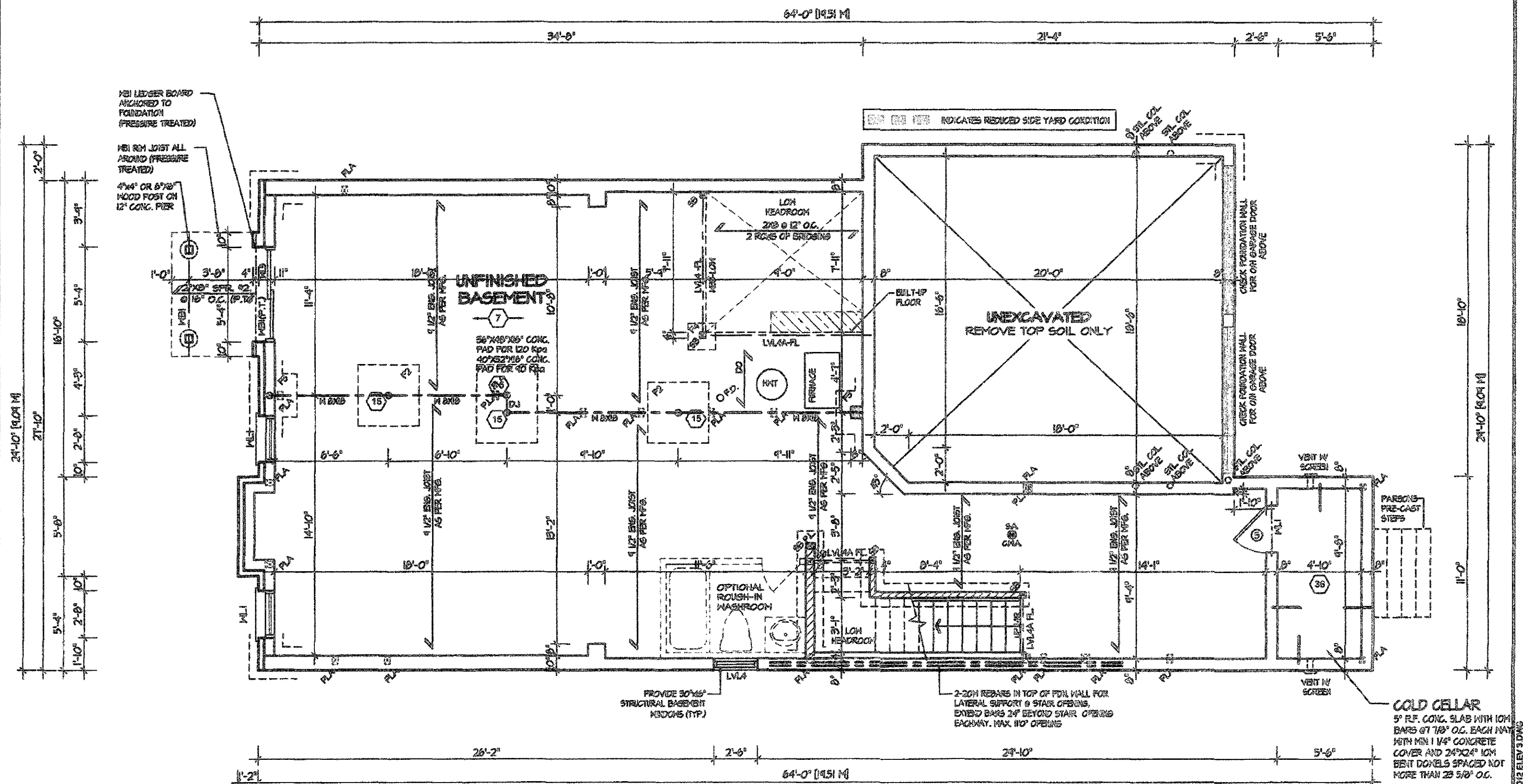


July 8, 2019 2:13:11 PM N:\PROJECTS\LAMBERTS LANE (ARGO) PH.2\CUSTOMSIG\RENTWOOD 3A-012 ELEV 3.DWG



BASEMENT PLAN 3

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW
ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS
FOR SPANS GREATER THAN 1'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

Electrical Contractor
Registration Agency
of the
Electrical
Safety
Authority

**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY, HIRE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.eplugsafely.ca**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
100 S. FORT MYERS

APPROVED BY _____
DATE AUG 21, 2019
The stamp further certifies that the design made
Design Code: _____ and Design No: _____
are stored permanently.

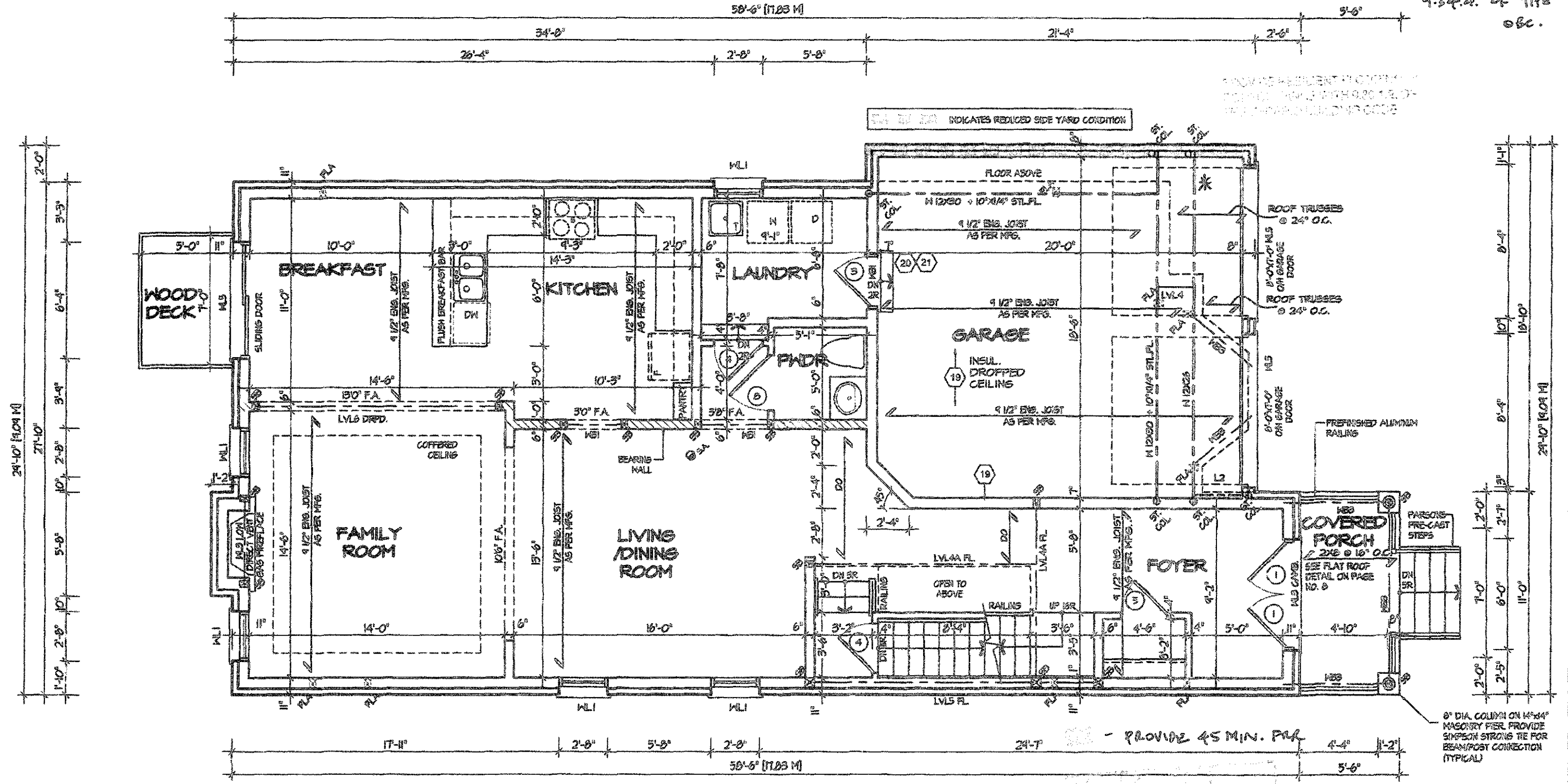
STRUCTEC INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

AUG 21 2019

BRENTWOOD 3A-012
E N E R G Y S T A R

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4090 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE BASEMENT PLAN 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.					SCALE 3/16"=1'-0"				PAGE NO. 1
3.					BY ZMP				
2.					DATE JUNE 2019				
1.	REVISED FOR LOT 12				JUNE 2019	AREA 2777			
REVISIONS			PROJECT NAME LAMBERTS LANE HOME CORP. II						

* Note:
PROVIDE ELECTRIC VEHICLE CHARGING STATION AS PER 9.34.4. OF THE OBC.



FIRST FLOOR PLAN 3

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

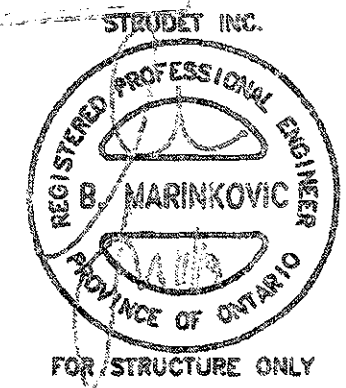
ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.plugsafely.ca

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

103 00 203



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for determining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter of that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN B. MARINKOVIC LTD. 18 HINTY 1 ARCHITECTURAL, SURVEYAL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*
DATE: JUL 10, 2019

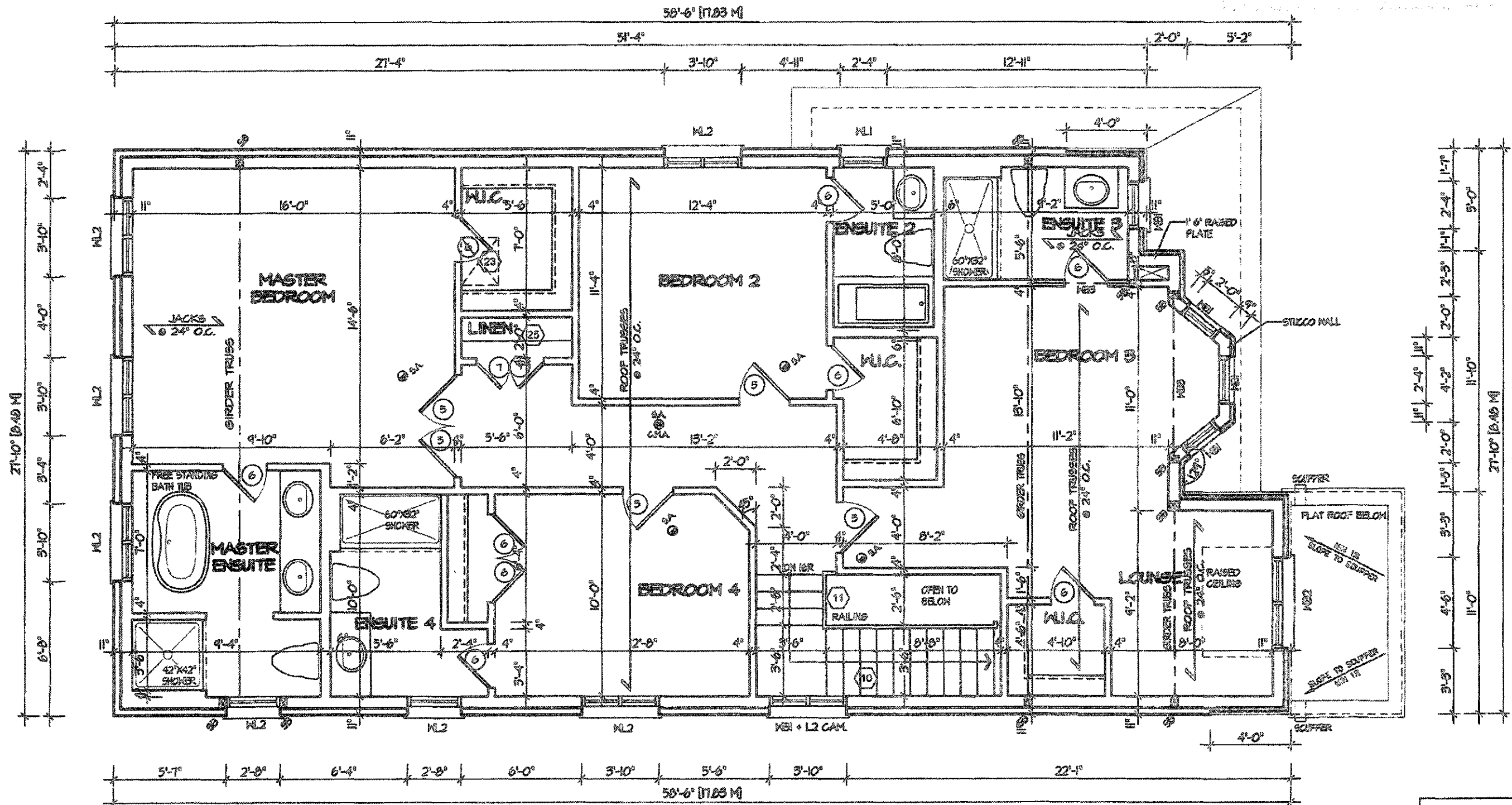
THESE PLANS SHALL BE COMPLIED WITH ALL CITY, TOWN, COUNTY, PROVINCIAL AND FEDERAL REGULATIONS AND REQUIREMENTS.

BRENTWOOD 3A-012
ENERGY STAR

		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO LAK 450 P (416) 738-4098 F (905) 660-0746 REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 2	 PROJECT NAME LAMBERTS LANE HOME CORP. II		
5.				FIRST FLOOR PLAN 3					
4.				SCALE	3/16"=1'-0"			BY	ZMP
3.				DATE	JUNE 2019			AREA	2777
2.									
1.	REVISED FOR LOT 12	JUNE 2019							
REVISIONS									

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.18. AND 9.33.4. OF THE ONTARIO BUILDING CODE

40" WIDE RESILIENT FLOORING IN STAIRS & HALLS WITH V.O.B. 12" OF 2" x 4" x 1/2" JOIST



UPGRADED SECOND FLOOR PLAN 3

Electrical Contractor
Registration Agency

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-551-5411 (372-7433) PLEASE SAFELY HIRE A LICENSED ELECTRICAL CONTRACTOR. ELECTRICAL INSPECTION AT YOUR OWN RISK.

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lot) plans or working drawings with respect to any zoning or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

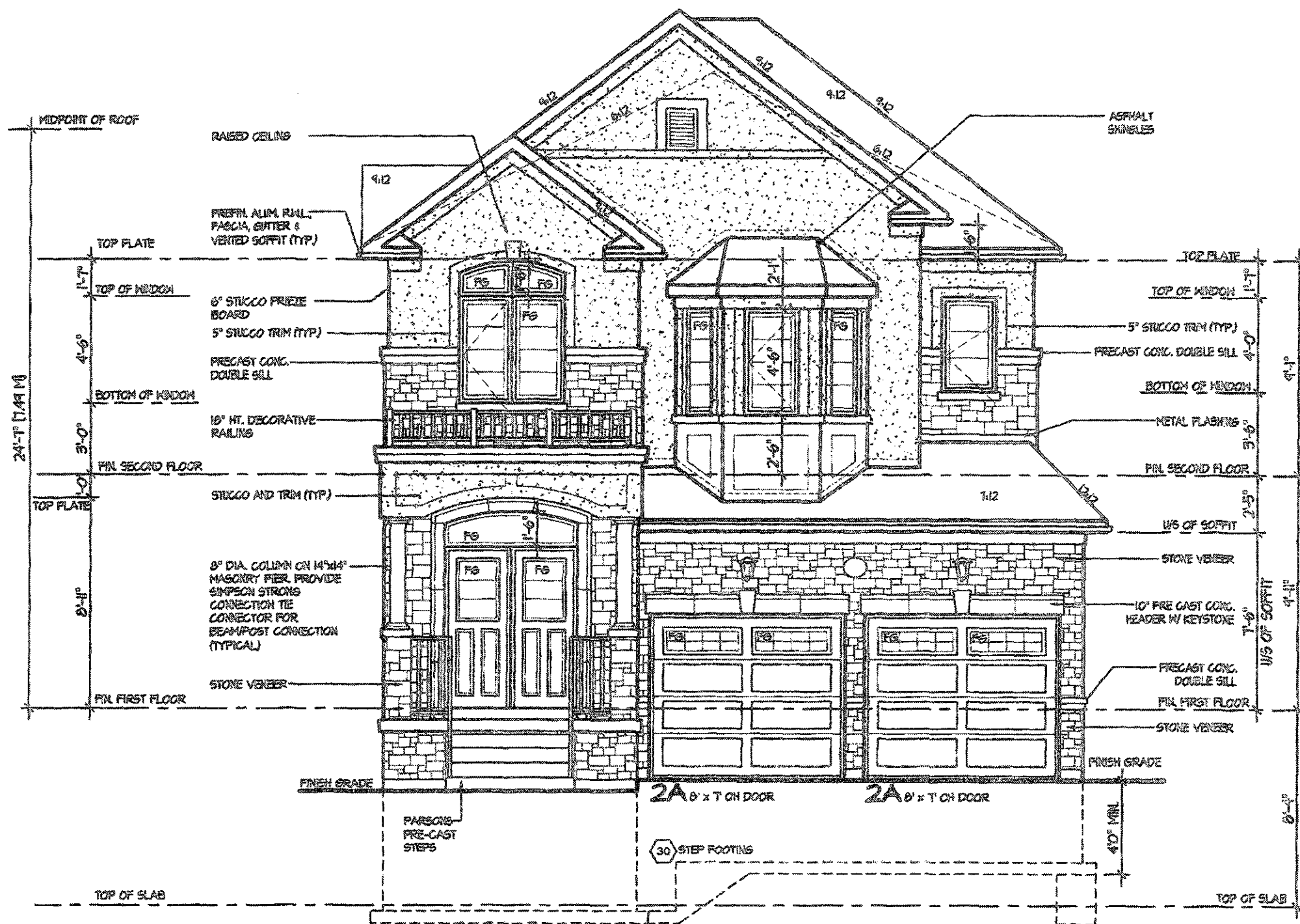
JOHN G. STRUDET, ARCHITECT
REGISTERED PROFESSIONAL ARCHITECT
AND APPROVAL
DATE: 06/12/2019
The Control Architect is not responsible for examining or approving site (lot) plans or working drawings with respect to any zoning or building codes or permit matter or that any house can be properly built or located on its lot.

JUL 12 2019

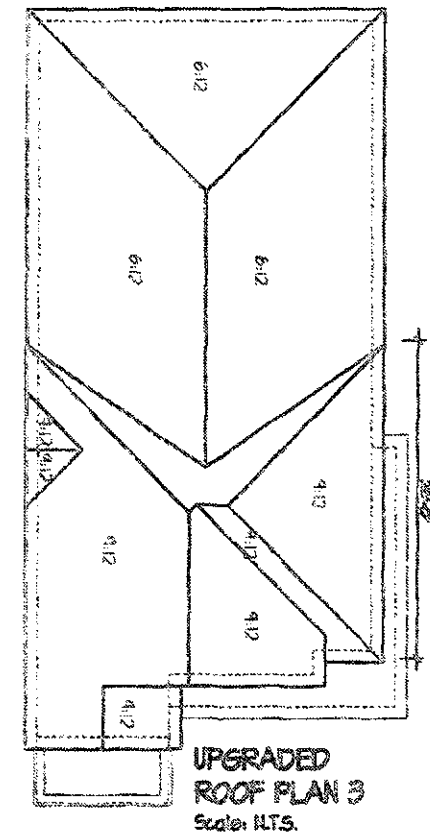
BRENTWOOD 3A-012
ENERGY STAR

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0748	SHEET TITLE UPGRADED SECOND FLOOR PLAN 3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		SCALE 3/16"=1'-0"	PAGE NO. 3
3.		VIKAS GAJJAR NAME SIGNATURE SCIN	28770	BY ZMP	
2.				AREA 2777	
1.	REVISED FOR LOT 12	JUNE 2019		DATE JUNE 2019	
REVISIONS					PROJECT NAME LAMBERTS LANE HOME CORP. II

Greenpark.



FRONT ELEVATION 3



THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF CALEDON.

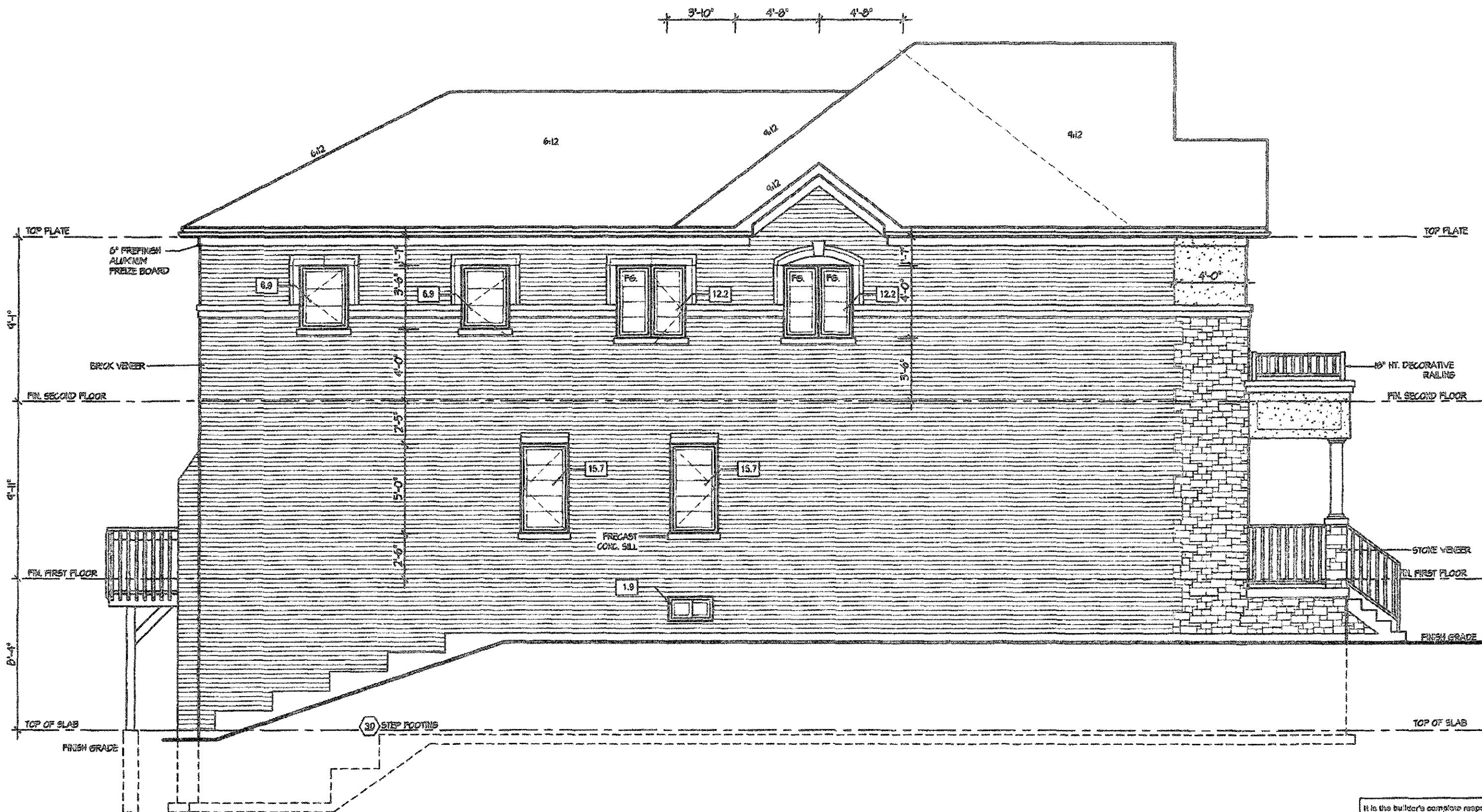
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (stake) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: 10/12/2019
The plans and specifications shall be submitted to the Town of Caledon for review and approval.

BRENTWOOD 3A-012
ENERGY STAR

5. [] 4. [] 3. [] 2. [] 1. REVISED FOR LOT 12 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4036 F (805) 860-0746	SHEET TITLE FRONT ELEVATION 3 SCALE 3/16" = 1'-0" DATE JUNE 2019 BY ZMP AREA 2777	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE NO. 4	Greenpark. PROJECT NAME LAMBERTS LANE HOME CORP. II
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UPGRADED LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA	=	1864	Sq. Ft.
ALLOWABLE GLAZED AREA @ T & L 2 M SIDE YARD	=	45.48	Sq. Ft.
ACTUAL GLAZED AREA	=	11.5	Sq. Ft.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (stake) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN E. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL DESIGN REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 12, 2019
TOWN OF CALEDON, 1000 SHEPPARD AVE. E. UNIT 101, SCARBOROUGH, ONT. M1S 1T5

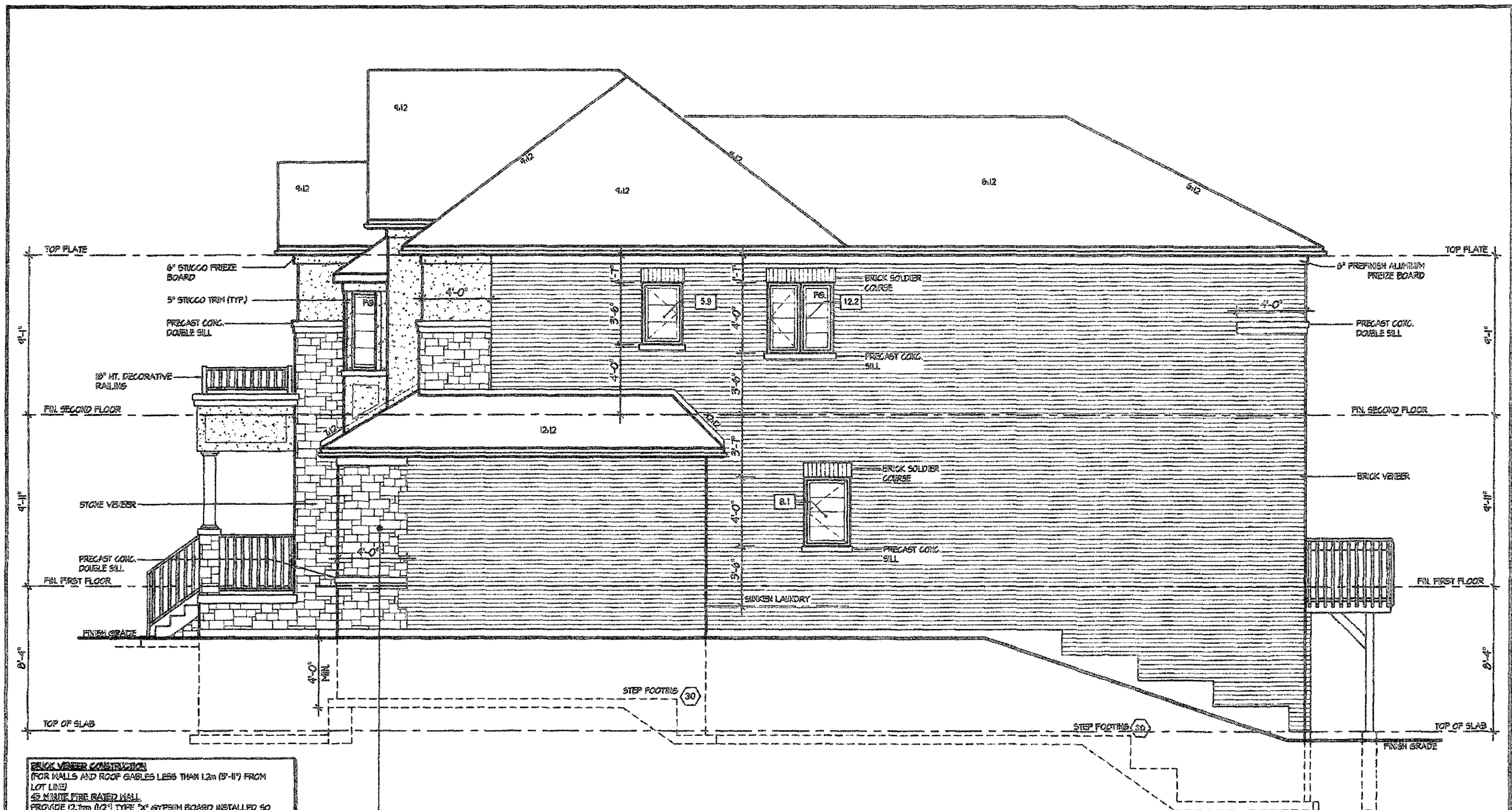
JUL 4 2 2019

BRENTWOOD 3A-012
ENERGY STAR

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4035 F (905) 660-0746	SHEET TITLE UPGRADED LEFT SIDE ELEVATION 3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PAGE No. 5	PROJECT NAME LAMBERTS LANE HOME CORP. II
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	REGION DESIGN INC. [Signature] 28770 BCIN	SCALE 3/16"=1'-0"	BY ZMP	5	PROJECT NAME LAMBERTS LANE HOME CORP. II
3.				DATE JUNE 2019	AREA 2777		
2.							
1.	REVISED FOR LOT 12	JUNE 2019	VIKAS GAJJAR NAME				
REVISIONS			SIGNATURE				

Greenpark

JUL 18 PM 1:11:18 PM IN PROJECT LAMBERTS LANE (ARGO) PH 2019 BRENTWOOD 3A-012 ELEV 3.DWG



BRICK VENEER CONSTRUCTION
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE 12.5mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQM. (REFER TO SECTION 95-2, 2.3, OF SUPPLEMENTARY STANDARDS)

HEADER / RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATING AT HEADERS
PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING. (REFER TO SECTION 95-2, 2.3, OF SUPPLEMENTARY STANDARDS)

UPGRADED RIGHT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA	=	10.0	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1% 12 M SIDE YARD	=	10.00	Sq. Ft.
ACTUAL GLAZED AREA	=	26.2	Sq. Ft.

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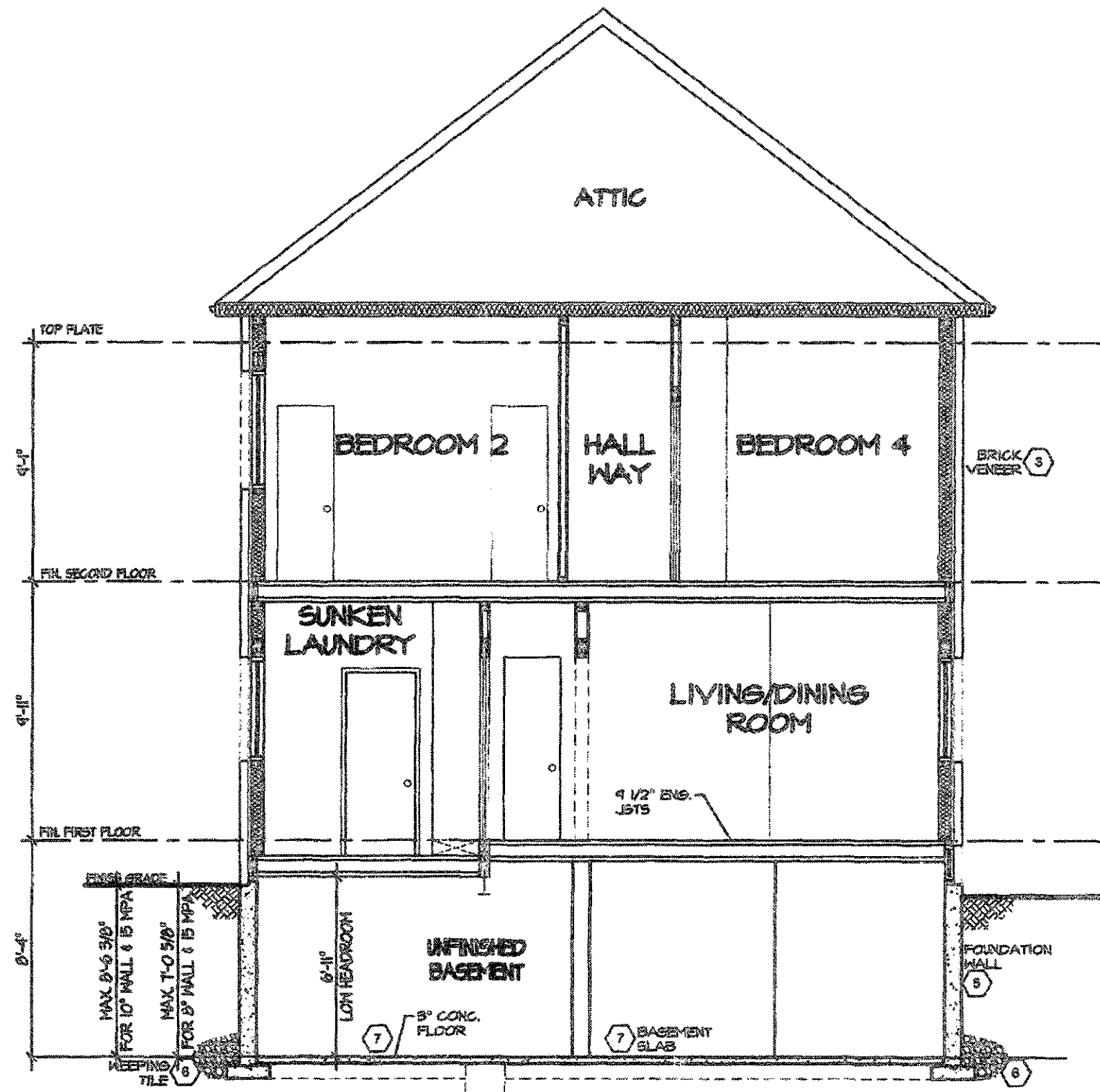
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN A. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 29, 2019
THE TOWN OF CALEDON, ONTARIO
DEVELOPMENT SERVICES DIVISION
PROFESSIONAL SERVICES UNIT

JUL 22 2019

BRENTWOOD 3A-012
ENERGY STAR

5. _____ 4. _____ 3. _____ 2. _____ 1. REVISED FOR LOT 12 JUNE 2018 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4086 F (905) 880-0746	SHEET TITLE UPGRADED RIGHT SIDE ELEVATION 3 SCALE 3/16"=1'-0" DATE JUNE 2019 BY ZMP AREA 2777	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 6	Greenpark PROJECT NAME LAMBERTS LANE HOME CORP. II
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SECTION A-A

THIS STRUCTURE IS TO BE
CONSTRUCTED IN ACCORDANCE
WITH THE ARCHITECTURAL DESIGN
GUIDELINES APPROVED BY THE
TOWN OF CALEDON



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

AUG 21 2019

BRENTWOOD 3A-012

E N E R G Y S T A R

5. 4. 3. 2. 1. REVISED FOR LOT 12 JUNE 2019 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO LAK 489 P (416) 736-6036 F (905) 900-0748	REGION DESIGN INC.	SHEET TITLE CROSS SECTION SCALE 3/16"=1'-0" DATE JUNE 2019 BY ZMP AREA 2777	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 8	PROJECT NAME LAMBERTS LANE HOME CORP. II Greenpark.
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