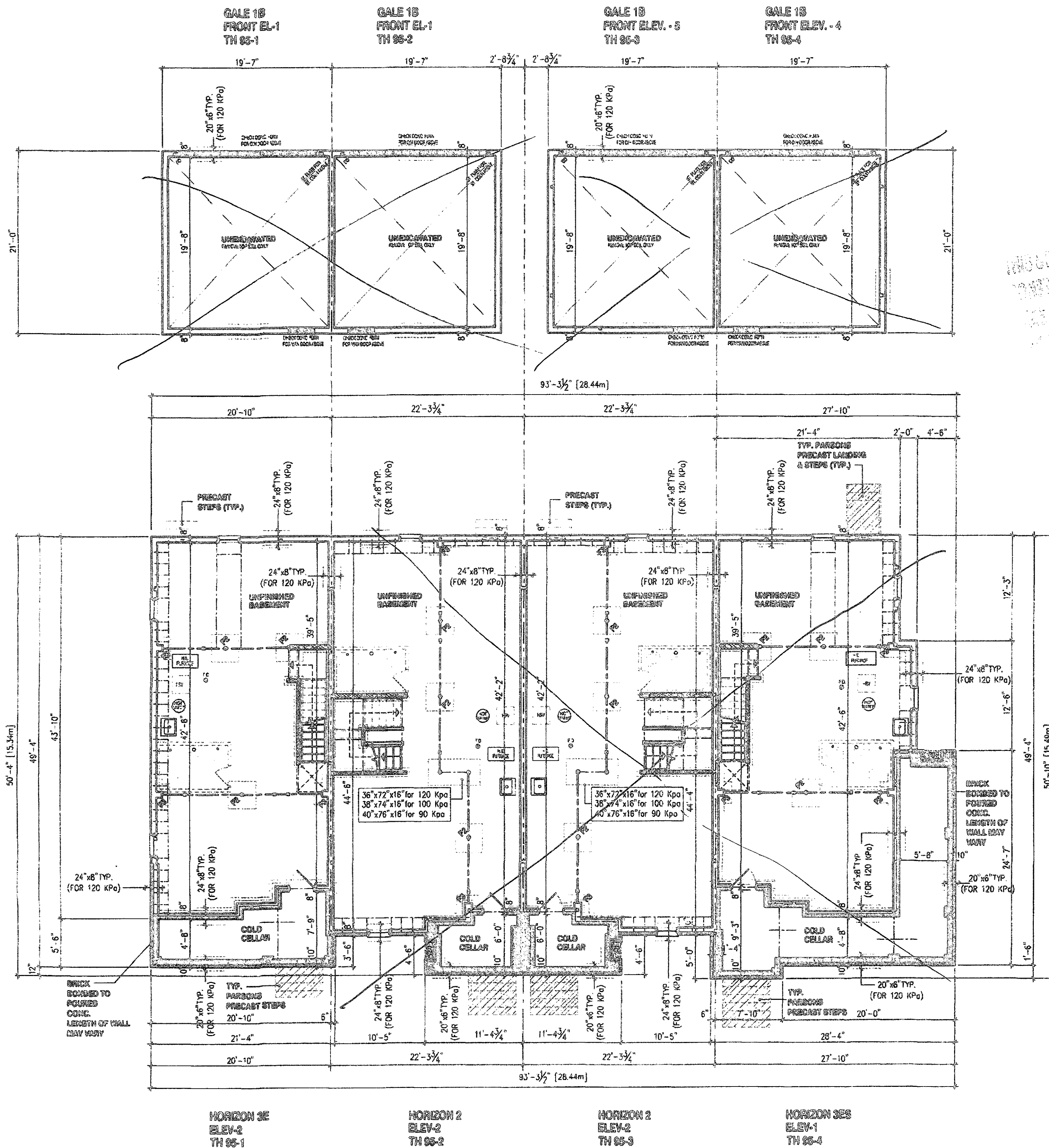




1-HR. ES.

Block 95-1

BLOCK 95

NOTE:

WHEN MEMBER CUT IS GREATER THAN 2" A 1" FOUNDED CONC. FOUNDATION WALL IS REQUIRED. FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x12" CONCRETE PAD
F2 = 36"x12" CONCRETE PAD
F3 = 30"x12" CONCRETE PAD
F4 = 24"x12" CONCRETE PAD
F5 = 18"x12" CONCRETE PAD

80 KPa ENGINEERED FILL SOIL

F1 = 48"x12" CONCRETE PAD
F2 = 42"x12" CONCRETE PAD
F3 = 36"x12" CONCRETE PAD
F4 = 30"x12" CONCRETE PAD
F5 = 24"x12" CONCRETE PAD

160 KPa NATIVE SOIL

F1 = 48"x12" CONCRETE PAD
F2 = 36"x12" CONCRETE PAD
F3 = 30"x12" CONCRETE PAD
F4 = 24"x12" CONCRETE PAD
F5 = 18"x12" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS FOR HORIZONS

REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

120 KPa NATIVE SOIL

20"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x8" CONCRETE STRIP FOOTINGS (WITH REIN.) BELOW PARTY WALLS

80 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS - WITH REIN., AS NOTED ON PLANS
32"x8" CONCRETE STRIP FTGS. BELOW EXT. WALLS - WITH REIN. (UNLESS OTHERWISE NOTED)
32"x8" CONCRETE STRIP FOOTINGS - WITH REIN., BELOW PARTY WALLS

160 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

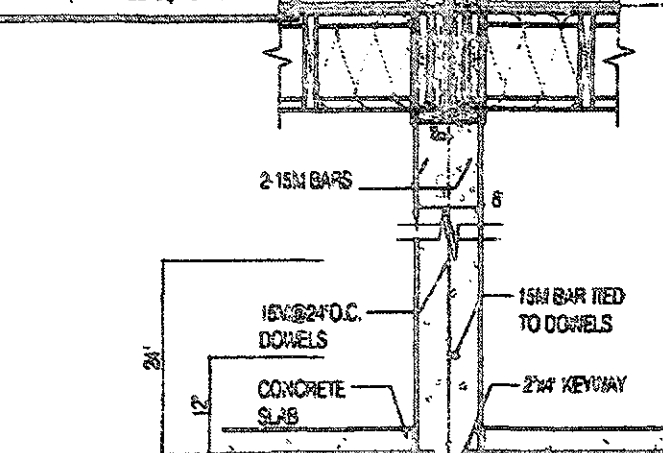
GENERAL NOTE:

REDUCED 160 KPa NATIVE SOIL BEARING CAPACITY OR 80 KPa FOR ENGINEERED FILL TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

PARTY WALL FOOTING SIZE

24"x8" WITH REBAR FOR 120 KPa
28"x8" WITH REBAR FOR 160 KPa
32"x8" WITH REBAR FOR 80 KPa



15M @ 18" O.C. FOR 25' WIDTH
15M @ 16" O.C. FOR 20' WIDTH
15M @ 10" O.C. FOR 32' WIDTH

2'x4 KEYWAY

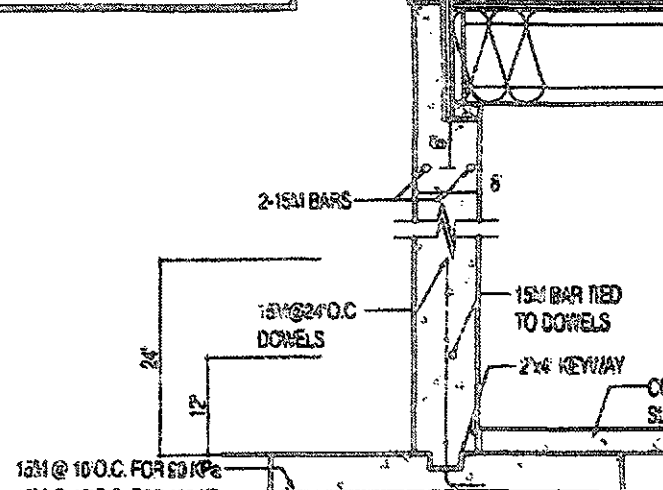
2'x12 KPa (25' 10' KPa) (32' 50' KPa)

SEE FOUNDATION PLAN FOR DIMENSIONS

PARTY WALL FOOTINGS

EXTERIOR STRIP FOOTING SIZE

24"x8" WITH REBAR FOR 120 KPa
28"x8" WITH REBAR FOR 160 KPa
32"x8" WITH REBAR FOR 80 KPa



15M @ 10" O.C. FOR 50 KPa
15M @ 16" O.C. FOR 100 KPa

24' 50 KPa (32' 50 KPa) (32' 50 KPa)

SEE FOUNDATION PLAN FOR DIMENSIONS

EXTERIOR STRIP FOOTINGS

REFER TO INDIVIDUAL

UNITS FOR

THE FOLLOWING:

- GROUND FLOOR ROOF STRUCTURE
- BASINMENT AND GROUND FLOOR LEVELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS BRACKETS BY MANUFACTURER

NOTE:

REFER TO GRADING PLAN FOR NUMBER OF STEPS

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (UNLESS CONC. SLAB) TO BE 32 KPa WITH 4-6% AIR ENTRAINMENT

BLOCK 95

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for expiring or approving site (zoning) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: JUL 17, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

STRUDET INC.



FOR STRUCTURE ONLY

NO CONTRACT SHALL BE ENTERED INTO BY ANY ENGINEER OR ARCHITECT WITHOUT THE SIGNATURE OF THE ENGINEER OR ARCHITECT. ANY CONTRACT ENTERED INTO WITHOUT THE SIGNATURE OF THE ENGINEER OR ARCHITECT SHALL BE VOID. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE.

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1	DEC 13 2018 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION

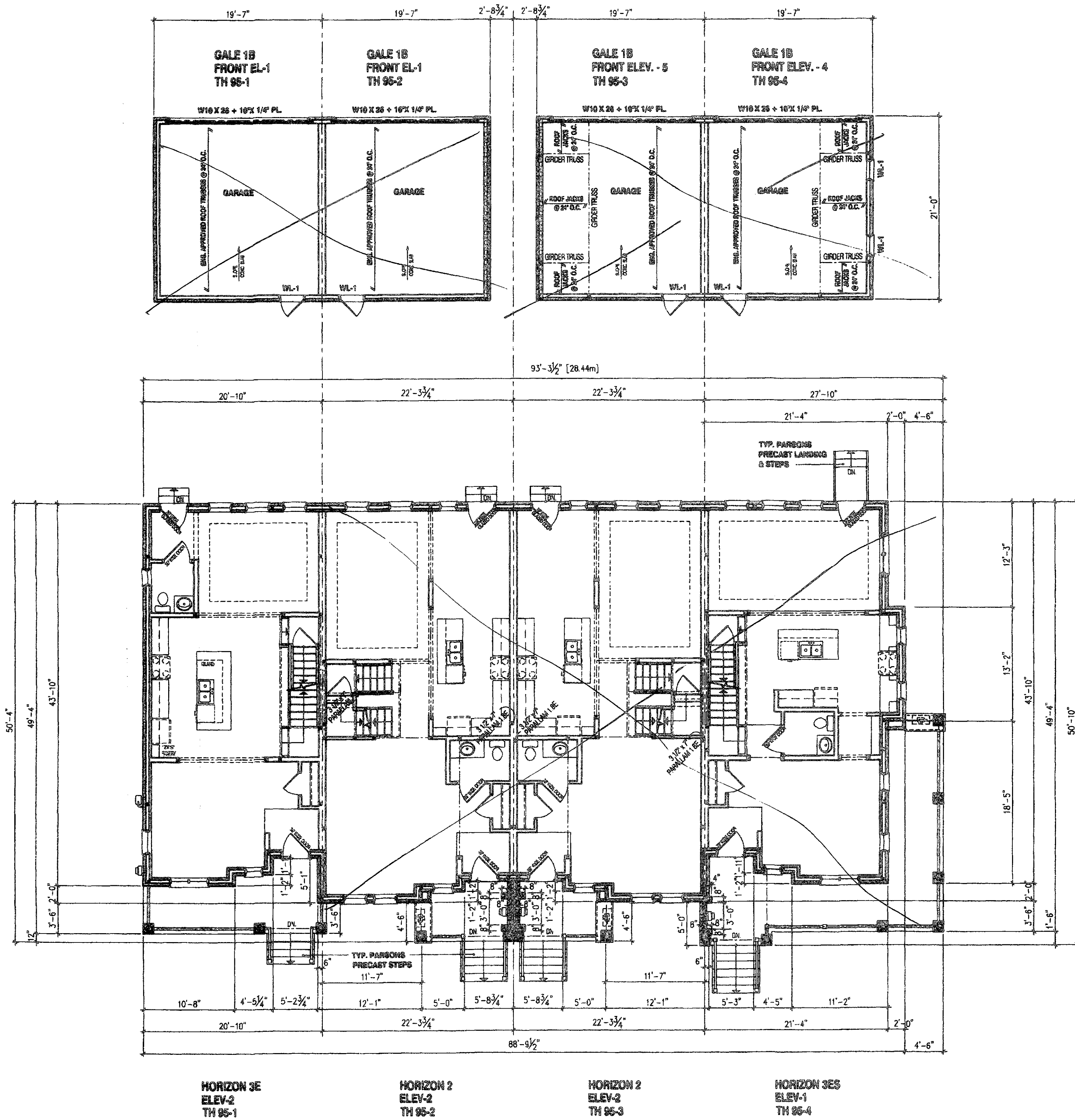
Jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the seal of the Professional Engineer and the seal of the Professional Architect. The undersigned has reviewed and takes responsibility for this design and has the seal of the Professional Engineer and the seal of the Professional Architect. The undersigned has reviewed and takes responsibility for this design and has the seal of the Professional Engineer and the seal of the Professional Architect.

Jardin design group inc. 27768

BASEMENT PLAN
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

18-18	1
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Block 95-1

BLOCK 95

FEB 06 2019

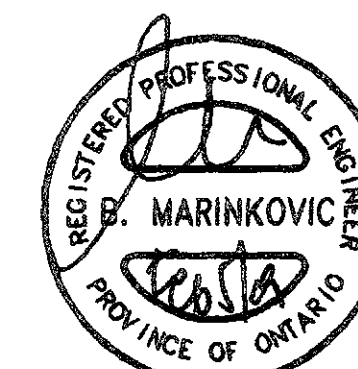
BLOCK 95

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING
DATE: JUL 23, 2018
The architect's responsibility is to prepare design documents and drawings for the project.

STRUDET INC.



FOR STRUCTURE ONLY

BUILDING AREA

IN ACCORDANCE WITH OBC, DIV 1.4.1.2

BLOCK TH 316-1 TO TH 316-6

BUILDING AREA = 3841 SQ. FT.
357 m²

NOTE:

REFER TO INDIVIDUAL PLANS FOR STANDARD WOOD, STEEL BEAMS AND LINTELS OVER WINDOWS

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

STEEL LINTELS:

L1 = 3 1/2 x 3 1/2 x 1/4 (80 x 90 x 6)
L2 = 4 x 3 1/2 x 5/16 (100 x 90 x 8)
L3 = 5 x 3 1/2 x 5/16 (125 x 90 x 8)
L4 = 6 x 3 1/2 x 3/8 (150 x 90 x 10)
L5 = 6 x 4 x 3/8 (150 x 100 x 10)
L6 = 7 x 4 x 3/8 (180 x 100 x 10)

WOOD LINTELS:

WL1 = 2 x 6 SPRUCE BEAM
WL2 = 3 x 6 SPRUCE BEAM
WL3 = 2 x 10 SPRUCE BEAM
WL4 = 3 x 10 SPRUCE BEAM
WL5 = 2 x 12 SPRUCE BEAM
WL6 = 3 x 12 SPRUCE BEAM
WL7 = 5 x 12 SPRUCE BEAM
WL8 = 4 x 10 SPRUCE BEAM
WL9 = 4 x 12 SPRUCE BEAM
WL10 = 4 x 10 SPRUCE BEAM
WL11 = 4 x 12 SPRUCE BEAM
WL12 = 4 x 12 SPRUCE BEAM
LSL = TIMBERSTRAND BOARD

BRICK VENEER LINTELS:

VL1 = 3 1/2 x 3 1/2 x 1/4 (80 x 90 x 6) + 2 x 6 SPR.
VL2 = 4 x 3 1/2 x 5/16 (100 x 90 x 8) + 2 x 6 SPR.
VL3 = 5 x 3 1/2 x 5/16 (125 x 90 x 8) + 2 x 10 SPR.
VL4 = 6 x 3 1/2 x 3/8 (150 x 90 x 10) + 2 x 12 SPR.
VL5 = 6 x 4 x 3/8 (150 x 100 x 10) + 2 x 12 SPR.
VL6 = 5 x 3 1/2 x 5/16 (125 x 90 x 8) + 2 x 12 SPR.
VL7 = 5 x 3 1/2 x 5/16 (125 x 90 x 8) + 3 x 12 SPR.
VL8 = 6 x 4 x 3/8 (150 x 100 x 10) + 3 x 12 SPR.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.

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1 DEC. 13, 2018 ISSUED FOR BUILDING PERMIT

DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.co

The undersigned has examined and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

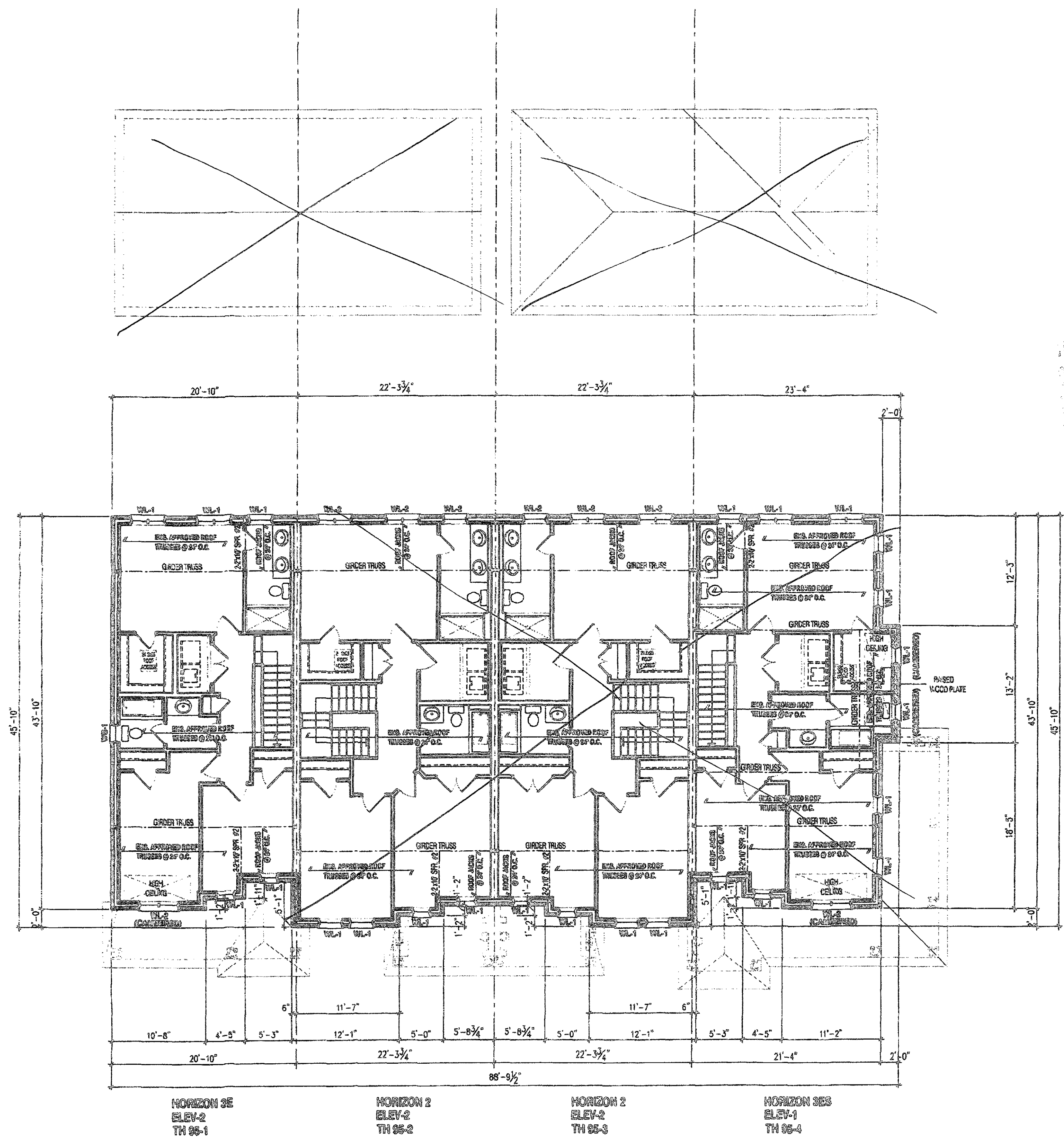
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.1.5 of the Building Code

Walter Bortel 21031
DATE: REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

Jardin design group inc. 27769

FIRST FLOOR PLAN
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

SCALE	1/8" = 1'-0"
NO. 18-18	2



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET ALL
REQUIREMENTS OF THE
TOWN OF CALEDON BUILDING CODE

Block 95-1

BLOCK 95

- WOOD LINTELS:**
- WB1 = 2" x 10" SPRUCE BEAM
 - WB2 = 3" x 10" SPRUCE BEAM
 - WB3 = 2" x 10" SPRUCE BEAM
 - WB4 = 3" x 10" SPRUCE BEAM
 - WB5 = 2" x 12" SPRUCE BEAM
 - WB6 = 3" x 12" SPRUCE BEAM
 - WB7 = 5" x 12" SPRUCE BEAM
 - WB8 = 4" x 8" SPRUCE BEAM
 - WB9 = 4" x 12" SPRUCE BEAM
 - WB10 = 4" x 12" SPRUCE BEAM
 - WB11 = 4" x 12" SPRUCE BEAM
 - WB12 = 4" x 12" SPRUCE BEAM
 - LSL = TIMBERSTRAND BOARD
- NOTE:**
REFER TO INDIVIDUAL PLANS FOR
STANDARD WOOD, STEEL BEAMS AND
LINTELS OVER WINDOWS
- NOTE:**
THREE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER
APPROVED ROOF TRUSS DRAWINGS BY
MANUFACTURER
- STEEL LINTELS:**
- L1 = 3" x 3" x 1/2" x 15' (80 x 80 x 4)
 - L2 = 4" x 3" x 1/2" x 15' (100 x 80 x 4)
 - L3 = 5" x 3" x 1/2" x 15' (125 x 80 x 4)
 - L4 = 6" x 3" x 1/2" x 15' (150 x 80 x 4)
 - L5 = 6" x 4" x 3/8" x 15' (150 x 100 x 4)
 - L6 = 7" x 4" x 3/8" x 15' (175 x 100 x 4)
- BRICK VENEER LINTELS:**
- VL1 = 3" x 3" x 1/2" x 15' (80 x 80 x 4)
 - VL2 = 4" x 3" x 1/2" x 15' (100 x 80 x 4)
 - VL3 = 5" x 3" x 1/2" x 15' (125 x 80 x 4)
 - VL4 = 6" x 3" x 1/2" x 15' (150 x 80 x 4)
 - VL5 = 6" x 4" x 3/8" x 15' (150 x 100 x 4)
 - VL6 = 7" x 4" x 3/8" x 15' (175 x 100 x 4)
 - VL7 = 8" x 4" x 3/8" x 15' (200 x 100 x 4)
 - VL8 = 8" x 4" x 3/8" x 15' (200 x 100 x 4)
 - VL9 = 8" x 4" x 3/8" x 15' (200 x 100 x 4)
 - VL10 = 8" x 4" x 3/8" x 15' (200 x 100 x 4)

JUL 16 2019

BLOCK 95

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: JUL 17, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

STRUDET INC.

FOR STRUCTURE ONLY

12. THE ENGINEER HAS REVIEWED AND APPROVED THE PLANS FOR THE STRUCTURE ONLY. THE ENGINEER HAS NOT REVIEWED THE PLANS FOR THE LANDSCAPE, SITEWORK, OR OTHER WORKS. THE ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORKS. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE STRUCTURE ONLY.

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NOTE:
REFER TO INDIVIDUAL PLANS FOR
STANDARD WOOD, STEEL BEAMS AND
LINTELS OVER WINDOWS

NOTE:
THREE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER
APPROVED ROOF TRUSS DRAWINGS BY
MANUFACTURER

STEEL LINTELS:

- L1 = 3" x 3" x 1/2" x 15' (80 x 80 x 4)
- L2 = 4" x 3" x 1/2" x 15' (100 x 80 x 4)
- L3 = 5" x 3" x 1/2" x 15' (125 x 80 x 4)
- L4 = 6" x 3" x 1/2" x 15' (150 x 80 x 4)
- L5 = 6" x 4" x 3/8" x 15' (150 x 100 x 4)
- L6 = 7" x 4" x 3/8" x 15' (175 x 100 x 4)

BRICK VENEER LINTELS:

- VL1 = 3" x 3" x 1/2" x 15' (80 x 80 x 4)
- VL2 = 4" x 3" x 1/2" x 15' (100 x 80 x 4)
- VL3 = 5" x 3" x 1/2" x 15' (125 x 80 x 4)
- VL4 = 6" x 3" x 1/2" x 15' (150 x 80 x 4)
- VL5 = 6" x 4" x 3/8" x 15' (150 x 100 x 4)
- VL6 = 7" x 4" x 3/8" x 15' (175 x 100 x 4)
- VL7 = 8" x 4" x 3/8" x 15' (200 x 100 x 4)
- VL8 = 8" x 4" x 3/8" x 15' (200 x 100 x 4)
- VL9 = 8" x 4" x 3/8" x 15' (200 x 100 x 4)
- VL10 = 8" x 4" x 3/8" x 15' (200 x 100 x 4)

SECOND FLOOR PLAN

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

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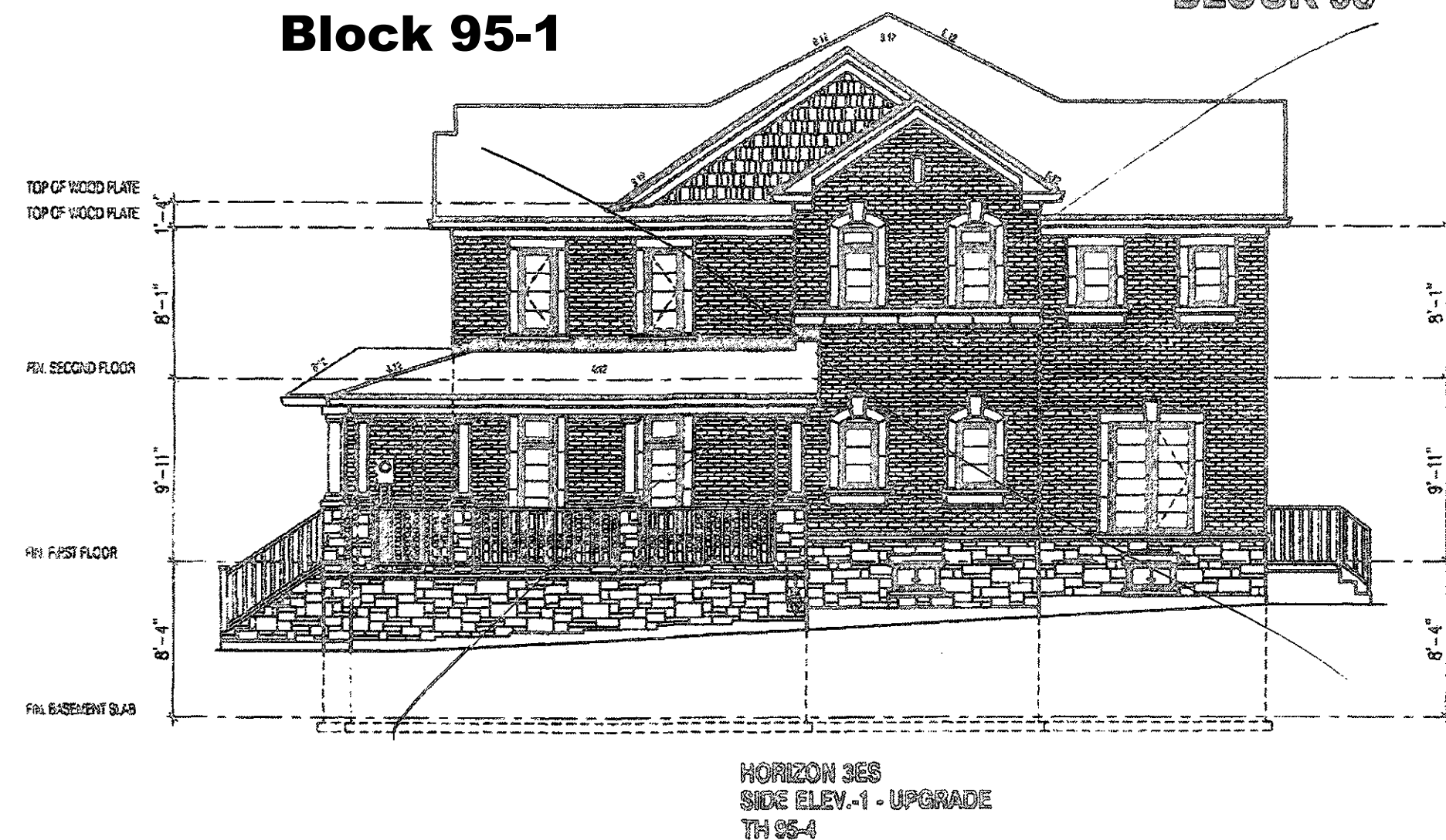
1/8" = 1'-0"

18-18

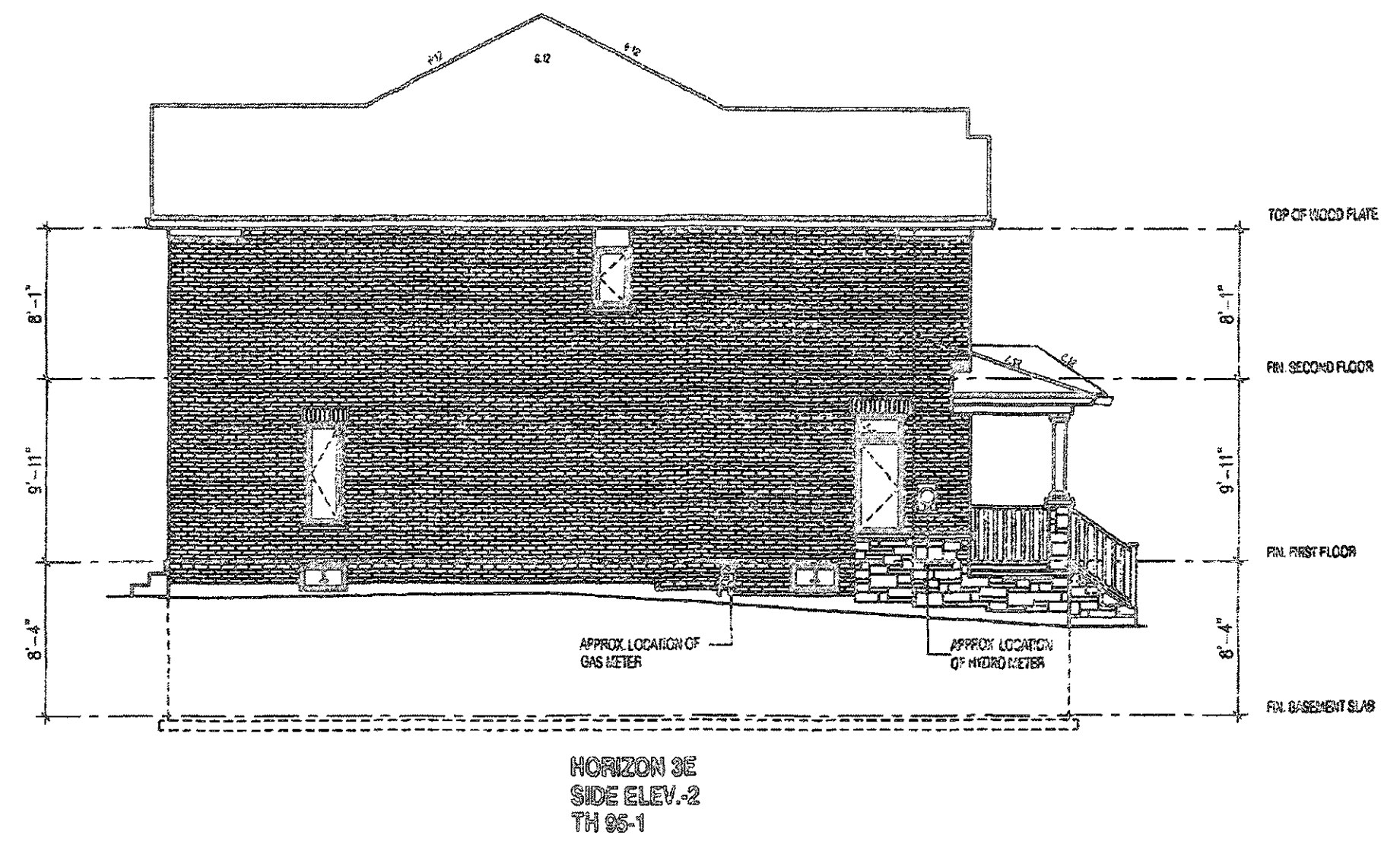
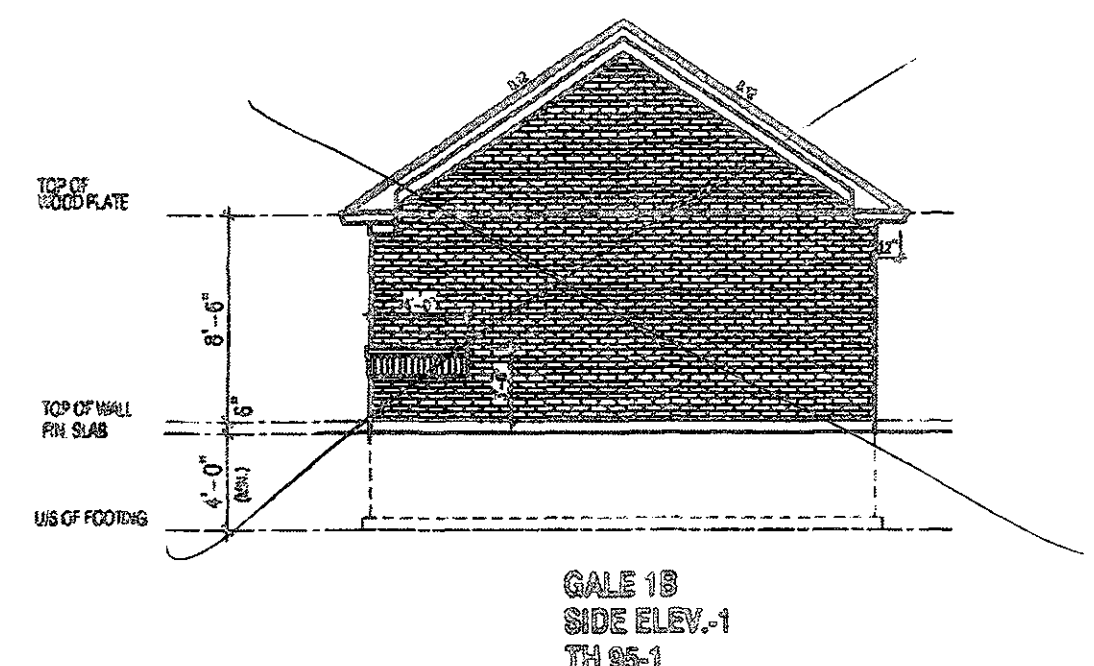
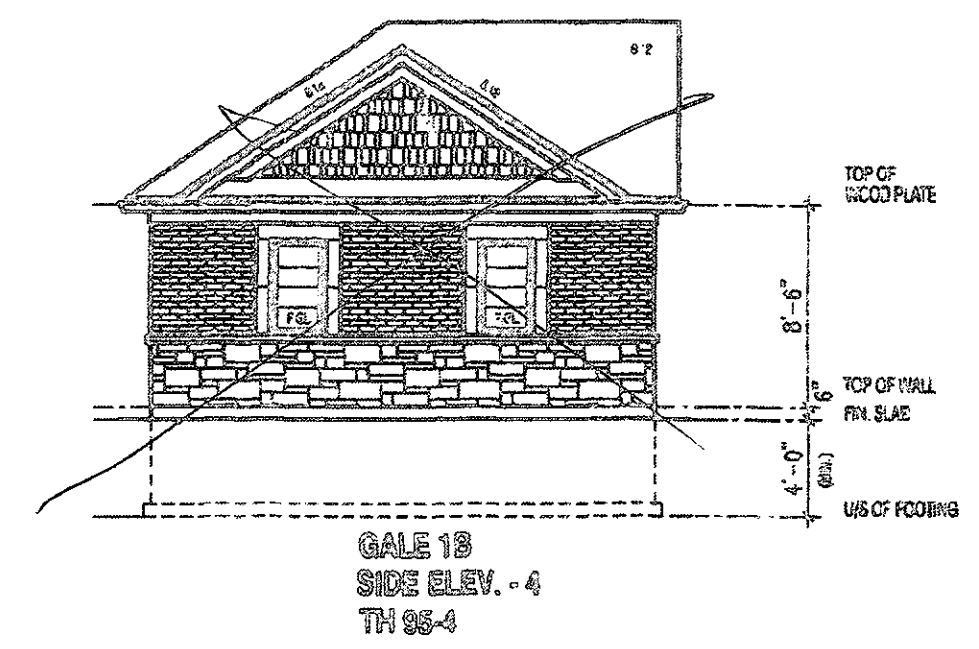
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Block 95-1



BLOCK 95



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE OFFICIAL BUILDING CODE

BLOCK 95

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provision in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
 ARCHITECTURAL, ENGINEERING, INTERIOR DESIGN
 DATE: JUN 27 2019
 1000 SHEPPARD AVENUE EAST, SUITE 100, SCARBOROUGH, ONTARIO M1S 1T5
 TEL: (416) 291-1111 FAX: (416) 291-1112

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON.

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2	JUNE 27, 2019	SHOWED ROOF TO GRADE DIMENSIONS PERSUASU TO CLIENT
1	DEC 13, 2018	ISSUED FOR BUILDING PERMIT
Doc.	DATE:	WORK DESCRIPTION

Jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

QUALITY CONTROL INSPECTION
 Required unless design is exempt under Division C, Schedule 2.2.4 of the Building Code

Required unless design is exempt under Division C, Schedule 2.2.4 of the Building Code

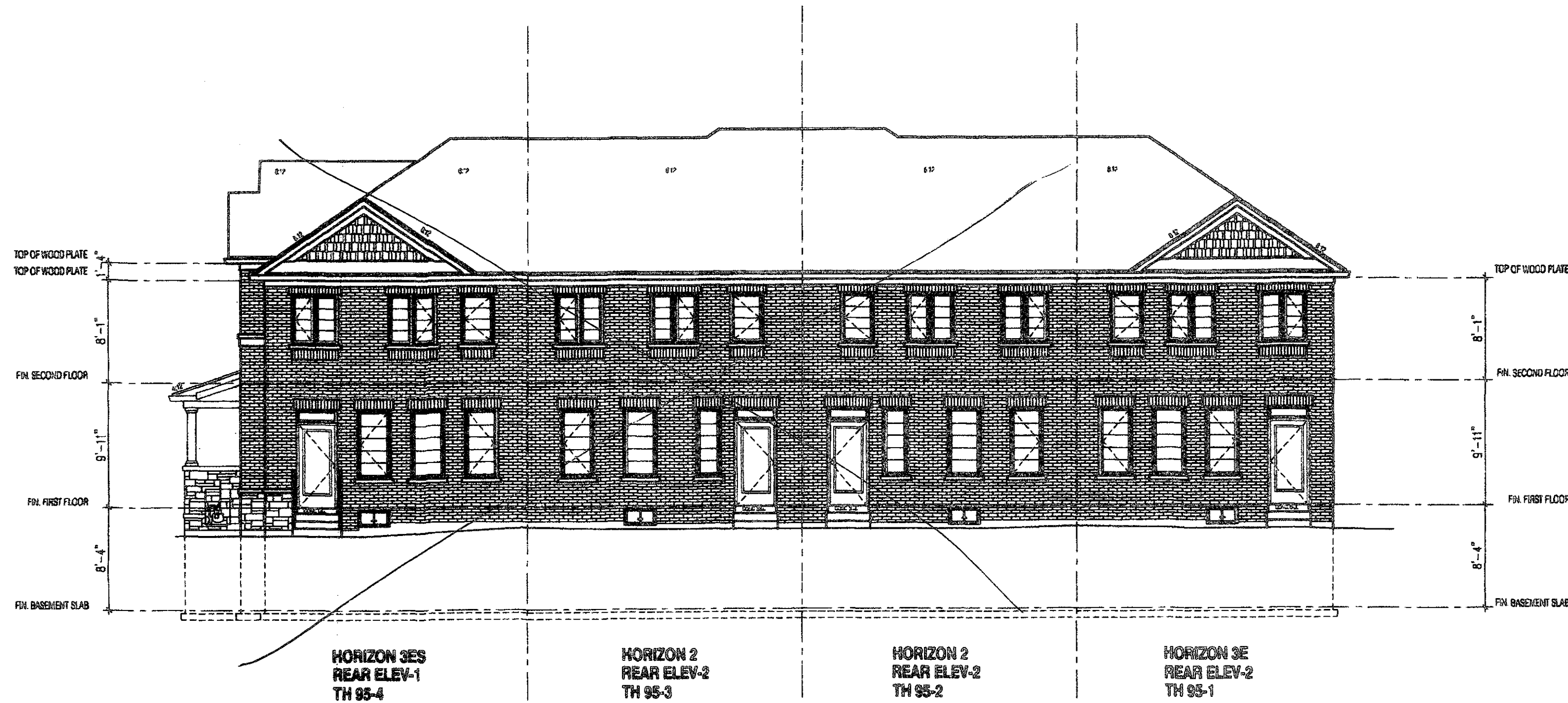
Jardin Design Group Inc. 277

STREETSCAPE
 LAMBERTS LANE - PHASE 2
 TOWN OF CALEDON

1/8" = 1'-0"

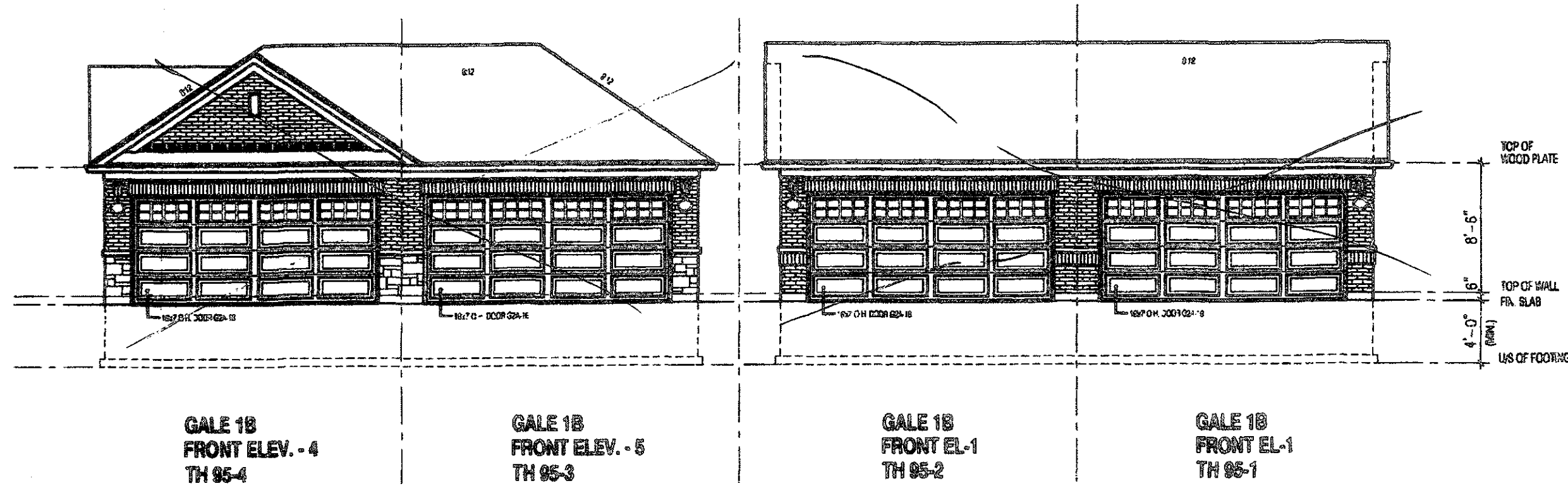
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JUN 27 2019



BLOCK 95

Block 95-1



GALE 1B
FRONT ELEV.-4
TH 95-4

GALE 1B
FRONT ELEV.-5
TH 95-3

GALE 1B
FRONT EL-2
TH 95-2

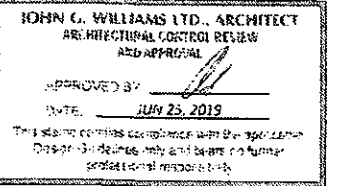
GALE 1B
FRONT EL-1
TH 95-1

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE FOLLOWING
STREETScape

BLOCK 95

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ORDINANCES PRIOR TO THE BEGINNING OF CONSTRUCTION. ANY PERMITS AND ORDINANCES SHALL BE OBTAINED PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE TOWN OF CALEDON.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

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1	DEC 13, 2018 ISSUED FOR BUILDING PERMIT

No. DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 640-3377 FAX: 905 640-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Bolter 21021
DATE 2/6/2019

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27762
PRINT NAME

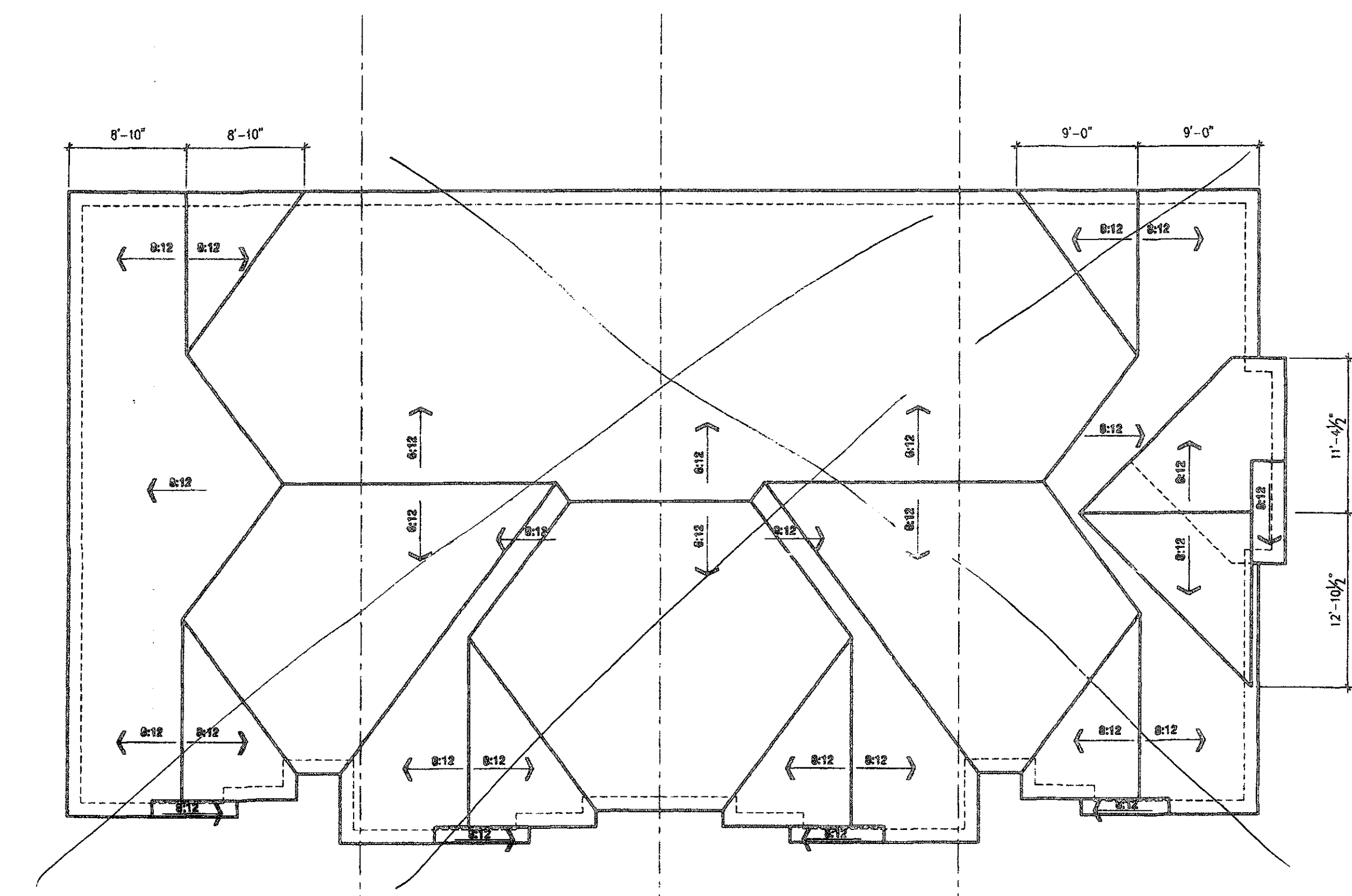
STREETSCAPE

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

TYPE	T	AREA	
SCALE	1/8" = 1'-0"		
PROJ. NO.	18-18	DWG. NO.	5

BILD

FEB 06 2019



Block 95-1

HORIZON 3E
ELEV-2
TH 95-1

HORIZON 2
ELEV-2
TH 95-2

HORIZON 2
ELEV-2
TH 95-3

HORIZON 3ES
ELEV-1
TH 95-4

BLOCK 95

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE CURRENT BUILDING CODE

BLOCK 95

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS A PROFESSIONAL DESIGNER FOR THE TOWN OF CALEDON. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT.

JARDIN DESIGN GROUP INC. HAS NOT REPRESENTED TO OBTAIN ANY PERMITS OR APPROVALS FROM THE TOWN OF CALEDON. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT.

THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE TOWN OF CALEDON IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT.

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1	DEC 13 2018 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.1 of the building code.

Author/Designer: *Walter Boller* 21631
DATE: 2018

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.1 of the building code.

Jardin design group inc. 27762
FIRM NAME: JGD

ROOF PLAN

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

DATE	T	AREA	—
SCALE	1/8" = 1'-0"		
NO. 15	18-18	NO. 16	6

BILD

FEB 06 2019