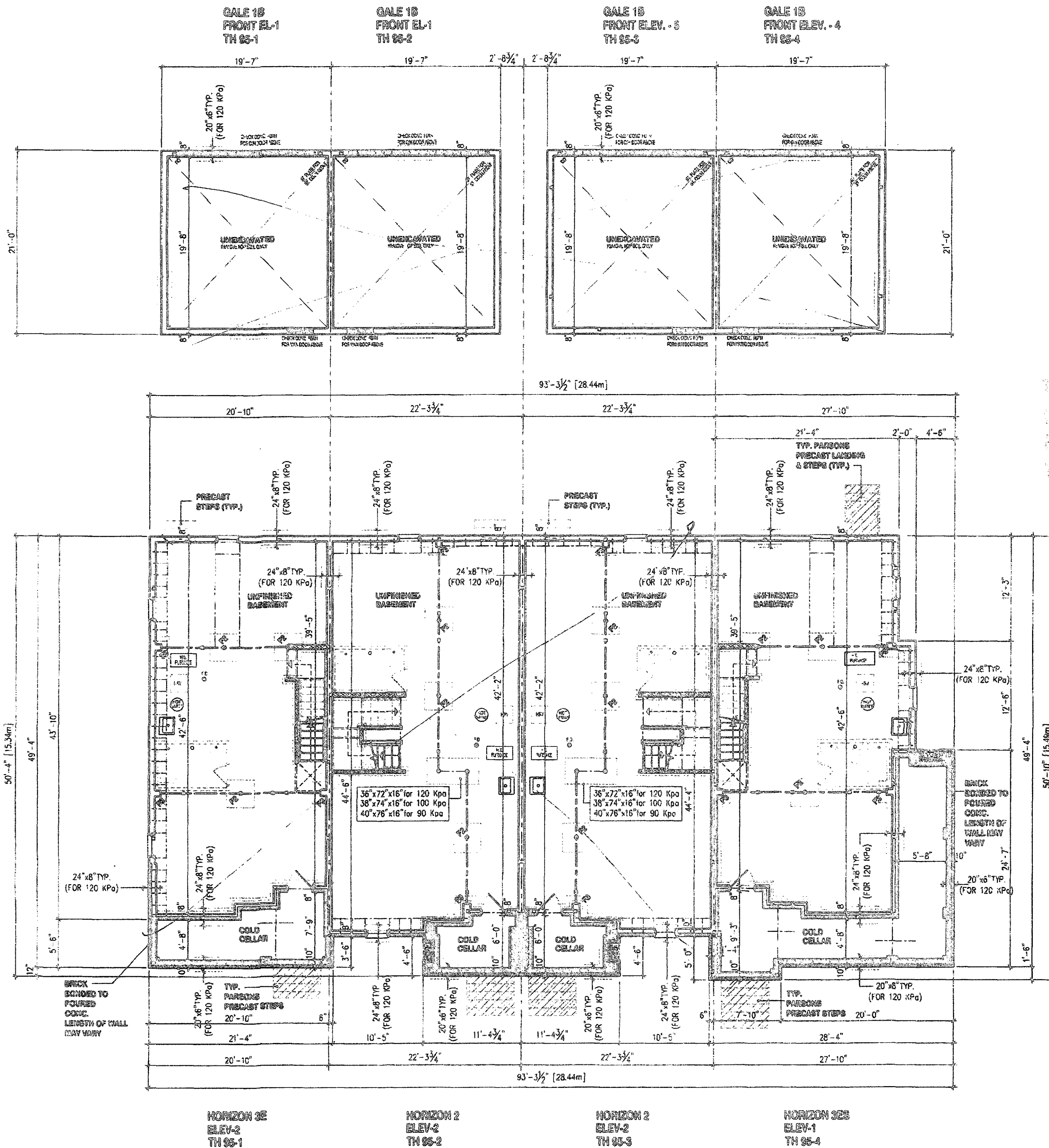




NOTE:
WHEN VERMICUT IS GREATER THAN 2" A 10' POLISHED CONCRETE FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED BY CONSTRUCTION WITH SITE PLAN)

120 KPa NATIVE SOIL
F1 = 42"x42" CONCRETE PAD
F2 = 36"x36" CONCRETE PAD
F3 = 30"x30" CONCRETE PAD
F4 = 24"x24" CONCRETE PAD
F5 = 18"x18" CONCRETE PAD

60 KPa ENGINEERED FILL SOIL
F1 = 48"x48" CONCRETE PAD
F2 = 36"x36" CONCRETE PAD
F3 = 30"x30" CONCRETE PAD
F4 = 24"x24" CONCRETE PAD
F5 = 18"x18" CONCRETE PAD

100 KPa NATIVE SOIL
F1 = 48"x48" CONCRETE PAD
F2 = 36"x36" CONCRETE PAD
F3 = 30"x30" CONCRETE PAD
F4 = 24"x24" CONCRETE PAD
F5 = 18"x18" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS FOR HORIZONS
REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

120 KPa NATIVE SOIL
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS
24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED)
24"x8" CONCRETE STRIP FOOTINGS (WITH REINFC.) BELOW PARTY WALLS

60 KPa ENGINEERED FILL SOIL
24"x8" CONCRETE STRIP FOOTINGS - WITH REINFC., AS NOTED ON PLANS
24"x8" CONCRETE STRIP FOOTINGS BELOW EXT. WALLS - WITH REINFC. (UNLESS OTHERWISE NOTED)
24"x8" CONCRETE STRIP FOOTINGS - WITH REINFC., BELOW PARTY WALLS

100 KPa NATIVE SOIL
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:
ASSUMED 120 KPa NATIVE SOIL BEARING CAPACITY OR 60 KPa FOR ENGINEERED FILL TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.
REFER TO ENG. FILL FOOTING DETAIL

PARTY WALL FOOTING SIZE
24"x8" (WITH REBAR) FOR 120 KPa
24"x8" (WITH REBAR) FOR 100 KPa
24"x8" (WITH REBAR) FOR 60 KPa

EXTERIOR STRIP FOOTING SIZE
24"x8" (WITH REBAR) FOR 120 KPa
24"x8" (WITH REBAR) FOR 100 KPa
24"x8" (WITH REBAR) FOR 60 KPa

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:
- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LEVELS
- GROUND FLOOR AREAS
- SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS DRAWINGS BY MANUFACTURER

NOTE:
REFER TO GRADED PLAN FOR NUMBER OF STEPS

NOTE:
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. PLAY WORK) TO BE 24" KPa WITH 3-5% AIR ENTRAINMENT

RECEIVED
AUG 2 2019
JUL 16 2019 TOWN OF CALEDON BUILDING SECTION

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

jardin DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 5P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.co

BASEMENT PLAN
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

BILD
18-18 1

1-HR. F.S.

BLOCK 95

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

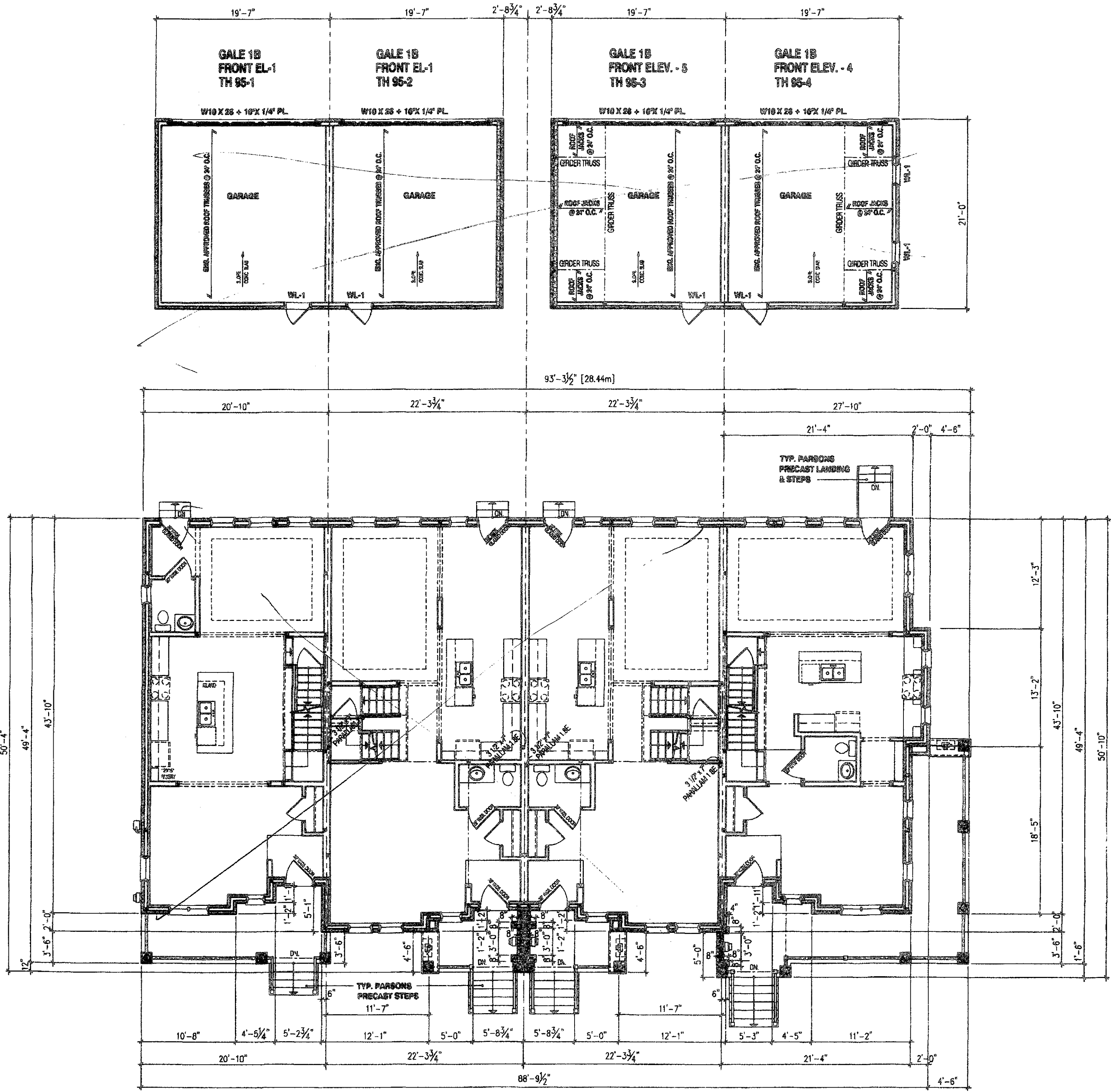
JOHN C. MALLMAN LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: 2019-01-12
The Engineer/Architect certifies that the plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

STRUDET INC.



FOR STRUCTURE ONLY

This structure will be constructed in accordance with the applicable Building Code and the applicable Architectural Guidelines approved by the Town of CALEDON.



HORIZON 3E
ELEV-2
TH 95-1

HORIZON 2
ELEV-2
TH 95-2

HORIZON 2
ELEV-2
TH 95-3

HORIZON 3ES
ELEV-1
TH 95-4

BLOCK 95

Block 95-4

RECEIVED
AUS 12 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

FEB 06 2019

BUILDING AREA
IN ACCORDANCE WITH OSC, DIVA 1.4.1.2.
BLOCK TH 310-1 TO TH 310-6
BUILDING AREA = 3841 SQ.FT.
= 357 m²

NOTE:
REFER TO INDIVIDUAL PLANS FOR
STANDARD WOOD, STEEL BEAMS AND
LINTELS OVER WINDOWS

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER
APPROVED ROOF TRUSS DRAWINGS BY
MANUFACTURER

STEEL LINTELS:

- L1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)
- L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)
- L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)
- L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
- L5 = 6" x 4" x 3/8" (150 x 100 x 10)
- L6 = 7" x 4" x 3/8" (180 x 100 x 10)

WOOD LINTELS:

- WL1 = 2" x 2" x 8' SPRUCE BEAM
- WL2 = 2" x 2" x 8' SPRUCE BEAM
- WL3 = 2" x 2" x 10' SPRUCE BEAM
- WL4 = 2" x 2" x 12' SPRUCE BEAM
- WL5 = 2" x 2" x 12' SPRUCE BEAM
- WL6 = 2" x 2" x 12' SPRUCE BEAM
- WL7 = 2" x 2" x 12' SPRUCE BEAM
- WL8 = 2" x 2" x 12' SPRUCE BEAM
- WL9 = 2" x 2" x 12' SPRUCE BEAM
- WL10 = 2" x 2" x 12' SPRUCE BEAM
- WL11 = 2" x 2" x 12' SPRUCE BEAM
- WL12 = 2" x 2" x 12' SPRUCE BEAM
- LSL = TIMBERSTRAND BOARD

BRICK VENEER LINTELS:

- VL1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6) + 2" x 6" SPR.
- VL2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8) + 2" x 6" SPR.
- VL3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8) + 2" x 10" SPR.
- VL4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10) + 2" x 12" SPR.
- VL5 = 6" x 4" x 3/8" (150 x 100 x 10) + 2" x 12" SPR.
- VL6 = 5" x 3 1/2" x 5/16" (125 x 90 x 8) + 2" x 12" SPR.
- VL7 = 5" x 3 1/2" x 5/16" (125 x 90 x 8) + 3" x 10" SPR.
- VL8 = 6" x 3 1/2" x 5/16" (125 x 90 x 8) + 3" x 12" SPR.
- VL9 = 6" x 4" x 3/8" (150 x 100 x 10) + 3" x 12" SPR.

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1 DEC. 13, 2018 ISSUED FOR BUILDING PERMIT
No. DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.1 of the building code
Water/Storm Sewerage 21891
Sewer 21891
Required unless design is exempt under Division C, Subsection 3.2.1 of the building code
Jardin design group inc. 27765
FIRM NAME

FIRST FLOOR PLAN
LAMBERTS LANE PHASE 2
TOWN OF CALEDON
SCALE: 1/8" = 1'-0"
18-18 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for determining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 

DATE JUN 27, 2019

THIS STATEMENT OF COMPLETION HAS THE JOINT OR
JOINT USE OF THE FIRM'S SEAL, WHICH IS
VALID FOR 180 DAYS FROM THE DATE OF
COMPLETION OF THE PROJECT.

[illegible]

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2	JUNE 27, 2010	SHOWED ROOF TO GRADE DIMENSIONS RESERVED TO CLIENT
1	DEC. 13, 2010	ISSUED FOR BUILDING PERMIT

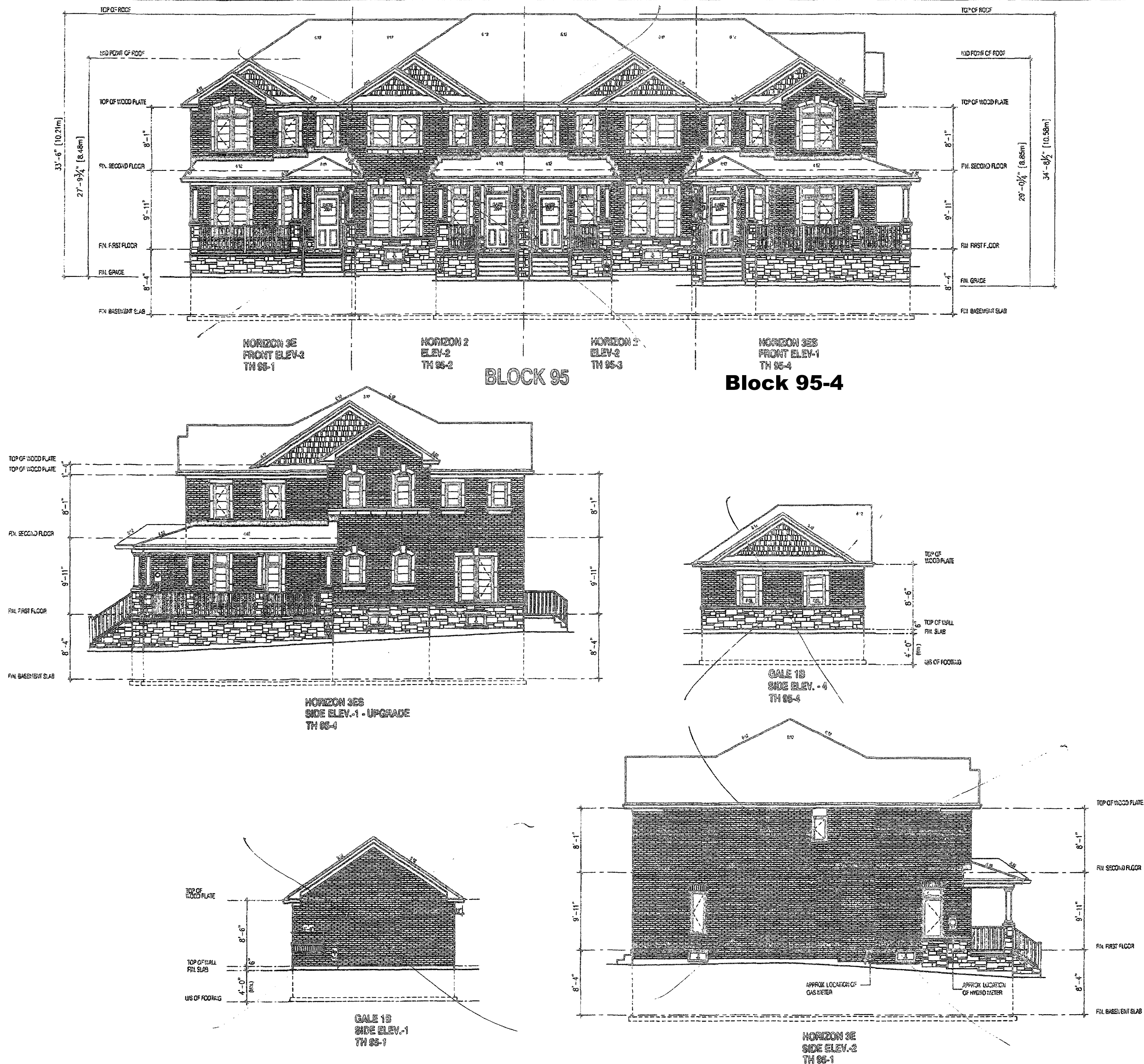
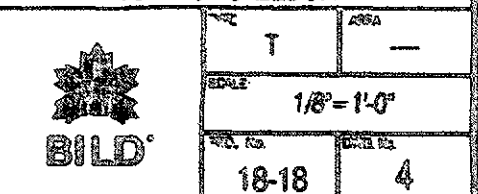
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100	1/17/51	...

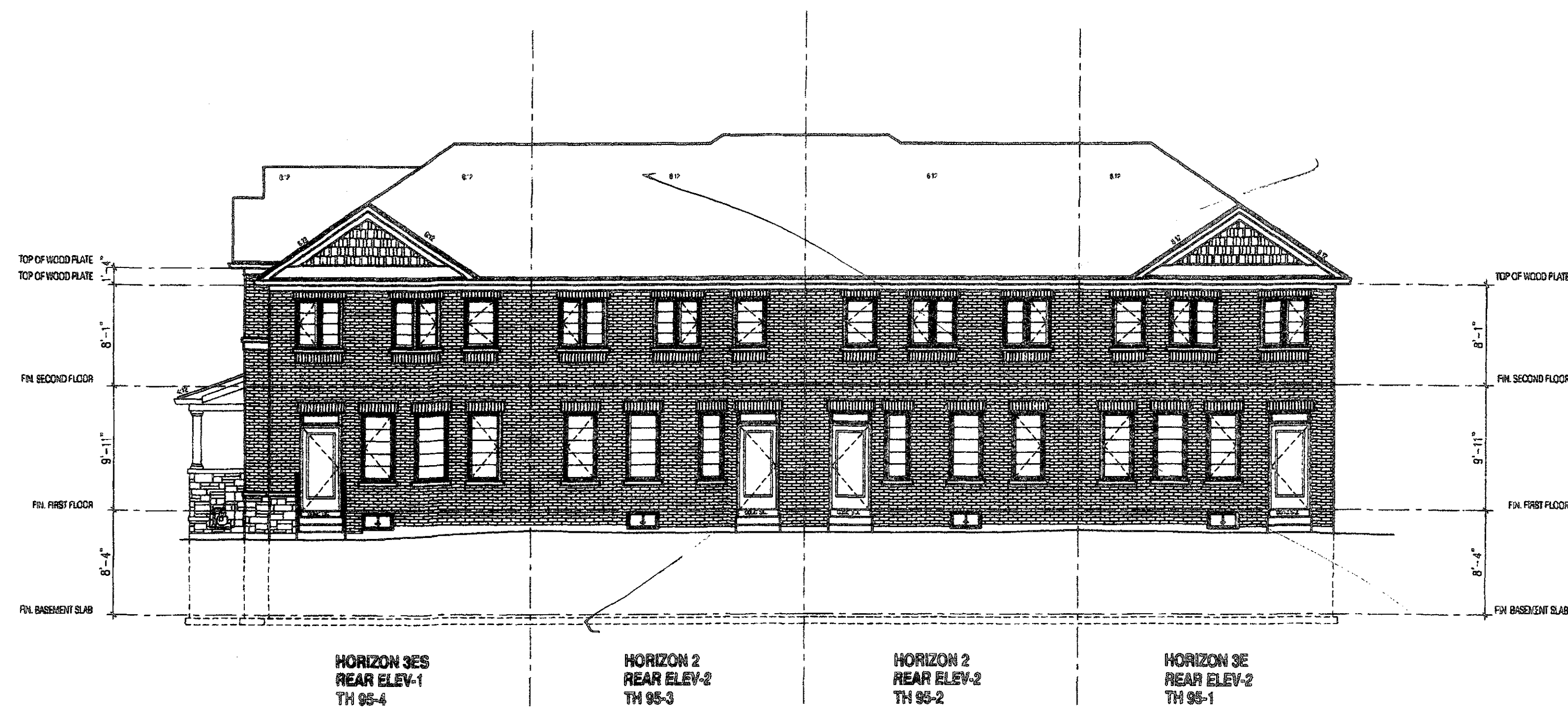
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has ordered and takes responsibility for this design and has the qualifications and means the requirements set out in the Copyright Clearance Center to be a designer.

CLASSIFICATION INFORMATION	
Required unless design is exempt under Division C, Subdivision 3.2.1 of the Licensing Code	
Author/Editor	27631
Project	1000
REGISTRATION INFORMATION	
Required unless design is exempt under Division C, Subdivision 3.2.1 of the Licensing Code	
ordin design group Inc.	27763
1000	1000

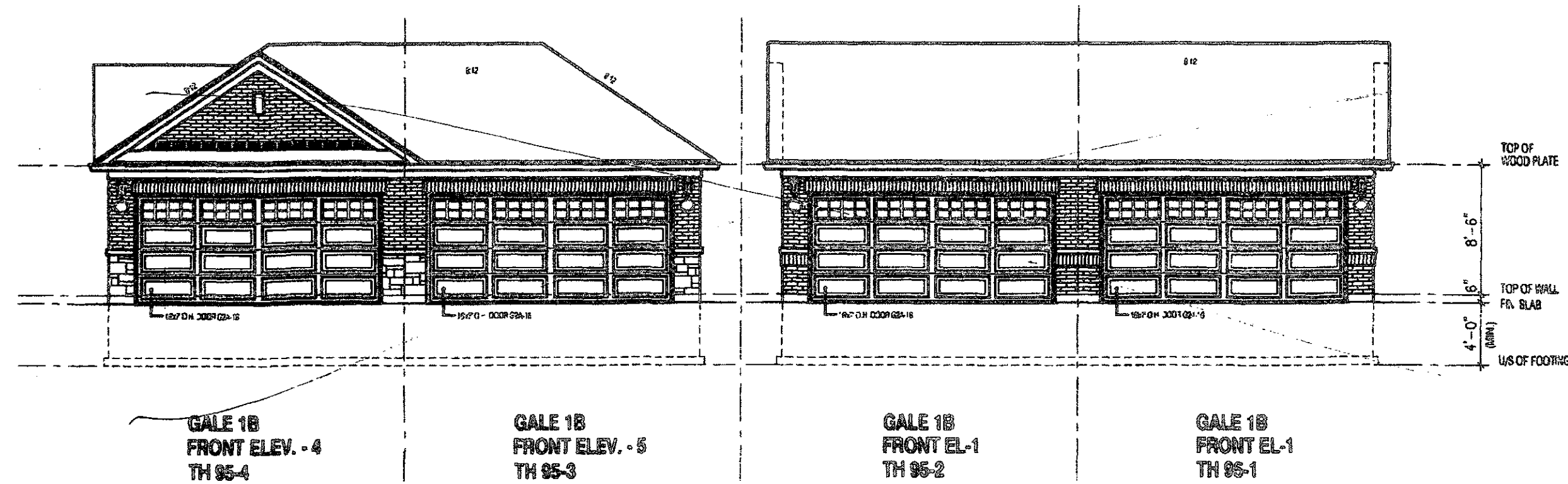
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON





Block 95-4

BLOCK 95



GALE 1B
FRONT ELEV.-4
TH 95-4

GALE 1B
FRONT ELEV.-5
TH 95-3

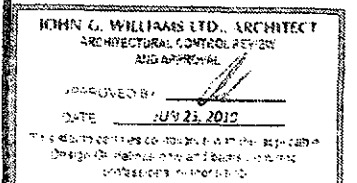
GALE 1B
FRONT EL-1
TH 95-2

GALE 1B
FRONT EL-1
TH 95-1

BLOCK 95

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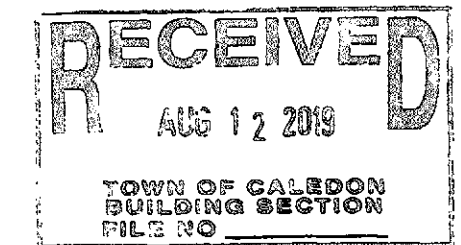
THIS DOCUMENT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC. ANY VIOLATION OF THIS AGREEMENT WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

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1	DEC 13, 2018 ISSUED FOR BUILDING PERMIT

DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
CLAUDE JARDIN INFORMATION
Required unless design is exempt under Division C, Subsection 1.1.4 of the Building Code
NAME: *Claude Jardin* 21031
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.1.4 of the Building Code
jardin design group inc. 27763



FEB 06 2019

STREETSCAPE

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

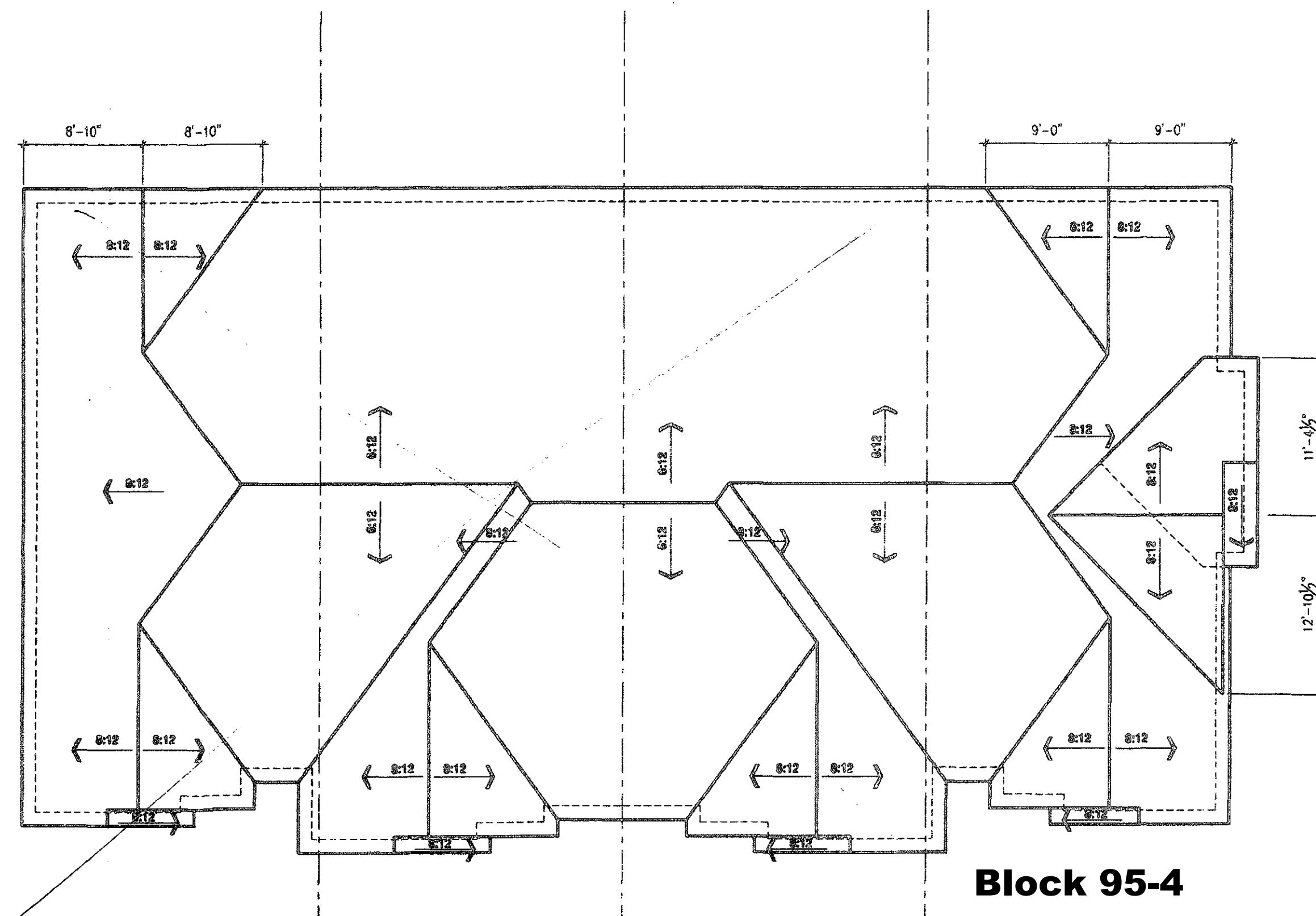
SCALE	1/8" = 1'-0"
PRO. NO.	18-18
DWG. NO.	5

BILD

BLOCK 95

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HORIZON 3E
ELEV-2
TH 95-1

HORIZON 2
ELEV-2
TH 95-2

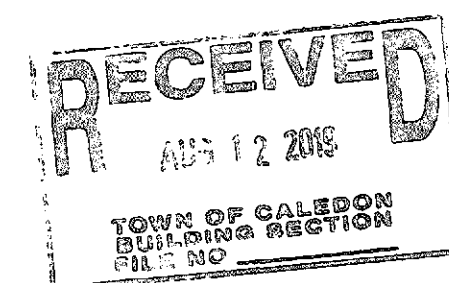
HORIZON 2
ELEV-2
TH 95-3

HORIZON 3ES
ELEV-1
TH 95-4

BLOCK 95

Block 95-4

THIS DOCUMENT MUST BE
CONSISTENT WITH THE
TOWN OF CALEDON
BUILDING CODE



FEB 06 2019

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS INCLUDING ZONING PROVISIONS AND ANY PROVISIONS IN THE SUBDIVISION AGREEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION ON THESE PLANS.

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1	DEC 13, 2018 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code
Walter Boller 21091
DATE 12/12/2018
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the Building Code
jardin design group inc. 27763
FIRM NAME

ROOF PLAN
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON
T T
SCALE 1/8" = 1'-0"
REV. NO. 18-18 THIS TH 6

