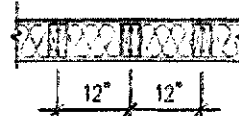


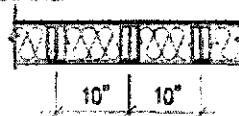
2-2x6 STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 4'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 4'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

WHEN VENEER CUT IS GREATER THAN 25" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'1 1/2" x 3'1 1/2" x 1/4" (90x90x6) + 2-2' x 8" SPR
WL2 = 4' x 3'1 1/2" x 5/16" (100x90x6) + 2-2' x 8" SPR
WL3 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 2-2' x 10" SPR
WL4 = 6' x 3'1 1/2" x 3/8" (150x90x10) + 2-2' x 12" SPR
WL5 = 6' x 4' x 3/8" (150x100x10) + 2-2' x 12" SPR
WL6 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 2-2' x 12" SPR
WL7 = 5' x 3'1 1/2" x 5/16" (125x90x6) + 3-2' x 10" SPR
WL8 = 6' x 3'1 1/2" x 5/16" (125x90x6) + 3-2' x 12" SPR
WL9 = 6' x 4' x 3/8" (150x100x10) + 3-2' x 12" SPR

WOOD LINTELS:

WB1 = 2-2' x 6" SPRUCE BEAM
WB2 = 3-2' x 6" SPRUCE BEAM
WB3 = 2-2' x 10" SPRUCE BEAM
WB4 = 3-2' x 10" SPRUCE BEAM
WB5 = 2-2' x 12" SPRUCE BEAM
WB6 = 3-2' x 12" SPRUCE BEAM
WB7 = 5-2' x 12" SPRUCE BEAM
WB8 = 4-2' x 8" SPRUCE BEAM
WB9 = 4-2' x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'1 1/2" x 3'1 1/2" x 1/4" (90x90x6)
L2 = 4' x 3'1 1/2" x 5/16" (100x90x6)
L3 = 5' x 3'1 1/2" x 5/16" (125x90x6)
L4 = 6' x 3'1 1/2" x 3/8" (150x90x10)
L5 = 6' x 4' x 3/8" (150x100x10)
L6 = 7' x 4' x 3/8" (180x100x10)

LAMINATED VENEER

LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
4 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

STRUDET INC.



FOR STRUCTURE ONLY

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

NOTE:

THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY
MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

URBAN 2 ELEV.-1 ENERGY EFFICIENCY- ENERGY STAR			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	100.00	14.75 %
LEFT SIDE	1047.00	90.00	8.60 %
RIGHT SIDE	1047.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %
TOTAL	3444.00	190.00	5.52 %

URBAN 2 ELEV.-2 ENERGY EFFICIENCY- ENERGY STAR			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	122.00	17.99 %
LEFT SIDE	1047.00	90.00	8.60 %
RIGHT SIDE	1047.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %
TOTAL	3444.00	212.00	6.16 %

URBAN 2 ELEV.-2A ENERGY EFFICIENCY- ENERGY STAR			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	122.00	17.99 %
LEFT SIDE	1047.00	90.00	8.60 %
RIGHT SIDE	1047.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %
TOTAL	3444.00	212.00	6.16 %

URBAN 2 ELEV.-3 ENERGY EFFICIENCY- ENERGY STAR			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	700.00	115.00	16.43 %
LEFT SIDE	1068.00	90.00	8.43 %
RIGHT SIDE	1047.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %
TOTAL	3487.00	205.00	5.88 %

URBAN 2 ELEV.-4 ENERGY EFFICIENCY- ENERGY STAR			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	678.00	100.00	14.75 %
LEFT SIDE	1068.00	90.00	8.43 %
RIGHT SIDE	1047.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %
TOTAL	3465.00	190.00	5.48 %

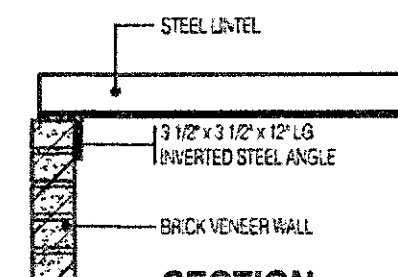
URBAN 2 ELEV.-5 ENERGY EFFICIENCY- ENERGY STAR			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	682.00	107.00	15.68 %
LEFT SIDE	1047.00	90.00	8.60 %
RIGHT SIDE	1047.00	0.00	0.00 %
REAR	672.00	0.00	0.00 %
TOTAL	3448.00	197.00	5.71 %

AREA CALCULATIONS EL-1

LOWER LEVEL AREA	=	533 Sq. Ft.
MAIN LEVEL AREA	=	746 Sq. Ft.
UPPER AREA	=	502 Sq. Ft.
TOTAL FLOOR AREA	=	2081 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2081 Sq. Ft.
GROUND FLOOR COVERAGE	=	533 Sq. Ft.
GARAGE COVERAGE / AREA	=	230 Sq. Ft.
PORCH COVERAGE / AREA	=	63 Sq. Ft.
COVERAGE W/ PORCH	=	826 Sq. Ft.
COVERAGE W/O PORCH	=	763 Sq. Ft.
	=	70.8 Sq. m.

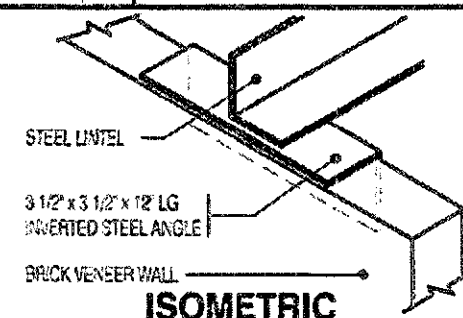
AREA CALCULATIONS EL.- 2,2A,3,4 & 5

LOWER LEVEL AREA	=	533 Sq. Ft.
MAIN LEVEL AREA	=	746 Sq. Ft.
UPPER AREA	=	502 Sq. Ft.
TOTAL FLOOR AREA	=	2081 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2081 Sq. Ft.
GROUND FLOOR COVERAGE	=	533 Sq. Ft.
GARAGE COVERAGE / AREA	=	230 Sq. Ft.
PORCH COVERAGE / AREA	=	63 Sq. Ft.
COVERAGE W/ PORCH	=	826 Sq. Ft.
COVERAGE W/O PORCH	=	763 Sq. Ft.
	=	70.8 Sq. m.



SECTION

INVERTED STEEL ANGLE DETAIL



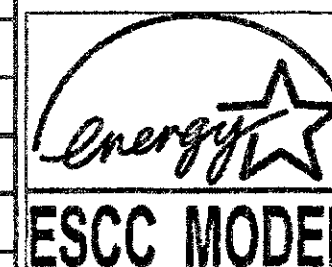
ISOMETRIC

Scale: 3/4" = 1'-0"

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R60)
MINIMUM RSI (R) VALUE	
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
MINIMUM RSI (R) VALUE	
EXPOSE FLOOR	5.46 (R31)
MINIMUM RSI (R) VALUE	
WALLS ABOVE GRADE	4.75 (R22+R5)
MINIMUM RSI (R) VALUE	
BASEMENT WALLS	3.52 (R20 BLANKET)
MINIMUM RSI (R) VALUE	
EDGE OF BELOW GRADE SLAB	1.76 (R10)
< 600mm BELOW GRADE	
MINIMUM RSI (R) VALUE	
SLAB < 600mm BELOW GRADE	1.76 (R10)
MINIMUM RSI (R) VALUE	
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR @ ZONE 2 (ER 29/LV 1.4)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	COMBINED SPACE AND WATER HEATING
MINIMUM AFUE	P91 TESTED - MIN. TPF .98
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	TIER 2 75% SRE ENERGY STAR @ HRV TO BE
MINIMUM EFFICIENCY	INTERCONNECTED TO THE FURNACE FAN
	MUST BE BALANCED INDICATING ON HIGH
	SPEED FRESH / STALE
DRAIN WATER HEAT RECOVERY	NOT REQUIRED
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.3 ACH @ 0.18 NLR)
	ATTACHED LEVEL 1 (0.3 ACH @ 0.18 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF
	RETURN DUCTS
LIGHTS	100% CFLs OR LEDs



ENERGY STAR - V 17

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of

2081 TOWNHOUSE

URBAN 2 EL.-1, 2,2A,3,4 & 5

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
NO PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, THE WORK MUST BE VERIFIED PRIOR TO FILING
FOR FINISHING.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
3	FEB. 7, 2019	ISSUED FOR PRICING
2	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW
1	APRIL 26, 2018	INTRODUCED INTO PROJECT FROM VAQUITA - URBAN 2

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and taken responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt from Division C, Subsection
3.2.5 of the Building Code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt from Division C, Subsection
3.2.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL	
SCALE	3/16" = 1'-0"
PROJ. No.	18-18
DWG. No.	0

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR
UNUSUAL SIZE PADS NOT ON CHART)

REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

22"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS.

30"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW EXTERIOR WALLS.
(UNLESS OTHERWISE NOTED.)

38"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW PARTY WALLS.

30"X8" CONCRETE STRIP FOOTINGS (WITH REBAR), AS NOTED ON PLANS.
32"X8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW EXTERIOR WALLS
(UNLESS OTHERWISE NOTED.)

52"X12" CONCRETE STRIP FOOTINGS - REINF. WITH REBAR BELOW PARTY WALLS..

26"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW FOUNDATION WALLS.
30"x8" CONCRETE STRIP FOOTINGS (WITH REBAR) BELOW EXTERIOR WALLS.
46"x10" CONCRETE STRIP FOOTINGS REIN. WITH REBAR BELOW PARTY WALLS.

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT.

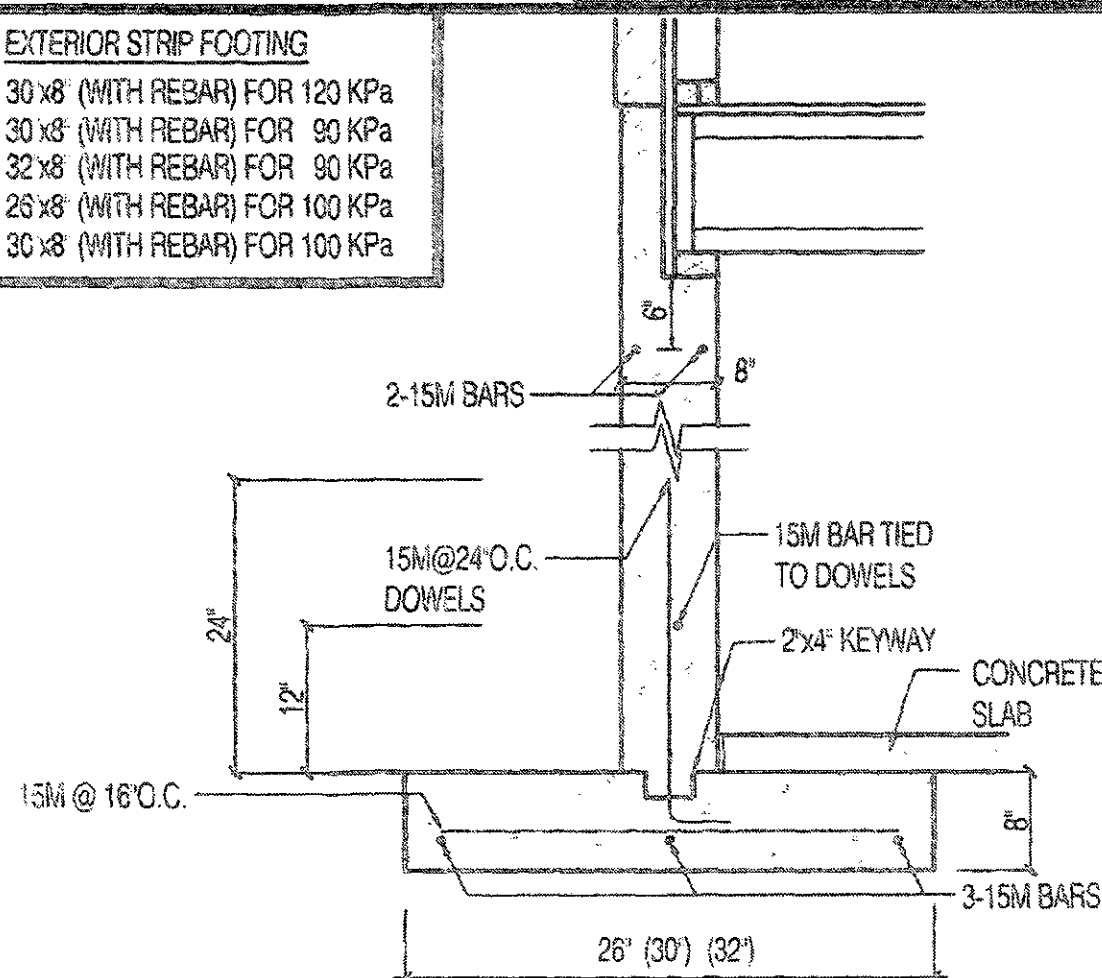
(REFER TO ENG. FILL FOOTING DETAIL)

ALL GARAGE SLABS, PORCH SLABS,
STAIRS (EXPOSED CONC. FLAT WORK) TO
BE 32 MPa WITH 5-8% AIR ENTRAINMENT

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE
REVIEWED IN CONJUNCTION WITH SITE PLAN)

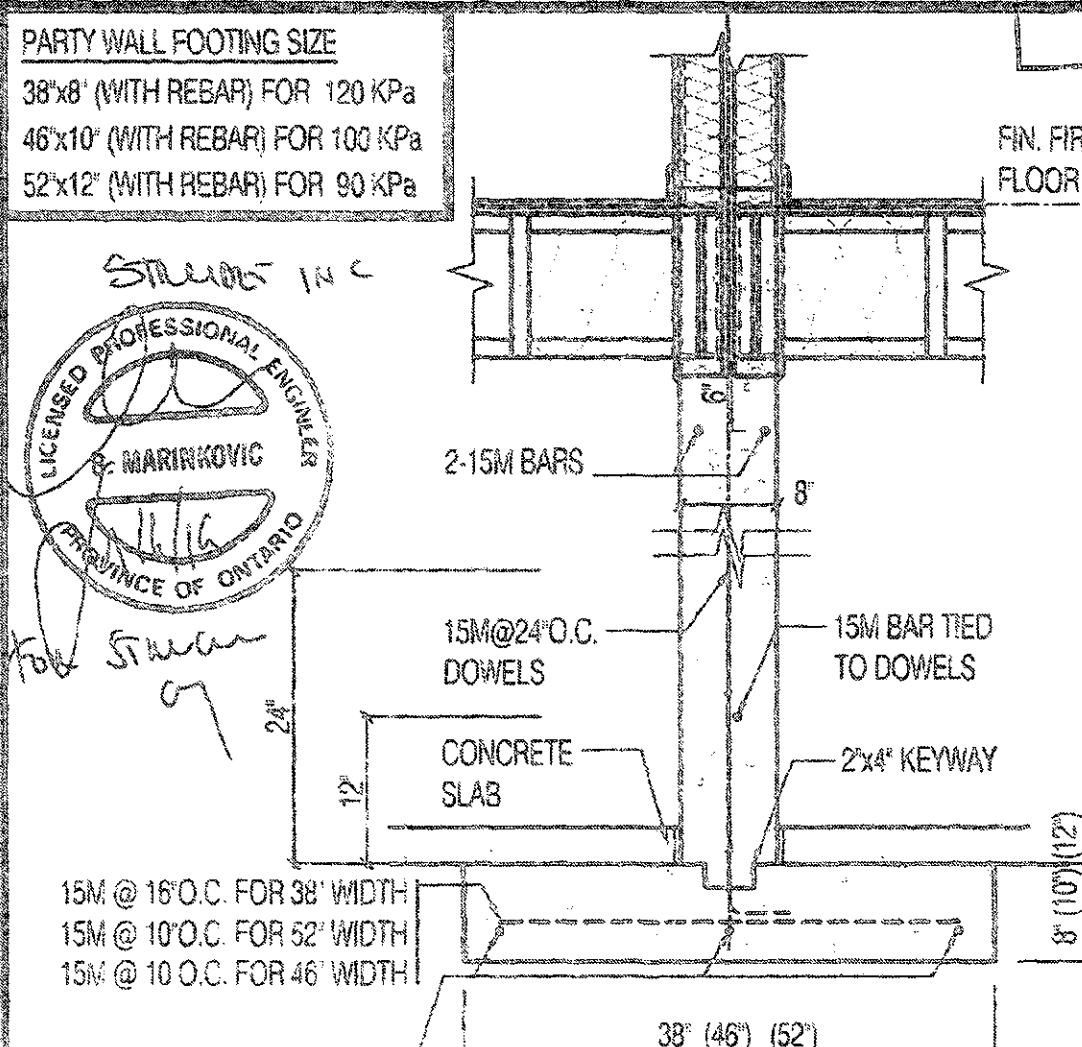
RECEIVED
JUL 18 2019

30'x8' (WITH REBAR) FOR 120 KPa
30'x8' (WITH REBAR) FOR 90 KPa
32'x8' (WITH REBAR) FOR 90 KPa
26'x8' (WITH REBAR) FOR 100 KPa
30'x8' (WITH REBAR) FOR 100 KPa



EXTERIOR STRIP FOOTINGS

38"x8" (WITH REBAR) FOR 120 KPa
46"x10" (WITH REBAR) FOR 100 KPa
52"x12" (WITH REBAR) FOR 90 KPa



PARTY WALL FOOTINGS

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

41 65 2900

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Code provisions and applicable regulatory code requirements, including zoning provisions and any provisions contained in the subdivision agreement. The Contractor/Architect is not responsible in any way for determining or approving site (lotting), zoning or planning drawings with respect to any zoning or planning code or permit matter or that any house can be legally built at that lot or location.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CAL EDOON

2081
TOWNHOUSE

URBAN 2
EL.-1, 2, 2A, 3, 4 & 5

ENERGY STAR

O. REG. 332/12

[illegible]

2	JULY 15, 2019	REMOVED PER CITY COMMENTS REISSUED TO CLIENT
1	JULY 15, 2019	ADDED FOOTING SIZE PAGE FOR DRAWING SET

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3711
E-MAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Accepted unless design is signed under the name of C. Sahasra

316 of 316

Waller Bomer *[Signature]* 2703

NAME SIGNATURE

REGISTRATION INFORMATION
Reached unless design is exempt and/or Domain C. Subsection
324 of the building code
Jardin design group inc. 2776

FIRST NAME BC

FOOTING SIZES/DETAIL

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TOWN OF CALEDON
MODEL



3.43 = 1.2
PG 1.43 1.200.40

18-18 0-1

**2081
TOWNHOUSE
URBAN 2
EL-1,2,2A,3,4, & 5
PACKAGE 'A4'
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR OBTAINING NECESSARY PERMITS PRIOR TO THE COMMENCEMENT OF A BUILDING PROJECT. ANY ERROR OR OMISSION IN ANY OF THE DRAWINGS OR INFORMATION PROVIDED TO ARCHITECT AS CONSULTED IN THESE MUST BE VERIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION.

JARDIN DESIGN GROUP INC. HAS NOT BEEN REQUESTED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR TO OBTAIN NECESSARY PERMITS PRIOR TO THE COMMENCEMENT OF A BUILDING PROJECT. ANY ERROR OR OMISSION IN ANY OF THE DRAWINGS OR INFORMATION PROVIDED TO ARCHITECT AS CONSULTED IN THESE MUST BE VERIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY ARCHITECT TO THE PROPERTY OF ARCHITECT DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4	JULY 15, 2019	REVISED PER CITY COMMENTS RESUBMITTED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No.	DATE	WORK DESCRIPTION
-----	------	------------------

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION
Registered under Design as a Designer under the Ontario Building Code, 1.2.5 of the Building Code.

Walter Boffer *Walter Boffer* 21031
NAME SIGNATURE BCN

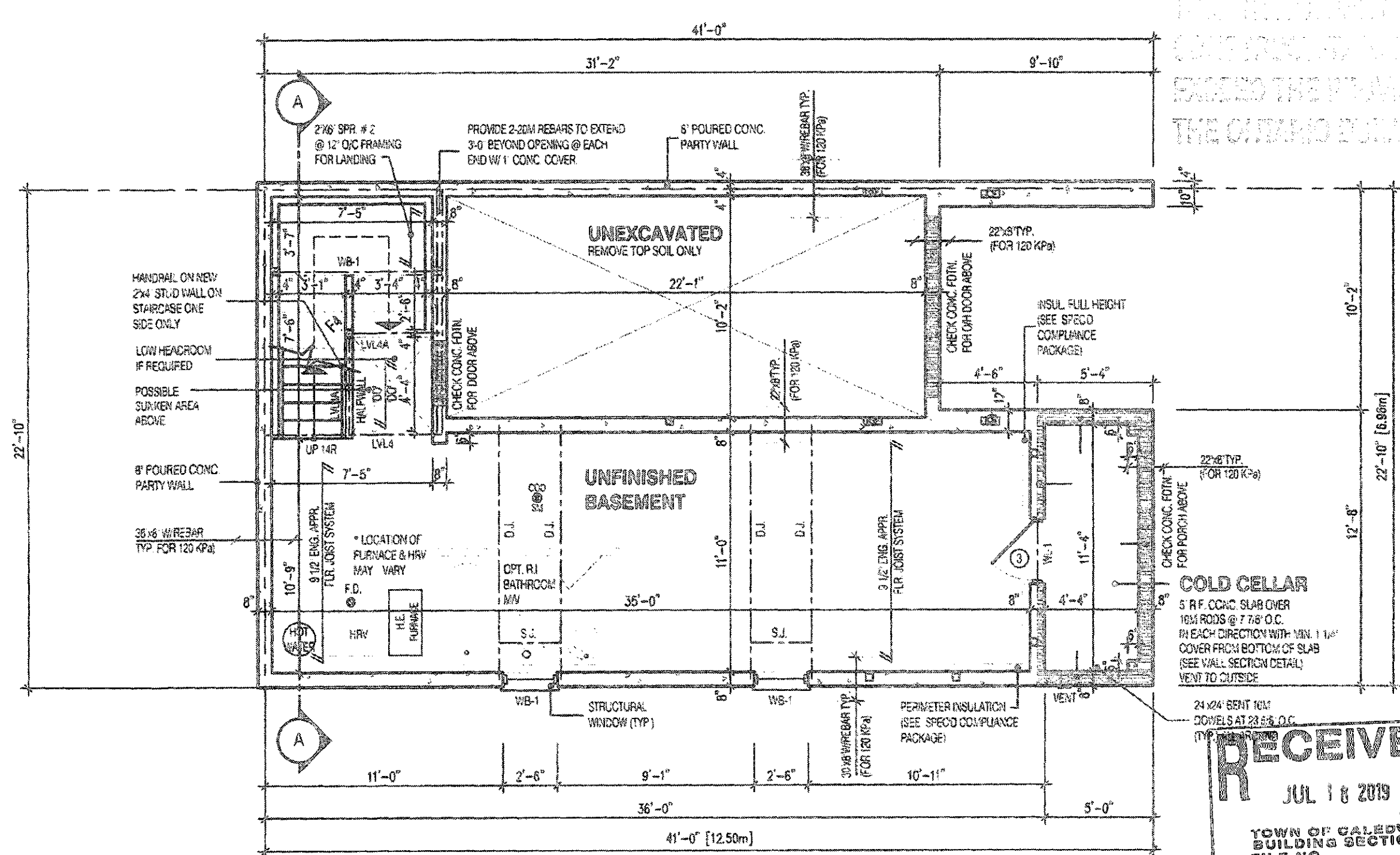
REGISTRATION INFORMATION
Required under Design as a Designer under the Ontario Building Code, 1.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCN

BASEMENT LEVEL
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL	DATE	REV	BY
BILD	18-18	1	

18-18 1



THIS DRAWING IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

COLD CELLAR
5" R.F. CONC. SLAB OVER 16M RODS @ 7.75" O.C. IN EACH DIRECTION WITH MIN. 1" COVER FROM BOTTOM OF SLAB (SEE WALL SECTION DETAIL). VENT TO OUTSIDE.

24x24 BENT 16M DOWELS AT 23.6" O.C. (TYP.)

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
MARINKOVIC
1619
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The General Architect is not responsible in any way for obtaining or approving any federal, provincial or municipal drawings with respect to any zoning or building code or permit matter, or that any reuse can be properly built or located on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

ROBIN C. WILKINS LTD., ARCHITECT
ARCHITECTURAL DESIGN GROUP INC.
JULY 18, 2019
JULY 18, 2019

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION CERTIFICATES MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233)

PLEASE SAFELY HIRE A LICENSED ELECTRICAL CONTRACTOR AND A CONTRACTOR AT www.pugnacity.ca

NOTE:
REFER TO SHEET NO. 04 FOR LVL BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7" 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

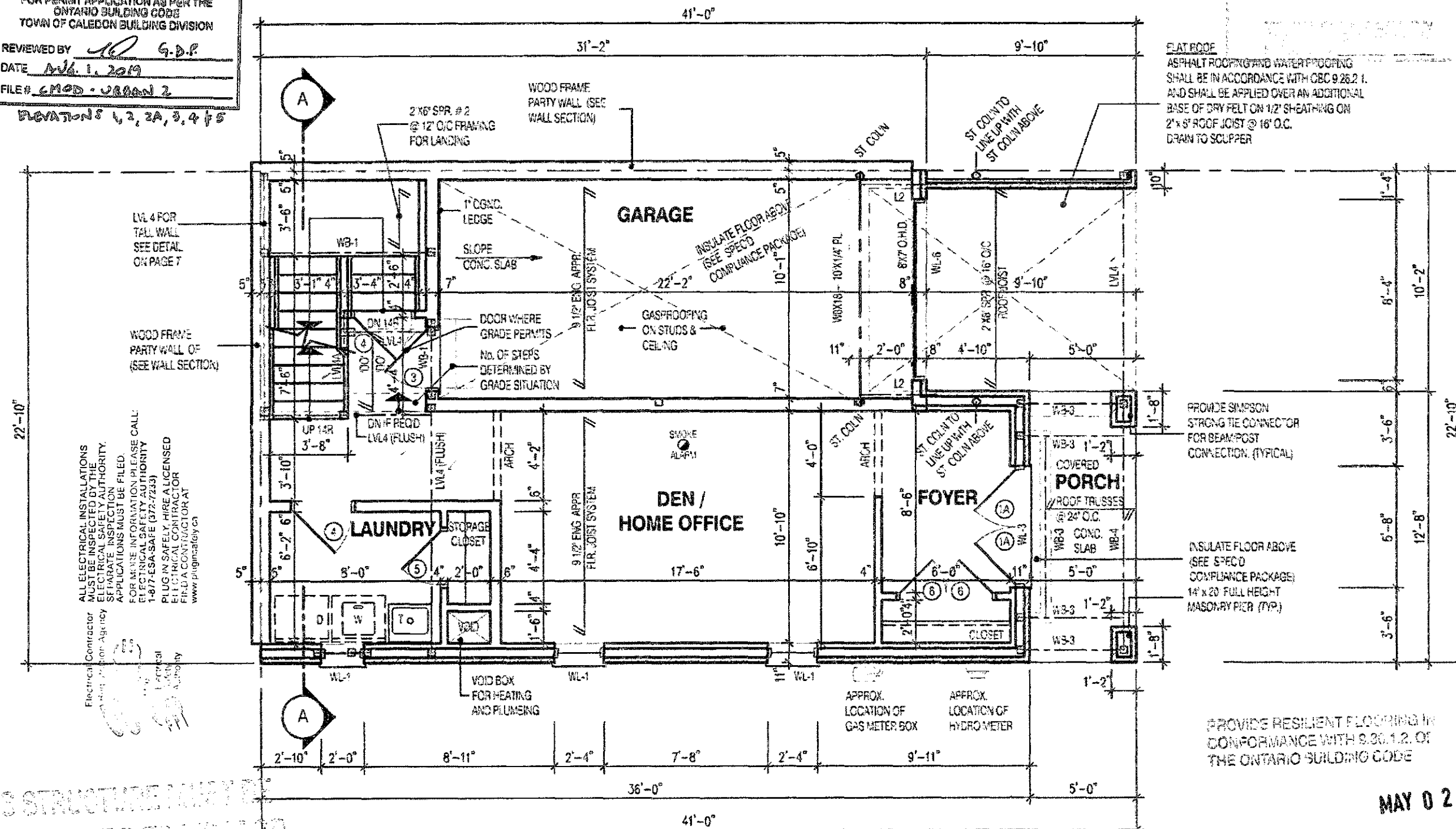
NOTE:
SUBFLOOR TO BE 3/4" OSB ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
BUILDING FACE < 7'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COLUMN ABOVE
LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.L. TRIPLE JOIST
REPEAT NOTE
SHOWER DRAIN

**CERTIFIED MODEL
PRE-APPROVED**
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY *10 G.D.P.*
DATE *APR 1, 2019*
FILE # *CMOD - URBAN 2*

ELEVATIONS 1, 2, 3A, 3, 4 & 5



THIS STRUCTURE MAY BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

PROVIDE 1HR FIR WITH FIRE
SEPARATION

NOTE: REFER TO SHEET NO. 0-1 FOR UNITS, BEAMS AND DOOR SIZE	NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7" 2 ROWS FOR SPANS GREATER THAN 7'
NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER	NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE: SUBFLOOR TO BE 5/8" OSB ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: <div> BUILDING FACE < 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COLN ABOVE LVL S.J. D.J. T.J. REPEAT NOTE S-COVER WEEPERS </div>
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STRUDET INC.

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (plotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

**2081
TOWNHOUSE**

**URBAN 2
ELEVATION 1**

PACKAGE 'A4'

O.REG. 332/12

No	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	FEB 9 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7 2019	ISSUED FOR PRICING
1	JULY 19 2018	ISSUED FOR STRUCTURAL REVIEW

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCN

LOWER LEVEL

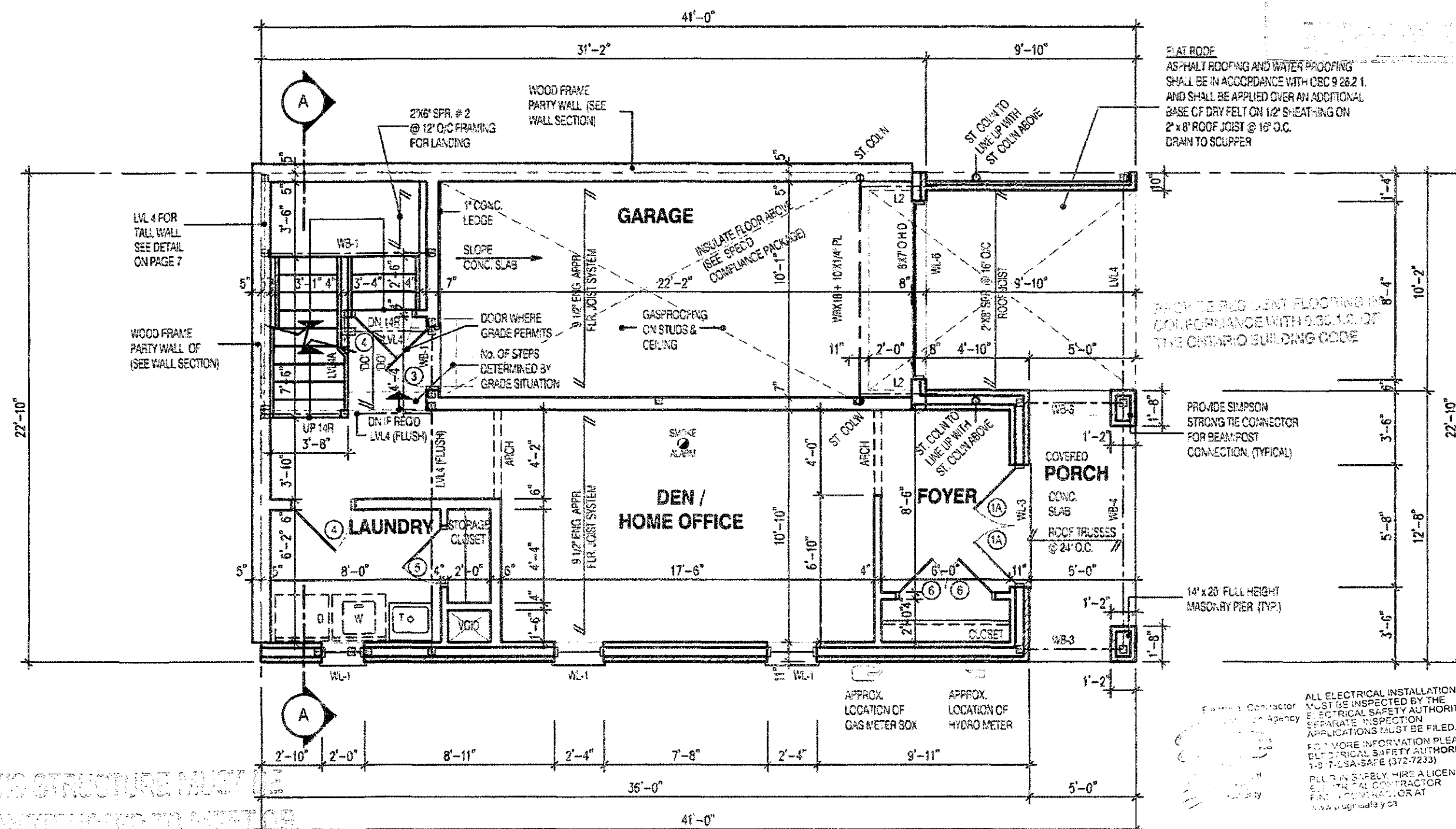
**LAMBERTS LANE PHASE 2
TOWN OF CALEDON**

MODEL

SCALE 3/16" = 1'-0"

PROJ. No. 18-18

DWG No. 2



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE

PROVIDE 1HR FLR WITH FIRE
SEPARATION

NOTE:

REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7" 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:

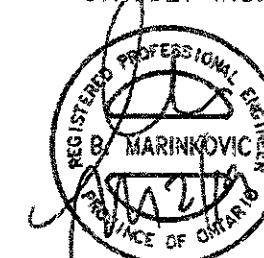
SUBFLOOR TO BE
5/8" OSB ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- S-CROW WEEPERS

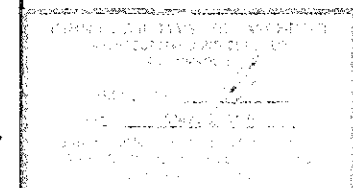
STRIDET INC.



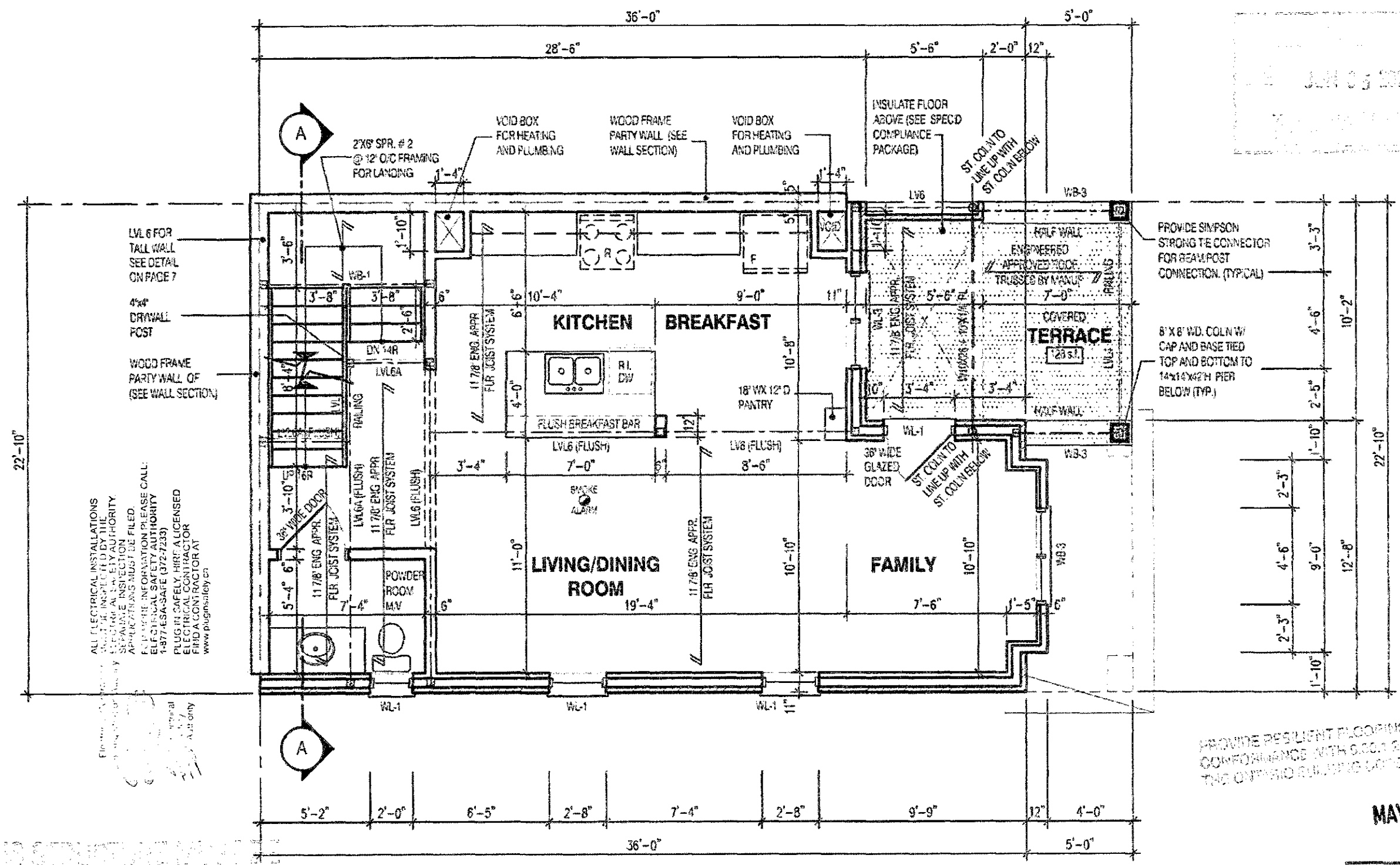
FOR STRUCTURE ONLY

It is the builder's complete responsibility to
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fully comply with the Architectural Guidelines
and all applicable regulations and requirements
regarding zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

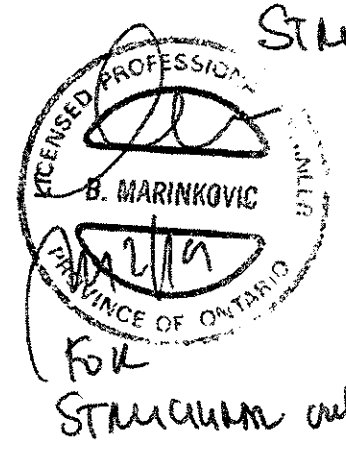


2081	
TOWNHOUSE	
URBAN 2	
EL.- 2,2A,3,4 & 5	
PACKAGE 'A4'	
O.REG. 332/12	
<p>THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL ON EXISTING AND CONDTIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION BY USOR-CHANGED SHALL BE REPORTED TO ARCHITECT GROUP NO LATER TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.</p> <p>IF CONSTRUCTED INHERITS MUST BE VERIFIED PRIOR TO FILING FOOTINGS.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN PREPARED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE VALUE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.</p>	
7	
6	
5	
4	
3	FEB 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019 ISSUED FOR PHOSING
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
No.	DATE: WORK DESCRIPTION
<p>jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p>	
<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.</p> <p>Walter Botter <i>Walter Botter</i> 21031 NAME SIGNATURE BCIN</p> <p>REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.</p> <p>jardin design group inc. 27763 FIRM NAME BCIN</p>	
LOWER LEVEL	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
<p>MODEL</p> <p>SCALE 3/16"=1'-0"</p> <p>PROJ. NO. 18-18 DIV. NO. 2A</p>	



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL INSPECTION AUTHORITY. SEPARATE INSPECTION AUTHORITY MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR AT FIND A CONTRACTOR AT www.plugin safely.ca

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE



STAIRCASE ONLY

- PROVIDE 1 HR FRR WITH FIRE SEPARATION

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE: SUBFLOOR TO BE 5/8" OSB ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER DRAIN

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

MAY 02 2019

PROVIDE RESILIENT FLOORING IN CONFORMANCE WITH 6.0.0.1.2.0 OF THE ONTARIO BUILDING CODE

2081
TOWNHOUSE

URBAN 2
ELEVATION 1

PACKAGE 'A4'

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, REVERTS MUST BE VERIFIED PRIOR TO POLING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	FEB 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

MAIN LEVEL EL-1

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL

SCALE 3/16" = 1'-0"

FIG. NO. 18-18

REV. NO. 3

**2081
TOWNHOUSE
URBAN 2
ELEVATION 2 & 2A
PACKAGE 'A4'
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY STATIONING OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED WITHOUT THE SIGNATURE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE TRADING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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NO.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	FEB 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

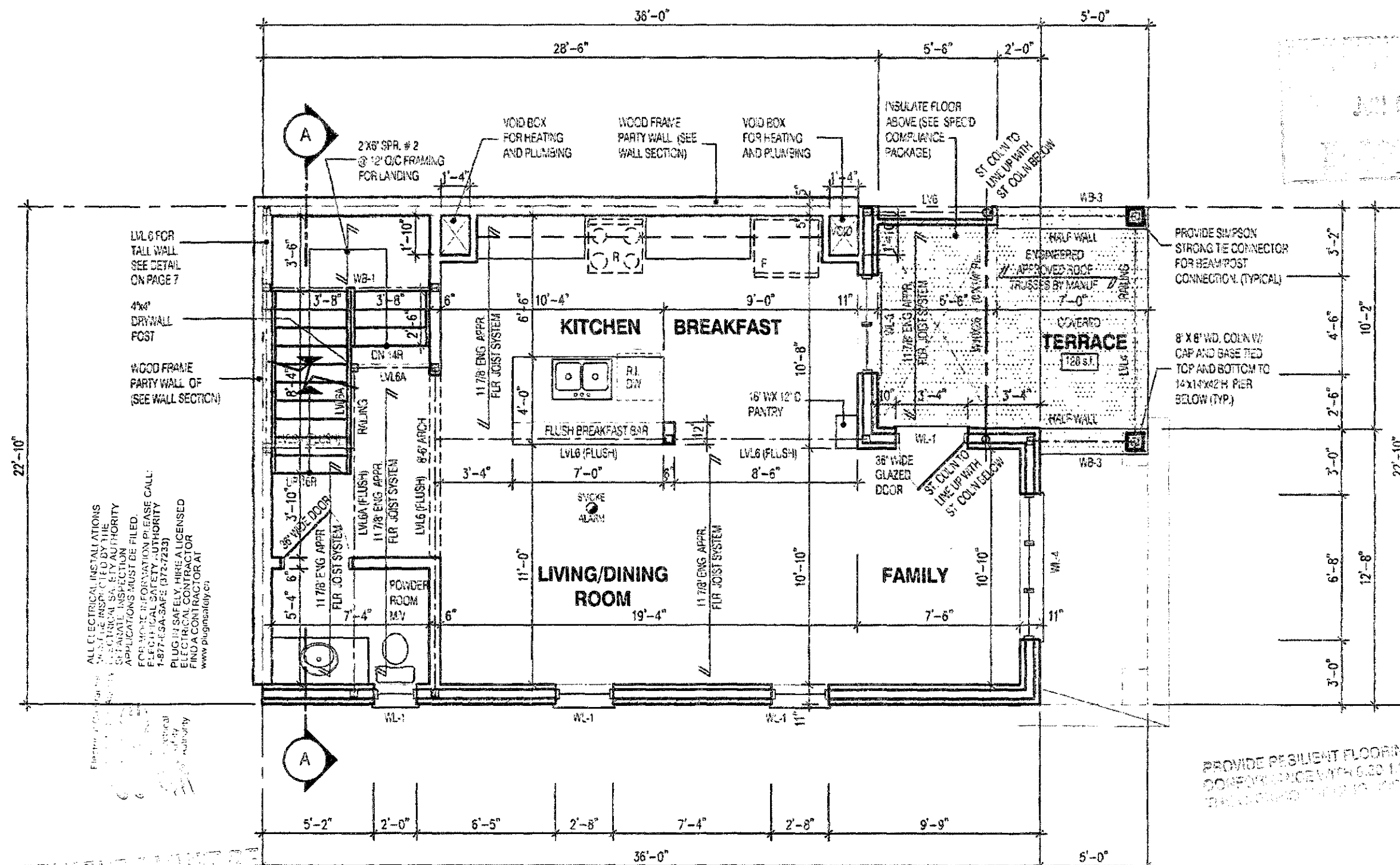
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION:
Required unless Design is exempt under Division C, Subsection 3.2.5 of the B.C.

Waiter Bother 21037
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

**MAIN LEVEL EL-2 & 2A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON**

BILD
MODEL
SCALE 1/8" = 1'-0"
PRJ. NO. 2081
SHEET NO. 3A




[illegible]

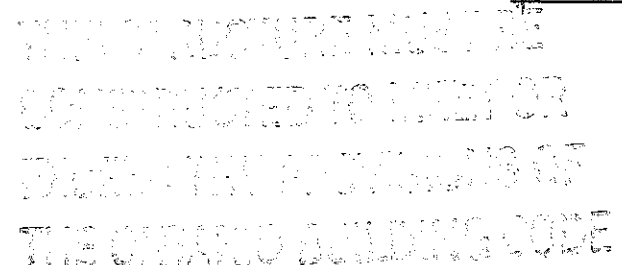
No.	DATE	WORK DESCRIPTION
1	11/1/78	...
2	11/2/78	...
3	11/3/78	...
4	11/4/78	...
5	11/5/78	...
6	11/6/78	...
7	11/7/78	...
8	11/8/78	...
9	11/9/78	...
10	11/10/78	...
11	11/11/78	...
12	11/12/78	...
13	11/13/78	...
14	11/14/78	...
15	11/15/78	...
16	11/16/78	...
17	11/17/78	...
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19	11/19/78	...
20	11/20/78	...
21	11/21/78	...
22	11/22/78	...
23	11/23/78	...
24	11/24/78	...
25	11/25/78	...
26	11/26/78	...
27	11/27/78	...
28	11/28/78	...
29	11/29/78	...
30	11/30/78	...

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Botter *Use* 21031
ALABAMA SICKLE, DE BCIN

jardin design group inc. 27763

 BILD®	MODEL	
	316-18	
	FROM No.	DATE
	18-18	2



175 IN C










- PROVIDE 1 HR FLR
WITH FIRE SEPARATION

NOTE:

SUBFLOOR TO BE
5/8" OSB ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:

-  BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
-  INDICATES SOLID BEARING REQUIRED
ON POINT LOAD FROM ABOVE
-  STL. PLATE FOR STEEL COLUMN ABOVE
-  LVL LAMINATED VENEER LUMBER
-  S.J. SINGLE JOIST
-  D.J. DOUBLE JOIST
-  T.J. TRIPLE JOIST
-  REPEAT NOTE
-  SHOWER DRAIN

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

100-443887-100

**2081
TOWNHOUSE**

**URBAN 2
ELEVATION 4 & 5**

PACKAGE 'A4'

O.REG. 332/12

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE PROTECTED TO JARDIN DESIGN GROUP AND PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVESTIGATIONS REVEAL FROM TO FLOORING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CHECK OUT OR REVIEW ANY OF THE WORK OR ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4		
3	FEB 8 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7 2019	ISSUED FOR PRICING
1	JULY 18 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt from Division C, Subsection 3.2.5 of the Building Code.

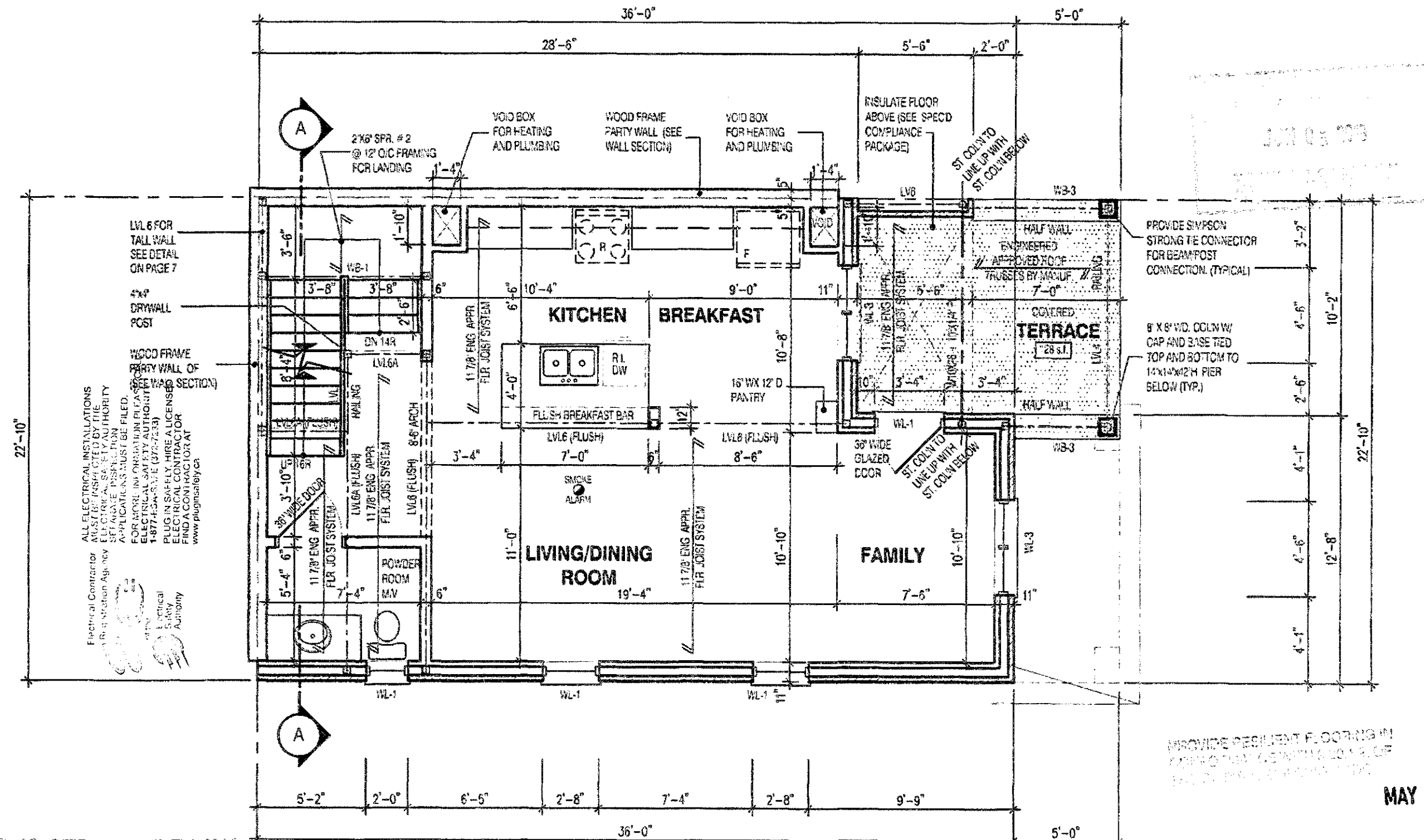
Walter Boffa *WBe* 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt from Division C, Subsection 3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCN

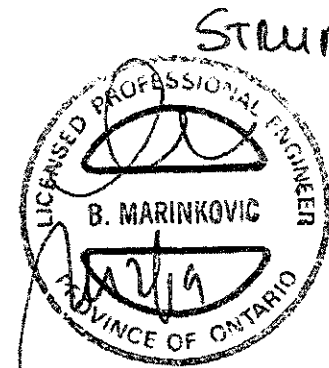
MAIN LEVEL EL-4 & 5
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18
SHEET No. 3C



ALL ELECTRICAL INSTALLATIONS MUST BE INSTALLED BY A LICENSED ELECTRICIAN. ALL ELECTRICAL SAFETY AUTHORITY APPLICATIONS MUST BE FILED FOR MORE INFORMATION PLEASE CONTACT ELECTRICAL SAFETY AUTHORITY 1-877-454-5376 (372-7233) PLUG IN SAFETY HIRE A LICENSED ELECTRICAL CONTRACTOR AT www.pluginsafety.ca

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE



FOR STRUCTURE INC

STRUCTURE INC

- PROVIDE IHR FILL WITH FIRE SEPARATION

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:
SUBFLOOR TO BE 5/8" OSB ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:
■ BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
□ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COLN ABOVE
LVL LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.L. TRIPLE JOIST
○ REPEAT NOTE
○ SHOWER WEEPERS

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

Walter Boffa *WBe* 21031
NAME SIGNATURE BCN

- PROVIDE 1HR FR WITH FIRE SEPARATION

THIS DRAWING IS NOT
COMPLETED TO A FINAL
STATUS THE PROVISIONS OF
THE ONTARIO BUILDING CODE

2081
TOWNHOUSE
URBAN 2
ELEVATION 1
PACKAGE 'A4'
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL NECESSARY PERMITS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR MECHANICAL INFORMATION PROVIDED IN THESE DRAWINGS OR FOR CONSTRUCTION VARIATIONS FROM THE INFORMATION OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
ALL DIMENSIONS MUST BE VERIFIED FROM TOPOGRAPHIC RECORDS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN REFERENCED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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7	
6	
5	
4	JULY 15, 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 18, 2019 ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.3 of the B.C.

Walter Bolter 21031
NAME SIGNATURE BCN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code
Jardin design group inc. 27763
FIRM NAME BCN

UPPER LEVEL EL-1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. NO. 18-18
SHEET NO. 4

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

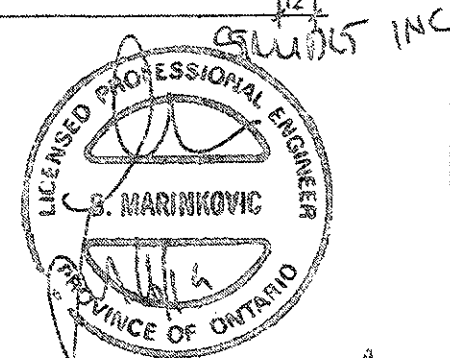
JUL 16 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site planning plans or existing drawings with respect to any zoning or building code or permit matter or that any plans can be properly built or located on a lot.
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JULY 17, 2019
TOWN OF CALEDON, ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF CALEDON

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLUMN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEFERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

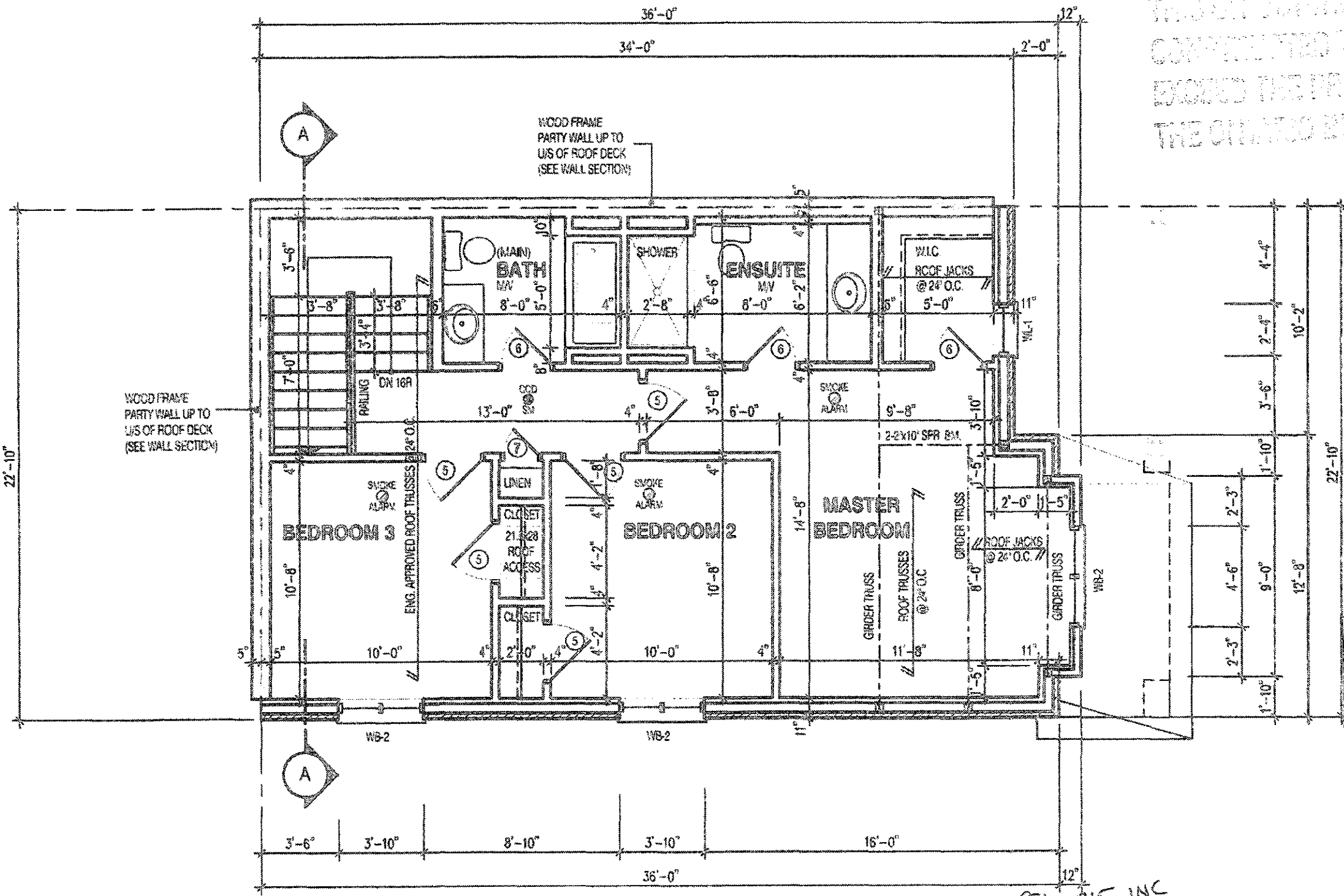


For signature of [Signature]

WOOD FRAME PARTY WALL UP TO U/S OF ROOF DECK (SEE WALL SECTION)

WOOD FRAME PARTY WALL UP TO U/S OF ROOF DECK (SEE WALL SECTION)

Electrical Contractor
Registration Agency
ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.plugin safely.ca



THE COMMISSION SHALL CHECK AND VERIFY ALL OF THE DISCLOSURES AND DOCUMENTS OF THE SOURCE FOR PRESENTING NEW INFORMATION AND INFORMATION DISCLOSURES SHALL BE REPORTED TO JAPAN DESIGN GROUP OR PRIOR TO DEVELOPMENT OF TASK.

WORKING DESIGN GROUP HAS NOT RESPONSIBLE FOR THE ADDITION OF BURDEN STRUCTURE OR PERFORMANCE INFORMATION RESULTS AND THESE INFORMATION FOR CONSTRUCTION STARTED FIRST FOR THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE ENGINEERING CHARGES MUST BE PROVIDED WITH INFORMATION.

AS COMPLETED DRAWINGS MUST BE RETURNED PRIOR TO POLICE DEPARTMENTS.

JAPAN DESIGN GROUP HAS NOT BEEN RETURNED TO CARRY OUT CONSTRUCTION OF THE PROJECT AND ASSIGNED TO REPORTING FOR THE RESULTS OF THE CONSTRUCTION INFORMATION REPORTED TO THE POLICE DEPARTMENT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

THE DESIGNING OF THE PROJECT OR SERVICE IS PROVIDED BY A DESIGN FIRM OF JAPAN DESIGN GROUP. THE DRAWINGS ARE NOT TO BE REPRODUCED.

No:	DATE:	WORK DESCRIPTION:
1	10/10/19	...
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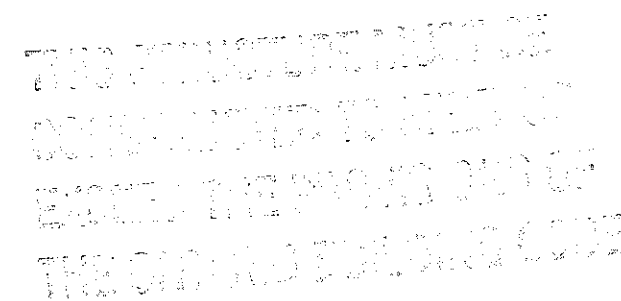
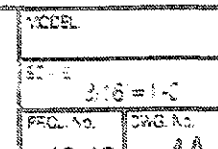
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Soller *WSS* 21031

REGISTRATION INFORMATION
Registered under design is exempt under Division C, Subsection
1.1.4 of the building code

FORM NAME 801

LAMBERTS LANE PHASE 2
TOWN OF CALEDON





PROVIDE ATTENDANT FLOORING
CONFORMANCE WITH 101.12 OF
THE 2006 IBC BUILDING CODE.


RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO _____


4-22-68


FOR STRUCTURE ON


NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
 ROOF TRUSS DRAWINGS BY MANUFACTURER.


  BUILDING FACE < THAN 4'-0" (2'-0" (45 MIN. FIRE RATING REQ'D)


 INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE


 STL. PLATE FOR STEEL COL. ABOVE


 LVL LAMINATED VENEER LUMBER

 S.J. SINGLE JOIST

 D.J. DOUBLE JOIST

 T.J. TRIPLE JOIST

 REPEAT NOTE

 SHOWER KEYPERS

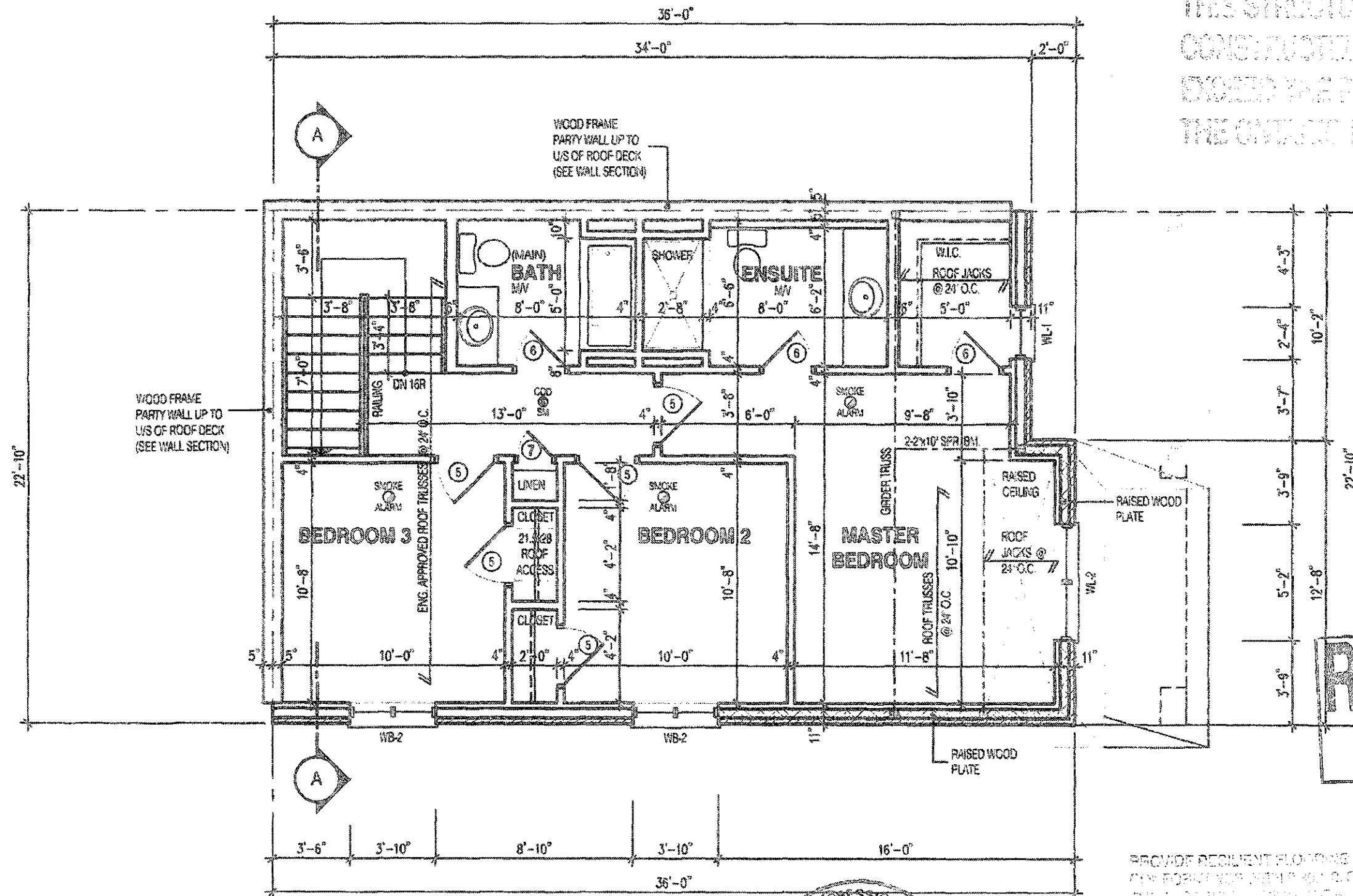
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECTS
PROFESSIONAL ENGINEERS
AND SURVEYORS

APPROVED BY _____
DATE _____

THIS DOCUMENT IS THE PROPERTY OF THE
FEDERAL BUREAU OF INVESTIGATION
AND IS LOANED TO YOUR AGENCY
IT IS TO BE RETURNED TO THE FBI

- PROVIDE 1HR FLR WITH FIRE SEPARATION



THIS STRUCTURE MUST BE
CONSTRUCTED TO MATCH OR
EXCEED THE PERFORMANCE OF
THE ONTARIO BUILT FORM 2012

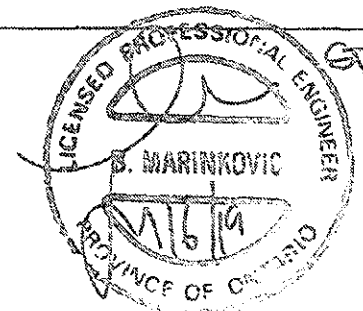
RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

JUL 16 2019

PROVIDE RECIPIENT FLOORING IN
FINISH FLOORING WITH A MIN. 2.0 G
TYPICAL LOADS PER AREA

Electrical Contractor
Registration Agency
or the
Electrical
Safety
Authority

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
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ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www pluginsafely.ca



FOR STAINLESS STEEL

NOTE:
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ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(AS MIN. FIRE RATING REQ'D)
 - INDICATES SQUID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
 - STL PLATE FOR STEEL COLUMN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER DRAIN

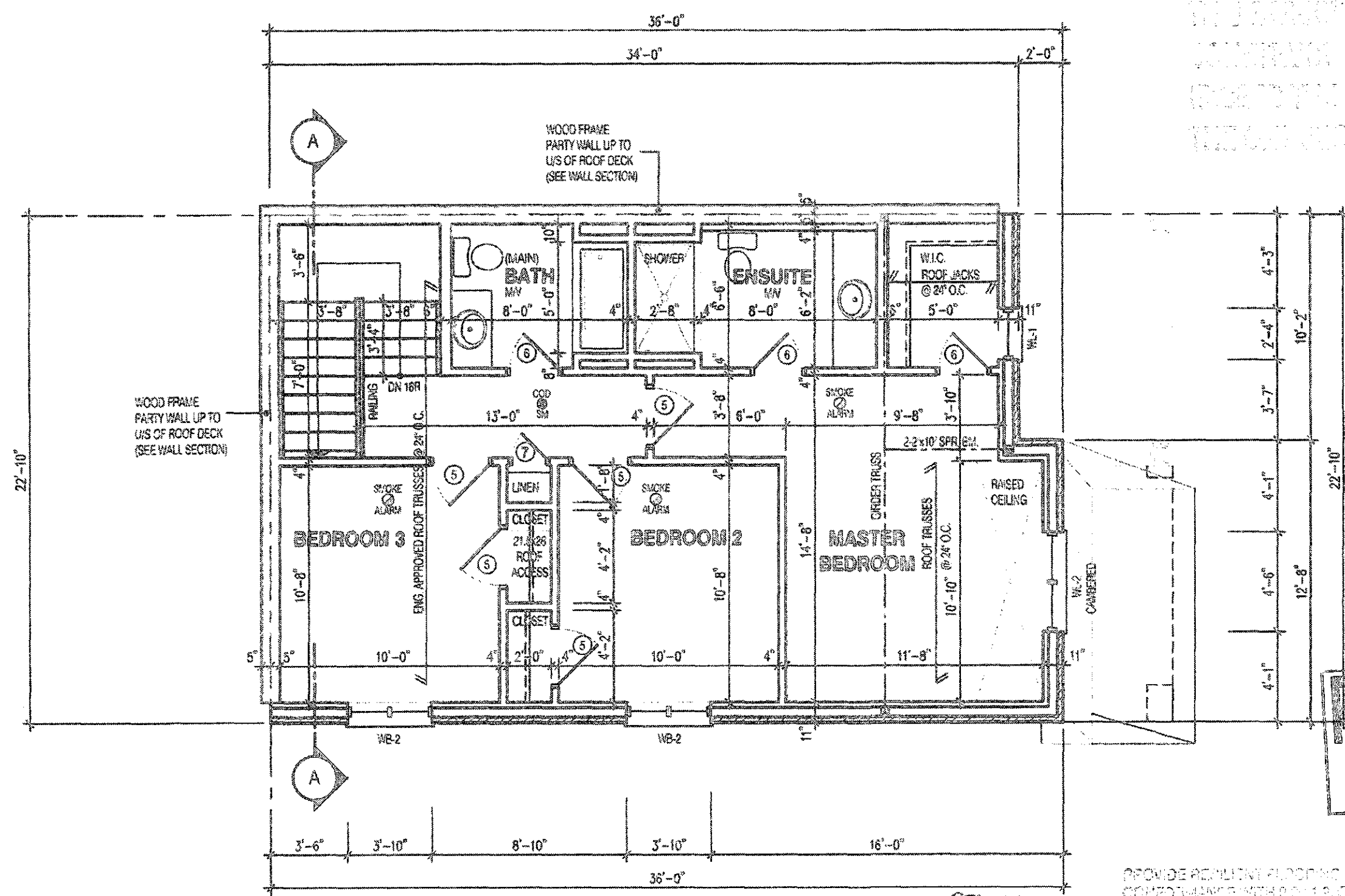
It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Code, Ontario
and all applicable regulations and requirements
including zoning bylaws and any other laws
in the building or development. The Contractor
is not responsible in any way for
obtaining or approving site (lotting) plans or
existing drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

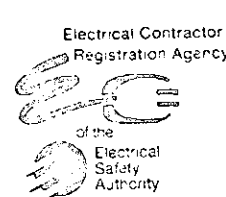
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL DESIGN DIVISION
1000 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONT. M1B 4Y1
TEL: (416) 291-1111
FAX: (416) 291-1112
WWW.JGWILLIAMS.COM

2081	
TOWNHOUSE	
URBAN 2	
ELEVATION 3	
PACKAGE 'A4'	
O.REG. 332/12	
<p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</p>	
7	
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4	JULY 15, 2019 REVISED PER CITY COMMENTS
3	FEB. 8 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7 2019 ISSUED FOR PRICING
1	JULY 18, 2016 ISSUED FOR STRUCTURAL REVIEW
No.	DATE: WORK DESCRIPTION:
<p>Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>COMMUNICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.</p> <p>Walter Boller <i>Walter Boller</i> 21031 NAME SIGNATURE BCIN</p> <p>Registration Information Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.</p> <p>Jardin design group inc. 27763 FIRM NAME BCIN</p>	
UPPER LEVEL EL-3	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL	
SCALE 3/16" = 1'-0"	
PROJ. No.	DWG. No.
18-18	4B

- PROVIDE 1HR FRP WITH FIRE SEPARATION



UPPER LEVEL



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.p.e.s.a.f.e.ca



For structural use

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLL. ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the building code or permit. The Council Architect is not responsible in any way for organizing or approving any building plans or working drawings with respect to any zoning or building code or permit matter or that any plans are to properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANTS
AND ENGINEERS
DATE: JULY 16, 2019
PROJECT NO. 18-18
DWG. NO. 4D

2081
TOWNHOUSE
URBAN 2
ELEVATION 5
PACKAGE 'A4'
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN A COPY OF THE TOWN OF CALEDON'S BUILDING CODE AND THE BUILDING CODE OF THE PROVINCE OF ONTARIO AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING CODE.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

No.	DATE	WORK DESCRIPTION
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4	JULY 15, 2019	REVISED PER CITY COMMENTS
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 15, 2018	ISSUED FOR STRUCTURAL REVIEW

JARDIN
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.3 of the Building Code

Writer: 21031
NAME: B. MARINKOVIC
SIGNATURE: 21031
FIRM NAME: JARDIN DESIGN GROUP INC.
FIRM SIGNATURE: 27763

UPPER LEVEL EL-5
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD

SCALE: 3/16" = 1'-0"

PROJ. NO. 18-18
DWG. NO. 4D

- PROVIDE 1 HR FRP WITH FIRE SEPARATION

**URBAN 2
FRONT ELEV.-1**

**UNIT 88-1 (DEER RIDGE
TRAIL)**

**UNIT 88-3 (LOWES HILL
CIRCLE)**

**UNIT 92-3 (LOWES HILL
CIRCLE)**

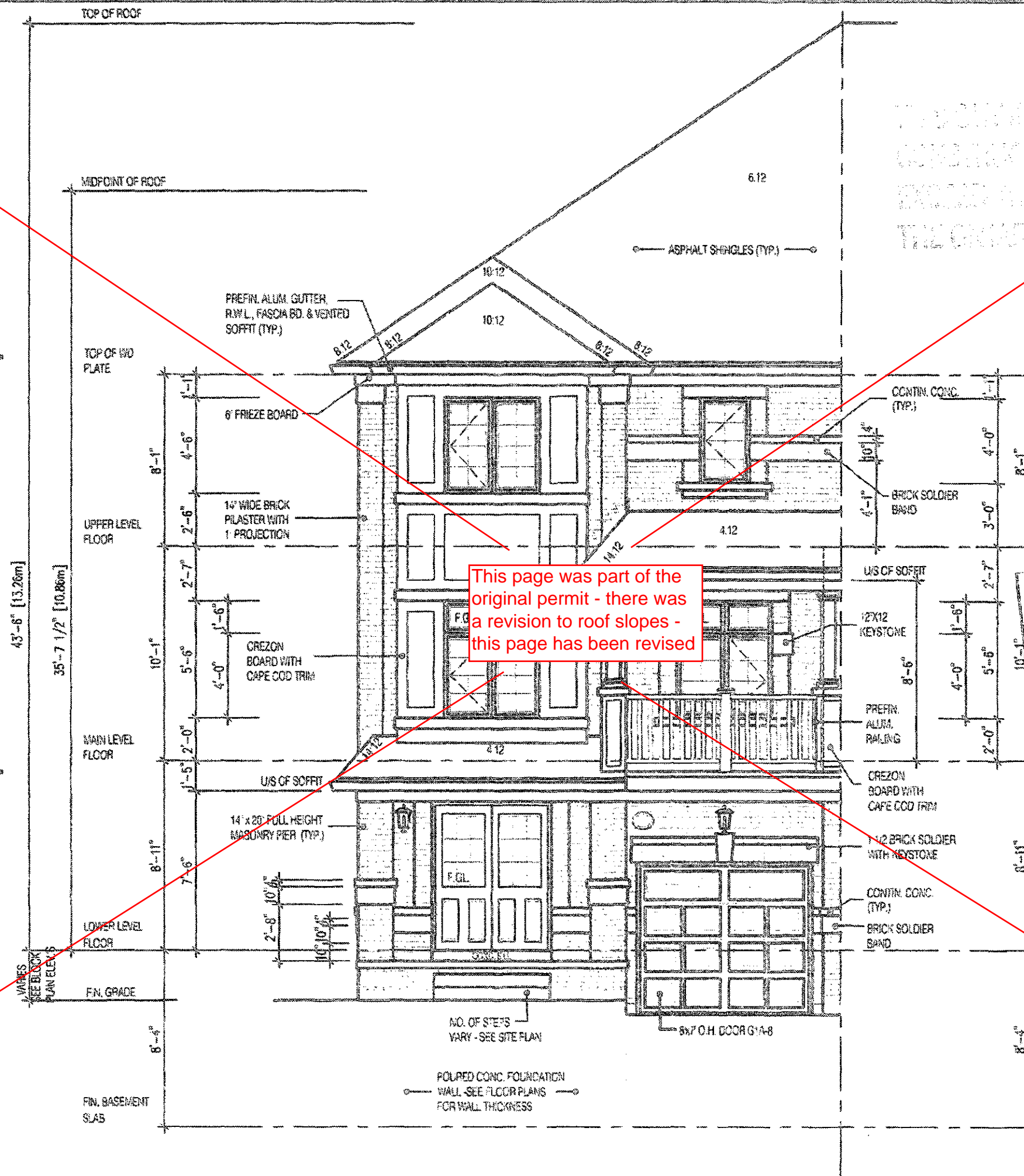
**UNIT 94-1 (DEER RIDGE
TRAIL)**

**UNIT 88-2 (DEER RIDGE
TRAIL) (REVERSE)**

**UNIT 88-4 (LOWES HILL
CIRCLE) (REVERSE)**

**UNIT 92-4 (LOWES HILL
CIRCLE) (REVERSE)**

**UNIT 94-2 (DEER RIDGE
TRAIL) (REVERSE)**



**2081
TOWNHOUSE**

**URBAN 2
ELEVATION 1**

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURE OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION. STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF JARDIN DESIGN GROUP INC.

AS CONSTRUCTED, DRAWINGS MUST BE VERIFIED FROM TOPOGRAPHIC PHOTOGRAPHS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT CONSTRUCTION OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED AS A GUIDE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THIS DRAWING IS NOT TO BE REPRODUCED.

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4	JULY 15, 2019 REVISED PER CITY COMMENTS
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW

DATE WORK DESCRIPTION

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

CLARIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.3 of the Building Code.

Walter Boller 21031
NAME SIGNATURE BCIN

Registration Information
Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 1
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PRO. NO. 18-18
PAGE NO. 5

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for extensions or approvals (if any) or for any building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

ROSE L. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANTS
AND DESIGNERS
APPROVED BY: [Signature]
DATE: JUL 17, 2019
The above is a true and correct copy of the original drawing as submitted to the Town of Caledon for approval.

URBAN 2
FRONT ELEV.-1

UNIT 88-1 (DEER RIDGE
TRAIL)

UNIT 88-3 (LOWES HILL
CIRCLE)

UNIT 92-3 (LOWES HILL
CIRCLE)

UNIT 94-1 (DEER RIDGE
TRAIL)

UNIT 88-2 (DEER RIDGE
TRAIL) (REVERSE)

UNIT 88-4 (LOWES HILL
CIRCLE) (REVERSE)

UNIT 92-4 (LOWES HILL
CIRCLE) (REVERSE)

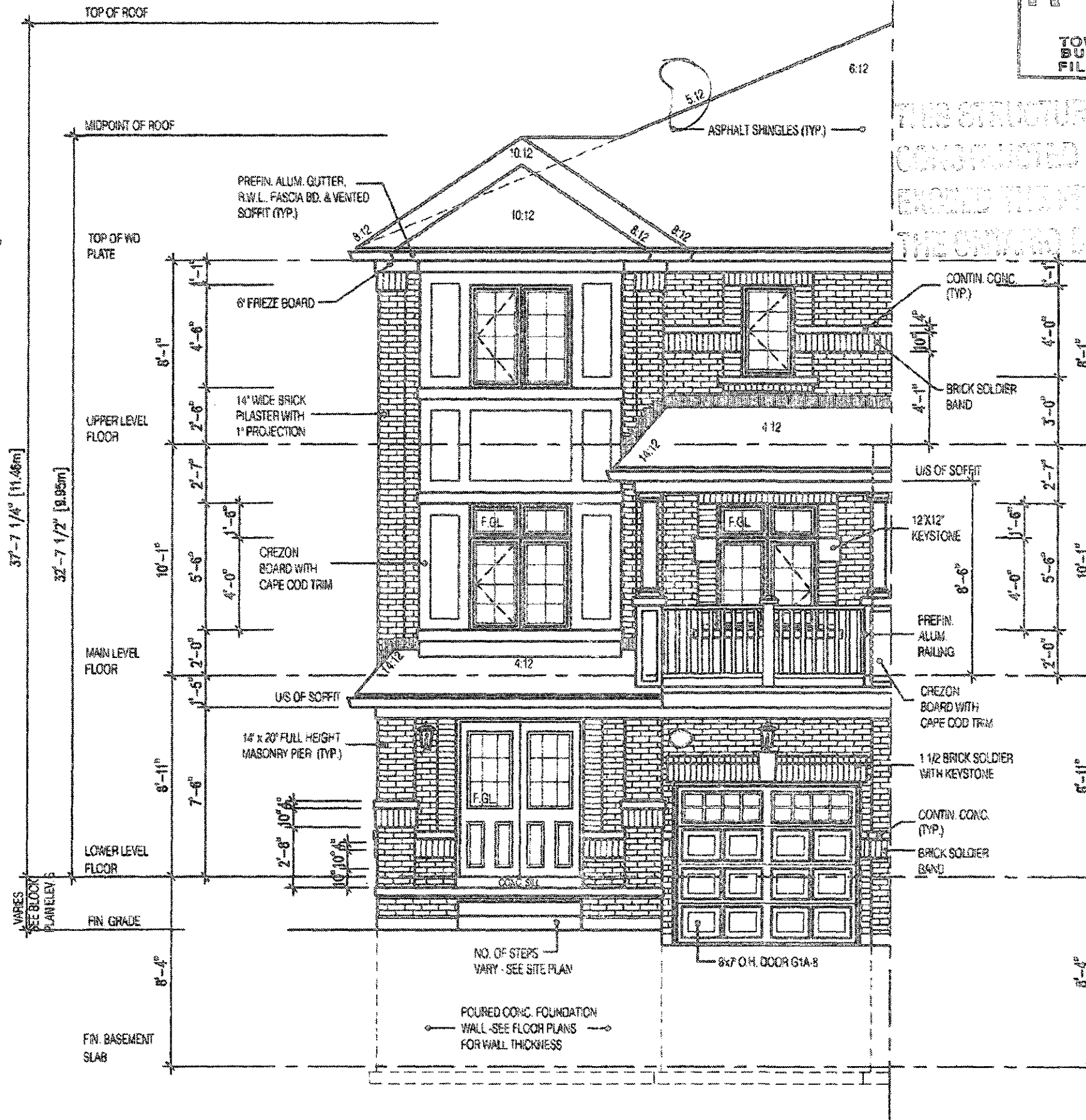
UNIT 94-2 (DEER RIDGE
TRAIL) (REVERSE)

REVISION

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY 6.D.P.
DATE OCTOBER 1, 2019
FILE URBAN 2 Elev. 1, 2, 3A, 3, 4 & 5

REDUCTION OF HEIGHT FOR
PROPOSED CERTIFIED MODEL



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL & ENGINEERING
DESIGN GROUP INC.

APPROVED BY [Signature]
DATE SEP 16, 2019

2081	
TOWNHOUSE	
URBAN 2 ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
<p>THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY STATIONING OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE PROPERTY SURVEYING ENGINEER'S REPORT PRECEDING THIS WORK IS CONSIDERED PART OF THE RECORD DRAWINGS FOR THIS PROJECT.</p> <p>JARDIN DESIGN GROUP INC. DOES NOT BEYOND THE DUTY OF GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUBSEQUENT TO THAT, OUT OF THE RECORD DRAWINGS WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</p>	
7	
6	
5	SEPT. 03, 2019 REVISION TO ROOF SLOPES
4	JULY 15, 2019 REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 6, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY '9, 2016 ISSUED FOR STRUCTURAL REVIEW
No.	DATE WORK DESCRIPTION:
<p>jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Registered under Design as Architect, Subsection 1.2.2 of the Act.</p> <p>Walter Botter <u>[Signature]</u> 21031 NAME SIGNATURE BCIN</p> <p>Registration Information Required unless Design is exempt under Division C, Subsection 1.2.4 of the Building Code</p> <p>jardin design group inc. 27763 FIRM NAME BCIN</p>	
FRONT ELEVATION 1	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
MODEL:	
SCALE: 3/16" = 1'-0"	
PROJ. No.	DWG. No.
18-18	5

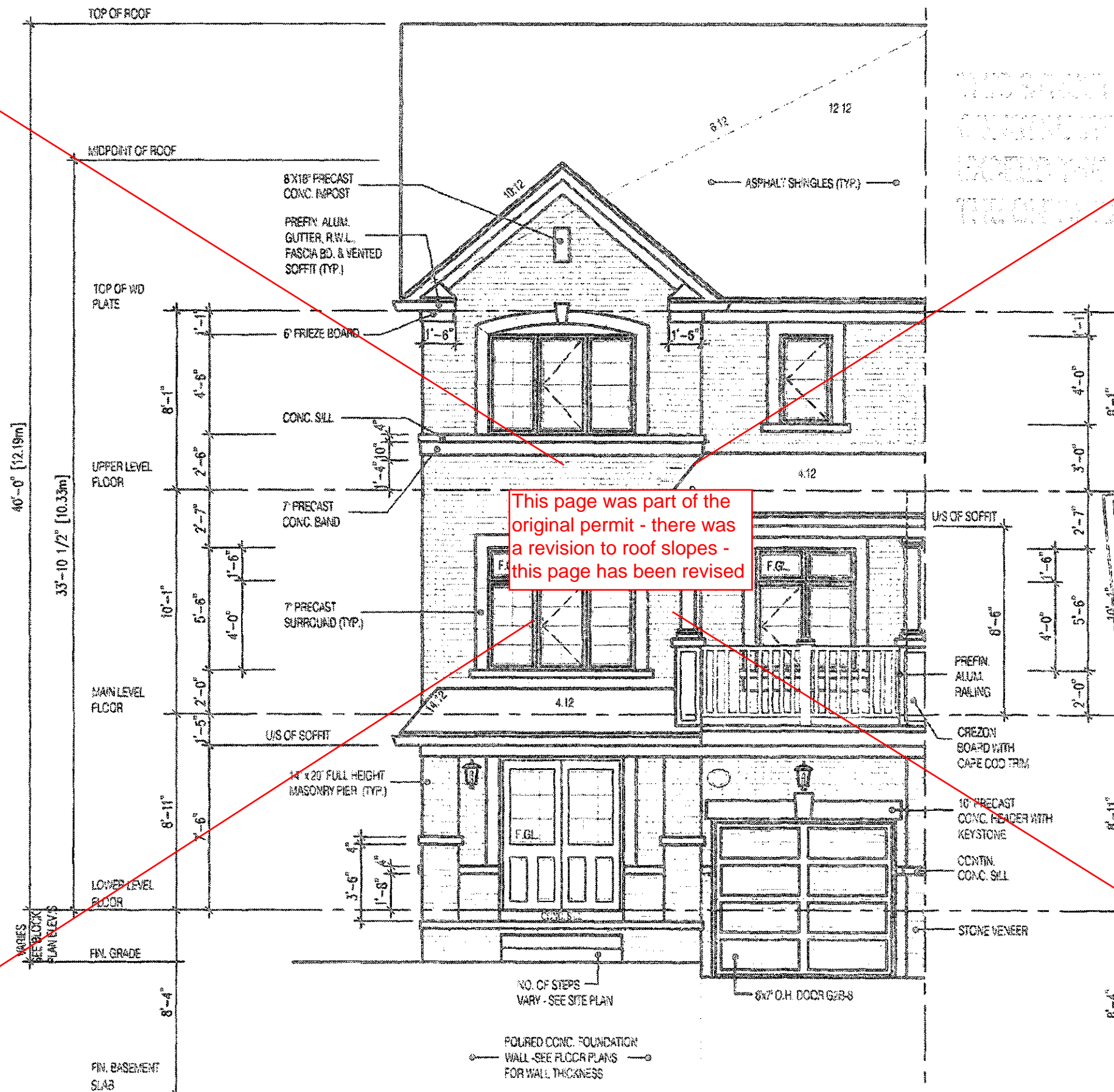
APPLICANT COPY

URBAN 2
FRONT ELEV.-2

UNIT 89-1 & 93-1
DEER RIDGE TRAIL

UNIT 81-1, 81-3, 84-1
& 84-3 LOWES HILL
CIRCLE

UNIT 91-3
LOWES HILL CIRCLE



This page was part of the original permit - there was a revision to roof slopes - this page has been revised

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUL 16 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (set) plans or refusing drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANTS
AND INTERIOR
DESIGNERS
JUL 17, 2019
18-18 5A

2081
TOWNHOUSE
URBAN 2
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO LINDEN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

LINDEN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION OR FOR THE RESULTS OF A BUILDING INSPECTION. REPORT TO THE APPROPRIATE ENGINEERING PROFESSIONAL BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTING.

LINDEN DESIGN GROUP INC. HAS NOT BEEN PREPARED TO CARRY OUT GENERAL REVIEW OF THE WORK OR ASSUME ANY RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF LINDEN DESIGN GROUP INC. IT IS NOT TO BE REPRODUCED OR COPIED.

NO.	DATE	WORK DESCRIPTION
7		
6		
5		
4	JUL 15, 2019	REVISED PER CITY COMMENTS RESUBMITTED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 18, 2018	ISSUED FOR STRUCTURAL REVIEW

NO: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Registered architect design is certified and is in good standing under the OAC, Subsection 1.15 of the Building Code.

Walter Bolter *Walter Bolter* 21031
NAME SIGNATURE BCN

Registration Information
Required unless design is exempt under Division C, Subsection 1.2.2 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCN

SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL

SCALE
3/16" = 1'-0"

PRO. 18-18

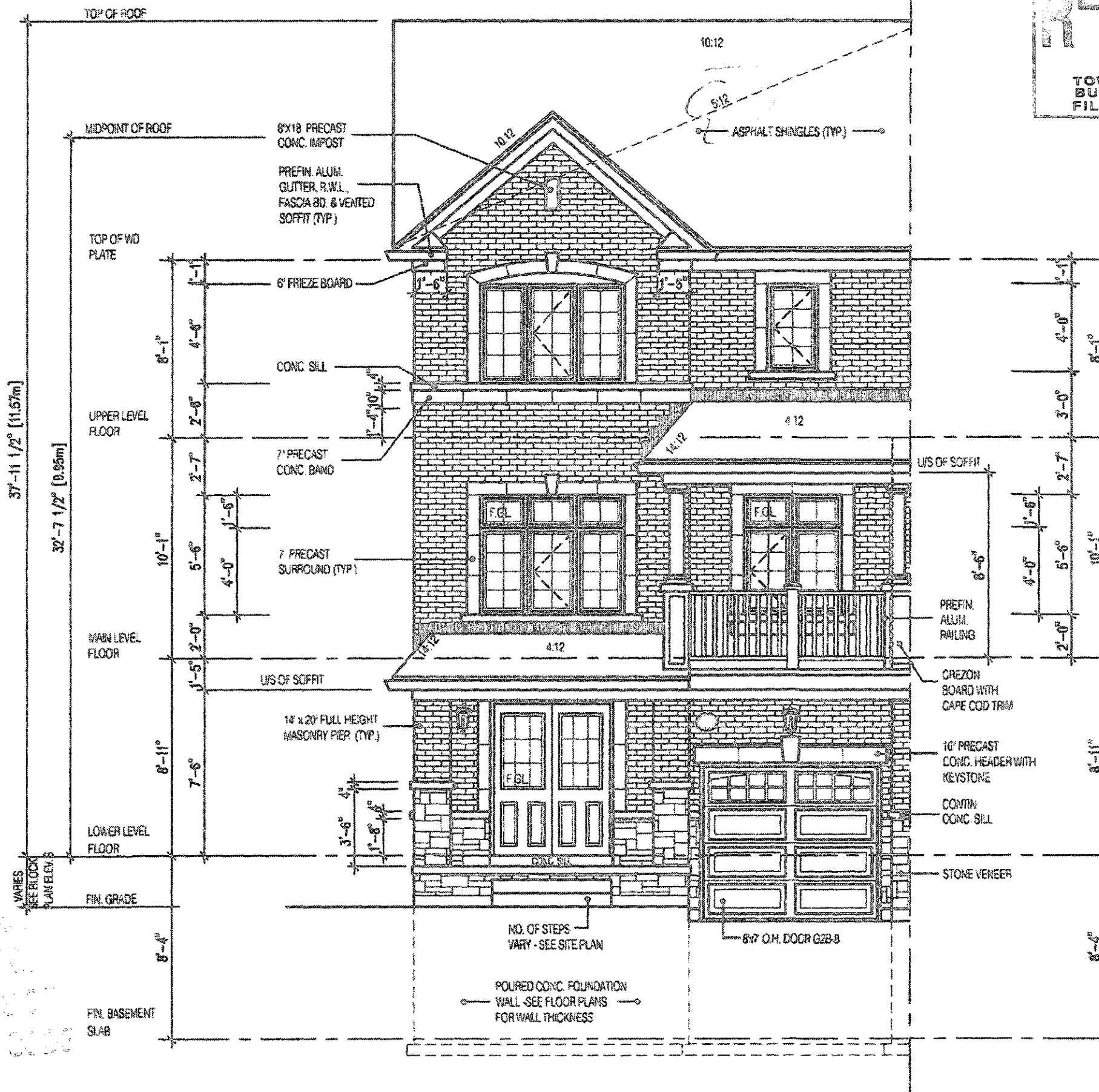
DWG. NO. 5A

URBAN 2
FRONT ELEV.-2

UNIT 89-1 & 93-1
DEER RIDGE TRAIL

UNIT 81-1, 81-3, 84-1
& 84-3 LOWES HILL
CIRCLE

UNIT 91-3
LOWES HILL CIRCLE



RECEIVED
SEP 16 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

2081
TOWNHOUSE

URBAN 2
ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL MAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF CLARKEY STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S DRAWINGS OR SPECIFICATIONS SHALL BE MADE BY THE CONTRACTOR TO THE BUILDING PERMIT OFFICE PRIOR TO THE START OF CONSTRUCTION.

JARDIN DESIGN GROUP INC. IS NOT BE HELD RESPONSIBLE TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES TO BE RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

No.	DATE	WORK DESCRIPTION
7		
6		
5	SEPT. 03, 2019	REVISION TO ROOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 6, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 9, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

Walter Boller *Walter Boller* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

Jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL:

SCALE:
3/8" = 1'-0"

PROJ. No 18-18
DWG. No 5A

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions into any provisions in the subdivision agreement. The Council Architect is not responsible in any way for approving or expressing site (floor) plans or existing drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE: SEP 08, 2019

The building, structure, construction, materials, and design shall comply with the Ontario Building Code and all applicable regulations and requirements.

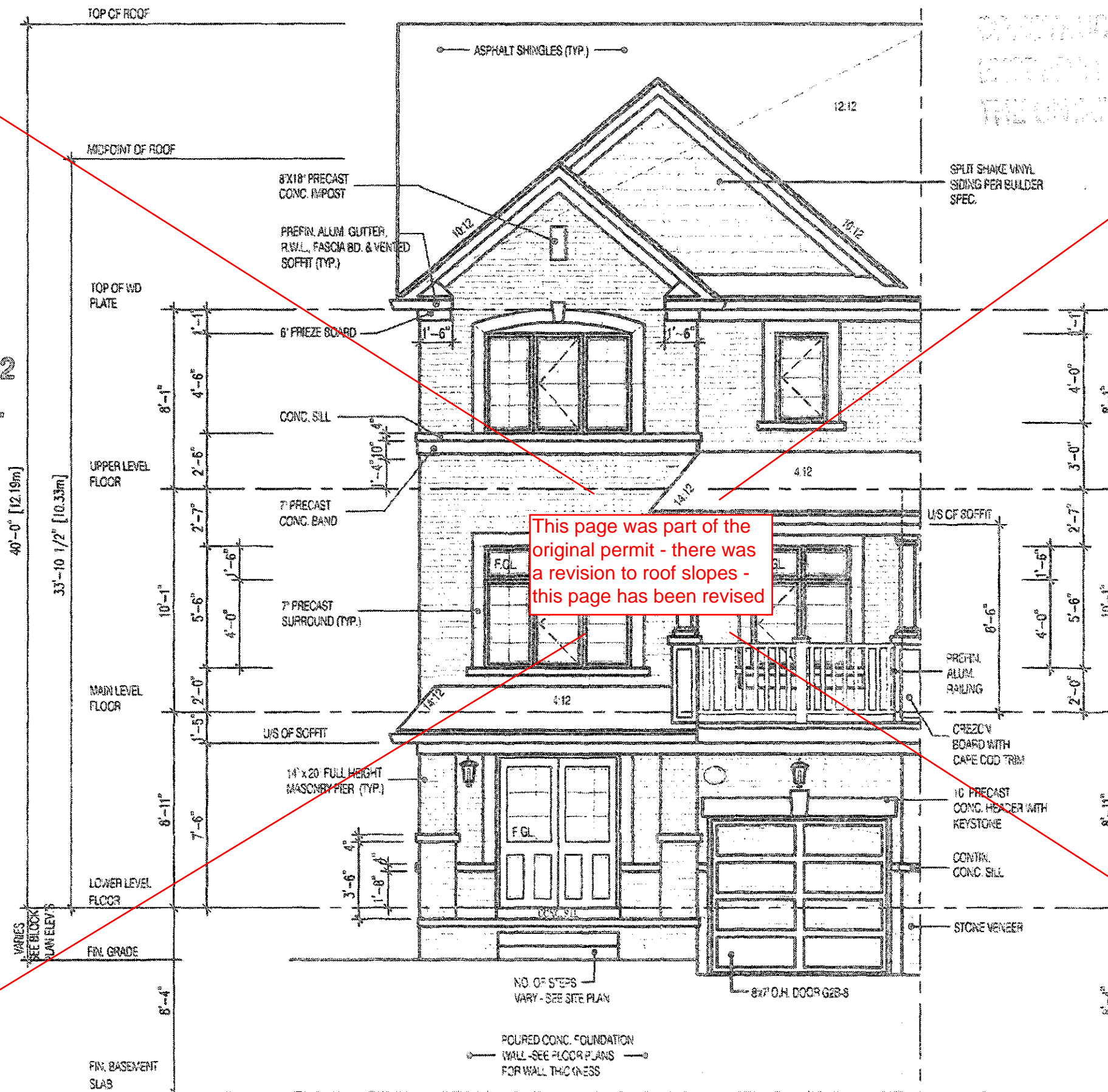
THIS STRUCTURE SHALL BE
CONSTRUCTED TO MEET THE
REQUIREMENTS OF THE
ONTARIO BUILDING CODE

URBAN 2
FRONT ELEV.-2A

UNIT 89-2 & 93-2
DEER RIDGE TRAIL
(REVERSE)

UNIT 91-4
LOWES HILL CIRCLE
(REVERSE)

UNIT 81-2, 81-4, 84-2
& 84-4 LOWES HILL
CIRCLE
(REVERSE)



This page was part of the
original permit - there was
a revision to roof slopes -
this page has been revised

THIS ELEVATION WAS
ORIGINALLY SUBMITTED
FOR A PERMIT UNDER
THE URBAN 2 TOWNHOUSE

2081
TOWNHOUSE
URBAN 2
ELEVATION 2A
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
COORDINATIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
P.L.C. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ON
THIS DRAWING OR FOR CONSTRUCTION STARTING PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, DIMENSIONS MUST BE VERIFIED FROM EXISTING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL VERIFICATION OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP P.L.C. THIS DRAWING IS NOT
TO BE COPIED.

7	
6	
5	JUL 15, 2019 REVISED PER CITY COMMENTS ISSUED TO CLIENT
4	FEB 8, 2019 ISSUED FOR BUILDING PERMIT
3	FEB 7, 2019 ISSUED FOR PERCING
2	JUL 19, 2019 ISSUED FOR STRUCTURAL REVIEW
1	
No.	DATE: WORK DESCRIPTION:

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUL 16 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulatory and requirements.
Including zoning provisions and any provisions
in the Rezoning agreement. The Contractor
Architects are not responsible in any way for
obtaining or approving site (planning) plans or
working drawings with respect to any zoning or
building code or permit matter or for any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL DESIGN REVIEW
AND SEAL
JUL 17, 2019

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca
The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Building Code.
Walker Boffter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code.
jardin design group inc. 27763
FIRM NAME BCIN

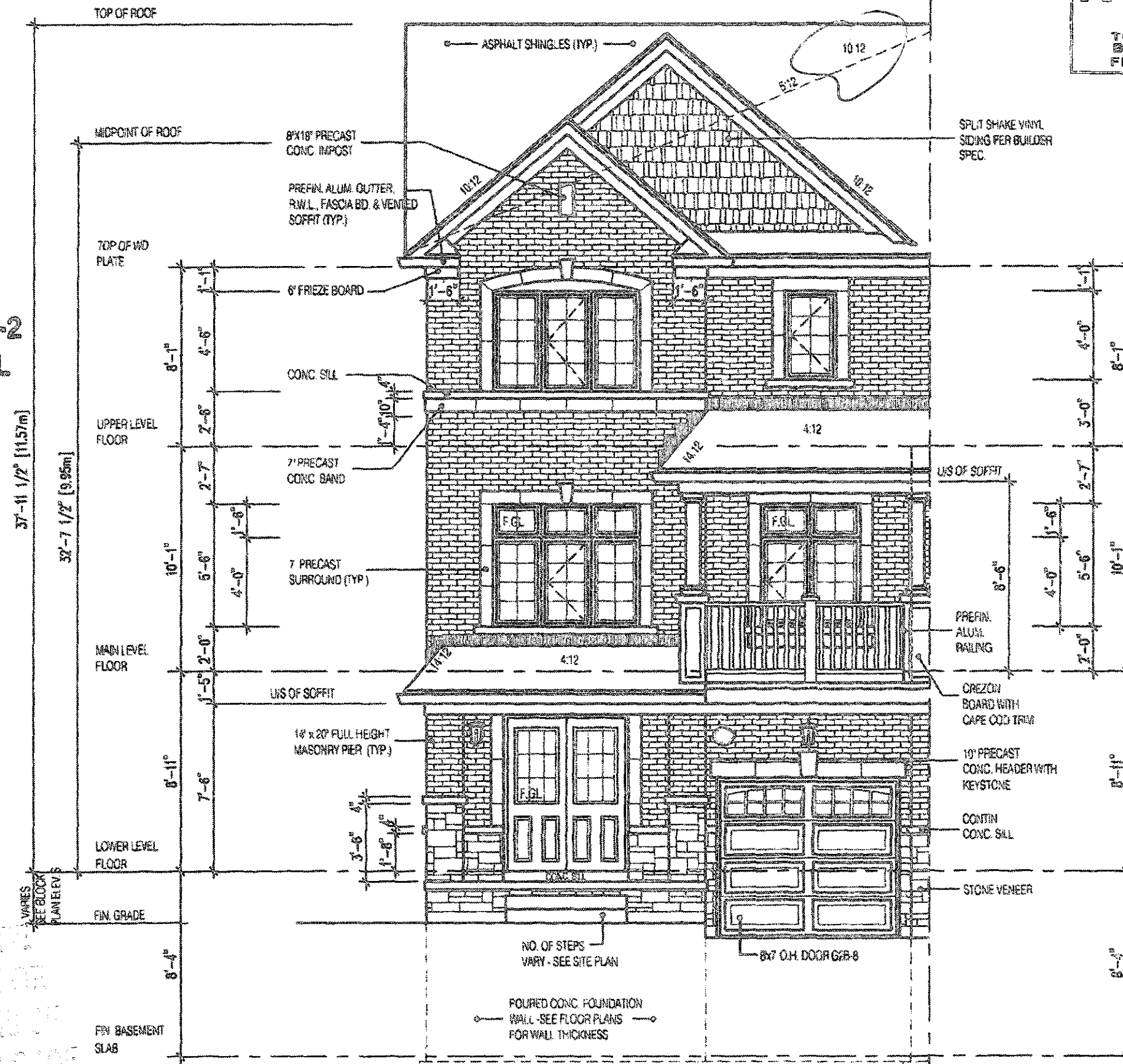
SIDE ELEVATION 2A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON
MODEL
SCALE 3/16"=1'-0"
PROJ. NO. 18-18 DWG. NO. 5B

URBAN 2
FRONT ELEV.-2A

UNIT 89-2 & 93-2
DEER RIDGE TRAIL
(REVERSE)

UNIT 91-4
LOWES HILL CIRCLE
(REVERSE)

UNIT 81-2, 81-4, 84-2
& 84-4 LOWES HILL
CIRCLE
(REVERSE)



RECEIVED
SEP 16 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

2081
TOWNHOUSE
URBAN 2
ELEVATION 2A
ENERGY STAR
O.REG. 332/12

THE TOWN OF CALEDON SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. ANY INFORMATION PROVIDED HEREON IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A GUARANTEE OF ANY KIND. THE TOWN OF CALEDON SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. ANY INFORMATION PROVIDED HEREON IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A GUARANTEE OF ANY KIND. THE TOWN OF CALEDON SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. ANY INFORMATION PROVIDED HEREON IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A GUARANTEE OF ANY KIND.

No.	DATE	WORK DESCRIPTION
7		
6		
5	SEPT. 03, 2019	REVISION TO ROOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 10, 2018	ISSUED FOR STRUCTURAL REVIEW

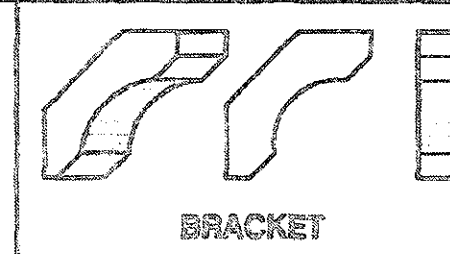
NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (noting) plans or working drawings in respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

Walter Boller
NAME
SIGNATURE
21031
REGISTRATION INFORMATION
27763
Jardin design group inc.
27763
SIDE ELEVATION 2A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON
MODEL:
SCALE:
3/16" = 1'-0"
PROJ. No. 18-18
DWG. No. 5B

THIS STRUCTURE SHALL BE
CONSTRUCTED TO MEET OR
EXCEED THE MINIMUM REQUIREMENTS
OF THE ONTARIO BUILDING CODE

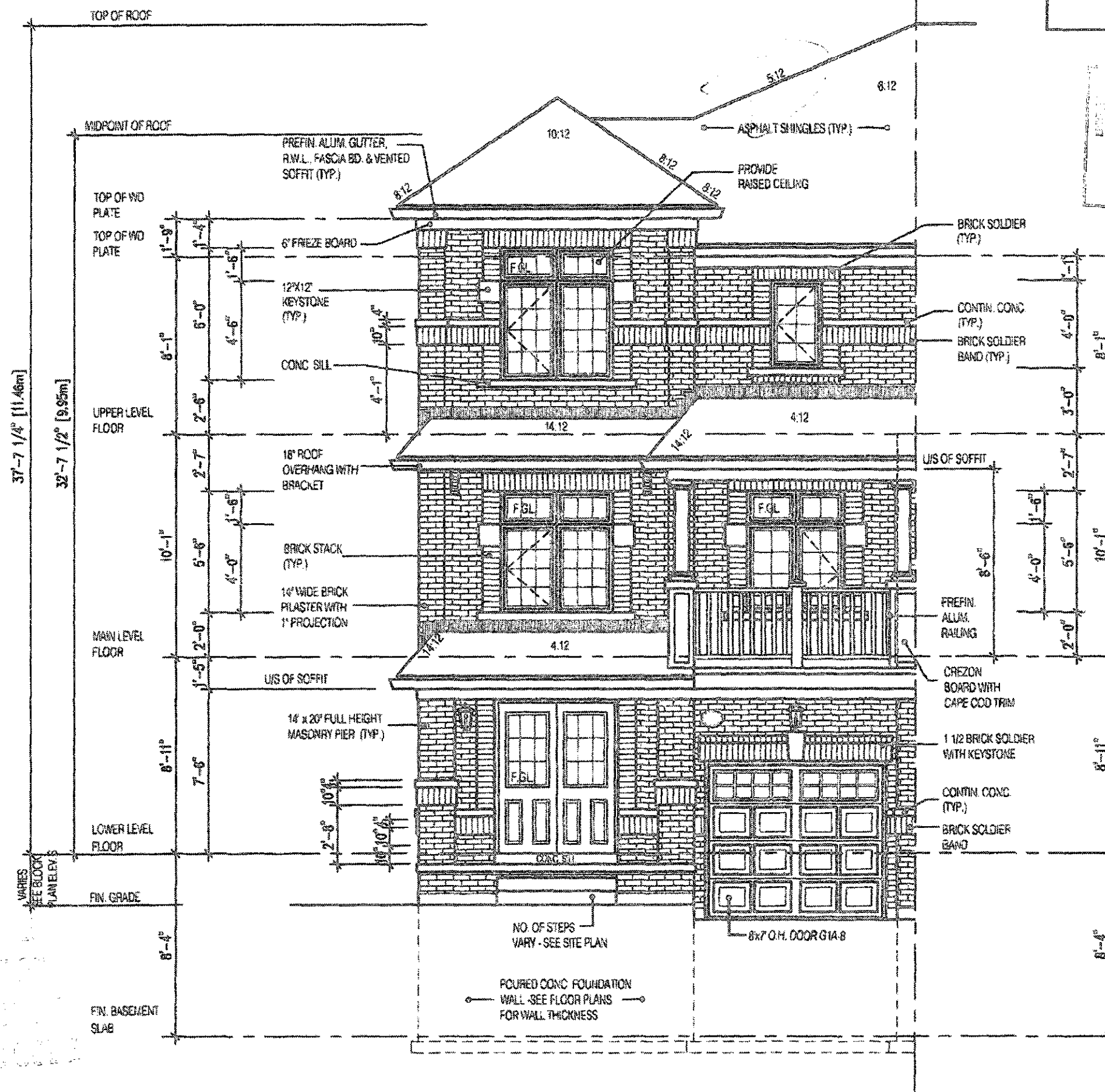
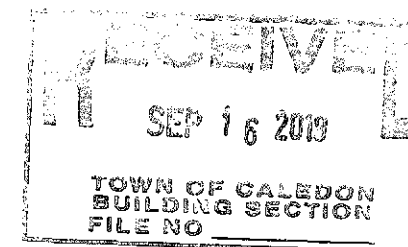
UNIT 94-4 (LOWES
HILL CIRCLE)
(REVERSE)



 BILD®	VOSEL	
	3.16 = 1.5 PRO No. 18-18 ENG No. 50	

JOHN E. WIDEMAN, CHIEF, AIRCRAFT &
ARCHITECTURAL DIVISION, FBI
WFO 44-38861
RECORDED 11
MAY 15 1964
IN REPLYING TO THE COMMUNICATIONS OF THE FBI, NEW YORK
FBIHQ 44-38861-1000, RE: "MURDER
OF MARTIN LUTHER KING, JR."

UNIT 94-4 (LOWES
HILL CIRCLE)
(REVERSE)



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for approving or approving the (posting) plans, working drawings with respect to any zoning building code or permit matter or that an issue can be brought back or forward, as to be

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL ROOM
AND ATTORNEY

APPROVED BY _____

DATE SEP 06 1969

This plan, with all amendments, is hereby approved and
certified correct and in accordance with the
requirements of the Building Code.

2081
TOWNHOUSE
URBAN 2
ELEVATION 3
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND CONSIDERATION OF SURVEY INFORMATION AND CONDUCT SURVEY IN ACCORDANCE WITH THE FOLLOWING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF SURVEY INFORMATION OR SURVEYING INFORMATION SHOWN ON THESE DRAWINGS OR FROM ANY SOURCE, SHOWN OR NOT, TO THE EXTENT OF A CLAIM MADE, OFFERED TO THE CONTRACTOR BY ANY OTHER PARTY BEING APPLIED TO ANY WORK AS COMPLETED HEREIN (E.G. OF OTHER PERSONS OR FIRMS OR INDIVIDUALS).

MARCON DESIGN GROUP, INC. HAS NOT BEEN REFUSED TO CONDUCT OR OBTAIN REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO OBTAIN ANY PERMITS OR APPROVALS WITH THE PROPOSED DESIGN DRAWINGS.

THE DRAWINGS ARE INSTRUMENTS OF SERVICE. SPOOFINGS AND THE PROPERTY OF MARCON DESIGN GROUP, INC. THE DRAWINGS ARE NOT TO BE REPRODUCED.

7		
6		
5	SEPT. 03. 2019	REVISION TO ROOF SLOPES
4	JULY 15. 2019	REVISED PER CITY COMMENTS RESUBMITTED TO CLIENT
3	FEB. 8. 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7. 2019	ISSUED FOR PRICING
1	JULY 9. 2018	ISSUED FOR STRUCTURAL REVIEW

[illegible]

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@laidindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.


Required unless design is exempt under Section C, Subsection 3.2.3 of 22 B.C.R.C. 2006

Walter Botter *W Botter* 21031
NAME SIGNATURE ROOM

REGISTRATION INFORMATION
Registered unless design is exempt under Division C, Subsection
1.2.4 of the building code

jordin design group inc. 27763 FIRM NAME	NON
---	-----

FRONT ELEVATION 3
LAMBERTS LANE PHASE 2
TOWN OF CALEDON



BILD

MODEL:

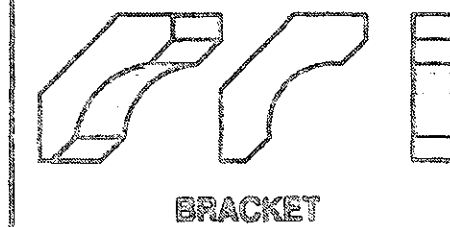
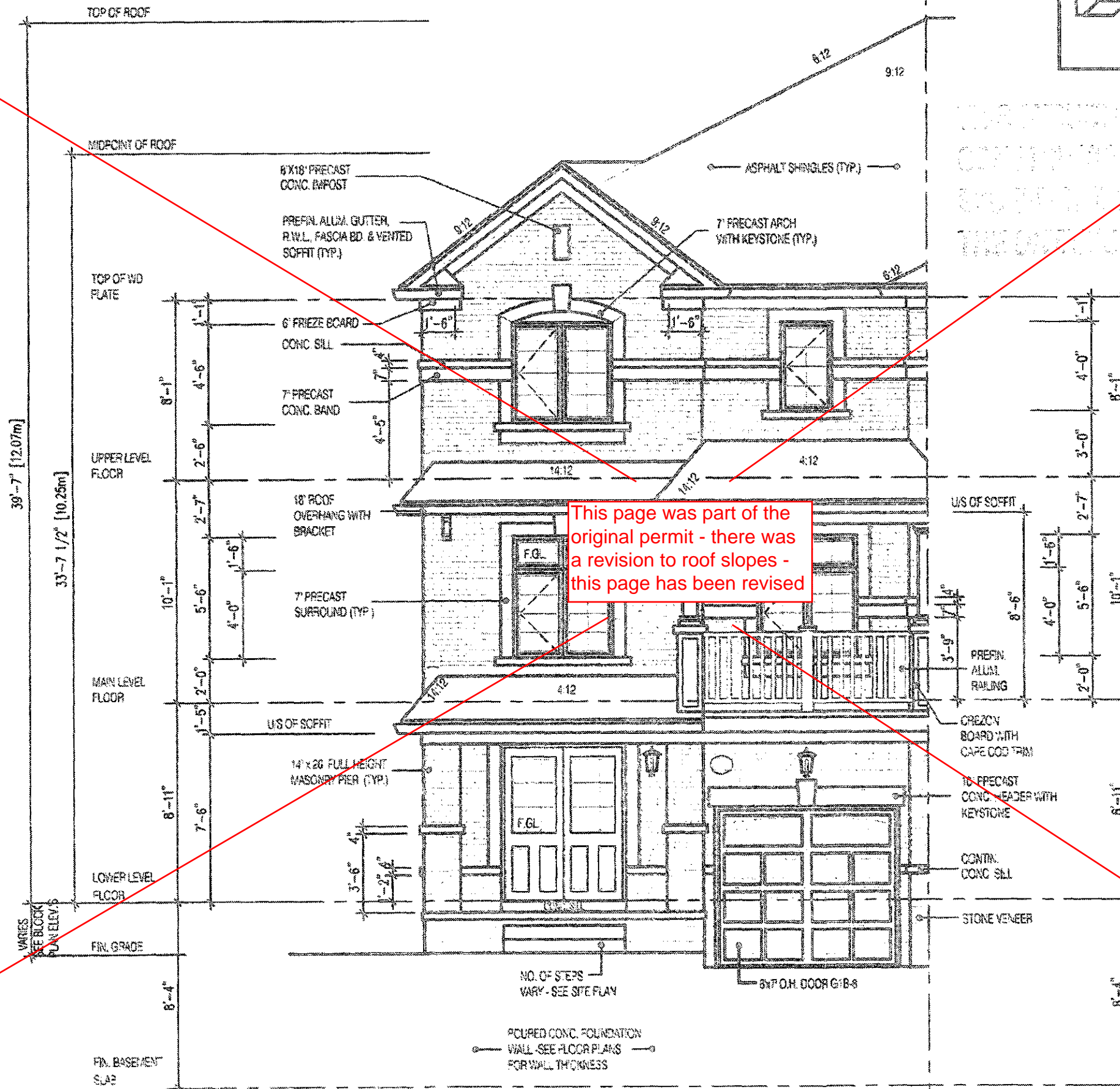
SCALE: 3/16" = 1'-0"

PROJ. No.	DWG. No.
18-18	5C

URBAN 2
FRONT ELEV.-4

UNIT 80-1
LOWES HILL CIRCLE

UNIT 80-4
LOWES HILL CIRCLE
(REVERSE)



BRACKET

2081
TOWNHOUSE
URBAN 2
ELEVATION 4
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL PERMITS AND
CONSULT WITH THE TOWN OF CALEDON PRIOR TO COMMENCING WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS FOR MORE DETAILED INFORMATION.
AS CONSTRUCTED, THE WORK MUST BE VERIFIED AGAINST THE
PERMITS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7
6
5
4 JULY 15 2019 REVISED PER CITY COMMENTS
ISSUED TO CLIENT
3 PER 8 2019 ISSUED FOR BUILDING PERMIT
2 PER 7 2019 ISSUED FOR PERMIT
1 JULY 19 2018 ISSUED FOR STRUCTURAL REVIEW

No. DATE WORK DESCRIPTION
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and taken responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a design professional.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subdivision
12.5 of the building code.

Walter Boller 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subdivision
12.5 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 4
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
30-15 3:15 = 1:0
BILD
18-18 5D

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

JUL 16 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREET SCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any other laws
or regulations. The Contract
Architect is not responsible in any way for
errors, omissions or approving site (filling), plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

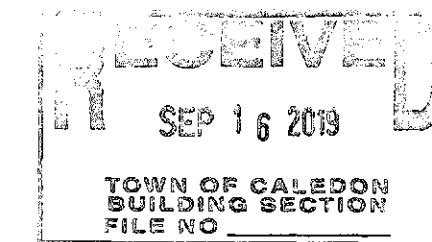
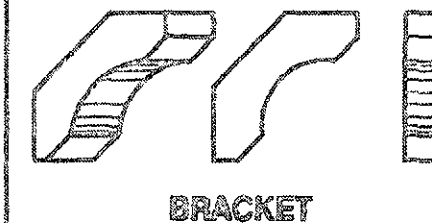
This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
REGISTERED IN THE PROVINCE OF ONTARIO
AND APPROVAL
DATE: JULY 17 2019
The undersigned is a duly qualified and licensed
Architect in the Province of Ontario and is
authorized to sign and seal these plans.

URBAN 2
FRONT ELEV.-4

UNIT 80-1
LOWES HILL CIRCLE

UNIT 80-4
LOWES HILL CIRCLE
(REVERSE)



2081
TOWNHOUSE
URBAN 2
ELEVATION 4
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN AND MAINTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTS GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUING OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING OR SURVEYING PROFESSIONAL FOR MORE INFORMATION.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSURES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUBSEQUENT TO CARRY OUT THE WORK AS ACCORDING TO THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5	SEPT. 03, 2019	REVISION TO ROOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRONG
1	JULY 18, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Boller *Walter Boller* 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCN

FRONT ELEVATION 4
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

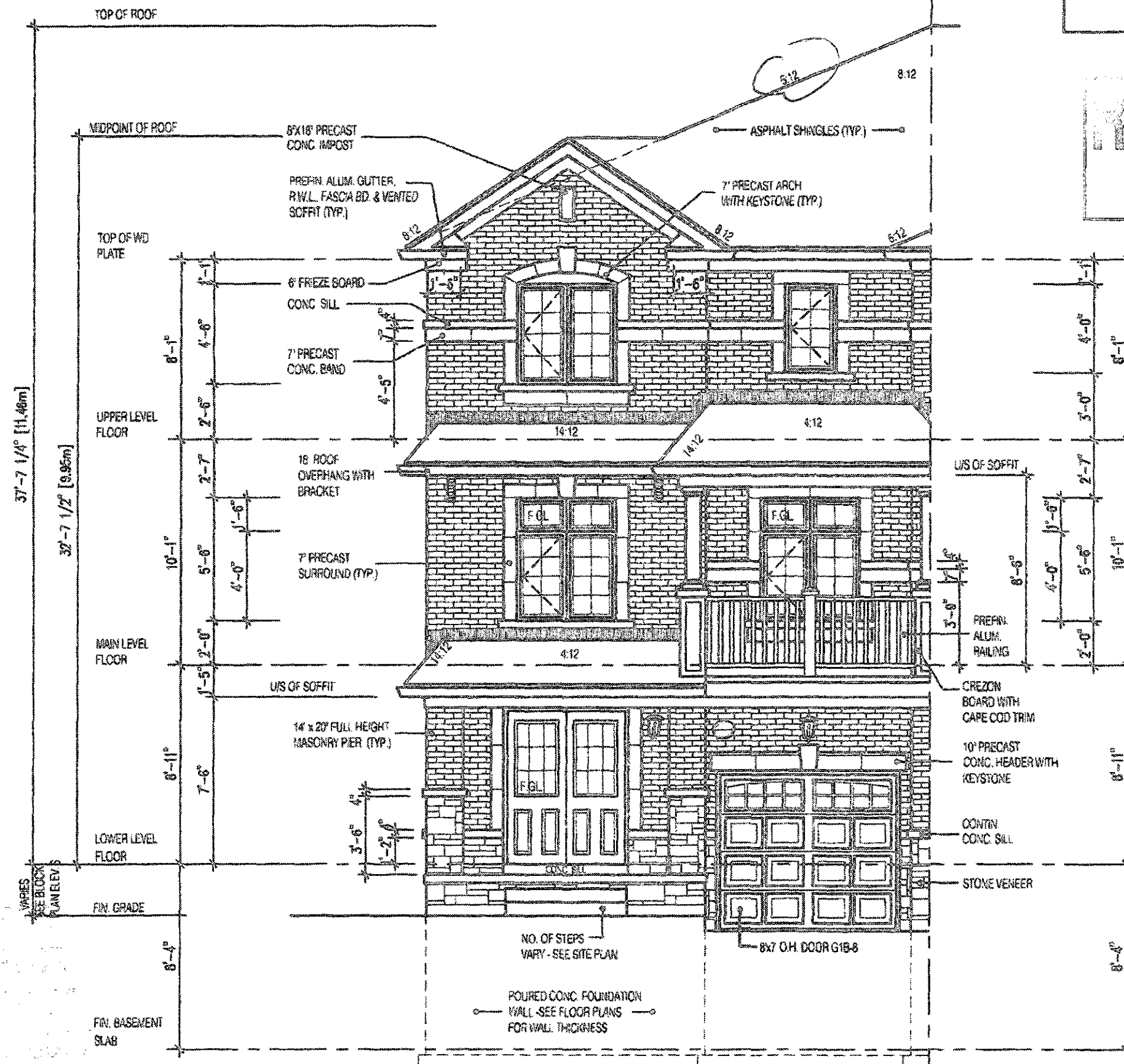
MODEL
SCALE: 3/16"=1'-0"
PROJ. NO. 18-18
DWG. NO. 5D

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for overlooking or approving site (posting) plans or overlooking drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL SECT.
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 06 2019
This is the official stamp of the Architectural Control Section and is not to be used for any other purpose.

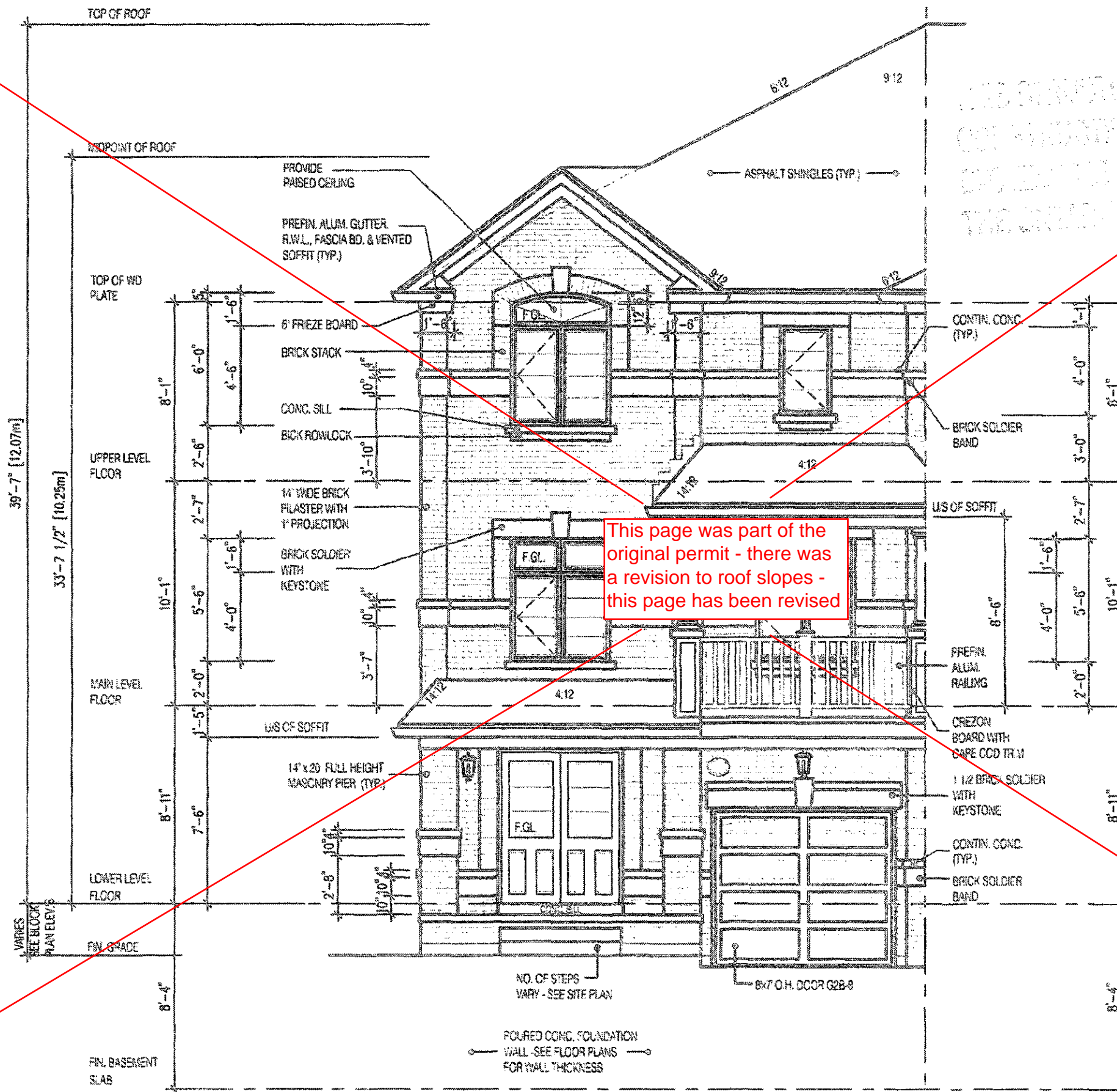


THIS DRAWING IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

URBAN 2
SIDE ELEV.-5

UNIT 87-3
LOWES HILL
CIRCLE

UNIT 87-2
DEER RIDGE
TRAIL
(REVERSE)



2081
TOWNHOUSE

URBAN 2
ELEVATION 5

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION DEFECTS RELATIVE TO THE DESIGN OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED, THE BUILDING MUST BE KEPT FREE FROM ALL OBSTRUCTIONS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE PERMIT AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR FOR CONSTRUCTION TO COMPLY WITH THE TOWN OF CALEDON REQUIREMENTS WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4	JULY 15, 2019	REVISED PER CITY COMMENTS REISSUED TO CLIENT
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

RECEIVED
JUL 18 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUL 16 2019

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The General Architect is not responsible in any way for examining or approving site (flooring) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN L. WILLIAMS (P.E.) ARCHITECT
ARCHITECTURAL CONSULTING
AND DESIGN

DATE: JUL 2, 2019

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under O. Reg. 688/04, s. 2.4 of the Building Code

Jardin design group inc. 22763
FIRM NAME BCIN

FRONT ELEVATION 5
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

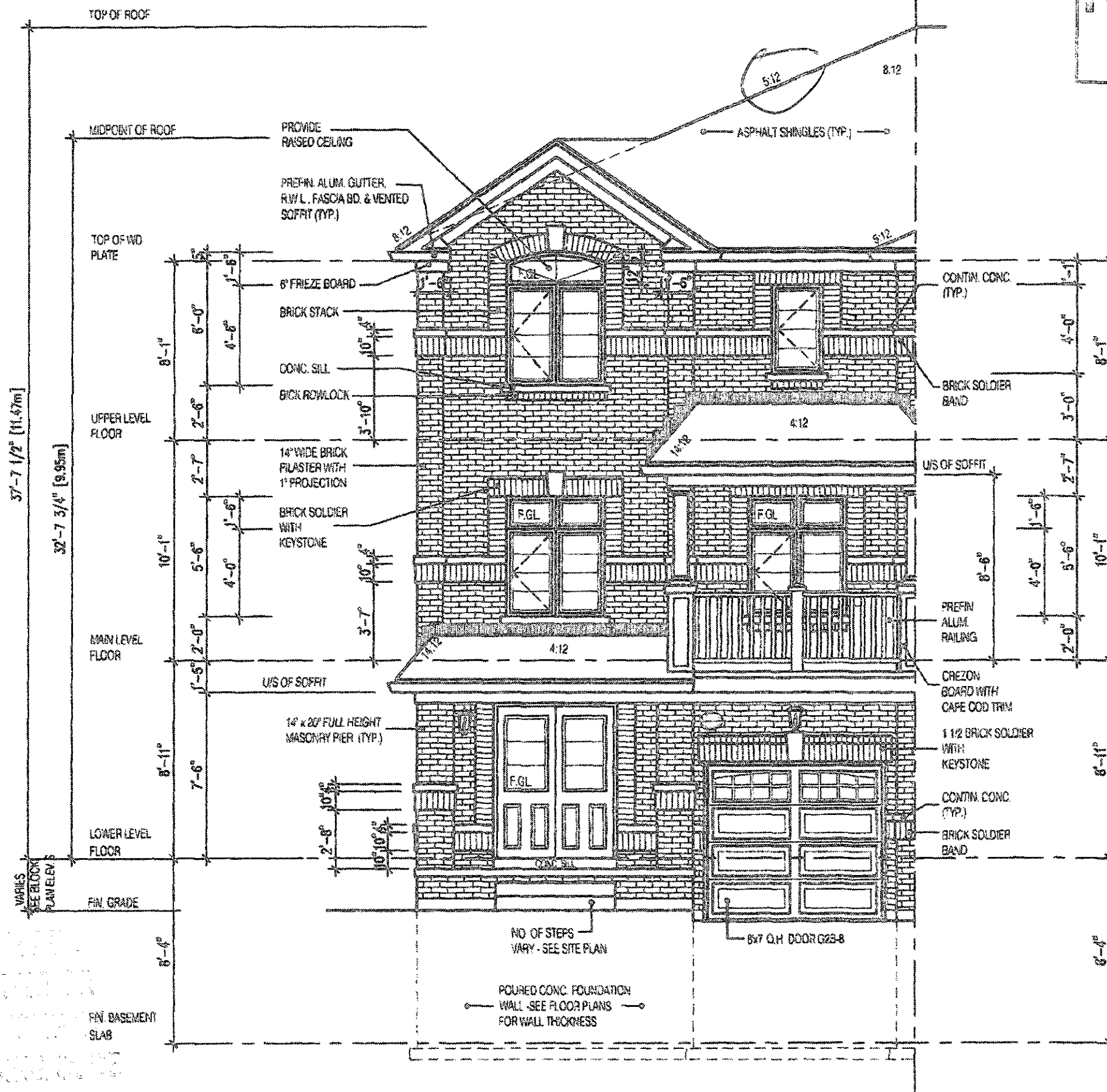
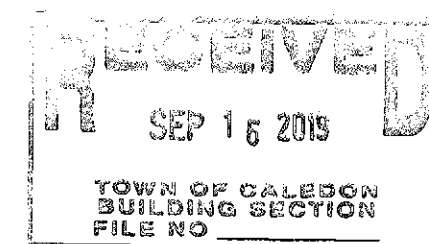
BILD

SCALE: 3/16" = 1'-0"
FIRM NO. 18-18
DWS NO. 5E

URBAN 2
SIDE ELEV.-5

UNIT 87-3
LOWES HILL
CIRCLE

UNIT 87-2
DEER RIDGE
TRAIL
(REVERSE)



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for ensuring or approving a site (lotting) plan or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTING
AND APPROVAL
APPROVED BY
DATE SEP 16, 2019
This stamp certifies that the design complies with the applicable Architectural Design Guidelines approved by the Town of Caledon.

2081	
TOWNHOUSE	
URBAN 2	
ELEVATION 5	
ENERGY STAR	
O.REG. 332/12	
THE CONTROL ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND MATERIALS AND FOR THE COMPLETION OF ALL WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE TOWN OF CALEDON PRIOR TO COMMENCEMENT OF WORK.	
THE CONTROL ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF BLUESY STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION ERRORS RESULTING FROM THE ISSUANCE OF A BUILDING PERMIT. BLUESY IS NOT A PROFESSIONAL ENGINEER OR ARCHITECT. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THESE DRAWINGS.	
BLUESY DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN OR OBTAINERS OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE VALUE OF THE CONTRACT OR THE CONTRACT TO OBTAIN THE WORK. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE VALUE OF THE CONTRACT OR THE CONTRACT TO OBTAIN THE WORK.	
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF BLUESY DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED.	
7	
6	
5	SEPT. 03, 2019
4	JULY 15, 2019
3	FEB. 8, 2019
2	FEB. 7, 2019
1	JULY 9, 2018
REVISION TO ROOF SLOPES	
REVISED PER CITY COMMENTS	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR PRICING	
ISSUED FOR STRUCTURAL REVIEW	
No.	DATE
WORK DESCRIPTION:	
jardin	
DESIGN GROUP INC	
64 JARDIN DR. SUITE 3A	
VAUGHAN ONT. L4K 3P3	
TEL: 905 660-3377 FAX: 905 660-3713	
EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under Division C, Subsection 2.2.3 or 2.2.4 of the Building Code	
Walter Boller	21031
NAME	SIGNATURE
REGISTRATION INFORMATION	
Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code	
jardin design group inc.	27763
NAME	SIGNATURE
FRONT ELEVATION 5	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL:	
SCALE:	
3/16" = 1'-0"	
PROJ. NO.	DWG. NO.
18-18	5E

**URBAN 2
SIDE ELEV.-1**

**UNIT 88-1 (DEER RIDGE TRAIL)
UNIT 88-3 (LOWES HILL CIRCLE)
UNIT 92-3 (LOWES HILL CIRCLE)
UNIT 94-1 (DEER RIDGE TRAIL)**

**UNIT 88-2 (DEER RIDGE TRAIL)
(REVERSE)**

**UNIT 88-4 (LOWES HILL CIRCLE)
(REVERSE)**

**UNIT 92-4 (LOWES HILL CIRCLE)
(REVERSE)**

**UNIT 94-2 (DEER RIDGE TRAIL)
(REVERSE)**

UNPROTECTED OPENINGS

WALL AREA 1047 #

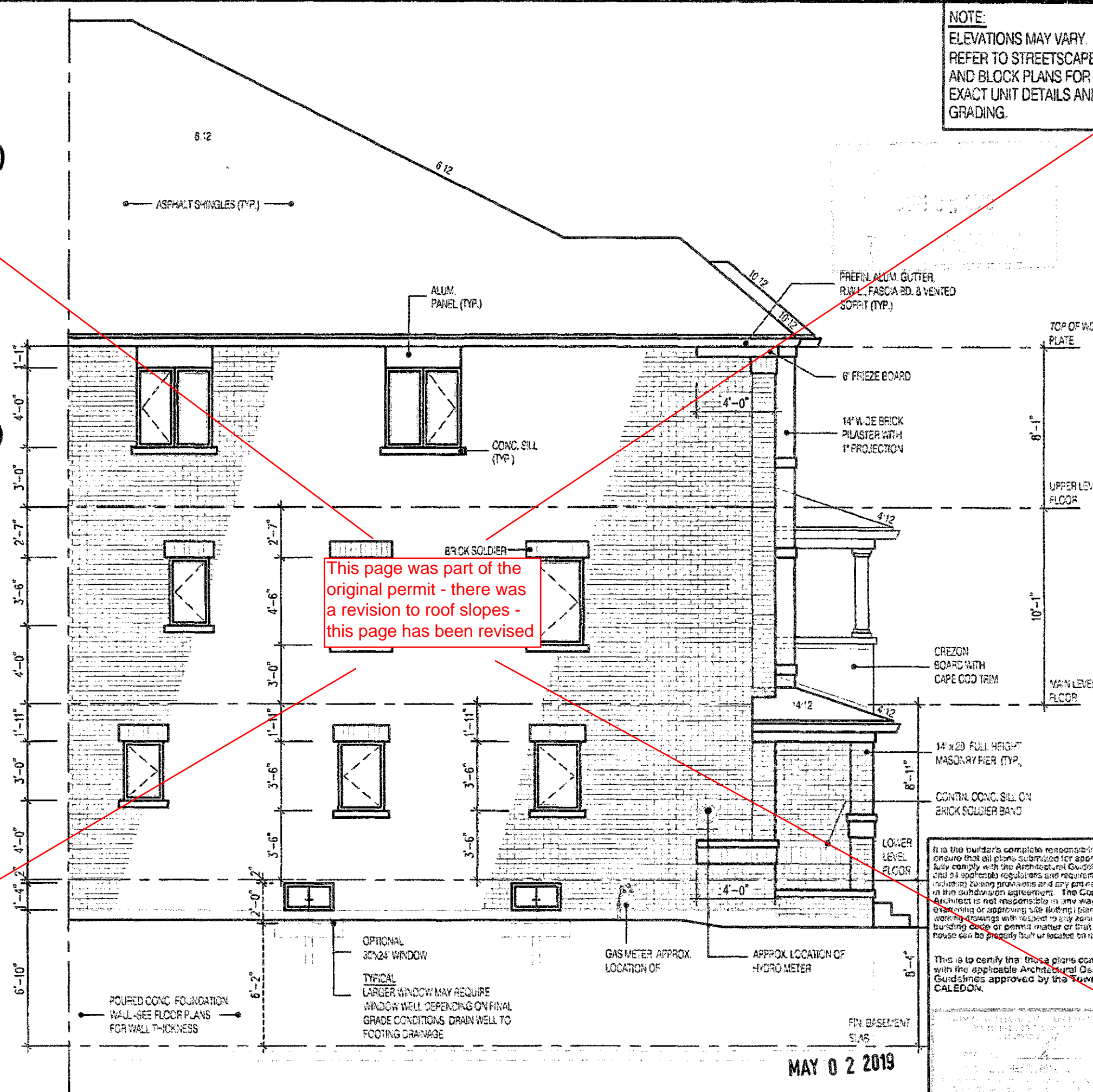
ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDYARD) 73.3 #

ACTUAL GLAZED AREA 69.0 #

WITH OPT. 30"X24" WINDOWS

ACTUAL GLAZED AREA 72.2 #

THIS STRUCTURE MUST BE
CONSTRUCTED IN ACCORDANCE
WITH THE 2018 BUILDING CODE
OF THE TOWN OF CALEDON



This page was part of the original permit - there was a revision to roof slopes - this page has been revised

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

2081 TOWNHOUSE	
URBAN 2 ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
<small>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. AGAINST THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED DRAWINGS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED AS A GUIDE AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</small>	
7	
6	
5	
4	
3	FEB 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019 ISSUED FOR PRICING
1	JULY 19, 2018 ISSUED FOR STRUCTURAL REVIEW
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.	
Walter Boffer	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
jardin design group inc.	27763
FIRM NAME	BCIN
SIDE ELEVATION EL-1	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
MODE: SCALE: 3/16" = 1'-0" PROJ. No. 18-18 DWG. No. 6	

MAY 02 2019

URBAN 2
SIDE ELEV.-1

UNIT 88-1 (DEER RIDGE TRAIL)
UNIT 88-3 (LOWES HILL CIRCLE)
UNIT 92-3 (LOWES HILL CIRCLE)
UNIT 94-1 (DEER RIDGE TRAIL)

UNIT 88-2 (DEER RIDGE TRAIL)
(REVERSE)

UNIT 88-4 (LOWES HILL CIRCLE)
(REVERSE)

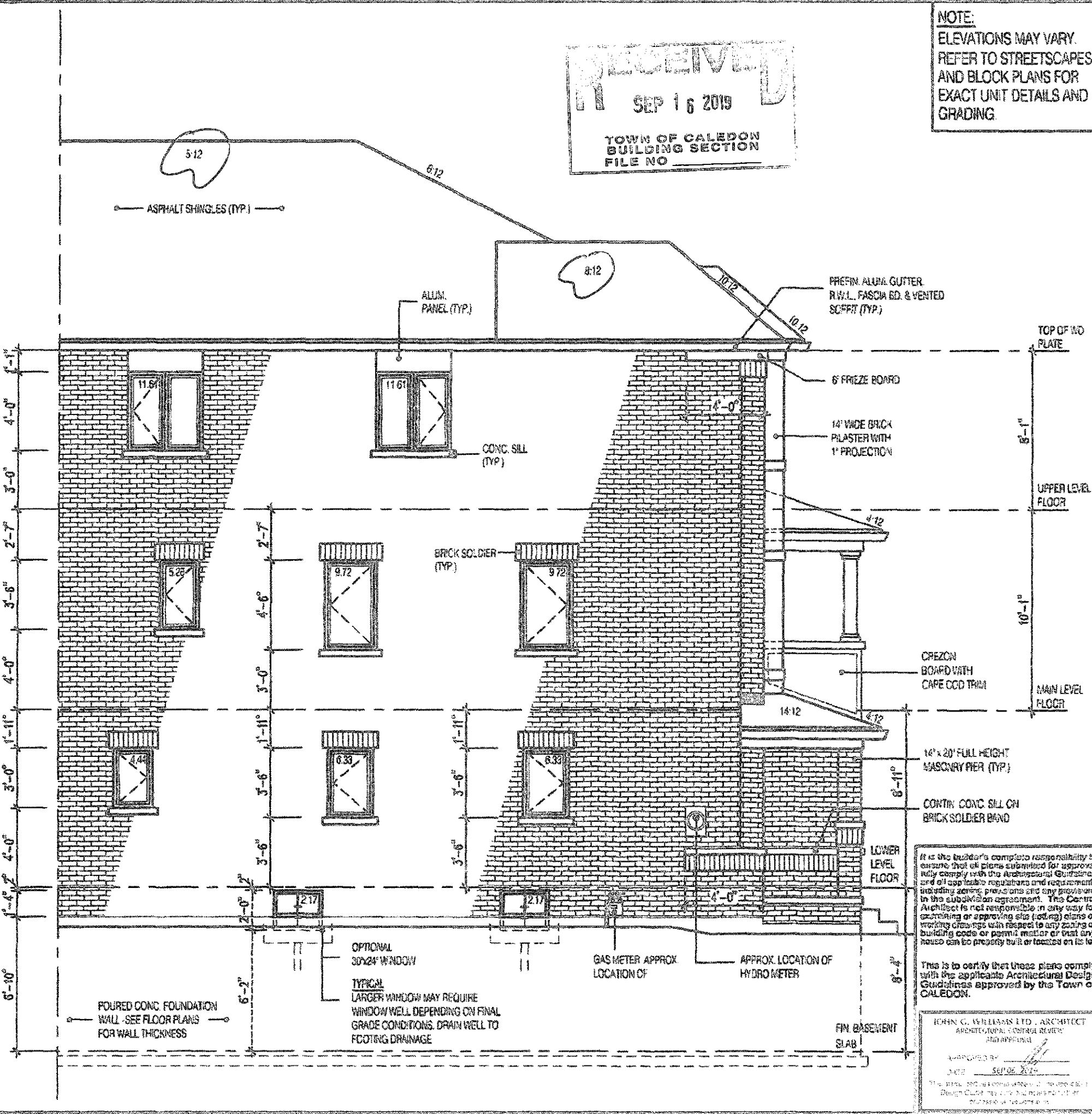
UNIT 92-4 (LOWES HILL CIRCLE)
(REVERSE)

UNIT 94-2 (DEER RIDGE TRAIL)
(REVERSE)

UNPROTECTED OPENINGS

WALL AREA 104.7 ϕ
ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDEYARD) 73.3 ϕ
ACTUAL GLAZED AREA 69.0 ϕ

WITH OPT. 30"x24" WINDOWS
ACTUAL GLAZED AREA 72.2 ϕ



2081	
TOWNHOUSE	
URBAN 2	
ELEVATION 1	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND RECORD THEM ON THESE DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.	
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF BLIND STRUCTURAL OR MECHANICAL INFORMATION ON THESE DRAWINGS OR FOR CONSEQUENCES ARISING FROM THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO ANY PREVIOUS ENGINEERING OR ARCHITECTURAL DRAWINGS SHALL BE MADE BY THE CONTRACTOR. ANY CONFLICTING INFORMATION MUST BE VERIFIED PRIOR TO PROCEEDING WITH THE WORK.	
JARDIN DESIGN GROUP INC. IS NOT BEING RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.	
7	
6	SEPT. 03, 2019 REVISION TO ROOF SLOPES
5	JULY 15, 2019 REVISED PER CITY COMMENTS ISSUED TO CLIENT
4	JULY 8, 2019 SHOWED AREA GLAZING ISSUED TO CLIENT
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR PRICING
1	JULY 18, 2018 ISSUED FOR STRUCTURAL REVIEW
No.	DATE WORK DESCRIPTION:
Jardin DESIGN GROUP INC	
64 JARDIN DR. SUITE 3A	
VAUGHAN ONT. L4K 3P3	
TEL: 905 660-3377 FAX: 905 660-3713	
EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Section 2.2.5 of the Code.	
Walter Boller	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Section 2.2.4 of the Building Code.	
Jardin design group inc. 27763	
FIRM NAME BCIN	
SIDE ELEVATION EL-1	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL:	
SCALE: 3/16" = 1'-0"	
PROJ. NO.	DWG. NO.
18-18	6

**URBAN 2
SIDE ELEV.-2**

**UNIT 89-1 & 93-1
DEER RIDGE TRAIL**

**UNIT 91-3
LOWES HILL CIRCLE**

**UNIT 81-3 & 84-3
LOWES HILL CIRCLE**

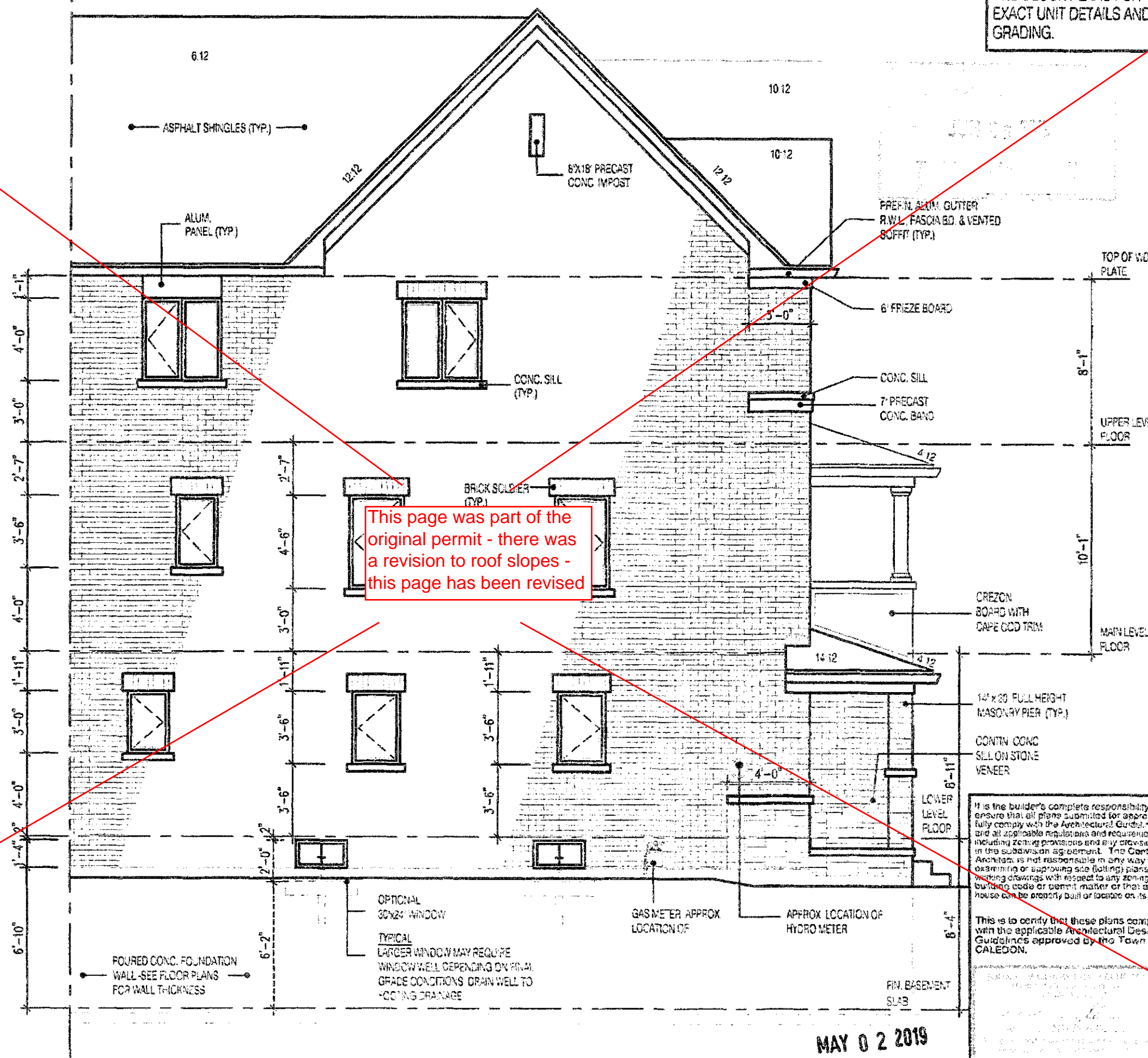
**UNIT 81-1 & 84-1
LOWES HILL CIRCLE**

UNPROTECTED OPENINGS

WALL AREA 1047 ϕ
ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDEYARD) 73.3 ϕ
ACTUAL GLAZED AREA 69.0 ϕ

WITH OPT. 30"X24" WINDOWS
ACTUAL GLAZED AREA 72.2 ϕ

THIS STRUCTURE MAY BE
CONSTRUCTED IN ANY OR
PARTIAL COMPLIANCE WITH
THE CURRENT BUILDING CODE



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

**2081
TOWNHOUSE
URBAN 2
ELEVATION 2
ENERGY STAR
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO OBTAIN
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO
OBTAIN THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7		
6		
5		
4		
3	FEB 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

NO. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.8 of the Building Code.

Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.8 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

**SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON**

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18
DWG. No. 6A

MAY 02 2019

URBAN 2
SIDE ELEV.-2

UNIT 89-1 & 93-1
DEER RIDGE TRAIL

UNIT 91-3
LOWES HILL CIRCLE

UNIT 81-3 & 84-3
LOWES HILL CIRCLE

UNIT 81-1 & 84-1
LOWES HILL CIRCLE

UNPROTECTED OPENINGS

WALL AREA 1047 ϕ
ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDEYARD) 73.3 ϕ
ACTUAL GLAZED AREA 69.0 ϕ

WITH OPT. 30"x24" WINDOWS
ACTUAL GLAZED AREA 72.2 ϕ

THIS INFORMATION IS FOR
CONSTRUCTORS USE ONLY. IT
DOES NOT CONSTITUTE A
WARRANTY OR GUARANTEE OF
THE QUALITY OF THE WORK.

SEP 16 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING

2081
TOWNHOUSE

URBAN 2
ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL VERIFY AND REPORT ALL EXISTING CONDITIONS ON THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

NO ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE TOWN OF CALEDON ENGINEERING DEPARTMENT WEBSITE FOR MORE INFORMATION.

NO ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE TOWN OF CALEDON ENGINEERING DEPARTMENT WEBSITE FOR MORE INFORMATION.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

No.	DATE	WORK DESCRIPTION
7		
6		
5	SEPT. 03, 2019	REVISION TO ROOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS
3	FEB. 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 18, 2018	ISSUED FOR STRUCTURAL REVIEW

No.

DATE

WORK DESCRIPTION

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the Building Code.

Water Butler

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

jardin design group inc.

27763

FIRM NAME

BCIN

SIDE ELEVATION 2

LAMBERTS LANE PHASE 2

TOWN OF CALEDON

BILD

MODEL

SCALE

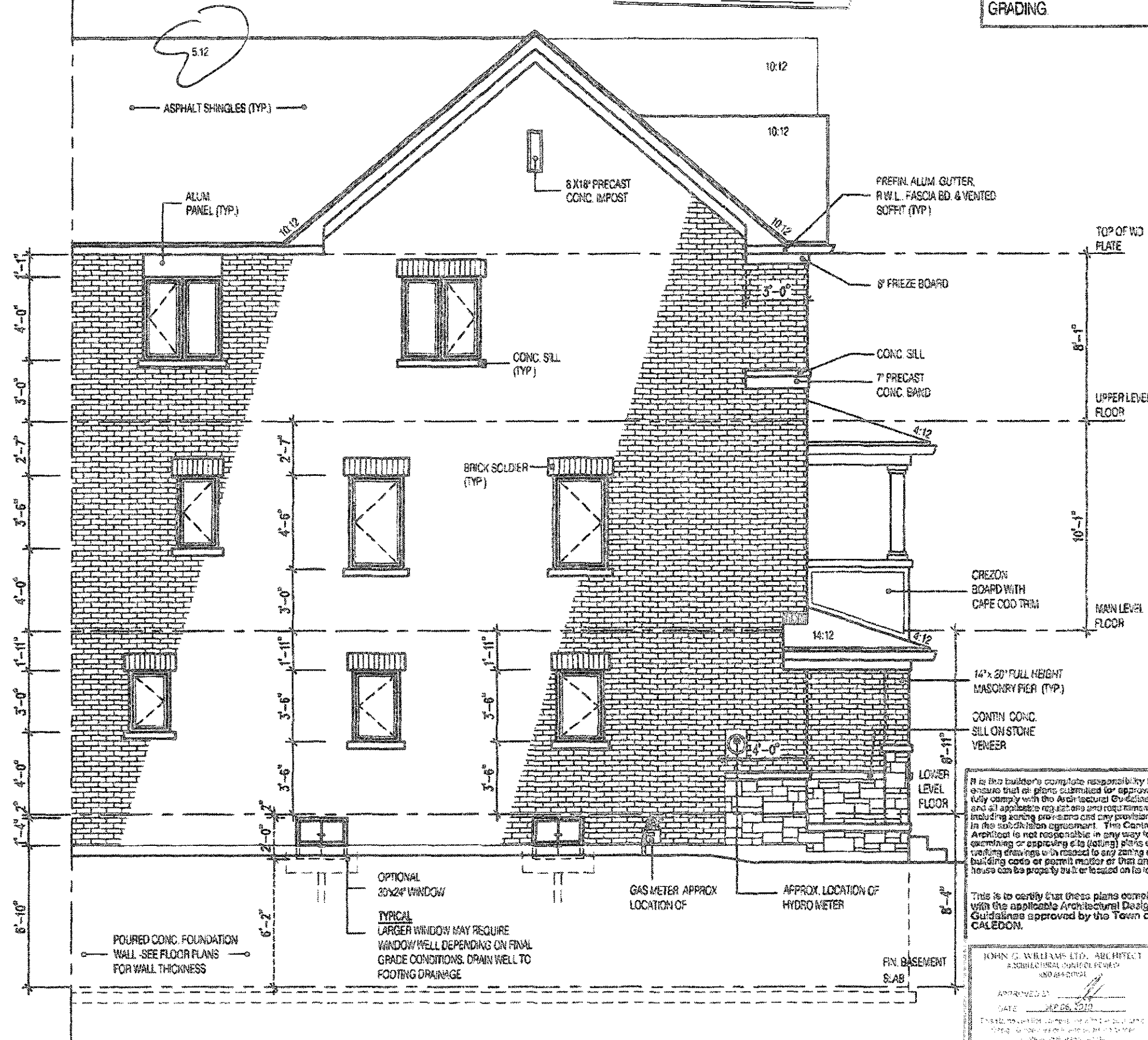
3/16" = 1'-0"

PROJ. NO.

18-18

DWG. No.

6A



URBAN 2
SIDE ELEV.-2A

UNIT 81-2 & 84-2
LOWES HILL CIRCLE
(REVERSE)

UNIT 81-4 & 84-4
LOWES HILL CIRCLE
(REVERSE)

UNIT 89-2 & 93-2
DEER RIDGE TRAIL
(REVERSE)

UNIT 91-4
LOWES HILL CIRCLE
(REVERSE)

UNPROTECTED OPENINGS

WALL AREA 1047 ϕ

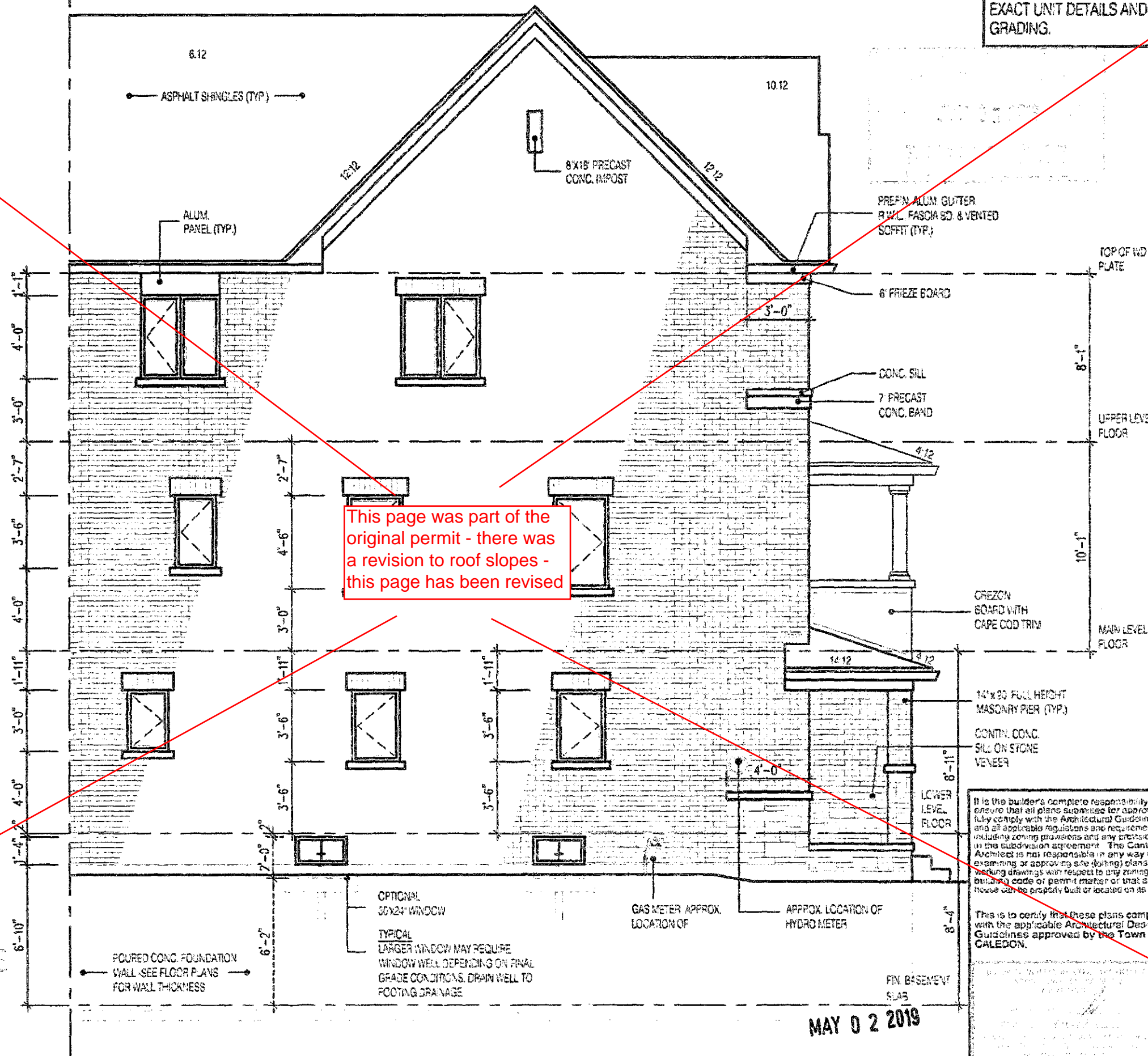
ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDYARD) 73.3 ϕ

ACTUAL GLAZED AREA 69.0 ϕ

WITH OPT. 30"X24" WINDOWS

ACTUAL GLAZED AREA 72.2 ϕ

THIS STRUCTURE SHALL BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE CANADIAN BUILT CODE



NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

2081
TOWNHOUSE
URBAN 2
ELEVATION 2A
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. FURTHER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
NO CONSTRUCTED ELEMENTS MUST BE REVERSED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
QUALITY REVIEW OF THE ARCHITECT'S AND ASSIGNED RESPONSIBILITY
FOR THE FULLY-LEAD OF THE CONTRACTOR OR HIS OBLIGATION TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED AS-IS AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

7		
6		
5		
4		
3	FEB 8 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7 2019	ISSUED FOR PRICING
1	JULY 19 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE: WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Building Code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2A
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 6B

MAY 02 2019

**URBAN 2
SIDE ELEV.-2A**

**UNIT 81-2 & 84-2
LOWES HILL CIRCLE
(REVERSE)**

**UNIT 81-4 & 84-4
LOWES HILL CIRCLE
(REVERSE)**

**UNIT 89-2 & 93-2
DEER RIDGE TRAIL
(REVERSE)**

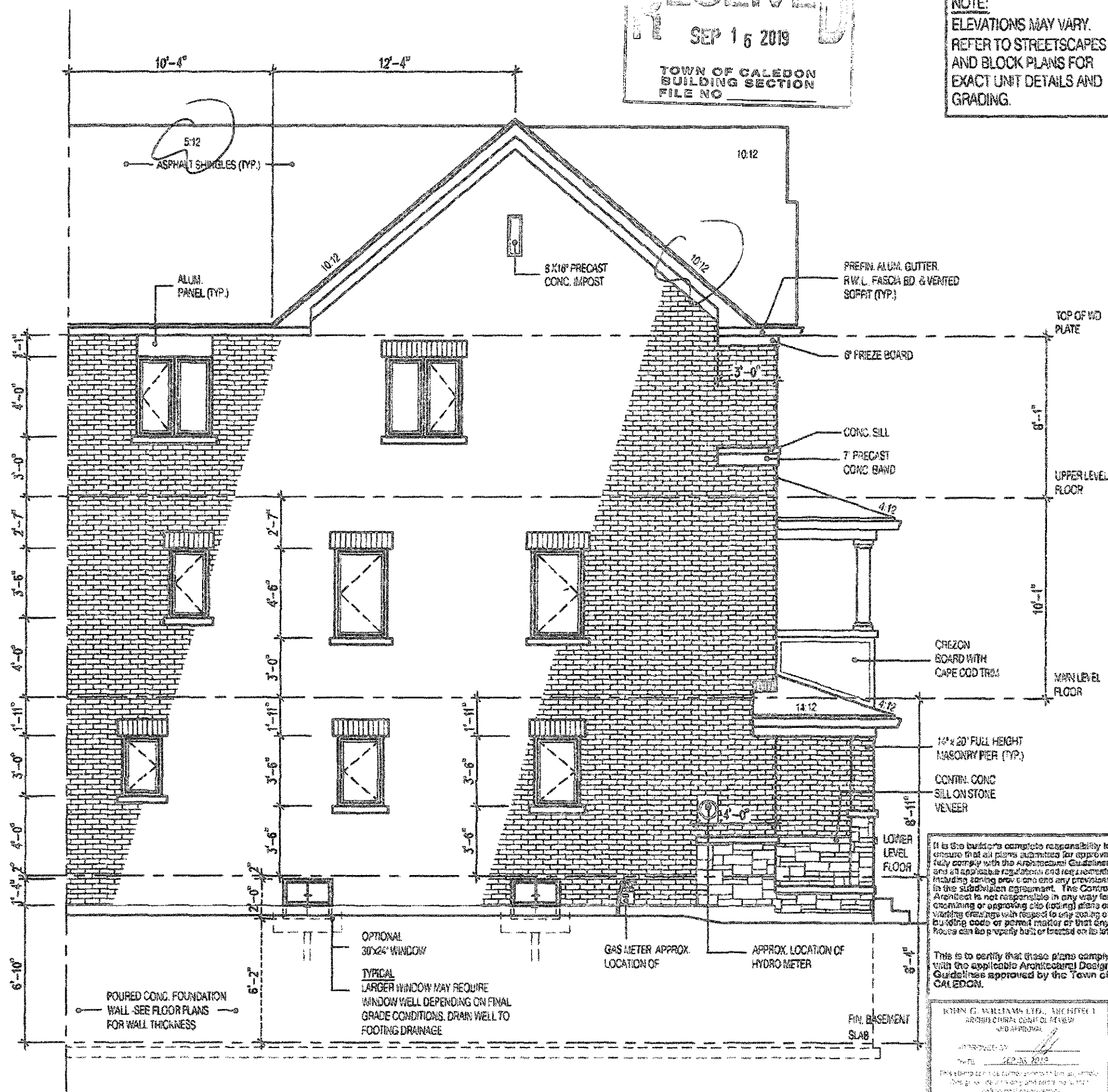
**UNIT 91-4
LOWES HILL CIRCLE
(REVERSE)**

UNPROTECTED OPENINGS

WALL AREA	1047 ♂
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	73.3 ♂
ACTUAL GLAZED AREA	69.0 ♂

WITH OPT. 30"X24" WINDOWS	
ACTUAL GLAZED AREA	72.2 ♂

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE



RECEIVED
SEP 16 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

2081 TOWNHOUSE	
URBAN 2 ELEVATION 2A	
ENERGY STAR	
O.REG. 332/12	
<p>THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION PROVIDED ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO ANY PREVIOUS ELEVATIONS, SPECIFICATIONS, PERMITS, PROFILES AND WORK SHALL BE CONSIDERED SUPERSEDED BY THIS DRAWING.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RETAINED TO CARRY OUT OR BE RESPONSIBLE FOR THE WORK OR ASSUMES NO LIABILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CITY OF CALEDON.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</p>	
7	
6	
5	SEPT. 03, 2019 REVISION TO ROOF SLOPES
4	JULY 15, 2019 REVISED PER CITY COMMENTS
3	FEB. 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019 ISSUED FOR TRIMING
1	JULY 9, 2018 ISSUED FOR STRUCTURAL REVIEW
No.	DATE: WORK DESCRIPTION:
<p>jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUORACATION REGISTRATION Required unless design is exempt under Division C, Subsection 2.2.3 of the Building Code.</p> <p>Water Boller <i>Water Boller</i> 21031 NAME SIGNATURE BCIN</p> <p>REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code.</p> <p>jardin design group inc. 27763 FIRM NAME BCIN</p>	
SIDE ELEVATION 2A	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
<p>BILD</p> <p>NO. 18-18</p> <p>SCALE: 3/16" = 1'-0"</p> <p>FRQ. No. 18-18</p> <p>QWG. No. 6B</p>	

**URBAN 2
SIDE ELEV.-3**

**UNIT 92-1 (DEER RIDGE TRAIL)
UNIT 94-4 (LOWES HILL CIRCLE)**

**UNIT 94-3 (LOWES HILL CIRCLE)
(REVERSE)**

**UNIT 92-2 (DEER RIDGE TRAIL)
(REVERSE)**

UNPROTECTED OPENINGS

WALL AREA 1047 #
ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDYARD) 73.3 #
ACTUAL GLAZED AREA 69.0 #

WITH OPT. 30"x24" WINDOWS
ACTUAL GLAZED AREA 72.2 #

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE CITY OF CALEDON

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.



BRACKET

**2081
TOWNHOUSE
URBAN 2
ELEVATION 3
ENERGY STAR
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
AND PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, SITE, OR ENGINEERING INFORMATION PROVIDED BY THE
CLIENT OR ANY OTHER PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE
FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE
MUNICIPALITY OF CALEDON. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS FOR THE PROJECT.
AS CONTRACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE
ACCURACY OF THE INFORMATION PROVIDED TO THE MUNICIPALITY.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE REPRODUCED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	FEB 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

jardin
DESIGN GROUP INC
84 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 650-3377 FAX: 905 650-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Code.

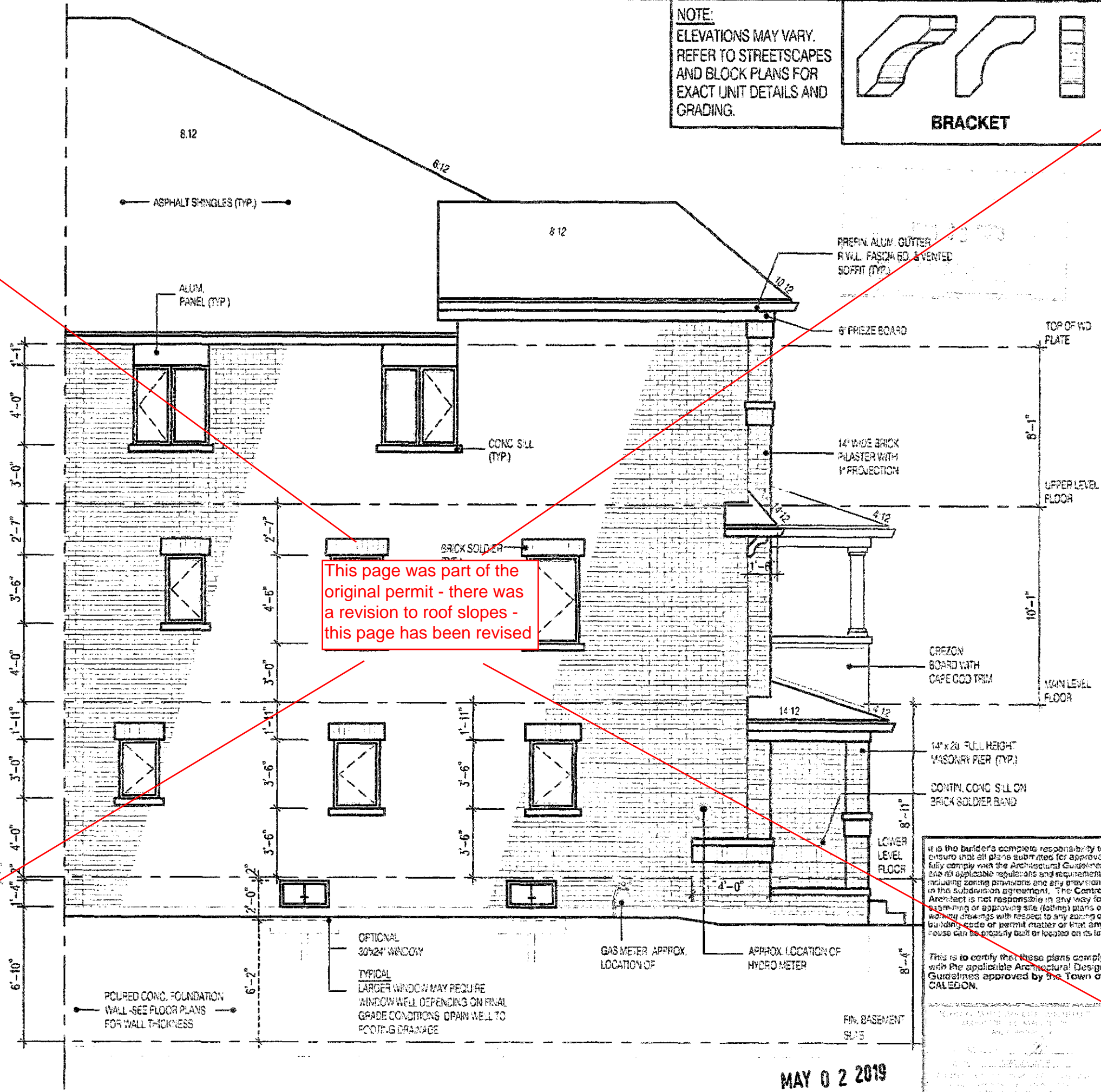
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

**SIDE ELEVATION 3
LAMBERTS LANE PHASE 2
TOWN OF CALEDON**

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18
DWG. No. 6C



This page was part of the
original permit - there was
a revision to roof slopes -
this page has been revised

MAY 02 2019

URBAN 2
SIDE ELEV.-3

UNIT 92-1 (DEER RIDGE TRAIL)
UNIT 94-4 (LOWES HILL CIRCLE)

UNIT 94-3 (LOWES HILL CIRCLE)
(REVERSE)

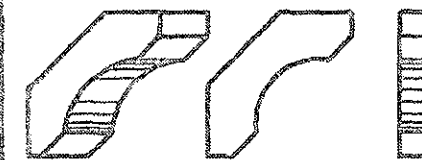
UNIT 92-2 (DEER RIDGE TRAIL)
(REVERSE)

UNPROTECTED OPENINGS

WALL AREA 1047 ϕ
ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDEYARD) 73.3 ϕ
ACTUAL GLAZED AREA 69.0 ϕ

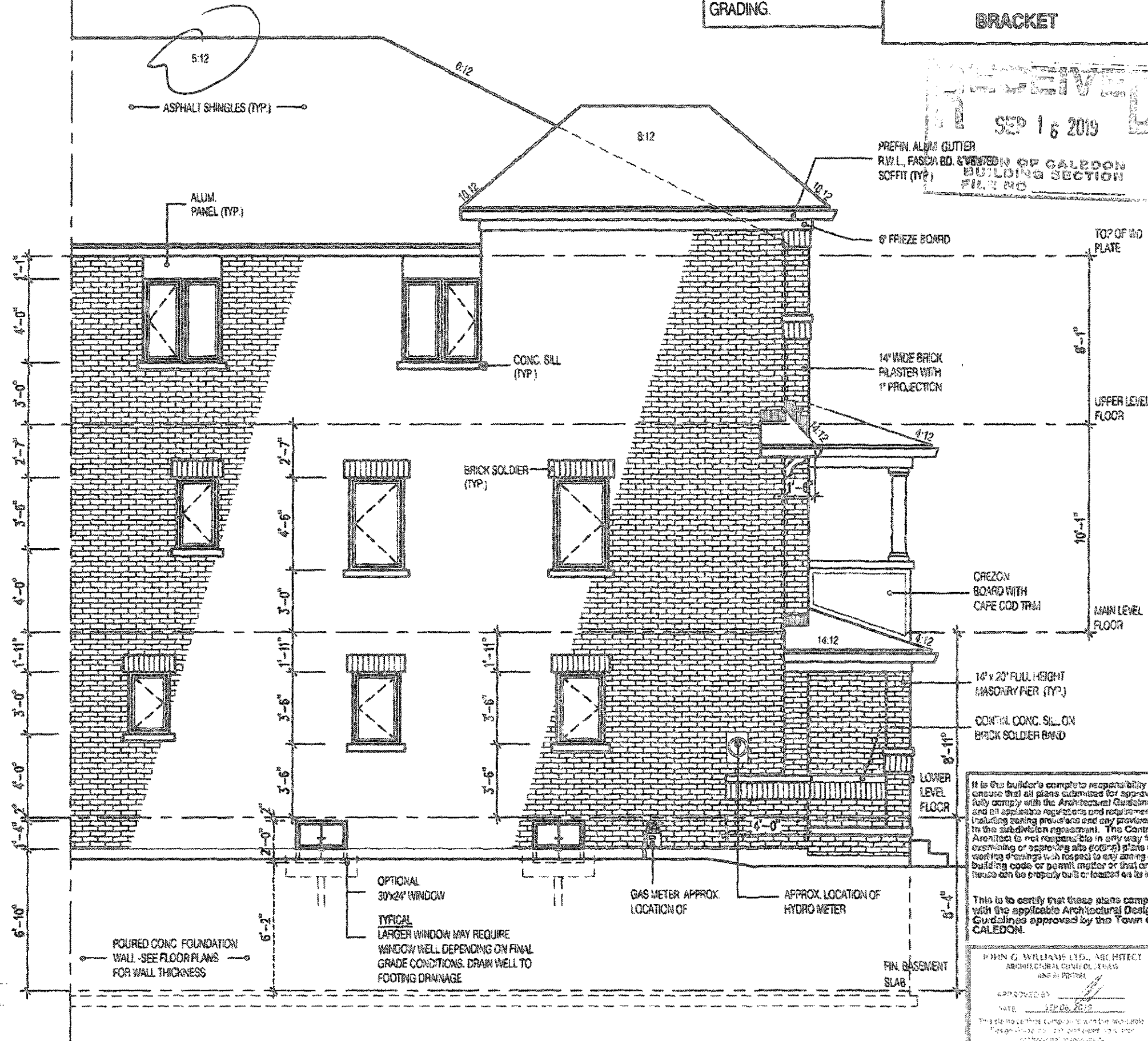
WITH OPT. 30"X24" WINDOWS
ACTUAL GLAZED AREA 72.2 ϕ

NOTE:
ELEVATIONS MAY VARY
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.



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RECEIVED
SEP 16 2019
BUILDING SECTION
FILE NO.



2081 TOWNHOUSE	
URBAN 2 ELEVATION 3	
ENERGY STAR	
O.REG. 332/12	
<p>THE CONTRACTOR SHALL CHECK FOR ALL EXISTING AND CONDUITS ON SITE BEFORE PROCEEDING WITH LOCAL ACTION AND DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION ON THESE DRAWINGS OR FOR OBTAINING OR STATING THE CORRECT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL UTILITIES BEFORE PROCEEDING WITH LOCAL ACTION.</p> <p>JARDIN DESIGN GROUP INC. IS NOT BE HELD RESPONSIBLE FOR ANY OUT OF SCOPE WORK OR FOR ANY WORK ASSUMED BY THE CONTRACTOR FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE, PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</p>	
7	
6	
5	SEPT. 03, 2019 REVISION TO ROOF SLOPES
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1	JULY 9, 2016 ISSUED FOR STRUCTURAL REVIEW
No.	DATE: WORK DESCRIPTION:
<p>jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p> <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Registered unless design is exempt under Division C, Subsection 2.2.5 of the building code.</p> <p>Walter Boller <i>Walter Boller</i> 21031 NAME SIGNATURE BCN</p> <p>REGISTRATION INFORMATION Registered unless design is exempt under Division C, Subsection 2.2.5 of the building code.</p> <p>jardin design group inc. 27763 FIRM NAME BCN</p>	
SIDE ELEVATION 3	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
<p>MODEL</p> <p>SCALE: 3/16"=1'-0"</p> <p>PROJ. NO. 18-18</p> <p>DWG. NO. 6C</p>	

URBAN 2
SIDE ELEV.-4

UNIT 80-1
LOWES HILL CIRCLE

UNIT 80-4
LOWES HILL CIRCLE
(REVERSE)

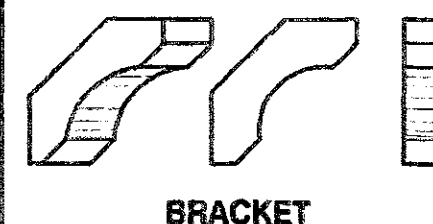
UNPROTECTED OPENINGS

WALL AREA 1047 #
ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDYARD) 73.3 #
ACTUAL GLAZED AREA 69.0 #

WITH OPT. 30"x24" WINDOWS
ACTUAL GLAZED AREA 72.2 #

THIS DRAWING IS THE PROPERTY OF
JARDIN DESIGN GROUP INC. AND IS NOT TO BE
REPRODUCED OR COPIED IN ANY MANNER
WITHOUT THE WRITTEN CONSENT OF
THE OWNER OR JARDIN DESIGN GROUP INC.

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.



BRACKET

2081
TOWNHOUSE

URBAN 2
ELEVATION 4

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONNECTIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION. ANY
DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS FOR ALL DIMENSIONS AND WORK.
AS CONSTRUCTED (VERTICALS) MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THIS WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
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No	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	FEB 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the Code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCN

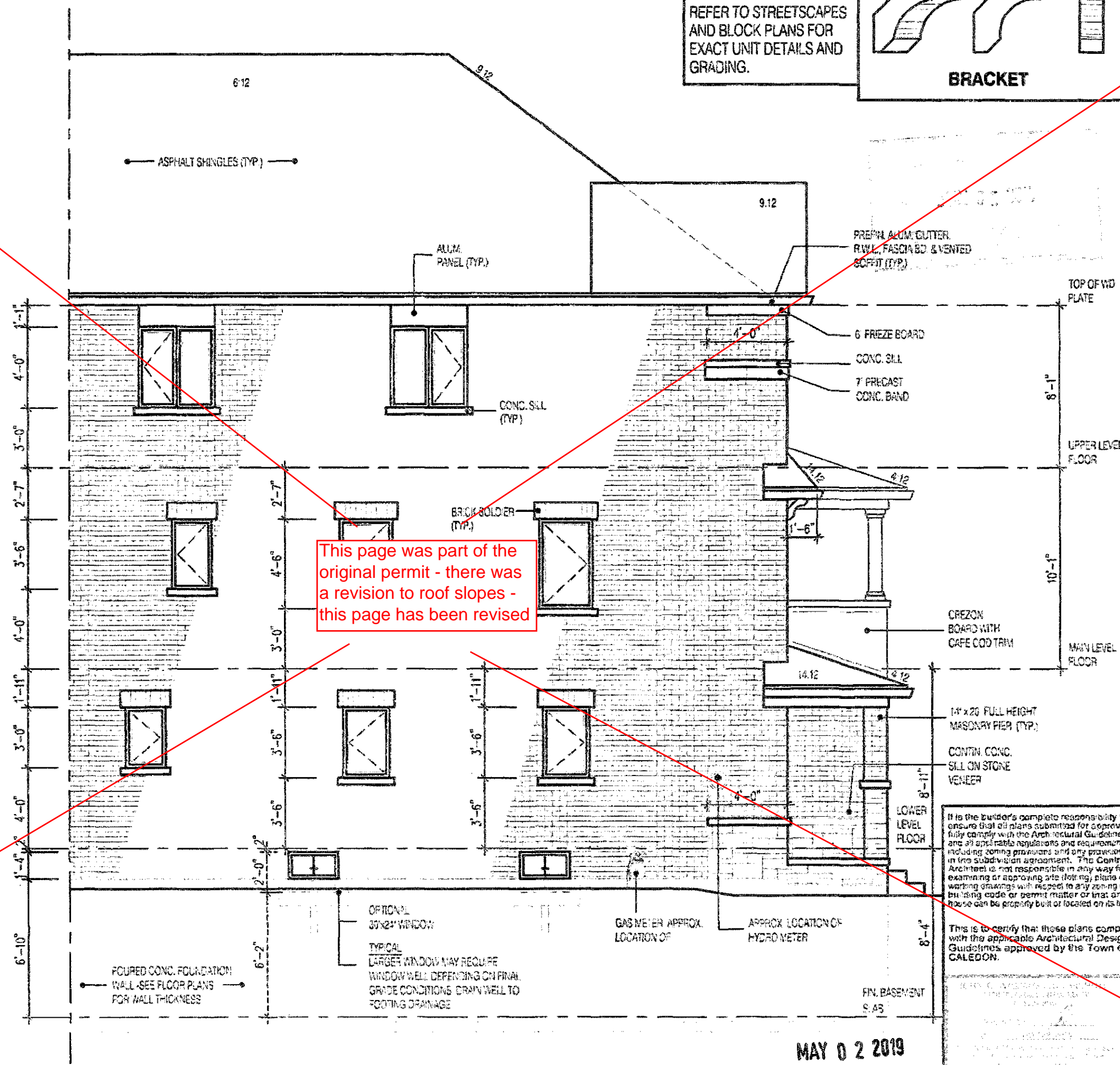
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCN

SIDE ELEVATION 4

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD
MODEL
SCALE 3/16" = 1'-0"
FLOOR No. 18-18 DWG No. 6D



URBAN 2 SIDE ELEV.-4

UNIT 80-1
LOWES HILL CIRCLE

UNIT 80-4
LOWES HILL CIRCLE
(REVERSE)

UNPROTECTED OPENINGS

WALL AREA 1047 #

ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDNEYARD) 73.3 #

ACTUAL GLAZED AREA 69.0 #

WITH OPT. 30"x24" WINDOWS

ACTUAL GLAZED AREA 72.2 #

NOTE:
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REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

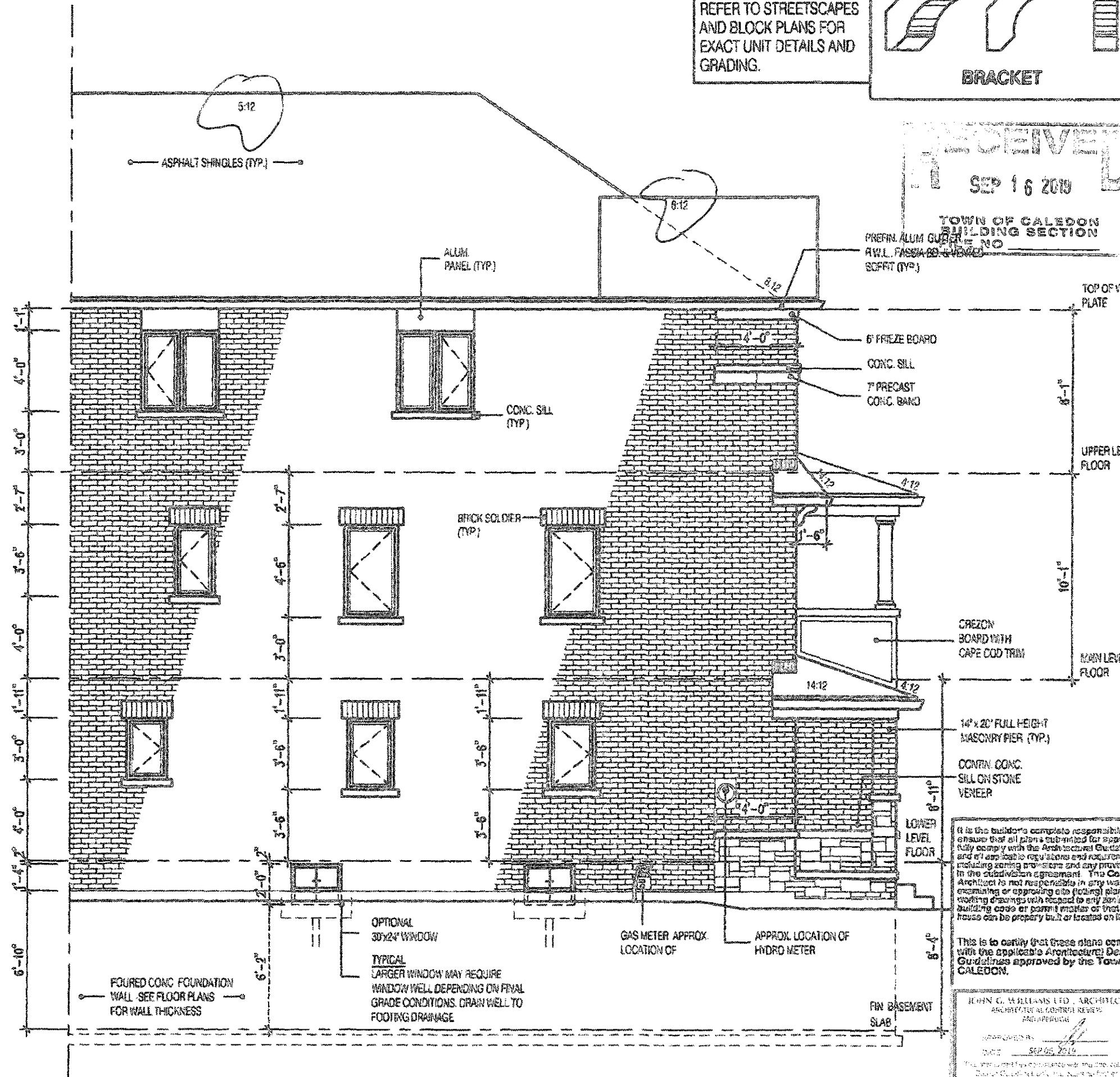


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SEP 16 2019

TOWN OF CALEDON
BUILDING SECTION

PREFIN. ALUM. CURTAIN
WALL PANEL (TYP.)



2081
TOWNHOUSE
URBAN 2
ELEVATION 4
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND ELEVATIONS SHOWN ON THIS DRAWING. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION SHOWN THEREIN. THE ISSUANCE OF A BUILDING PERMIT, REFERENCE TO ANY APPROVED ENGINEERING OR ARCHITECTURAL DRAWINGS, OR THE PROCEEDING WITH WORK AS CONSTRUCTED IN THIS PLAN, DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5	SEPT. 03, 2019	REVISION TO ROOF SLOPES
4	JULY 15, 2019	REVISED PER CITY COMMENTS ISSUED TO CLIENT
3	FEB. 6, 2019	ISSUED FOR BUILDING PERMIT
2	FEB. 7, 2019	ISSUED FOR PRICING
1	JULY 9, 2018	ISSUED FOR STRUCTURAL REVIEW

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Section C, Subsection 12.3 of the code.

Walter Butler 21037
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Section C, Subsection 12.4 of the building code.

jardin design group inc. 27769
FIRM NAME BCIN

SIDE ELEVATION 4
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE: 3/16" = 1'-0"
PROJ. No. 18-18
DWS No. 6D

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 16 2019
This drawing has been prepared in accordance with the Ontario Building Code and the Town of Caledon Building By-Law.

THIS STRUCTURAL DRAWING IS TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AND THE TOWN OF CALEDON BUILDING BY-LAW.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

URBAN 2
SIDE ELEV.-5
UNIT 87-3
LOWES HILL CIRCLE

UNIT 87-2
DEER RIDGE TRAIL
(REVERSE)

UNPROTECTED OPENINGS

WALL AREA 1047 #
ALLOWABLE WINDOW AREA
@ 7.0%(1.2m SIDYARD) 73.3 #
ACTUAL GLAZED AREA 69.0 #

WITH OPT. 30"x24" WINDOWS
ACTUAL GLAZED AREA 72.2 #

This page was part of the
original permit - there was
a revision to roof slopes -
this page has been revised

NOTE:
ELEVATIONS MAY VARY.
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on a lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

MAY 02 2019

2081	
TOWNHOUSE	
URBAN 2	
ELEVATION 5	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.	
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPROPRIATE ENGINEERING DRAWINGS IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.	
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT A GENERAL REVIEW OF THE WORK. THE CONTRACTOR ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CANADIAN BUILDING CODES.	
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.	
No	DATE
7	
6	
5	
4	
3	FEB 8, 2019 ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019 ISSUED FOR PRICING
1	JULY 18, 2018 ISSUED FOR STRUCTURAL REVIEW
No	DATE
WORK DESCRIPTION	
jardin	
DESIGN GROUP INC	
64 JARDIN DR. SUITE 3A	
VAUGHAN ONT. L4K 3P3	
TEL: 905 660-3377 FAX: 905 660-3713	
EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.	
Walter Boller	21031
NAME	SIGNATURE
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.	
jardin design group inc.	27763
FIRM NAME	BCIN
SIDE ELEVATION 5	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
MODEL	
SCALE 3/16" = 1'-0"	
PROJ. No	DWG No
18-18	6E

THE CONTRACTOR SHALL OBTAIN AND MAINTAIN ALL NECESSARY PERMITS AND LICENSES FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES FOR THE CONSTRUCTION OF THE PROJECT.


No:	DATE.	WORK DESCRIPTION:
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Section C. Subsection 3.2.5 of the Building Code.

REGISTRATION INFORMATION
 Document unless design is exempt under Division C, Subsection
 3.2 A of the building code

SIDE ELEVATION 5
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

 BILD®	MODEL:	
	SCALE: 3/16" = 1'-0"	
	PROJ. No. 18-18	DWG. No. 6E

UNPROTECTED OPENINGS

WALL AREA	1047	sq ft
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	73.3	sq ft
ACTUAL GLAZED AREA	69.0	sq ft

WITH OPT. 30"X24" WINDOWS

ACTUAL GLAZED AREA	72.2	sq
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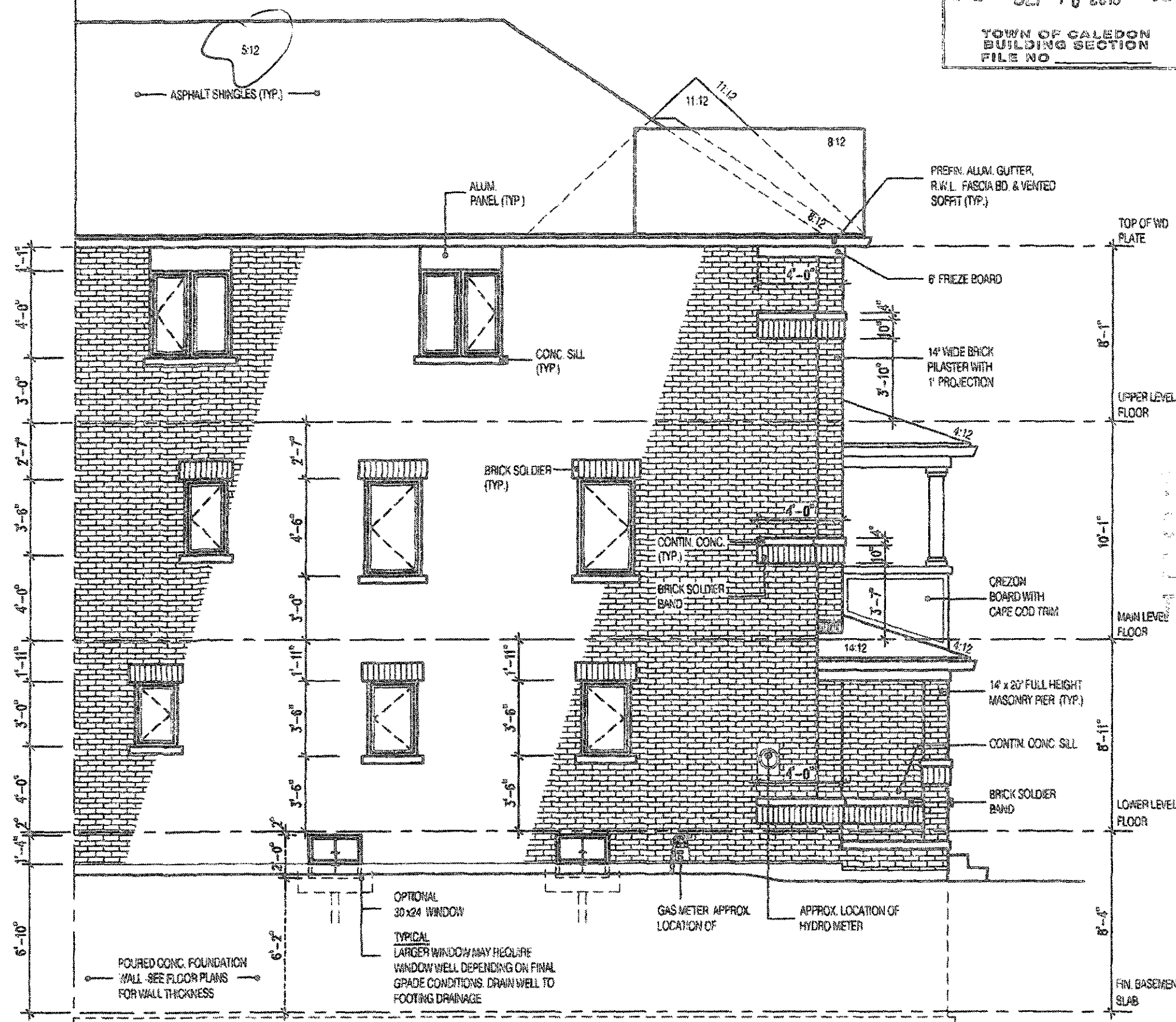
ALL INFORMATION CONTAINED
HEREIN IS UNCLASSIFIED
DATE 01-21-2001 BY 60322 UCBAW
EXCEPT WHERE SHOWN
OTHERWISE

NOTE:
ELEVATIONS MAY VARY
REFER TO STREETSCAPES
AND BLOCK PLANS FOR
EXACT UNIT DETAILS AND
GRADING

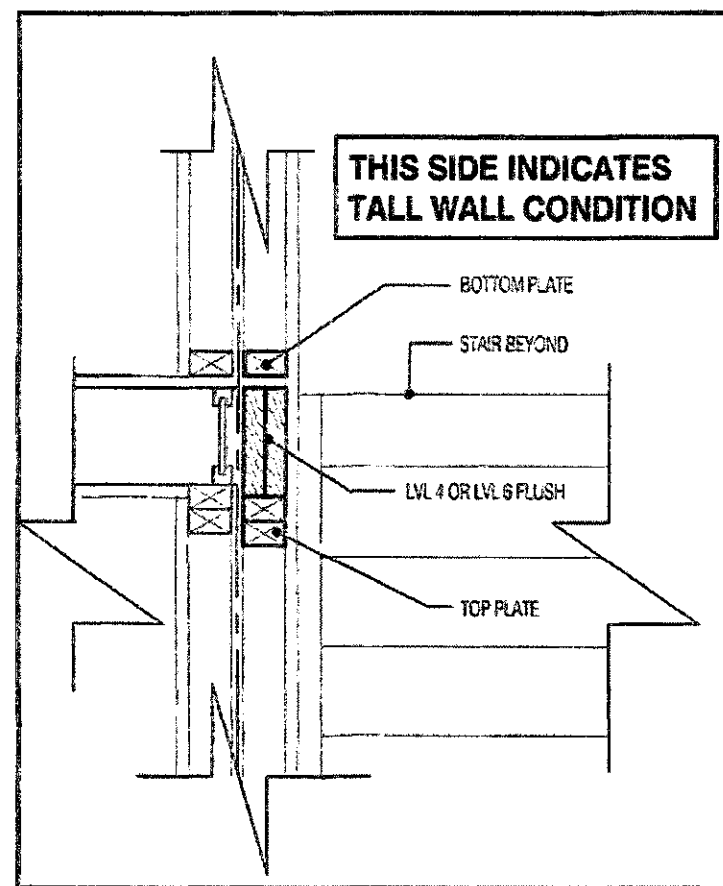
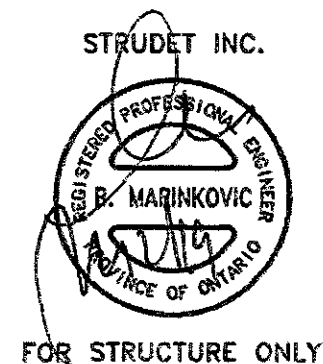
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provision in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS, III, ARCHITECT
ARCHITECTURAL CENTER OF AMERICA
2225 AFRICA DRIVE
ANN ARBOR, MI 48106
481-763-1111
FAX 481-763-1112
E-MAIL: JCWILLIAMS@AACA-ARCHITECT.COM
WWW.AACA-ARCHITECT.COM



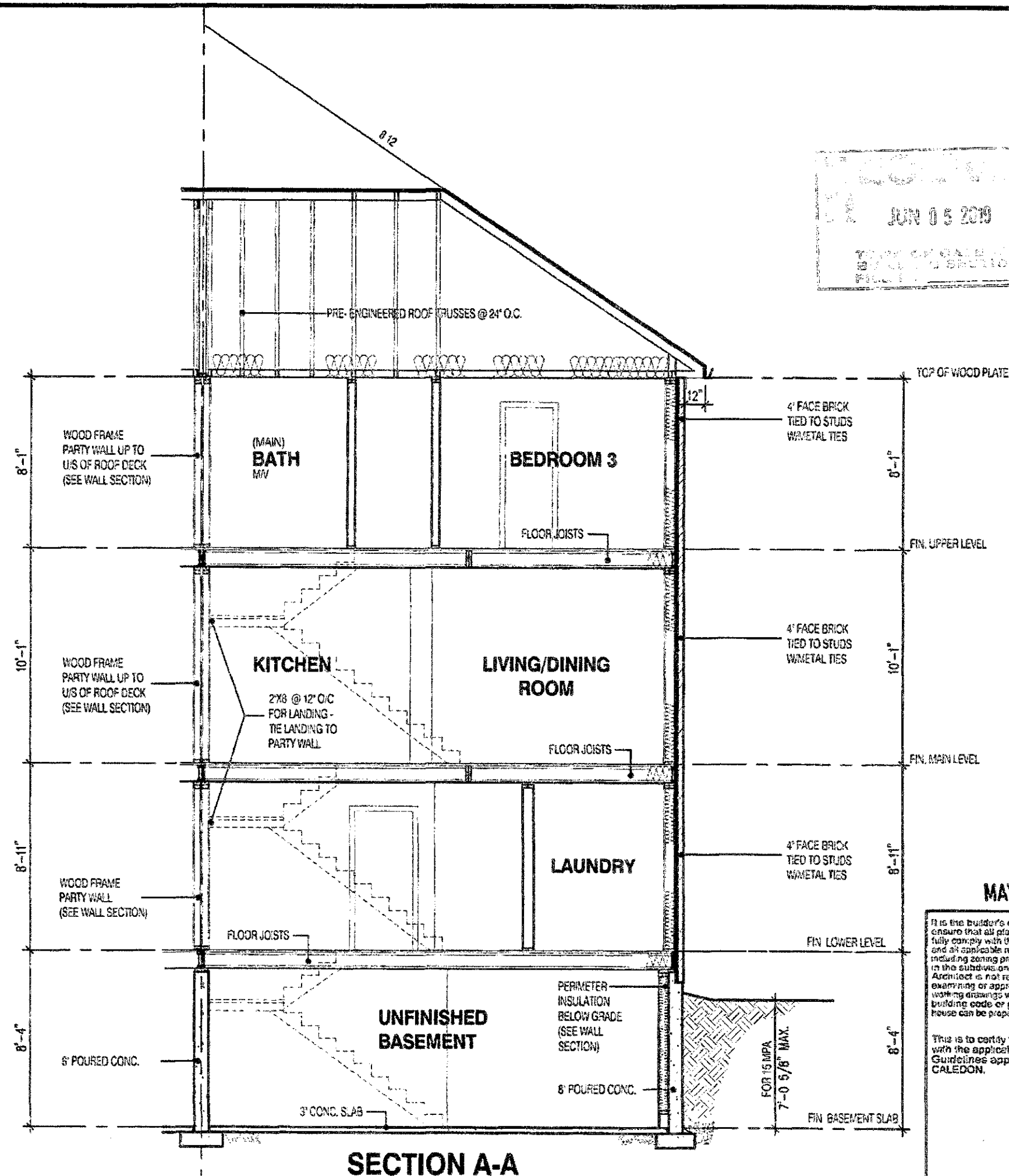
DRUMBY	BRIDGE WAY
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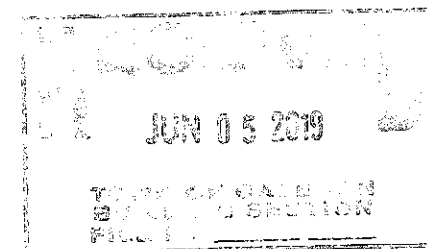
B TALL WALL FRAMING

NTS

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE



SECTION A-A



2028
TOWNHOUSE
URBAN 2
EL-1,2,2A,3,4, & 5
ENERGY STAR
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
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3	FEB 8, 2019	ISSUED FOR BUILDING PERMIT
2	FEB 7, 2019	ISSUED FOR PRICING
1	JULY 19, 2018	ISSUED FOR STRUCTURAL REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.7.5 of the Code.

Walter Batten *W. Batten* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.7.4 of the Building Code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 7

MAY 02 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.