

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

100 KPa NATIVE SOIL

22"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT

(REFER TO ENG. FILL FOOTING DETAIL)

THE BUILDING SHALL BE LOCATED ON THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. ANY CHANGES TO THE GROUND SURFACE DRAINAGE SHALL BE REVIEWED AND APPROVED BY THE APPROPRIATE ENVIRONMENT AGENCY.

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME DURING CONSTRUCTION AS PER O.B.C.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1166 Sq. Ft.
SECOND FLOOR AREA	=	1458 Sq. Ft.
TOTAL FLOOR AREA	=	2624 Sq. Ft.
ADD OPEN AREAS	=	5 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2627 Sq. Ft.
GROUND FLOOR COVERAGE	=	1166 Sq. Ft.
GARAGE COVERAGE AREA	=	377 Sq. Ft.
PORCH COVERAGE AREA	=	60 Sq. Ft.
COVERAGE W/ PORCH	=	1603 Sq. Ft.
COVERAGE W/O PORCH	=	1433 Sq. Ft.

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x18" CONCRETE PAD
F3 = 36"x36"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 48"x48"x30" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 20" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS:

WL1 = 3'1 1/2" x 3'1 1/2" x 14" (90x90x6) - 2' 2" x 8" SPR
WL2 = 4' x 3'1 1/2" x 5'16" (100x90x6) - 2' 2" x 8" SPR
WL3 = 5' x 3'1 1/2" x 5'16" (125x90x6) - 2' 2" x 10" SPR
WL4 = 6' x 3'1 1/2" x 5'16" (150x90x6) - 2' 2" x 12" SPR
WL5 = 8' x 4' x 3'8" (150x100x10) - 2' 2" x 12" SPR
WL6 = 5' x 3'1 1/2" x 5'16" (125x90x6) - 2' 2" x 12" SPR
WL7 = 5' x 3'1 1/2" x 5'16" (125x90x6) - 3' 2" x 10" SPR
WL8 = 5' x 3'1 1/2" x 5'16" (125x90x6) - 1' 3' 2" x 12" SPR
WL9 = 8' x 4' x 3'8" (150x100x10) - 3' 2" x 12" SPR

WOOD LINTELS:

WB1 = 2' 2" x 8" SPRUCE BEAM
WB2 = 3' 2" x 8" SPRUCE BEAM
WB3 = 2' 2" x 10" SPRUCE BEAM
WB4 = 3' 2" x 10" SPRUCE BEAM
WB5 = 2' 2" x 12" SPRUCE BEAM
WB6 = 3' 2" x 12" SPRUCE BEAM
WB7 = 5' 2" x 12" SPRUCE BEAM
WB8 = 4' 2" x 8" SPRUCE BEAM
WB9 = 4' 2" x 12" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'1 1/2" x 3'1 1/2" x 14" (90x90x6)
L2 = 4' x 3'1 1/2" x 5'16" (100x90x6)
L3 = 5' x 3'1 1/2" x 5'16" (125x90x6)
L4 = 6' x 3'1 1/2" x 5'16" (150x90x6)
L5 = 8' x 4' x 3'8" (150x100x10)
L6 = 5' x 3'1 1/2" x 5'16" (125x90x6)
L7 = 5' x 3'1 1/2" x 5'16" (125x90x6)
L8 = 7' x 4' x 3'8" (150x100x10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

DOOR SCHEDULE

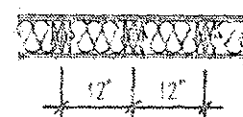
1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-6" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" EXTERIOR)
4 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-5" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
11 = 2'-2" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

LEGEND:

- BUILDING FACE - THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLD BEARING REQUIRED OR POINT LOAD FROM ABOVE
- ST. PLATE FOR STEEL JOIST ABOVE
- LVL LAMINATED VENEER LUMBER
- SJ SINGLE JOIST
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C.
FULL HT. CW SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7'-16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 43'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 6-1/2" TIMBERSTRAND (LVL) 1.5E STUD WALL CLUED
AND NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HT.
CW SOLID BLOCKING MAX. 6'-0" O.C. VERTICAL AND 7'-16" EXT.
CSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 49'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS
PROVIDE 1 ROW BRIDGING FOR SPANS OF 6'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:

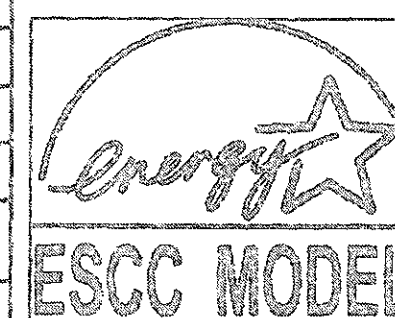
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND
EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.36 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22 - R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR (®) ZONE 2 (JER 29/JUV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR (®) HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR FLOW
HOT WATER TANK	CONDENSING HOT WATER TANK 80% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR 1D342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH50 16 YLR) ATTACHED LEVEL 1 (3.0 ACH50 26 YLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1" IN OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

JUN 27 2019



ENERGY STAR - V 17

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning laws and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving any (plans) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon

2638

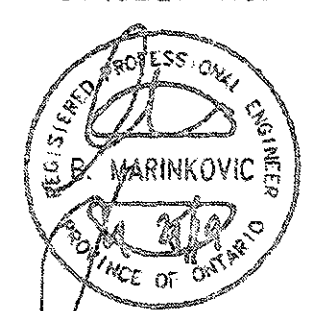
11.0m LOTS

BARTON 3-05 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT OR GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
ARCHITECT'S RESPONSIBILITY IS TO PROVIDE A SET OF DRAWINGS FOR THE CONSTRUCTION OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE CONSTRUCTION. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT'S LIABILITY IS NOT TO BE HELD RESPONSIBLE FOR ANY OTHER MATTERS.
JUN 27 2019
THIS DRAWING IS THE PROPERTY OF STRUDET INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF STRUDET INC.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JUNE 28, 2019	PREPARED DRAWING FOR LOT 5 REISSUED TO CLIENT
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRELIMINARY STAGE. ISSUED TO CLIENT

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905.660.3377 FAX: 905.660.3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required office design is completed under Division C, Subsection 3.2.5 of the Building Code

Walker Boiler 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required office design is completed under Division C, Subsection 3.2.5 of the Building Code

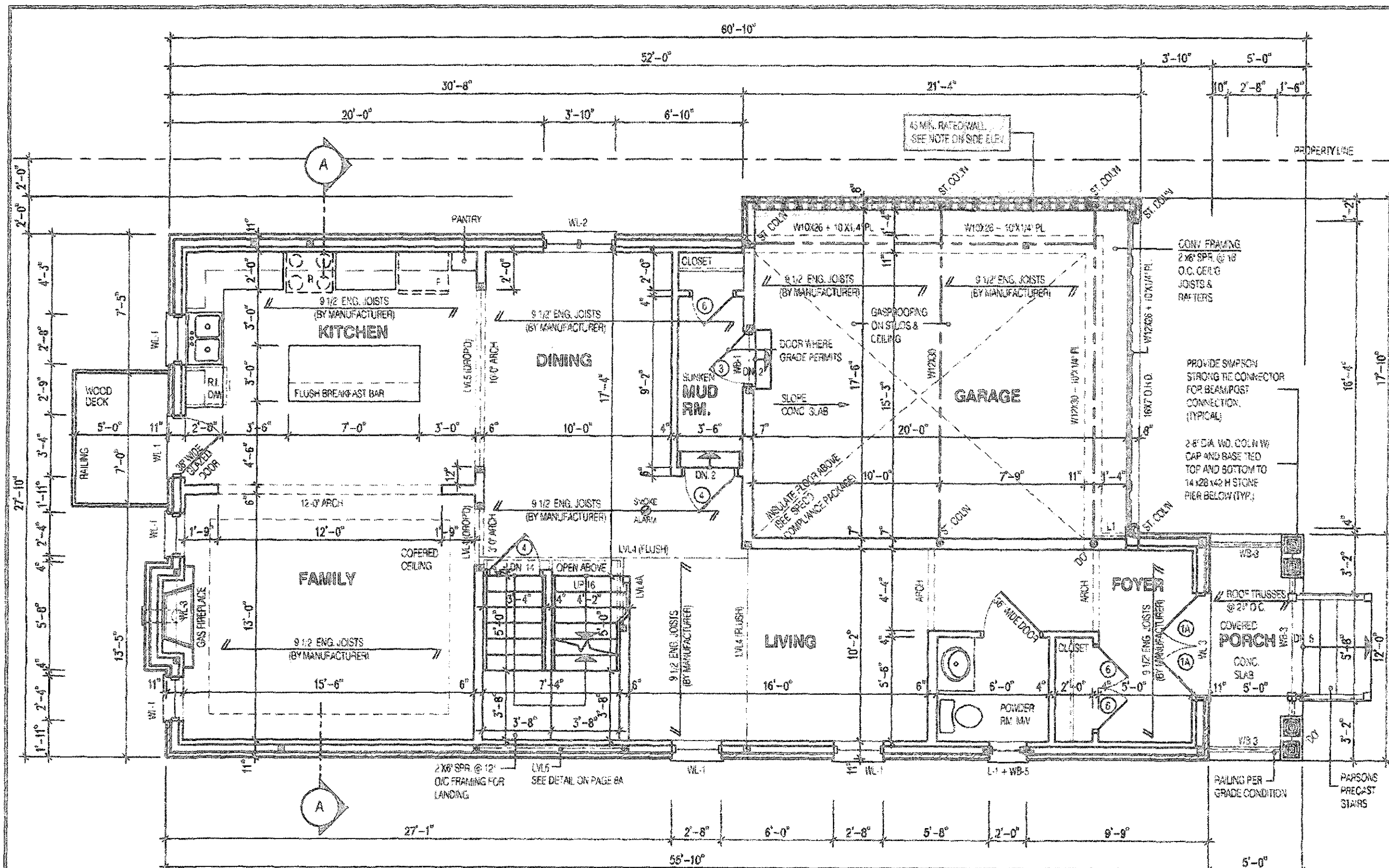
jardin design group inc. 27763
NAME SIGNATURE BCIN

TITLE SHEET

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	
SCALE:	3/16" = 1'-0"
PROJ. NO.	DWG. NO.
18-18	0

BILD



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.10. AND 9.33.4. OF THE ONTARIO BUILDING CODE

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7-1 OF THE DETAIL PACKAGE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

NOTE:
REFER TO SHEET NO. 0-1 FOR LATEL BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7" 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

NOTE:
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" @ 2m (45 MIN. FIRE RATING REQ.)
- INDICATES SOLID BEARING REQUIRED ON POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER PEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements (including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (posting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECTS
REGISTERED PROFESSIONAL ARCHITECTS
AND APPROVAL

DATE: 2019.08.12

2638
11.0m LOTS
BARTON 3-05 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURAL ONLY

No	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JUNE 26, 2019	PREPARED DRAWINGS FOR LOT 3
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION
		STAGE ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Registered under Design is exempt under Division C, subsection 1.2.1 of the building code

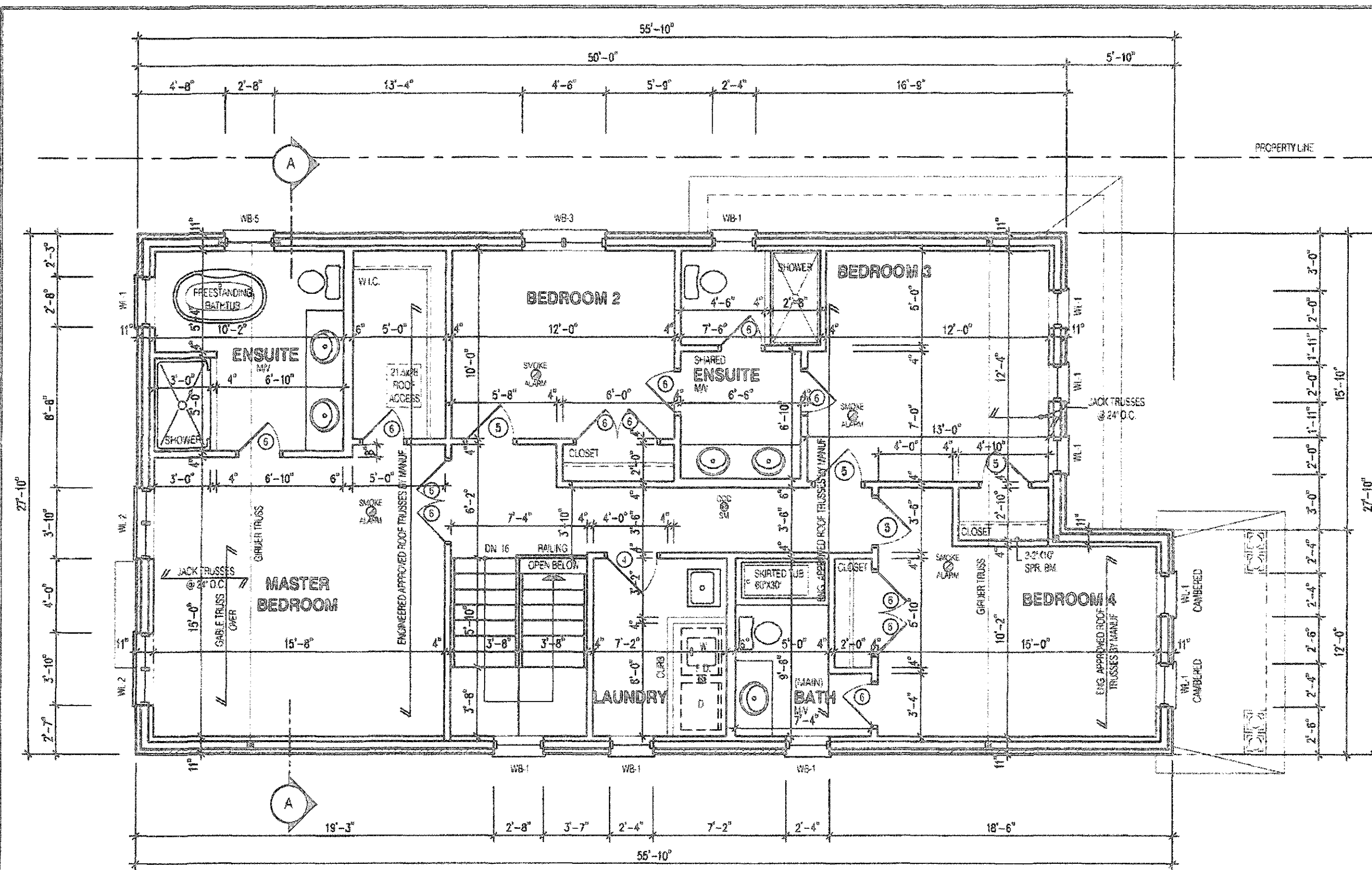
Waiver of Liability 21031
NAME: [Signature] SIGNATURE: [Signature] BGN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, subsection 1.2.1 of the building code

jardin design group inc. 27763
FIRM NAME: [Signature] BGN

FIRST FLOOR PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	----
SCALE:	3/16" = 1'-0"
PROJ No	DWG No
08-18	2A



SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONCEPTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

LEGEND:

- BUILDING FACE < THAN 4.0 (12m) (45 MIN FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRD OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LAMINATED VENEER LVL/BER
- SJ SINGLE JOIST
- DJ DOUBLE JOIST
- TJ TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible, in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT & ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 15, 2019
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2638

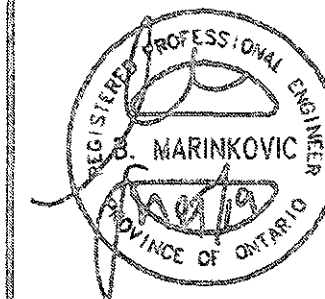
11.0m LOTS

BARTON 3-05 (GR)
ELEVATION 2

ENERGY STAR

O.REG. 332/12

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND MATERIALS TO BE USED BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE APPROVAL OF ANY OTHER DRAWING OR INFORMATION PROVIDED BY ANY OTHER PARTY. THESE DRAWINGS ARE FOR INFORMATION ONLY AND DO NOT CONSTITUTE A CONTRACT. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CHECK OR VERIFY ANY OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OF THE INFORMATION OR DATA PROVIDED TO JARDIN DESIGN GROUP INC. BY ANY OTHER PARTY.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED AS IS AND THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JUNE 28, 2019	PREPARED DRAWING FOR LOT 5 RESSUED TO CLIENT
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATIONS INFORMATION
Registered unless design is exempt under Division C, Subsection 1.2.5 of the building code.

Walter Boiter [Signature] 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

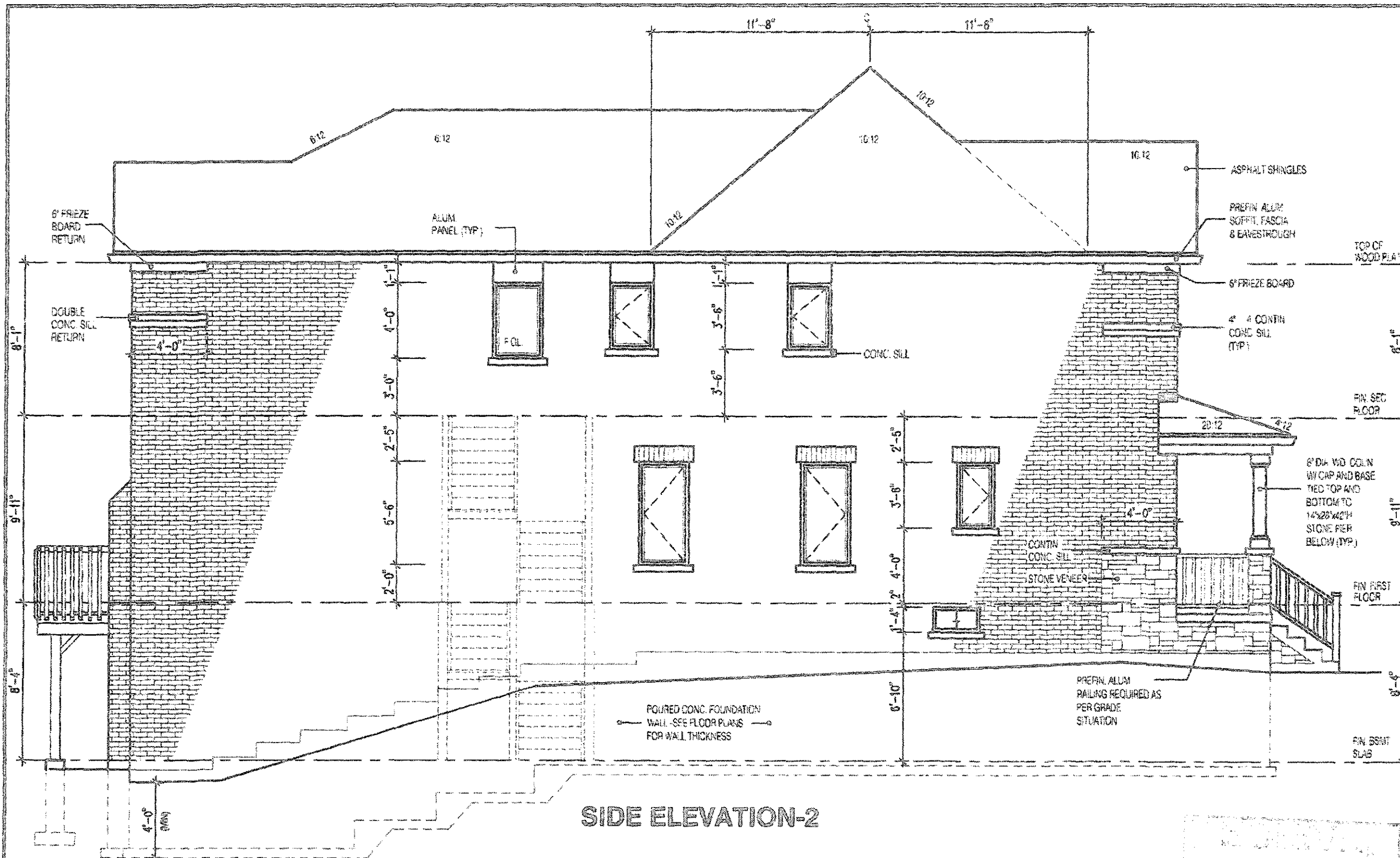
SECOND FL. PLAN EL-2

LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	----
SCALE:	3/16" = 1'-0"
PROJ. NO.	DWG. NO.
08-18	3A



 BILD®	TYPE T	AREA sq. ft.
	SCALE: 3/16" = 1'-0"	
	PROJ. NO. 08-18	DWG. NO. 4A



SIDE ELEVATION-2

UNPROTECTED OPENINGS

WALL AREA	1295 #
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	90.6 #
ACTUAL GLASS AREA	54.9 #

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTANTS
AND SPECIALISTS
APPROVED: [Signature]
DATE: JUL 10, 2019
The Ontario Building Code is hereby acknowledged as the minimum standard for construction.

2638

11.0m LOTS

BARTON 3-05 (GR)

ELEVATION 2

ENERGY STAR

O.REG. 332/12

THE CONTRACTOR SHALL CHECK ALL VERTICAL DIMENSIONS AND LOCATIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT ON OR BEFORE THE COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF EXISTING STRUCTURE OR EXISTING INFORMATION. ON THESE DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTING OR ABSENCE OF ANYTHING. THE ARCHITECT IS NOT RESPONSIBLE FOR THE EXISTING OR ABSENCE OF ANYTHING. THE ARCHITECT IS NOT RESPONSIBLE FOR THE EXISTING OR ABSENCE OF ANYTHING.

JARDIN DESIGN GROUP INC. HAS NOT BEEN REFERRED TO BY ANY OTHER PARTY. ANY PARTY OF THE DRAWING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE EXISTING OR ABSENCE OF ANYTHING. THE ARCHITECT IS NOT RESPONSIBLE FOR THE EXISTING OR ABSENCE OF ANYTHING.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JUNE 26, 2019	PREPARED DRAWING FOR LOT 5 REISSUED TO CLIENT
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRE-COORDINATION STAGE. ISSUED TO CLIENT

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Walter Butler

21031

NAME

SIGNATURE

BCN

REGISTRATION INFORMATION
Noted unless design is exempt under Division C, Subsection 2.2.4 of the building code.

jardin design group inc.

27763

FIRM NAME

BCN

SIDE ELEVATION 2

LAMBERTS LANE PHASE 2

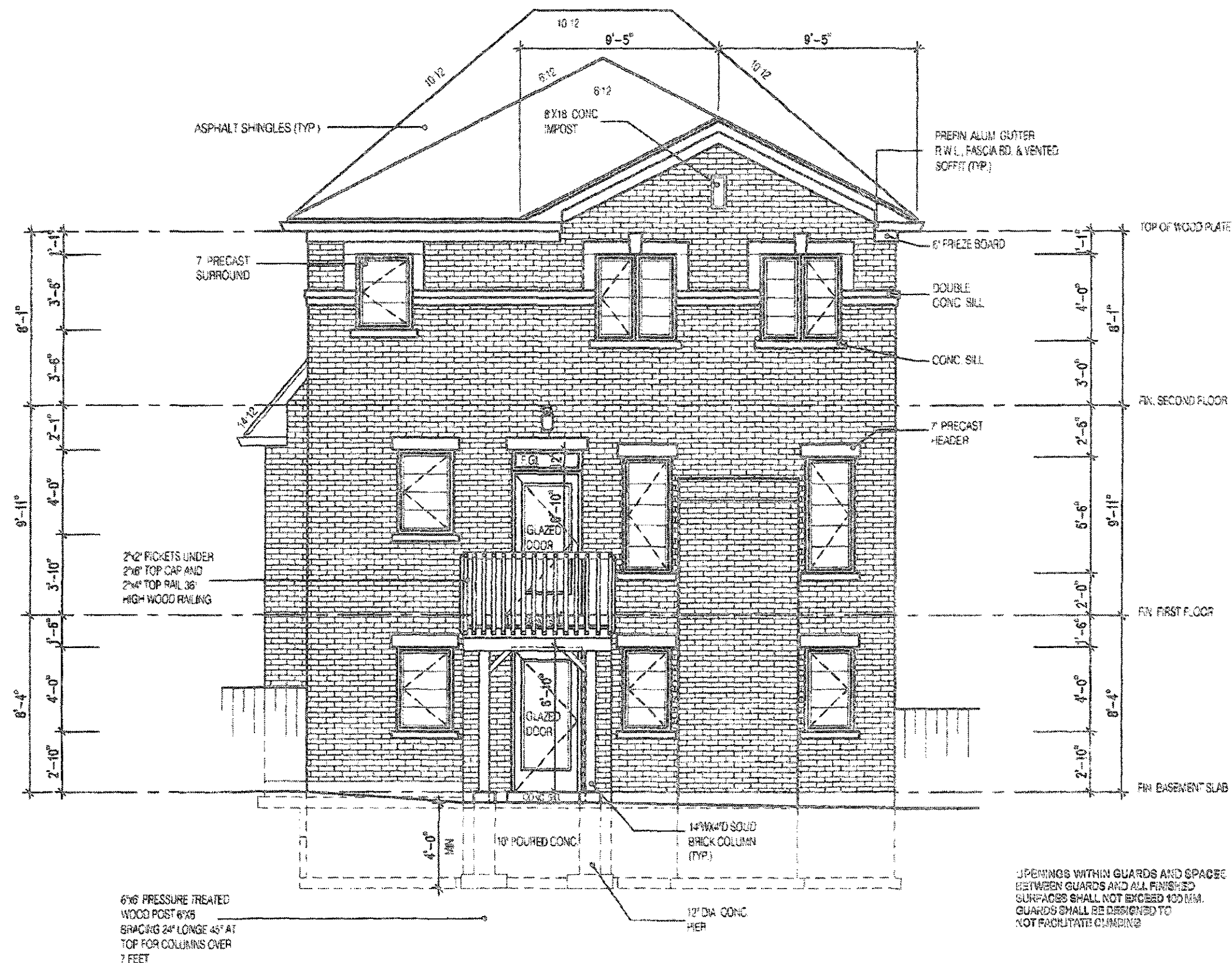
TOWN OF CALEDON

TYPE	AREA
1	---
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
08-18	5A

BILD

08-18

5A



**REAR ELEVATION 2
(UPGRADE)
FOR WALK-OUT /
DECK CONDITON**

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7-1 OF THE DETAIL PACKAGE

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

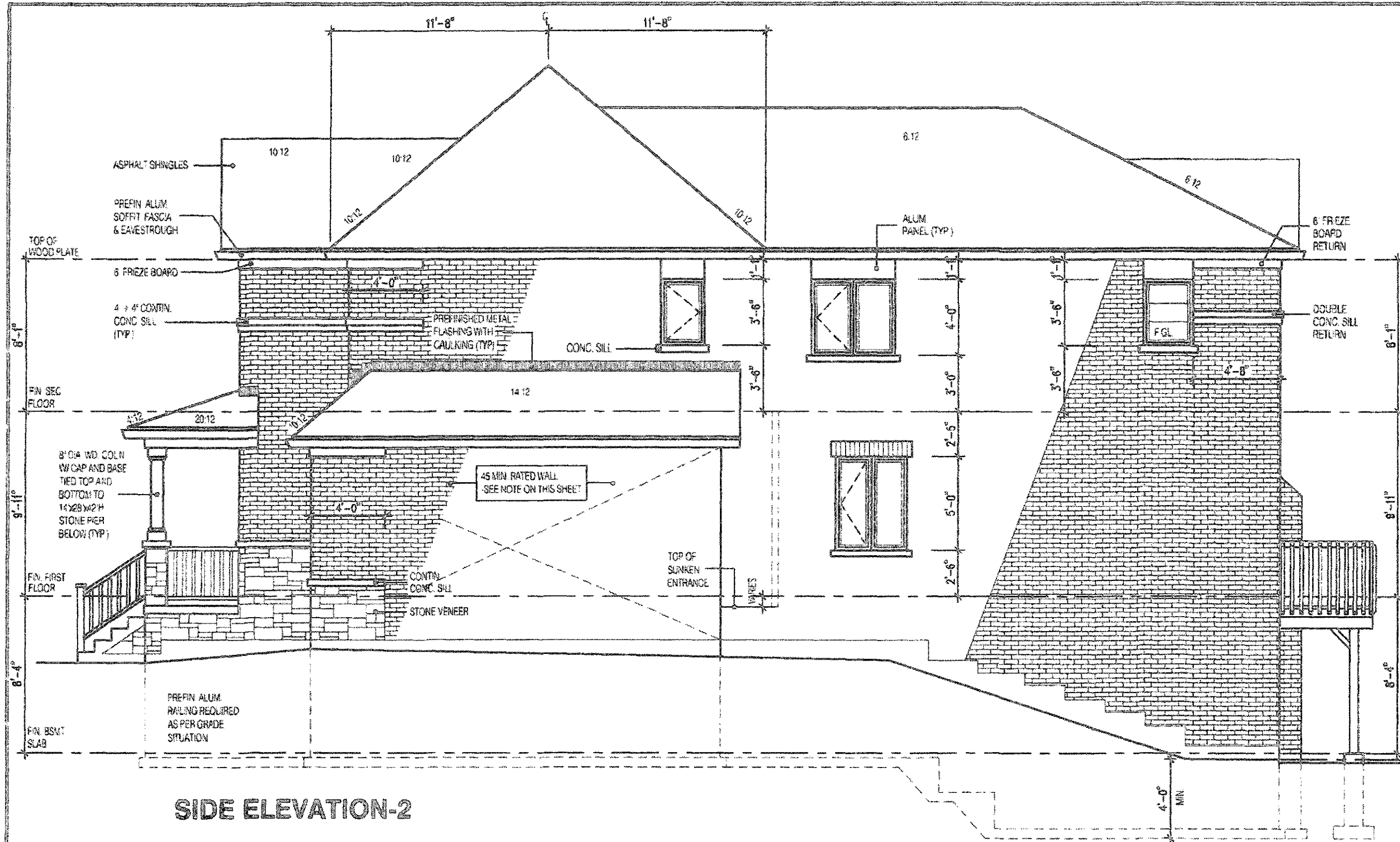
NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Council
Architect is not responsible in any way for
examining or approving site (plot) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: 2019.06.27
This drawing is the property of the Architect and
shall not be used for any other project without
the written consent of the Architect.

2638	
11.0m LOTS	
BARTON 3-05 (GR)	
ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT ON OR BEFORE THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS IN THE DRAWINGS OR CONDITIONS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED AS A GUIDE ONLY AND DOES NOT REPRESENT A GUARANTEE OF ANY KIND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE.	
7	
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5	
4	
3	JUNE 28, 2019 PREPARED DRAWING FOR LOT 5
2	JUN 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT 15, 2018 COMPLETED PRECOORDINATION STAGE, ISSUED TO CLIENT
NO	DATE: WORK DESCRIPTION:
Jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN, ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION: Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code. Walter Boller 21037 NAME SIGNATURE BCIN REGISTRATION INFORMATION: Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code. Jardin design group inc. 27763 FIRM NAME BCIN	
REAR ELEVATION 2	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
TYPE T	AREA ----
SCALE 3/16" = 1'-0"	
PROJ No 08-18	DWG No 6A



SIDE ELEVATION-2

UNPROTECTED OPENINGS

WALL AREA	1343	⊘
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	94.0	⊘
ACTUAL GLASS AREA	42.5	⊘

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING.

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/SQ.M. AND MUST FILL AT LEAST 80% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

HEADER/RIM JOIST LEVEL

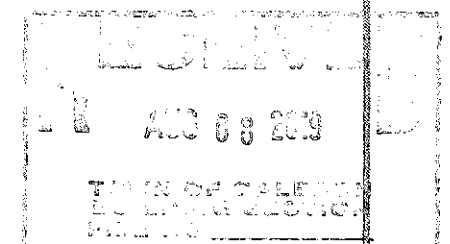
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

2638
11.0m LOTS
BARTON 3-05 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12



THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY BY TELEPHONE OR IN WRITING OF ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT'S OFFICE. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4		
3	JUNE 26, 2019	PREPARED DRAWING FOR LOT 5
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Boller 21037
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 (Required unless design is exempt under Division C, Subsection 3.2.5 of the building code)
Jardin Design Group Inc. 27763
 FIRM NAME BCIN

SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

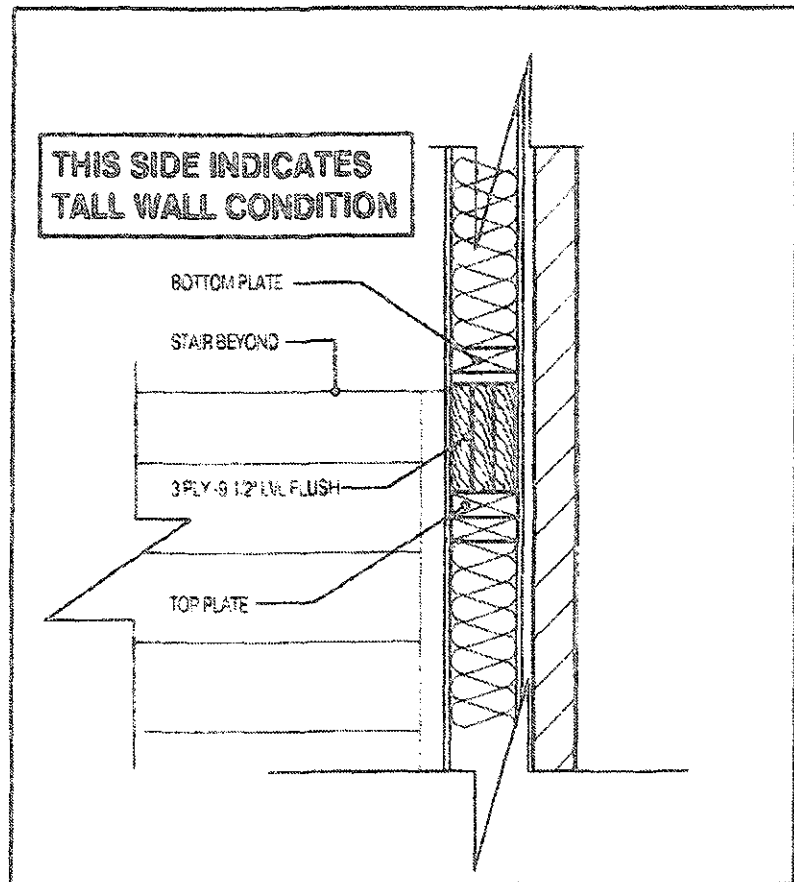
TYPE	AREA
T	
SCALE:	3/16"=1'-0"
PROJ. No.	DWG. No.
08-18	7A



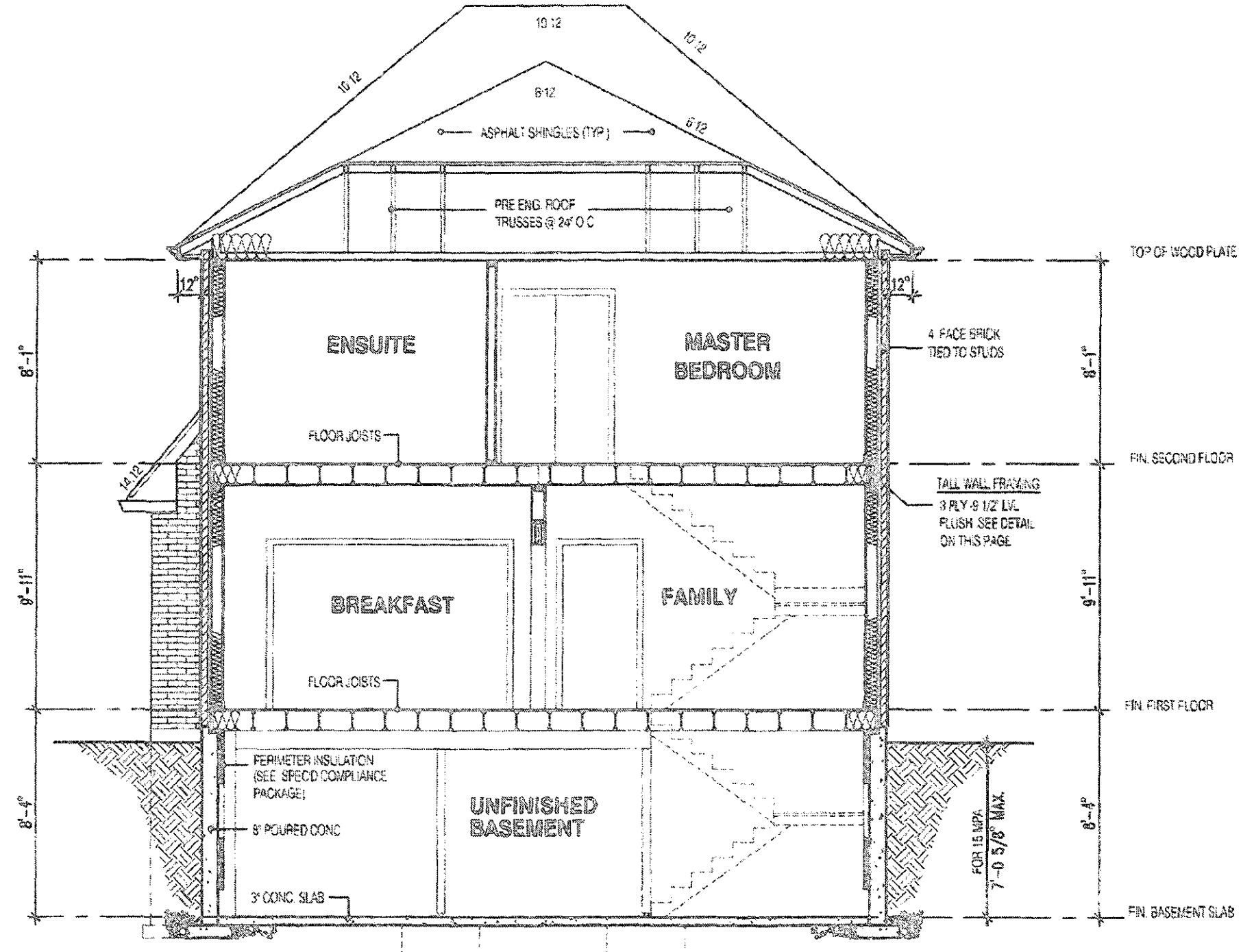
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (red-tag) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL, CONTRACTING, DESIGN AND INTERIOR
 APPROVED BY: [Signature]
 DATE: JUN 12 2019
 This plan is to be used in connection with the building permit application only. It is not to be used for any other purpose without the written consent of the architect.

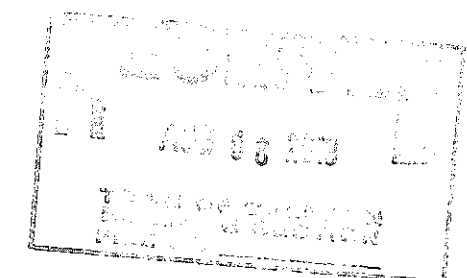


B TALL WALL FRAMING
NTS



SECTION A-A ELEVATION 2

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



JUN 27 2019

It is the builder's responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2638	
11.0m LOTS	
BARTON 3-05 (GR)	
ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
STRUDET INC. 	
FOR STRUCTURAL ONLY	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SITE ORIGIN OR INTERFERING FROM ANY ADJACENT OR OTHER PROPERTY OR INTERESTS. ANY DAMAGE TO THE PROPERTY OR INTERESTS OF OTHERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. THE DRAWING IS AN INSTRUMENT OF SERVICE. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF JARDIN DESIGN GROUP INC. THE DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF JARDIN DESIGN GROUP INC.	
7	
6	
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4	
3	JUNE 26, 2019 PREPARED DRAWING FOR LOT-5 PREPARED TO CLIENT
2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED PRECOORDINATION STAGE. ISSUED TO CLIENT
No.	DATE WORK DESCRIPTION
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.3.5 of the Building Code.	
Walter Boller NAME SIGNATURE	21031 BCN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.3.5 of the Building Code.	
JARDIN DESIGN GROUP INC. 27763 FIRM NAME BCN	
SECTION ELEVATION 2	
LAMBERTS LANE PHASE 2	
TOWN OF CALEDON	
	TYPE T AREA --- SCALE: 3/16" = 1'-0" PROJ. No. 08-18 DWG. No. 8A