

2959 SF.

STRIP FOOTINGS - FOR SIMILES & SEAS UP TO 2 STOREYS

120 KPa NATIVE SOIL

- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x18" CONCRETE PAD
- F3 = 30"x30"x12" CONCRETE PAD
- F4 = 24"x24"x12" CONCRETE PAD
- F5 = 16"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
- F2 = 38"x38"x18" CONCRETE PAD
- F3 = 32"x32"x14" CONCRETE PAD
- F4 = 26"x26"x12" CONCRETE PAD
- F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 40"x40"x16" CONCRETE PAD
- F3 = 34"x34"x14" CONCRETE PAD
- F4 = 28"x28"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

BRICK VENEER LINTELS (WL)

- WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
- WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
- WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
- WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
- WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
- WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
- WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
- WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
- WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

- WB1 = 2-2"x8" (2-38x184) SPR. No.2
- WB2 = 3-2"x8" (3-38x184) SPR. No.2
- WB3 = 2-2"x10" (2-38x235) SPR. No.2
- WB4 = 3-2"x10" (3-38x235) SPR. No.2
- WB5 = 2-2"x12" (2-38x286) SPR. No.2
- WB6 = 3-2"x12" (3-38x286) SPR. No.2
- WB7 = 5-2"x12" (5-38x286) SPR. No.2
- WB8 = 4-2"x10" (4-38x235) SPR. No.2
- WB9 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
- LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
- LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
- LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
- LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
- LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
- LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
- LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
- LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
- LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
- LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
- LVL8 = 2-1 3/4"x14" (2-45x356)
- LVL9 = 3-1 3/4"x14" (3-45x356)

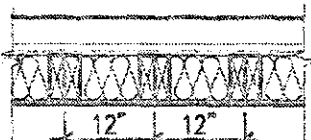
LOOSE STEEL LINTELS (L)

- L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
- L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
- L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
- L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
- L5 = 6" x 4" x 3/8" (150x100x10.0L)
- L6 = 7" x 4" x 3/8" (180x100x10.0L)

TWO STOREY HEIGHT

WALL DETAIL

2-1/2" STUD WALL NAILED TOGETHER AND SPACED @ 12" o.c. FULL HEIGHT, 4" o.c. STUD BLOTTING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MINIMUM HEIGHT OF WALL FOR THIS DETAIL IS 10'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THIS BUILDING MUST BE CONSTRUCTED TO MEET OR EXCEED ALL PROVISIONS OF THE CURRENT BUILDING CODE

UNINSULATED OPENINGS (PER CBC, SB-12.3.1.1(7))			
PRESTON 3-025, ELEV. 2 (5 BED)	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	611.58 S.F.	141.39 S.F.	23.12 %
LEFT SIDE	1208.05 S.F.	90.83 S.F.	7.52 %
RIGHT SIDE	1231.48 S.F.	53.00 S.F.	4.30 %
REAR	635.79 S.F.	160.26 S.F.	25.30 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.0 S.F.	
TOTAL SQ. FT.	3586.88 S.F.	446.08 S.F.	12.10 %
TOTAL SQ. M.	342.52 S.M.	41.44 S.M.	12.10 %

APPROVED
For construction as per the
Ontario Building Code
Town of Caledon Building Department
Initial J. SNEEL
Date SEP 9/19
File # BA1910004

AREA CALCULATIONS		ELEV. 2'
GROUND FLOOR AREA	1314 SF	
SECOND FLOOR AREA	1606 SF	
TOTAL FLOOR AREA	2920 SF	
	(271.28 m ²)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	63 SF	
ADD TOTAL OPEN AREAS	+63 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	2983 SF	
	(277.13 m ²)	
GROUND FLOOR COVERAGE	1314 SF	
GARAGE COVERAGE/AREA	390 SF	
PORCH COVERAGE/AREA	49 SF	
COVERAGE W/ PORCH	1753 SF	
	(162.86 m ²)	
COVERAGE W/O PORCH	1704 SF	
	(158.31 m ²)	

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(CBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" TO 7'-0", 2 ROWS FOR SPANS GREATER THAN 7'-0".

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Functional Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on this lot.

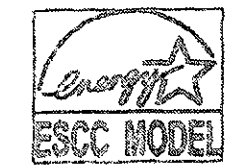
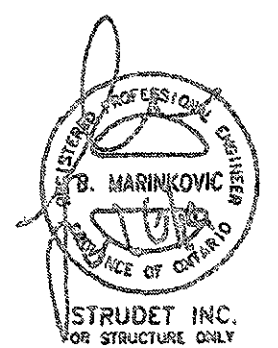
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R20)
MINIMUM RSI (R) VALUE	
CEILING WITHOUT ATTIC SPACE	5.46 (R21)
MINIMUM RSI (R) VALUE	
EXPOSED FLOOR	5.46 (R21)
MINIMUM RSI (R) VALUE	
WALLS ABOVE GRADE	4.75 (R22+R5)
MINIMUM RSI (R) VALUE	
BASEMENT WALLS	3.52 (R20 BLANKET)
MINIMUM RSI (R) VALUE	
EDGE OF BELOW GRADE SLAB	1.76 (R10)
≤ 600mm BELOW GRADE	
MINIMUM RSI (R) VALUE	
SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
MINIMUM RSI (R) VALUE	
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR @ ZONE 2 (ER 29/UV 1.4)
MAXIMUM U-VALUE	
SPACE HEATING EQUIPMENT	95% AFUE
MINIMUM AFUE	
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	75% GRE ENERGY STAR @ HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
MINIMUM EFFICIENCY	
HOT WATER TANK	CONDENSING HOT WATER TANK 80% TE EFFICIENCY
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 HLR) ATTACHED LEVEL 1 (3.0 ACH/0.25 HLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDS

RECEIVED
AUG 28 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.



PRESTON 3-025
ENERGY STAR

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
18				9			
17				8			
16				7			
15				6			
14				5	PRESTON 3-025 PER CUSTOM REQUEST	JUN 28/19	GH
13				4	ISSUED FOR PERMIT	DEC 20/18	GH
12				3	ROOF-FLOOR-ENG. CO-ORD	NOV 29/18	GH
11				2	REVISED ROOF SLOPES PER A.C.	SEP 25/18	GH
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW	SEP 19/18	GH

The undersigned has reviewed and taken responsibility for this design and has the qualifications and made the requirements and set in the Ontario Building Code to be a license.
quotation information
Richard Wink
34489
42858
255 Conestoga Rd Suite 120
Toronto ON M2H 1B4
1 416.630.2255 / 416.630.4782
va3design.com

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va3design.com

Greenpark		PRESTON 3	
LAMBERTS LANE HOME CORP. PH.2		11.6m	
CALEDON		18023	
SEPT. 2018		GENERAL NOTES & CHARTS	
drawing by		drawing no.	
3/16" = 1'-0"		18023-3-025	
AO		AO	

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APPLICANT COPY

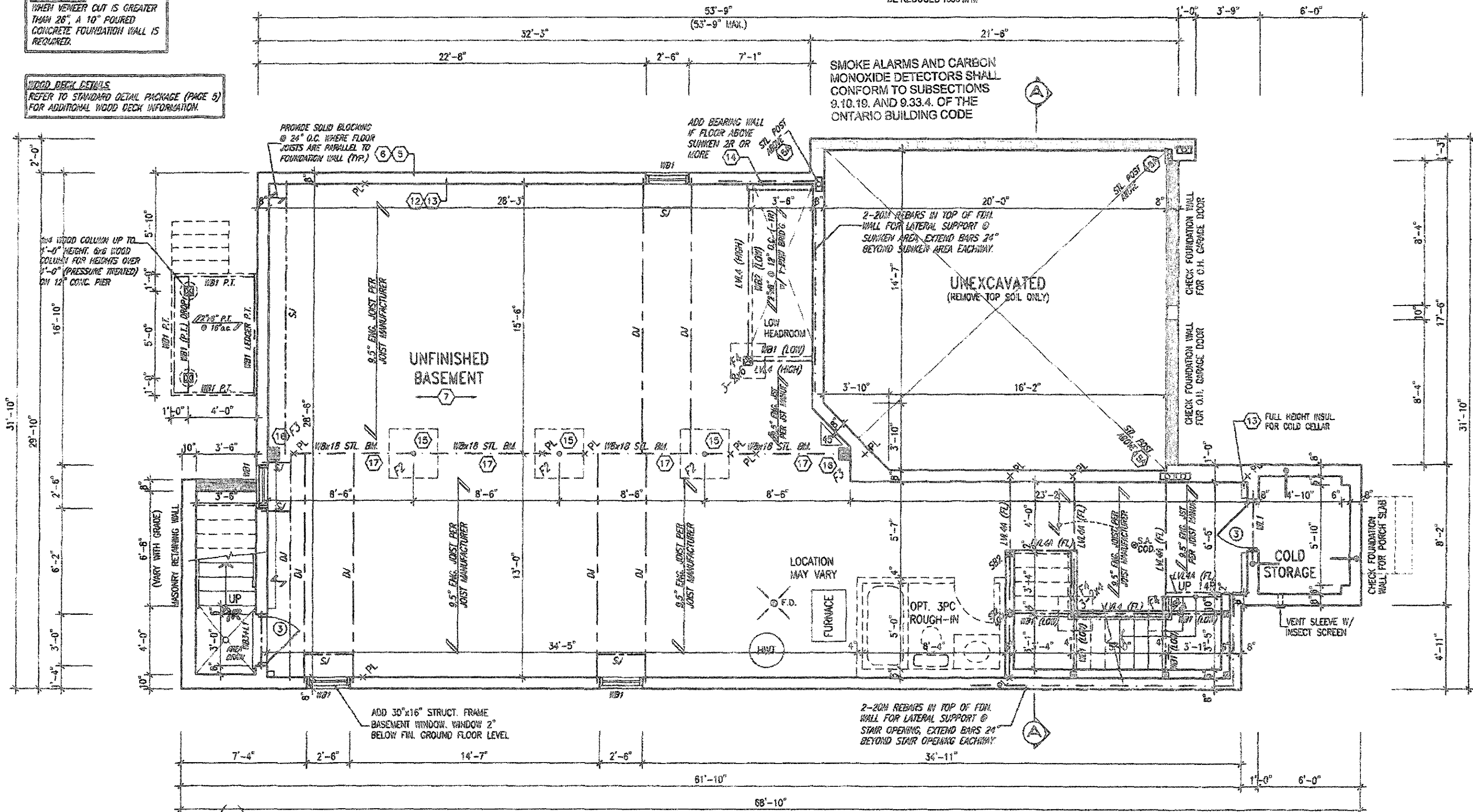
INDICATES REDUCED SIDE YARD CONDITION

VEENER CUT
WHEN VEENER CUT IS GREATER
THAN 26", A 10" FURRED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL WOOD DECK INFORMATION.

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM

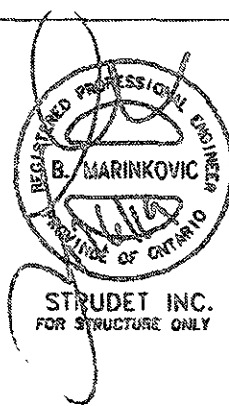
2959 SF.



BASEMENT PLAN - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval only comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for obtaining or approving any (other) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON



JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: AUG 08 2019
DESIGNED BY: J. Williams
CHECKED BY: J. Williams
DRAWN BY: J. Williams

no.	description	date	by	no.	description	date	by
18				8			
17				7			
16				6			
15				5	PRESTON 3-025 PER CUSTOM REQUEST	JUN 28/19	GM
14				4	ISSUED FOR PERMIT	DEC 20/18	GM
13				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 28/18	GM
12				2	REVISED ROOF SLOPES PER A.C.	SEP 28/18	GM
11				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP 19/18	GM
10							

This undersigned has assumed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
name
signature
24459
42658
VAB Design Inc.
255 Consumers Rd Suite 120
Toronto, ON M2J 1M4
416.630.2155 / 416.630.4782
vabdesign.com

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416.630.2155 / 416.630.4782
vabdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
date
SEPT. 2018
drawing no.
18023-3-025
scale
3/16" = 1'-0"

PRESTON 3
11.6m
project no.
18023
drawing no.
A10

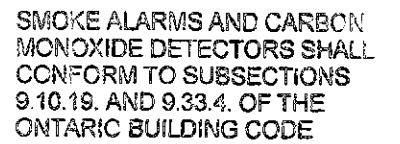
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE

JUL 30 2019

PRESTON 3-025
ENERGY STAR

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INDICATES REDUCED SIDE YARD CONDITION



OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

FULL HEIGHT WALL DETAIL:
SEE DETAIL ON PAGE 10

PRESTON 3-025
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL

APPROVED BY [Signature]
DATE AUG 08 2018
This document is the property of the FBI and is loaned to your agency; it and its contents are not to be distributed outside your agency.

REGISTERED PROFESSIONAL ENGINEER
MARINKOVIC
12345
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. OLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS FURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____
JUL 20 2011

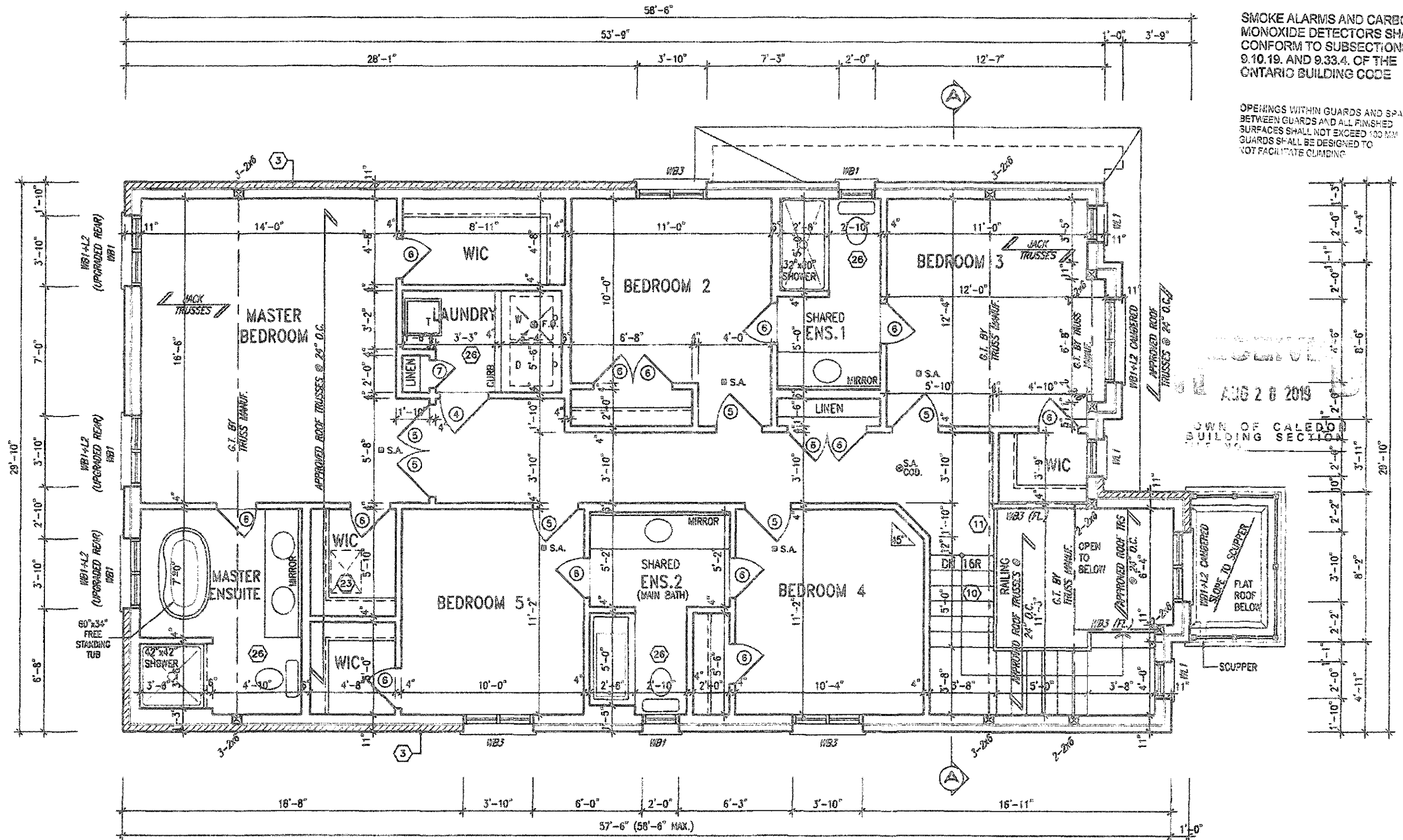
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2959 SF.

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



SECOND FLOOR PLAN (5 BED) - ELEV. '2'



STRUDET INC.
FOR STRUCTURE ONLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHROOM IN MAIN BATHROOM. REFER TO OBC. 9.3.2.3, 9.3.3.2.1(1)(a) & 9.3.3.13.1(1)(a).

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
DATE: AUGUST 2019
THIS CERTIFICATE IS VALID FOR THE PERIOD OF ONE YEAR FROM THE DATE OF ISSUANCE.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	PRESTON 3-025 FOR CUSTOM REQUEST	JUN 28/19	GW
13				4	ISSUED FOR PERMIT	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP 23/18	GW
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW	SEP 19/18	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
certification information
Richard Vink
signature
24420
V3 DESIGN
255 Consumers Rd Suite 120
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v3design.com

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Tel: 416.630.2259 F: 416.630.4782
v3design.com

Greenpark
LAMBERTS LANE HOME CORP. PH.2
CALEDON
SECOND FLOOR PLAN- ELEV. '2'
DATE: SEPT. 2019
DESIGN BY: GW
CHECKED BY: GW
SCALE: 3/16" = 1'-0"

PRESTON 3
11.6m
project no. 18023
drawing no. A3a

THIS DRAWING MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE

JUL 30 2019

PRESTON 3-025
ENERGY STAR

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Architectural elevation drawing of a two-story house with a garage. The drawing includes various materials, dimensions, and annotations.

Materials and Annotations:

- 7" PRECAST CONC. WINDOW SURROUND ON PRECAST CONC. SILL OVER 7" BAND (TYP.)
- 7" PRECAST CONC. HEADER
- BRICK VENEER (TYP.)
- 20" HIGH DECORATIVE RAILING
- PRECAST CONC. SILL OVER 7" CONC. BAND
- POURED CONC. PORCH SLAB AND DOOR SILL
- PARSONS PRECAST STAIRS
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)
- ASPHALT SHINGLES (TYP.)
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1" x 6" ALUM. CLAD FRIEZE BD.
- 7" PRECAST CONC. HEADER
- PRECAST CONC. SILL (TYP.)
- PREFIN. WTL. FLASHING, W/ CAULKING TO MATCH (TYP.)
- ASPHALT SHINGLES (TYP.)
- 10" PRECAST CONC. HEADER
- BRICK VENEER (TYP.)
- PRECAST CONC. SILL OVER STONE VENEER (TYP.)

Dimensions and Notes:

- 1'-0", 2'-0", 1'-0", 1'-8", 1'-0", 1'-0", 1'-8", 1'-0", 1'-0" TYP.
- 9:12, 6:12, 8:12, 9:12, 9:12, 18:12
- 6'-0", 6'-0", 10'-3", 4'-8", 7'-10", 1'-10"
- TOP OF PORTICO PARAPET
- U/S OF GARAGE SOFFIT
- 8'-0"x7'-0" O/H GARAGE DOOR GD-2A
- 8'-0"x7'-0" O/H GARAGE DOOR GD-2A
- 10" PRECAST CONC. SURROUND
- STEPPED FOOTING

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OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM;
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS SIGNATURE MUST BE
 SUBMITTED TO WEST ON
 CALIFORNIA PROPOSITION OF
 THE OFFICIAL BALLOT CODE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND ASSOCIATES

DATE: AUG 28 1965

THE UNIVERSITY OF CHICAGO
CHICAGO, ILLINOIS 60637
U.S. DEPARTMENT OF AGRICULTURE
WASHINGTON, D.C. 20250



JUL 30 2009

PRESTON 3-025
ENERGY STAR

[illegible]

1. The first step in the process of the investigation is to identify the problem or issue that needs to be addressed. This involves gathering information about the situation and determining the scope of the investigation.

2959 SF.

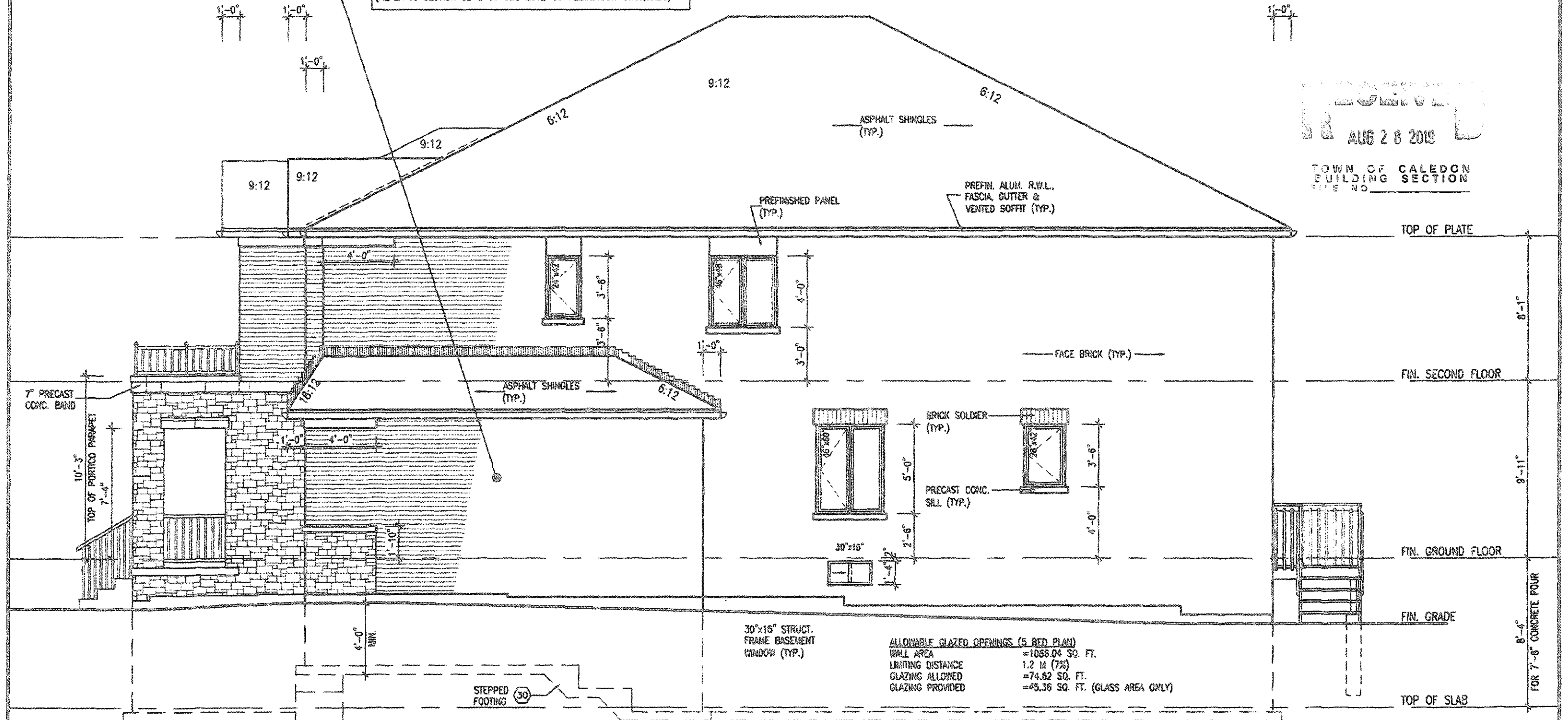
BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
35 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE 2012 OBC AND 2012 CODE

RECEIVED
AUG 28 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.



RIGHT SIDE ELEVATION '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING
AND APPROVAL
DATE: AUG 08, 2019
This plan conforms to all applicable building codes and regulations and is approved for construction.

18			9				
17			8				
16			7				
15			6				
14			5	PRESTON 3-025 PER CUSTOM REQUEST	JUN 28/19	GW	
13			4	ISSUED FOR PERMIT	DEC 20/18	GW	
12			3	ROOF-FLOOR-ENG. CO-ORD	NOV 29/18	GW	
11			2	REVISED ROOF SLOPES PER A.C.	SEP 25/18	GW	
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	SEP 19/18	GW	
9	no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature: R. Vink
24-988
43668
V3 Design Inc.
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.830.2255 f 416.830.4782
v3design.com

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.830.2255 f 416.830.4782
v3design.com

Greenpark

PRESTON 3
11.6m

18023

RIGHT SIDE ELEVATION - ELEV. '2'

18023-PRESTON-3-025

A6a

PROJECT NAME
LAMBERTS LANE HOME CORP. PH.2

DATE
SEPT. 2018

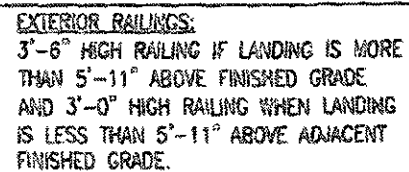
DESIGNED BY
V3

CHECKED BY
V3

SCALE
3/16" = 1'-0"

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THE UNIVERSITY OF
SOUTH ALABAMA
LIBRARY
360 UNIVERSITY BLVD
MOBILE, AL 36688-3000



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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTING, REVIEWS
AND APPRAISAL

APPROVED BY _____
DATE _____ *MICHAEL J. JAY*

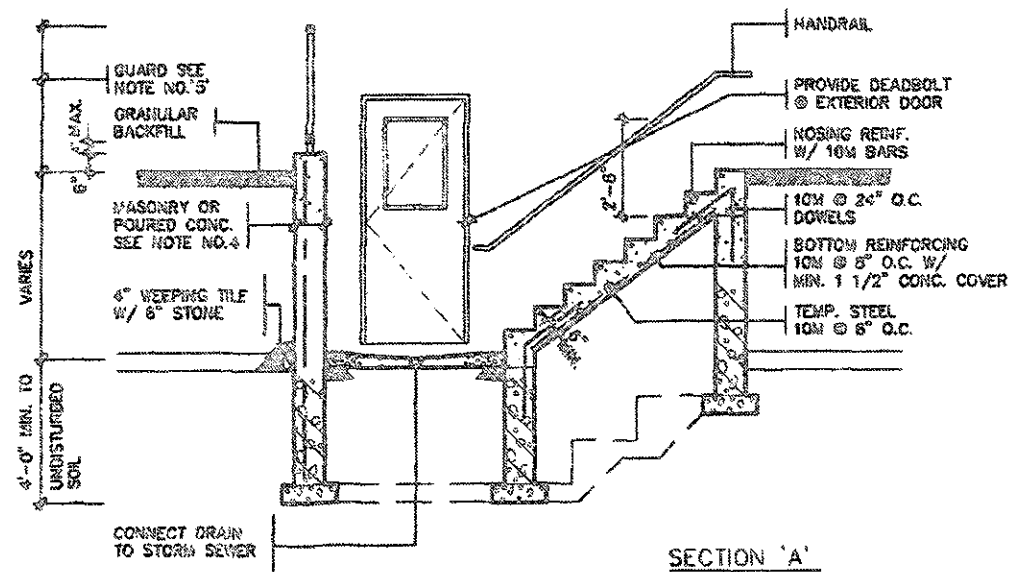
This drawing can be used for any purpose without fee or charge
except as noted on this drawing and on the
drawing itself. NO OTHERS.

REAR ELEVATION '2'-
DECK/WALK-UP CONDITION

JUL 30 2018

PRESTON 3-025
ENERGY STAR

[illegible]

[illegible]

1. FOOTINGS
18" x 8" POURED CONCRETE FOOTING.
ALL FOOTINGS SHALL REST ON
NATURAL UNDISTURBED SOIL OR
COMPACTED ENGINEERED FILL.
2. CONCRETE
MINIMUM COMPRESSIVE STRENGTH
OF (5250 PSI) 4550 PSI @ 28 DAYS W/
5% TO 8% AIR ENTRAINMENT
3. EXTERIOR STAIRS
7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
8 1/8" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM
4. RETAINING WALL
10" POURED CONCRETE
W/ NO REINFORCING REQUIRED FOR
WALL HEIGHTS TO A MAX. OF 4'-7"
PROVIDE 15M VERTICAL REINFORCEMENT
@ 10' O.C. & 15M HORIZONTAL REINFORCEMENT
@ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING
WALL TO RESIST LATERAL DESIGN LOADS AS PER
OBC DIVISION B SECTION 4.1.5.16.
5. GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE
TO BOTTOM OF WALKOUT EXCEEDS 3'-11".
2'-11" FOR LESSER HEIGHTS. MAXIMUM 4"
BETWEEN VERTICAL PICKETS

SCALE: N.T.S.

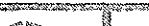
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

Architectural cross-section drawing of a house. The drawing shows the following components and dimensions:

- Roof:** Gabled roof with a pitch of 9:12. Roofing is indicated by a hatched pattern.
- Second Floor:** Labeled "BEDROOM 3". The ceiling is marked "TOP OF PLATE". The floor is marked "FIN. SECOND FLOOR". A staircase with a railing is shown.
- First Floor:** Labeled "GARAGE". The ceiling is marked "FIN. GROUND FLOOR". The floor is marked "FIN. GRADE". A staircase is shown leading down to the basement.
- Basement:** Labeled "UNFINISHED BASEMENT". The floor is marked "TOP OF SLAB". A concrete pour is indicated for the basement floor.
- Dimensions:**
 - Roof pitch: 9:12
 - Second floor height: 8'-1"
 - First floor height: 9'-11"
 - Garage height: 7'-10" U/S OF GARAGE SOFFIT
 - Basement height: 4'-9" MIN., 8'-6" MAX. FOR 7'-8" CONCRETE POUR
 - Basement floor: 7'-0" MAX. FOR 8'-15' W/F
 - Basement wall: 8'-11" MIN., 8'-6" MAX. FOR 7'-8" CONCRETE POUR
- Callouts:** Numbered circles 1 through 19 are placed throughout the drawing to identify specific structural elements.
- Date and Title:** "AUG 28 2019" and "W.D. OF CALEDON PLING SECTION" are stamped in the upper right corner.

3100

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

18		9				The undersigned has reviewed and takes responsibility for this design and from this date forwards and makes the relationship set out in the Ontario Building Code to be a Designer.		 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 Tel: 416-630-2236 • Fax: 416-630-4782 va3design.com	 Greenpark. LAMBERTS LANE HOME CORP. PH.2 CALEDON SECTION A-A, ELEV. '2' 18023-PRESTON-3-025 A8c	project no. 18023		
17		8										
16		7				qualification information						
15		6				Richard Vink	24486					
14		5	PRESTON 3-025 PER CUSTOM REQUEST	JUN 28/19	CW	name	signature				5291	
13		4	ISSUED FOR PERMIT	DEC 23/18	CW	regulatory information	VA3 Design Inc.				42689	
12		3	ROOF-FLOOR-ENG. CD-ORD.	NOV 29/18	CW	description must include all dimensions on the job and reference drawings to which it applies.						
11		2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	CW	consent to the Designer before proceeding with the work. All drawings and specifications are subject to change and the property owner shall remain responsible for the removal of the completion of the work.						
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	SEP. 19/18	CW							
no.	description	date	by	no.	description	date	by					

All species mentioned below are found in the same area as the above species.