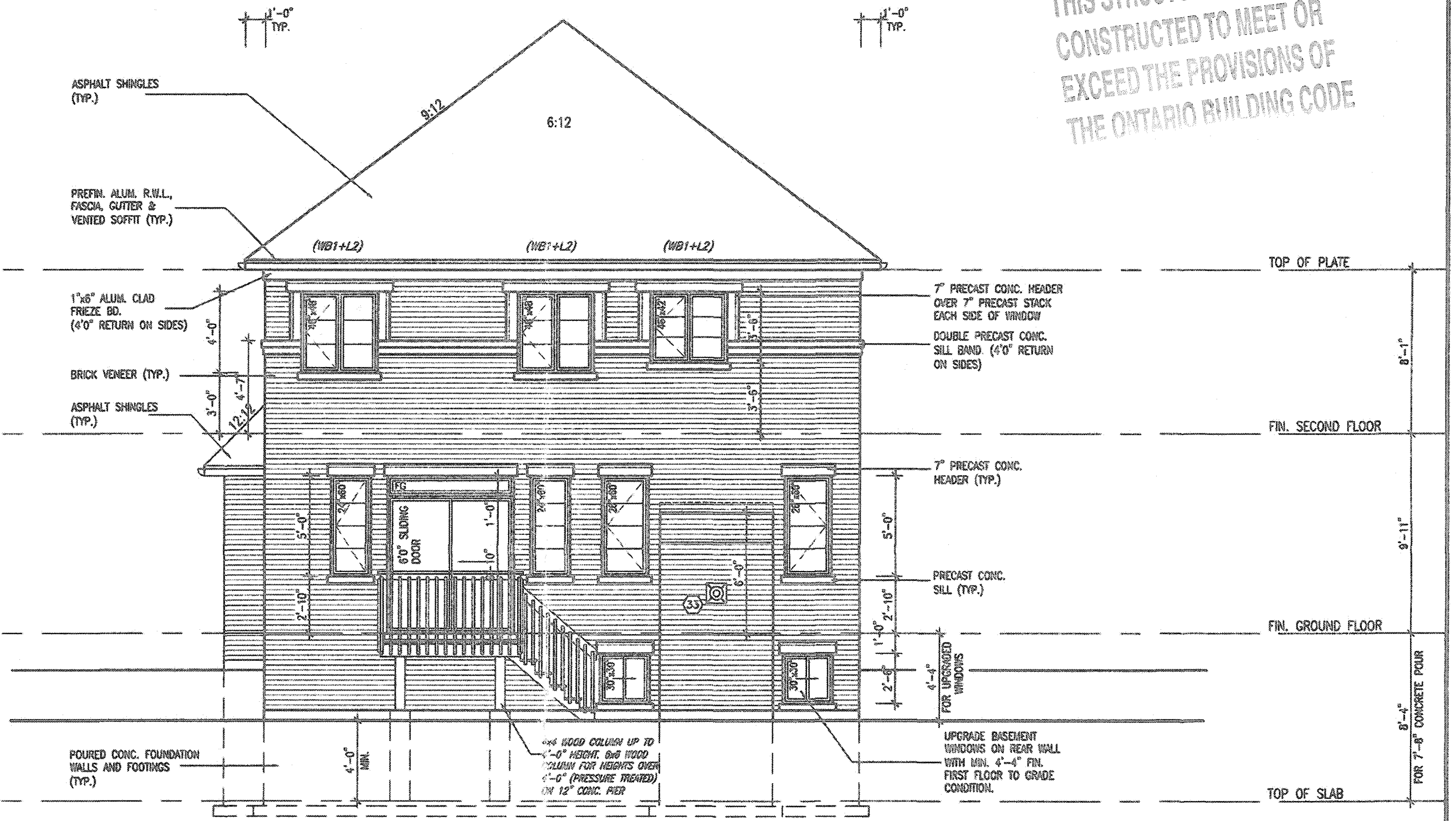


2959 SF.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 31, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

UPGRADED REAR ELEVATION '2' DECK CONDITION

Lot 57

Lot 57

RECEIVED
AUG 30 2019
TOWN OF CALEDON
BUILDING SECTION

JUL 30 2019

PRESTON 3
ENERGY STAR

18			9		
17			8		
16			7		
15			6		
14			5	ADD UPGRADE REAR DECK PER CLIENT.	JUL 30/19 GW
13			4	ISSUED FOR PERMIT.	DEC 20/18 GW
12			3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18 GW
11			2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18 GW
no.	description	date	by	no.	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code for a Designer.
questionnaire information
Richard Vink
signature
24488
42558
The Designer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are for the benefit of the owner and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

PROJECT NAME: LAMBERTS LANE HOME CORP. PH.2

CITY: CALEDON

DATE: SEPT. 2018

DESIGN BY: [Signature]

CHECKED BY: [Signature]

SCALE: 3/16" = 1'-0"

PROJECT NO: 18025-PRESTON-3

DRAWING NO: A16a

PRESTON 3
11.6m

18025