

THESE DRAWINGS MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CANADIAN BUILDING CODE

STRIP FOOTINGS

FOR SINGLES & SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

100 KPa NATIVE SOIL

- 22"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
- OR
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

(ASSUME 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 40 KPa FOR ENGINEERED FILL TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x16" CONCRETE PAD
- F3 = 30"x30"x12" CONCRETE PAD
- F4 = 24"x24"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 38"x38"x18" CONCRETE PAD
- F3 = 32"x32"x14" CONCRETE PAD
- F4 = 26"x26"x12" CONCRETE PAD
- F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 40"x40"x18" CONCRETE PAD
- F3 = 34"x34"x14" CONCRETE PAD
- F4 = 28"x28"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

- KL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2
- KL2 = 4"x3-1/2"x3/8" (125x90x6.0) + 2-2"x8" SPR. No.2
- KL3 = 5"x3-1/2"x3/8" (125x90x6.0) + 2-2"x10" SPR. No.2
- KL4 = 6"x3-1/2"x3/8" (150x90x6.0) + 2-2"x12" SPR. No.2
- KL5 = 6"x4"x3/8" (150x100x6.0) + 2-2"x12" SPR. No.2
- KL6 = 5"x3-1/2"x3/8" (125x90x6.0) + 2-2"x12" SPR. No.2
- KL7 = 5"x3-1/2"x3/8" (125x90x6.0) + 3-2"x10" SPR. No.2
- KL8 = 5"x3-1/2"x3/8" (125x90x6.0) + 3-2"x12" SPR. No.2
- KL9 = 6"x4"x3/8" (150x100x6.0) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

- KB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
- KB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
- KB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
- KB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
- KB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
- KB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
- KB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
- KB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
- KB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4" x 7 1/4" (4-45x184)
- LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
- LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
- LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
- LVL4A = 1-1 3/4" x 9 1/2" (4-45x240)
- LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
- LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
- LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
- LVL6A = 1-1 3/4" x 11 7/8" (4-45x300)
- LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
- LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
- LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
- LVL8 = 2-1 3/4" x 14" (2-45x356)
- LVL9 = 3-1 3/4" x 14" (3-45x356)
- LVL10 = 4-1 3/4" x 14" (4-45x356)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR EQUIVALENT.

LOOSE STEEL LINTELS

- L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0)
- L2 = 4"x3-1/2"x3/8" (100x90x6.0)
- L3 = 5"x3-1/2"x3/8" (125x90x6.0)
- L4 = 6"x3-1/2"x3/8" (150x90x6.0)
- L5 = 6"x4"x3/8" (150x100x6.0)
- L6 = 7"x4"x3/8" (175x100x6.0)

DOOR SCHEDULE

- 1 = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR
- 1a = 3'-0" x 7'-10" (815x2381) - INSULATED FRONT DOORS
- 2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
- 3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
- 4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
- 5 = 2'-8" x 6'-8" x 1-3/8" (780x2033x35) - INTERIOR SLAB DOOR
- 6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
- 7 = 1'-6" x 6'-8" x 1-3/8" (480x2033x35) - INTERIOR SLAB DOOR
- 8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGES FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

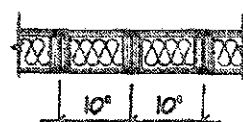
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT C/M SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. FLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

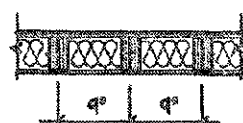
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) USE STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT C/M SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) USE STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @4" O.C. FULL HT C/M SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

AREA CALCULATIONS

ELEV. 3

GROUND FLOOR AREA				1563	Sq. Ft.
SECOND FLOOR AREA				1641	Sq. Ft.
TOTAL FLOOR AREA				3204	Sq. Ft.
				299.79	Sq. M.
1st FLOOR OPEN AREA				0	Sq. Ft.
2nd FLOOR OPEN AREA				0	Sq. Ft.
ADD TOTAL OPEN AREAS				0	Sq. Ft.
ADD FIN. BASEMENT AREA				0	Sq. Ft.
GROSS FLOOR AREA				3204	Sq. Ft.
				299.79	Sq. M.
GROUND FLOOR COVERAGE				1565	Sq. Ft.
GARAGE COVERAGE / AREA				402	Sq. Ft.
PORCH COVERAGE / AREA				80	Sq. Ft.
TOTAL COVERAGE W/ PORCH				1945	Sq. Ft.
				171.41	Sq. M.
TOTAL COVERAGE W/O PORCH				1165	Sq. Ft.
				107.97	Sq. M.

KINMOUNT 6A - ELEV. 3

ELEVATION	WALL FT	(WALL M)	OPENING FT	(OPENING M)	PERCENTAGE
FRONT	774.66	(11.97)	124.95	(11.6)	16.15 %
LEFT SIDE	1425.54	(132.44)	26.38	(2.45)	1.85 %
RIGHT SIDE	1318.50	(128.01)	74.04	(13.4)	5.63 %
REAR	461.27	(84.36)	141.12	(17.16)	19.75 %
TOTAL	4400.00	(421.84 M)	421.44	(41.66 M)	9.58 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

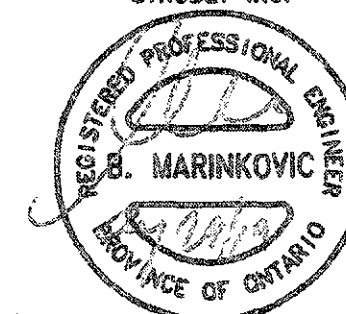
ENERGY STAR V-11

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R30)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R30)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R27.5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	5.52 (R31.2)
EDGE OF BELOW GRADE SLAB 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.75 (R10)
SLAB 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.75 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR @ ZONE 2 (ER 24WV 14)
SPACE HEATING EQUIPMENT MINIMUM ARIE	MIN. 90% ARIE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HVAC MINIMUM EFFICIENCY	TIER 2 15% SRE ENERGY STAR @ HVV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR FLOW
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE EFFICIENCY
DRAIN WATER HEAT RECOVERY	TWO SHAKERS + 42% STEADY RS-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (25 ACH/0.15 NJR) ATTACHED LEVEL 1 (30 ACH/0.25 NJR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	15% CFLs OR LEDS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

STRUDET INC.



AUG 23 2019

FOR STRUCTURE ONLY



ESCC MODEL
ENERGY STAR - V 17

KINMOUNT 6A-074

E N E R G Y S T A R



PROJECT NAME
LAMBERTS LANE HOME CORP. II

NO.	REVISIONS	DATE
1.	REVISED FOR LOT 74	AUG 2019

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GALLAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CNDORON, ONTARIO
L4K 4S6
P (416) 736-4098
F (905) 880-8746

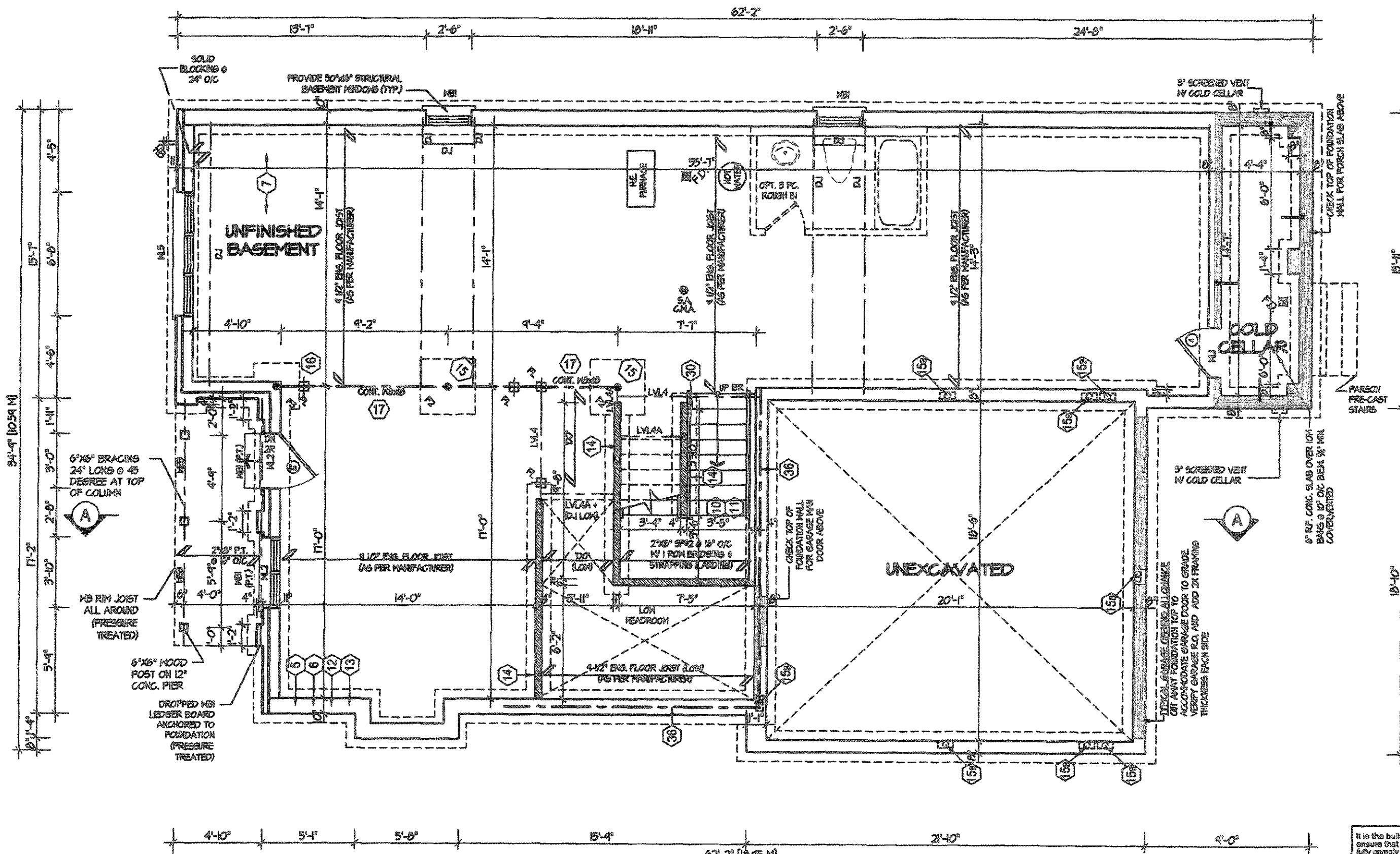


SHEET TITLE	
AREA CHARTS	
SCALE	3/16"=1'-0"
DATE	AUG 2019
BY	ZMP
AREA	3054

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE NO.
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APPLICANT COPY

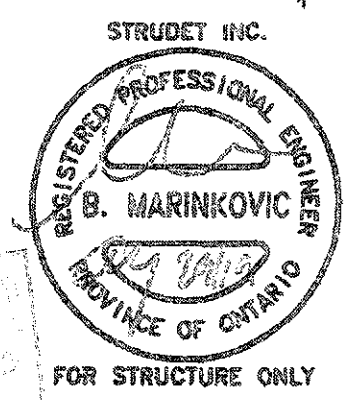


BASEMENT PLAN ELEV. 3

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1950 MM

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.10. AND 9.33.4. OF THE ONTARIO BUILDING CODE

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



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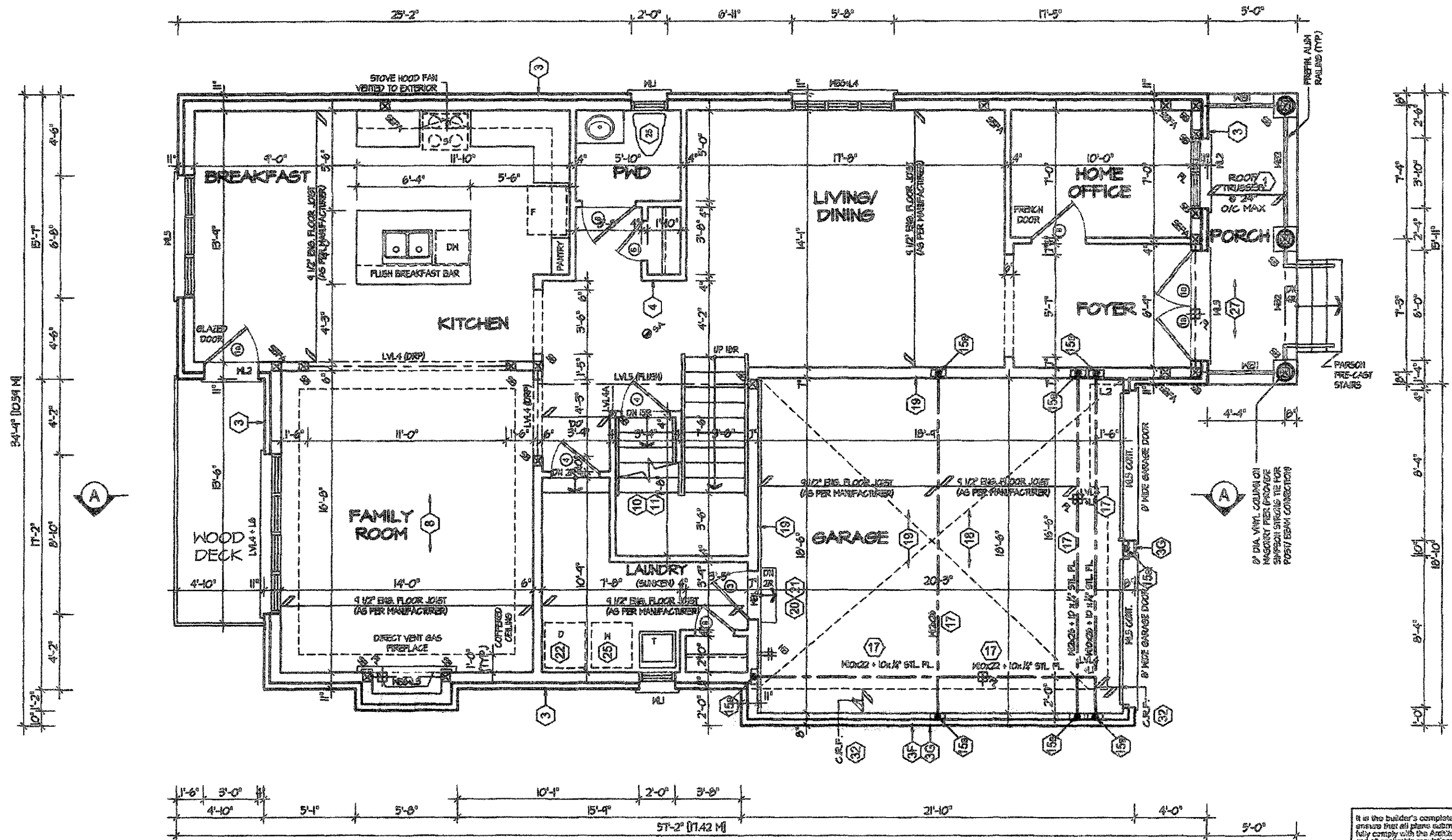
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED BY: [Signature]
DATE: 10/05/2019
This seal is current to the 31st of March 2020. Design is intended only for the use of the professional responsible.

KINMOUNT 6A-074

ENERGY STAR

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME  SIGNATURE 28770 BCIN	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S9 P (416) 736-0000 F (905) 860-0748	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.					BASEMENT PLAN 3				PAGE No.	1
3.					SCALE	BY				
2.					3/16"=1'-0"	ZMP				
1.	REVISED FOR LOT 74				DATE	AREA				
REVISIONS										



GROUND FLOOR PLAN ELEV. 3

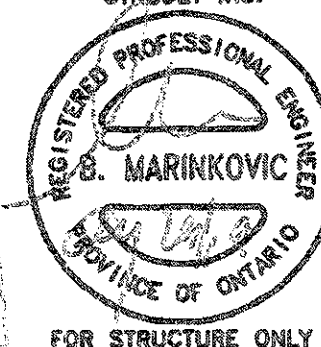
SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

3/4 HR. F.R.R.

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving the (posting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY
DATE SEP 03, 2019
The Control Architect certifies that the plans comply with the applicable Architectural Design Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

KINMOUNT 6A-074

ENERGY STAR

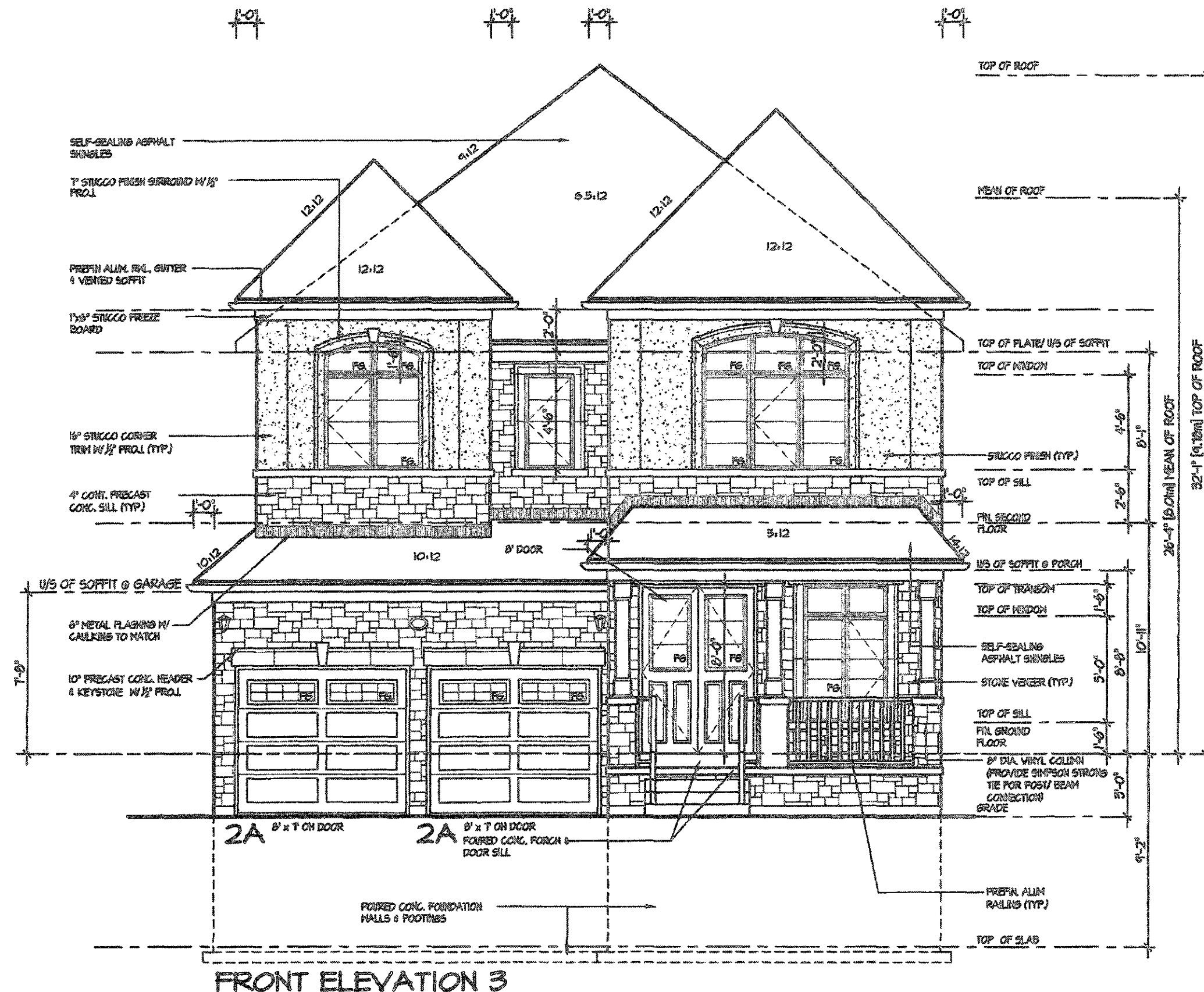
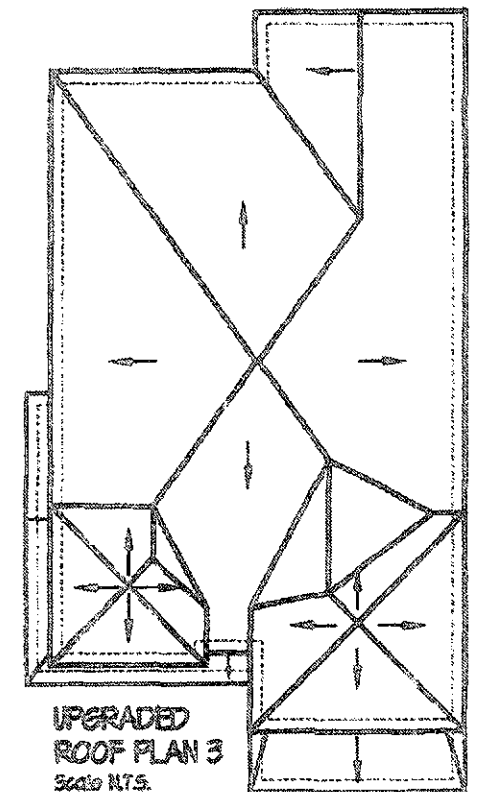
AUG 23 2019

2

5. REVISIONS 1. REVISED FOR LOT 74 AUG 2019	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-3098 F (905) 650-0740	REGION DESIGN INC.	SHEET TITLE GROUND FLOOR PLAN 3 SCALE 3/16"=1'-0" DATE AUG 2019 BY ZMP AREA 3054	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No.	Greenpark PROJECT NAME LAMBERTS LANE HOME CORP. II
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1. REVISED FOR LOT 74		AUG 2019		This undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. COVINGTON, ONTARIO L4K 4S6 P (416) 735-6086 F (905) 680-0746		REGION DESIGN INC.		SHEET TITLE SECOND FLOOR PLAN 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
REVISIONS								SCALE 3/16"=1'-0"		BY ZMP		PAGE NO. 3		PROJECT NAME LAMBERTS LANE HOME CORP. II	
								DATE AUG 2019		AREA 3054					

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE DARTMOUTH BUILDING CODE



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL CONTROL SERVICE
AND SURVEY

APPROVED BY _____
DATE SEP 03, 2019

This stamp certifies compliance with the Federal Control
Design Guidelines and does not constitute a
guarantee of performance.

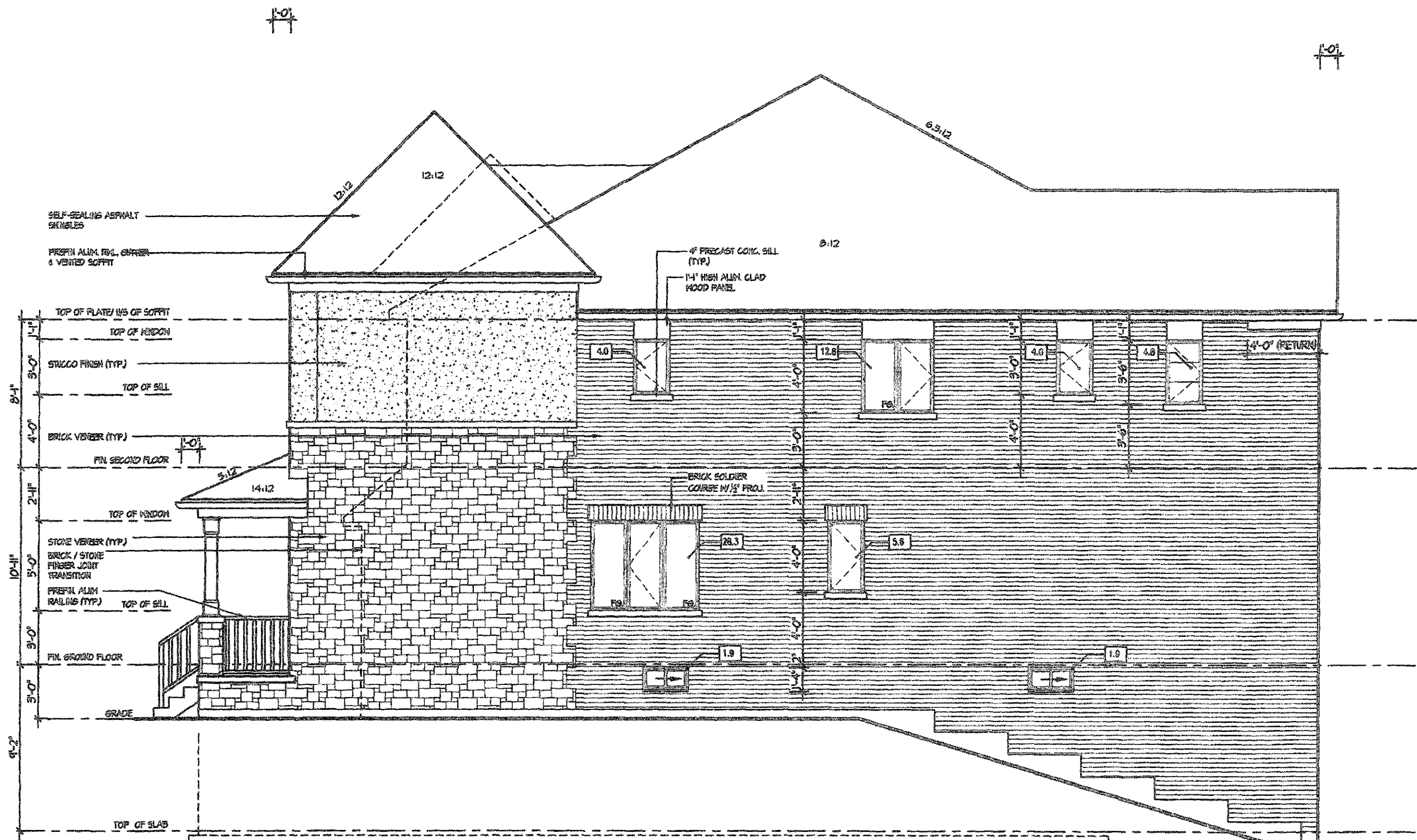
KINMOUNT 6A-074

ENERGY STAR

Greenpark.

PROJECT NAME
LAMBERTS LANE HOME CORP. II

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO LAK J58 P (416) 736-4099 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.					FRONT ELEVATION 3				
3.					SCALE	BY			PAGE NO.
2.					3/16"=1'-0"	ZMP			4
1.	REVISED FOR LOT 74				AUG 2019	AREA			3054
REVISIONS						PROJECT NAME		LAMBERTS LANE HOME CORP. II	



RIGHT SIDE ELEVATION 3

ALLOWABLE GLAZING			
WALL AREA	=	1515	Sq. Ft.
ALLOWABLE GLAZED AREA @ T/S 12 M SIDE YARD	=	95.46	Sq. Ft.
ACTUAL GLAZED AREA	=	69.3	Sq. Ft.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 2019
This stamp certifies compliance with the applicable Architectural Guidelines only. It does not constitute a professional seal or license.

AUG 28 2019 KINMOUNT 6A-074

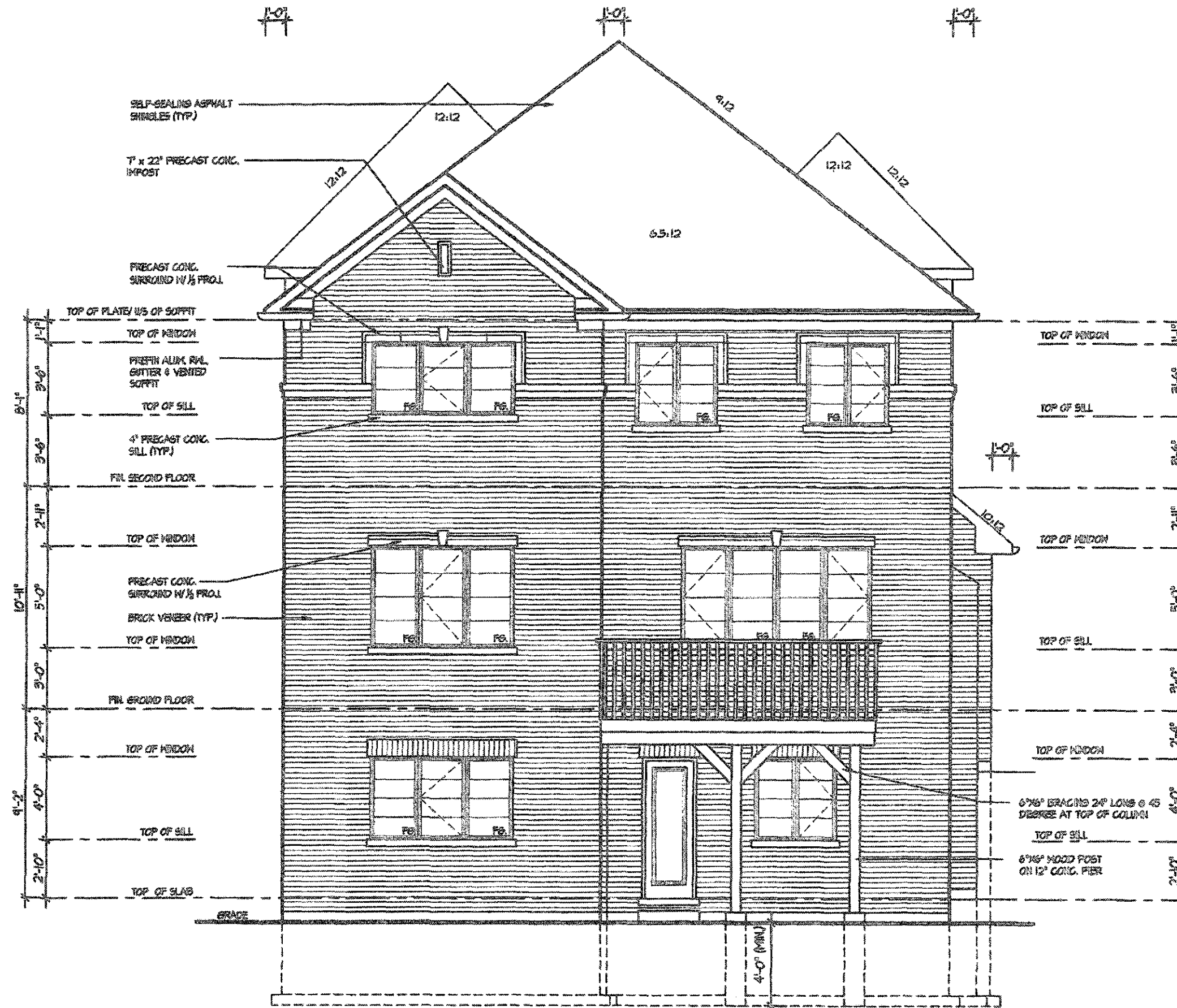
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4. []					SCALE 3/16"=1'-0"										
3. []					BY ZMP										
2. []					DATE AUG 2019										
1. REVISED FOR LOT 74					AREA 3054										
REVISIONS		AUG 2019													



OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



UPGRADED
REAR
ELEVATION 3

PLANS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN

WHEN VENEER CUT IS GREATER THAN
28\"/>

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Central
Architect is not responsible in any way for
examining or approving site (filling) plans or
existing drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the
TOWN OF CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTRACT REVIEW
AND APPROVAL
DATE: SEP 24, 2019
This stamp certifies compliance with the applicable
Design Guidelines and any provisions in the
subdivision agreement.

KINMOUNT 6A-074

ENERGY STAR



PROJECT NAME
LAMBERTS LANE HOME CORP. II

REVISIONS	
1. REVISED FOR LOT 74	AUG 2019

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

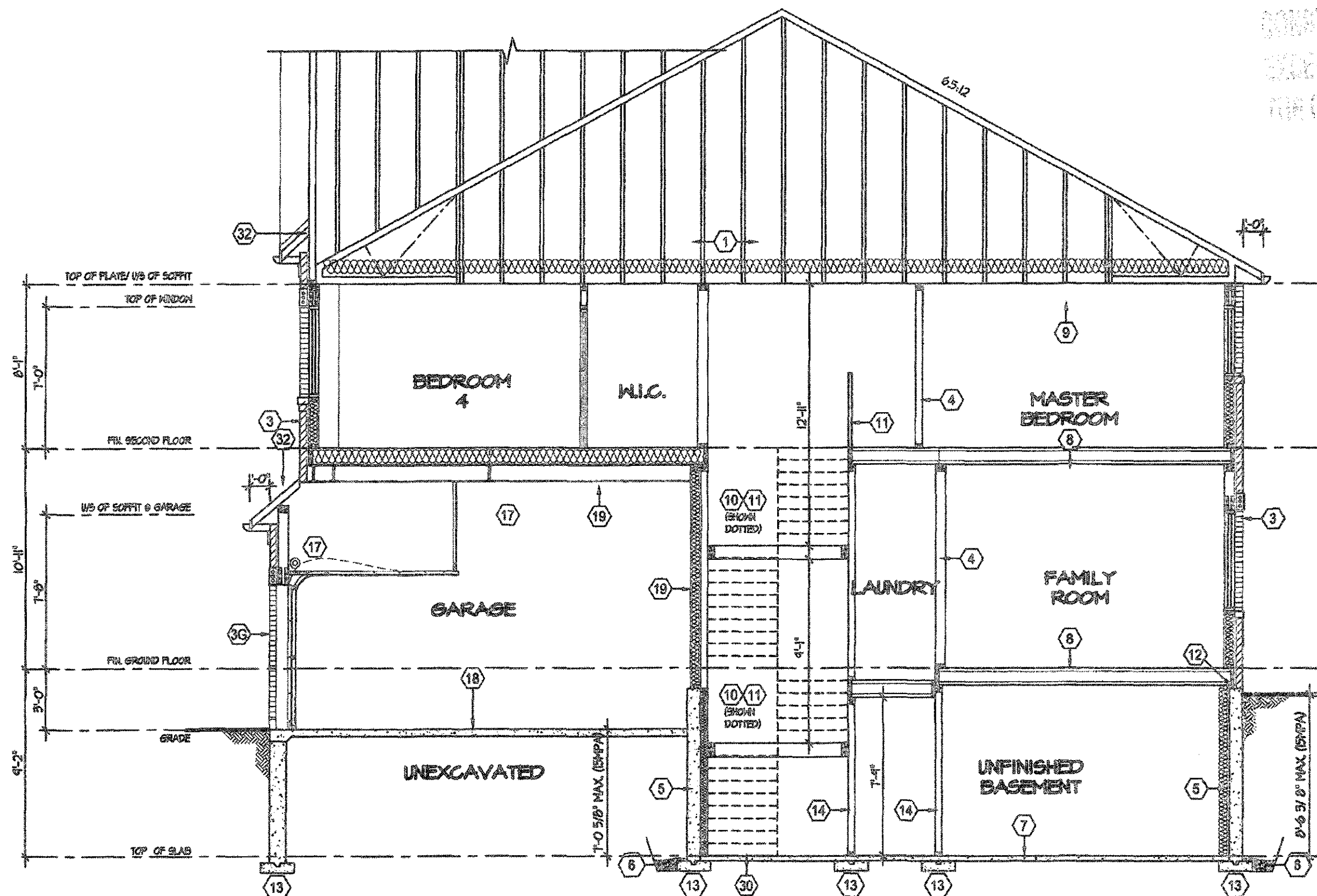
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4036
F (905) 880-0746

REGION
DESIGN
INC.

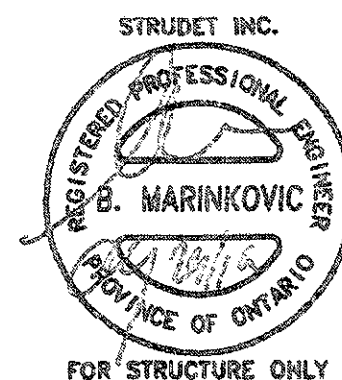
SHEET TITLE
UPGRADED
REAR ELEVATION 3
SCALE
3/16"=1'-0"
DATE
AUG 2019
BY
ZMP
AREA
3054

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.
PAGE No.
7

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



SECTION A-A



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (posting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the TOWN OF CALEDON.

AUG 23 2019

KINMOUNT 6A-074

E N E R G Y S T A R

5. 4. 3. 2. 1. REVISED FOR LOT 74 AUG 2019 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L/K 456 P (416) 736-4088 F (905) 680-0748 REGION DESIGN INC.	SHEET TITLE CROSS SECTION SCALE 3/16"=1'-0" DATE AUG 2019 BY ZMP AREA 3054	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. PAGE No. 8	Greenpark PROJECT NAME LAMBERTS LANE HOME CORP. II
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