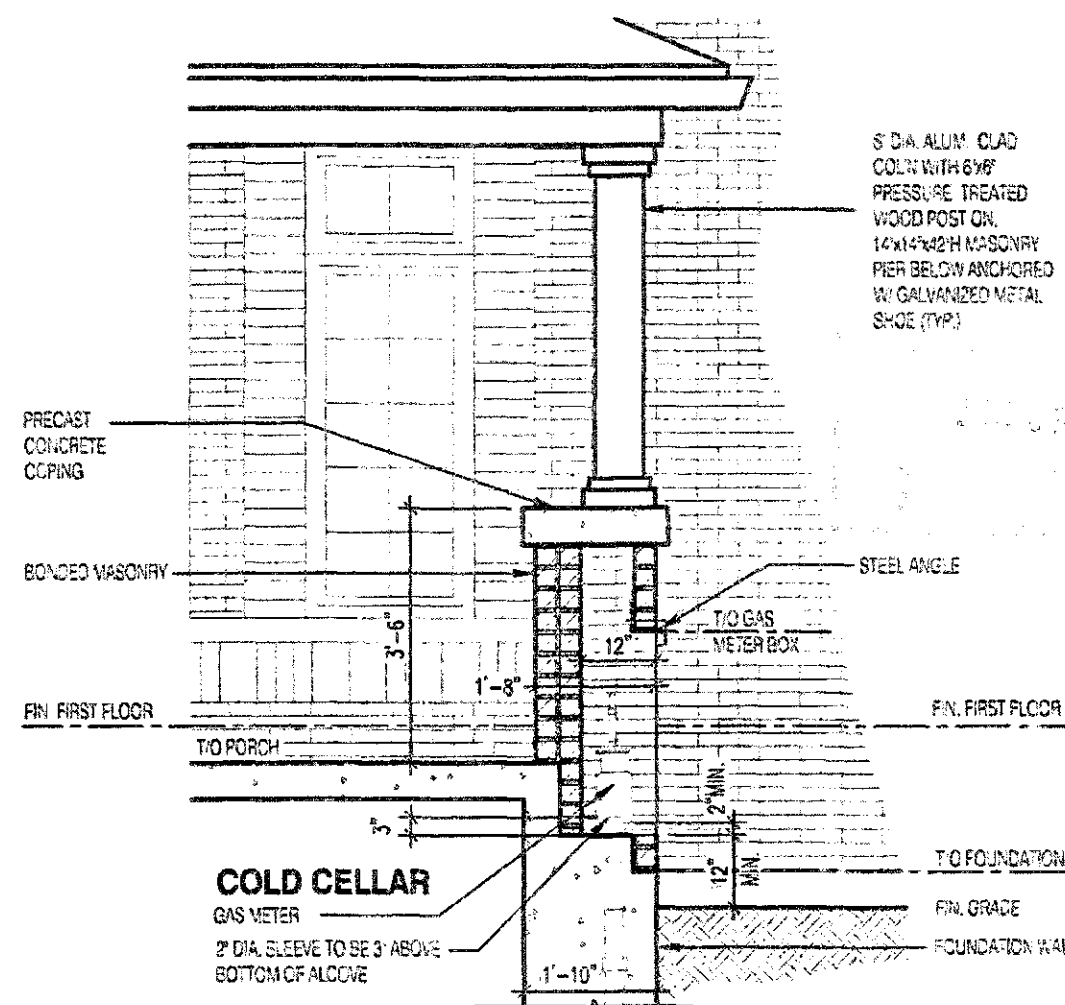
Scale: 1/4" = 1'-0"

D-2

**SECTION OF RECESSED WALL FOR
GAS METER BY AT PORCH**

Scale: 1/4" = 1'-0"

D-3



SECTION OF RECESSED WALL FOR GAS METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

**2292
TOWNHOUSE
URBAN 12
ELEVATION 1/2
ENERGY STAR
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
AND PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ON
THESE DRAWINGS OR FOR CONSTRUCTION STAFFED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS FOR ALL DIMENSIONS AND NOTES.
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR'S SUBCONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS NOT TO BE USED
FOR THE PURPOSE OF THE CONTRACTOR'S SUBCONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS NOT TO BE USED
FOR THE PURPOSE OF THE CONTRACTOR'S SUBCONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

7	
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1 FEB. 8, 2019 ISSUED FOR BUILDING PERMIT

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.5 of the Building Code.

Walter B... 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
12.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

GAS METER DETAIL

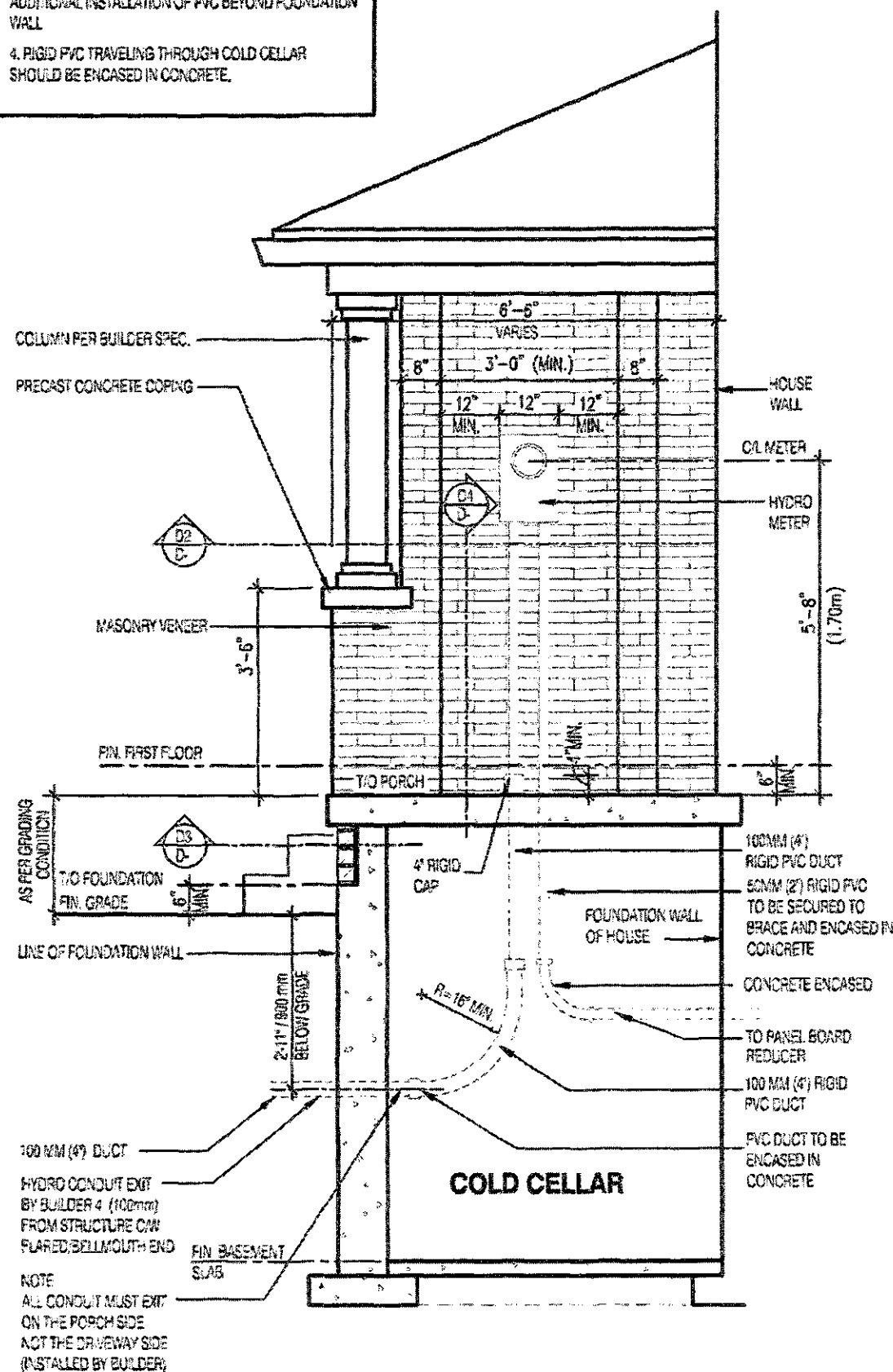
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
AS NOTED
PROJ. NO. 18-18
DWG. NO. 8

MAY 02 2019

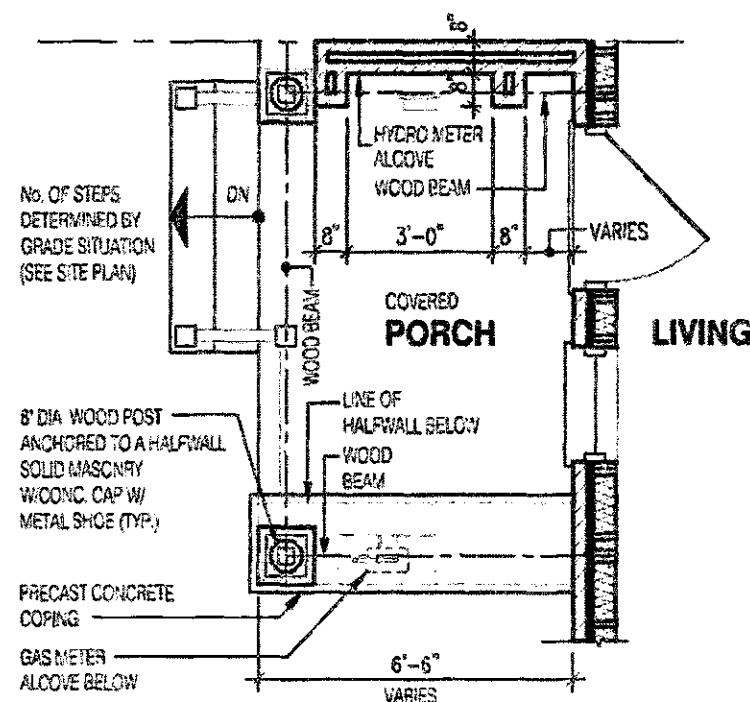
1. METER BASES TO BE SURFACE MOUNTED
2. REFER TO DU-03-209.2 DETAIL 3 FOR CAP DETAIL
3. REFER TO DU-03-209.2 & DU-03-209-0500 FOR ADDITIONAL INSTALLATION OF PVC BEYOND FOUNDATION WALL
4. RIGID PVC TRAVELING THROUGH COLD CELLAR SHOULD BE ENCASED IN CONCRETE.

FOR HYDRO METER BOX INSTALLATION
ALSO REFER TO HYDRO ONE
DU-03-203 2 AND DU-03-203-0500
DRAWINGS & SPECIFICATIONS



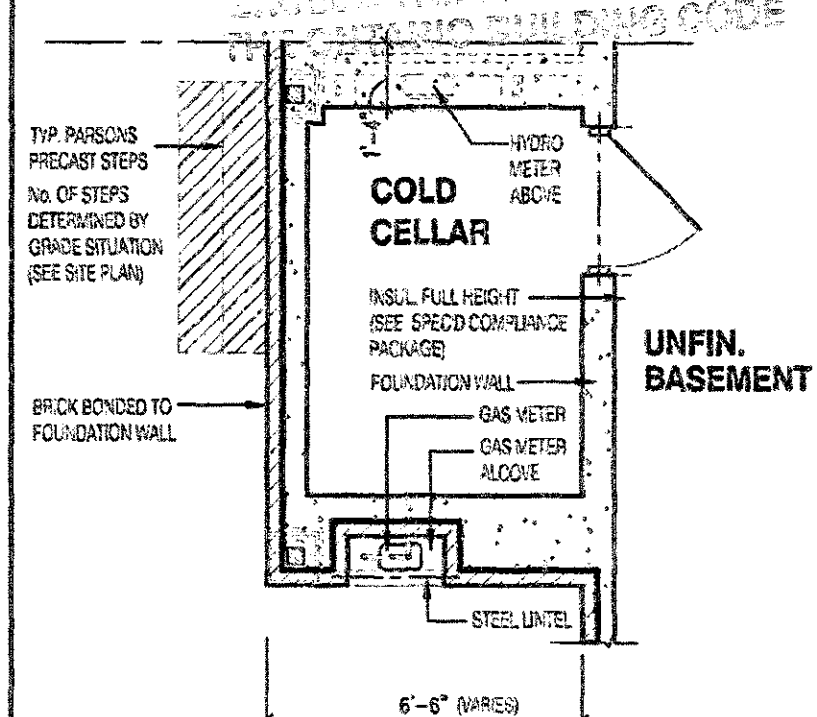
**ELEVATION OF RECESSED WALL FOR HYDRO
METER AT PORCH** Scale

Scale: $3/8" = 1'-0"$



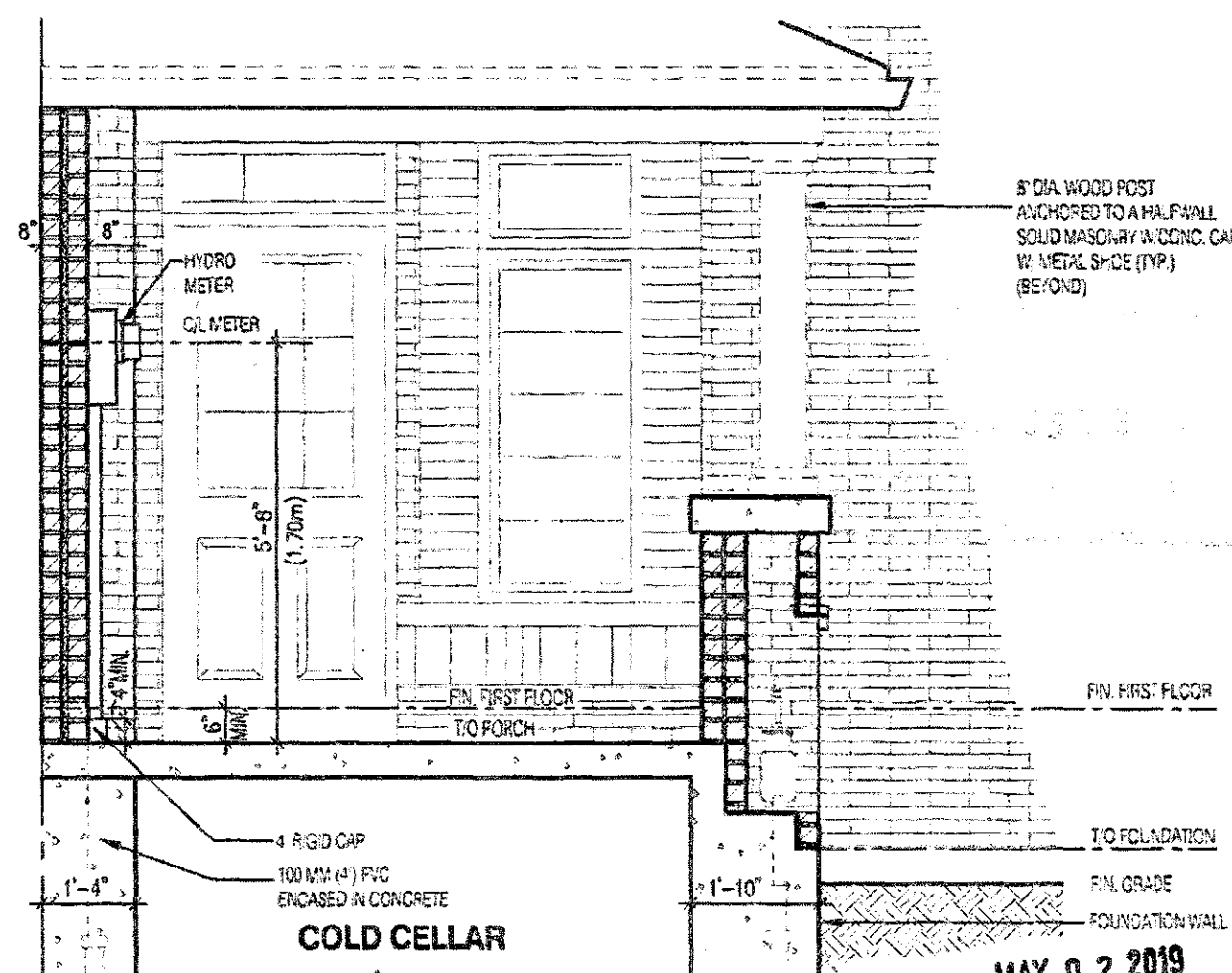
**PLAN OF RECESSED WALL FOR
HYDRO METER AT PORCH**

Scale: 1/4" = 1'-0"



**SECTION OF RECESSED WALL FOR HYDRO
METER BY AT PORCH**

Scale: $1/4" = 1'-0"$



SECTION OF RECESSED WALL FOR HYDRO METER AT PORCH

Scale: $3/8" = 1'-0"$

2292

TOWNHOUSE

URBAN 12

ELEVATION 1/2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JACOBI DESIGN GROUP, INC. PRIOR TO COMMENCEMENT OF WORK.

DAVID DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. ALL CONSTRUCTED ITEMS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

LAWRENCESON GROUP INC. WAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBS CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED

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1 FEB. 8, 2019 ISSUED FOR BUILDING PERMIT

No.	DATE	WORK DESCRIPTION
1	10/10/50	...
2	10/11/50	...
3	10/12/50	...
4	10/13/50	...
5	10/14/50	...
6	10/15/50	...
7	10/16/50	...
8	10/17/50	...
9	10/18/50	...
10	10/19/50	...
11	10/20/50	...
12	10/21/50	...
13	10/22/50	...
14	10/23/50	...
15	10/24/50	...
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19	10/28/50	...
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22	10/31/50	...
23	11/1/50	...
24	11/2/50	...
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89	1/6/51	...
90	1/7/51	...
91	1/8/51	...
92	1/9/51	...
93	1/10/51	...
94	1/11/51	...
95	1/12/51	...
96	1/13/51	...
97	1/14/51	...
98	1/15/51	...
99	1/16/51	...
100	1/17/51	...
101	1/18/51	...
102	1/19/51	...
103	1/20/51	...
104	1/21/51	...
105	1/22/51	...
106	1/23/51	...
107	1/24/51	...
108	1/25/51	...
109	1/26/51	...
110	1/27/51	...
111	1/28/51	...
112	1/29/51	...
113	1/30/51	...
114	1/31/51	...
115	2/1/51	...
116	2/2/51	...
117	2/3/51	...
118		

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.


QUALIFICATION INFORMATION
 Required attestation design is exempt under Division C, Subsection 3.2.3 of the building code.

Walter Botter	<i>[Signature]</i>	21031
NAME	SIGNATURE	RCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
324 of the building code

jardin design group inc.	27763
FIRM NAME	BCN

HYDRO METER DETAIL
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

	MODEL	
	SCALE AS NOTED	
	PROJ. No 18-18	DWG. No 9