

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY [Signature]
DATE JUL 17, 2019
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "S. MARINKOVIC" is printed. Above the name is a stylized signature, and below it is a stylized representation of the letters "SME".

FOR STRUCTURE ONLY

[illegible]

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3	JULY 11, 2019 REV. PER NEW TRUSS LAYOUTS ISSUED TO CLIENT
2	JUNE 6, 2019 REVISED GRADING FOR NEW GARDEN PLAN ISSUED TO CLIENT

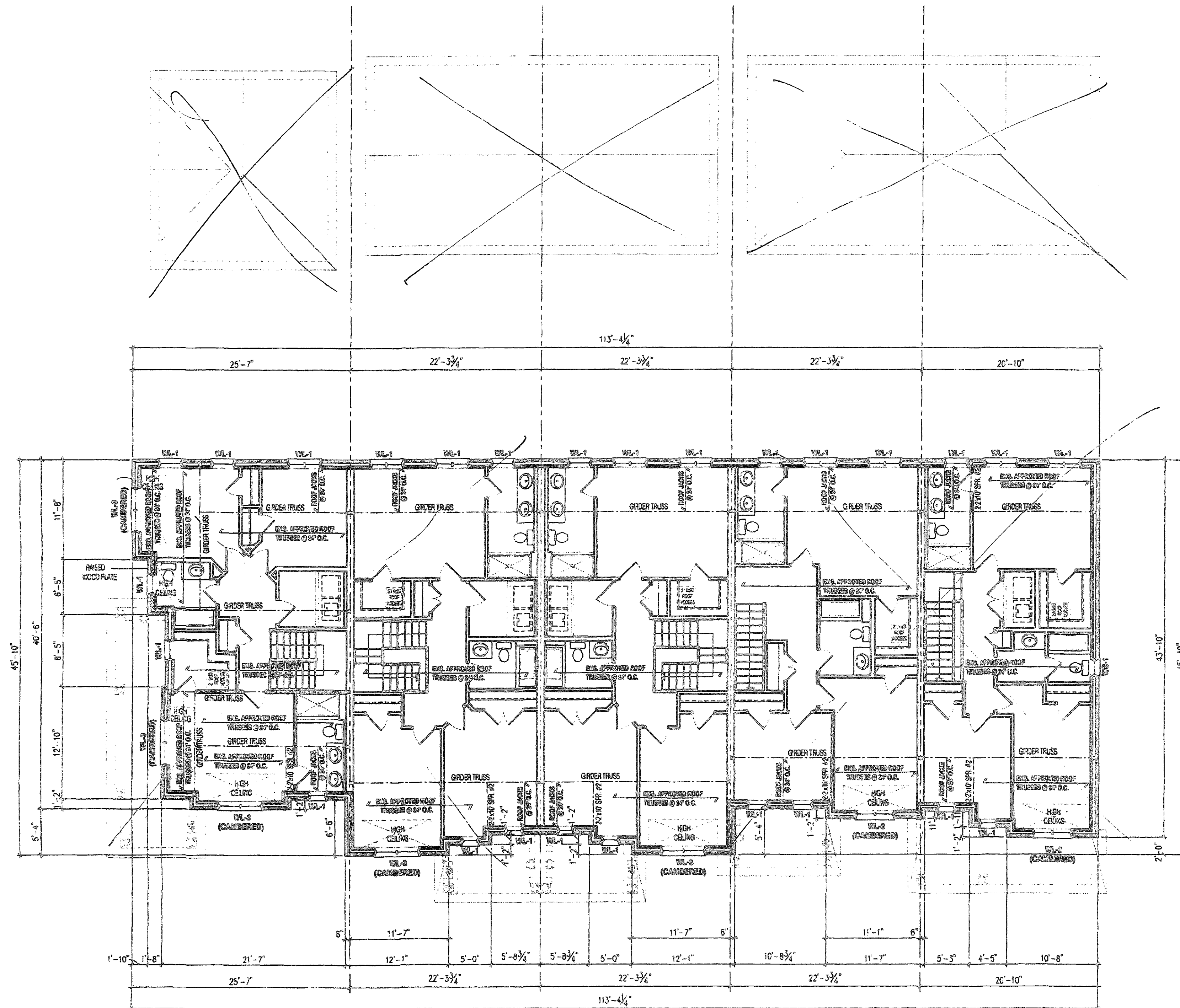
to. DATE:	WORK DESCRIPTION:
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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.co

The undersigned has reviewed and takes responsibility for this design and the construction and means the representations and that in the Ontario Building Code to a designer	
CLARENCE CONSTRUCTION CORPORATION Registered where design is prepared and/or 2.3 of the Building Code	
Signature of Designer	21081 CSCA
REGISTERED INFORMATION Registered where design is prepared and/or 2.3 of the Building Code	
Signature of Designer	27762 CSCA

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

 BILD	AGE T	SEX _____
	SCALE 1/8" = 1'-0"	
	PROJ. NO. 12 12	SHEET NO. 3

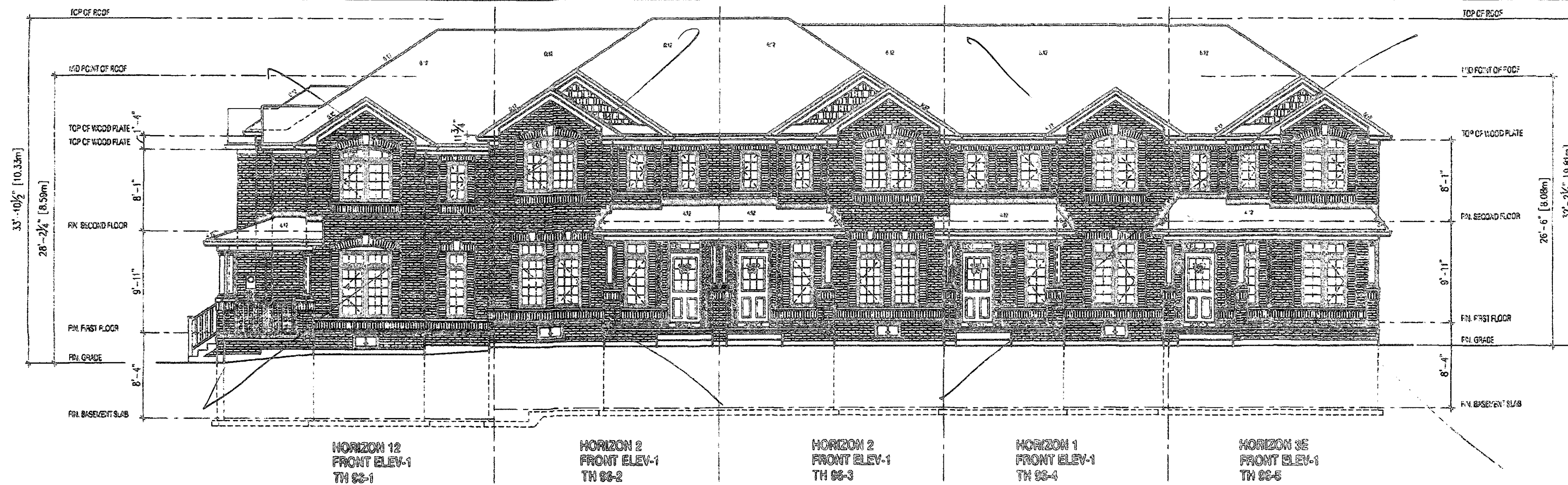


Block 96-3

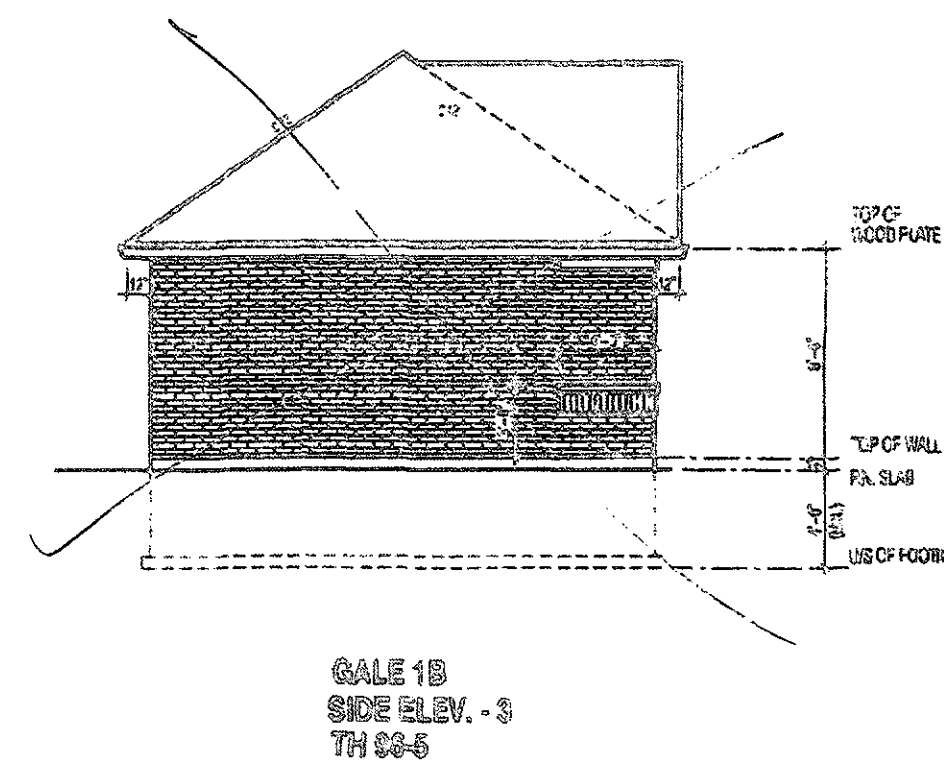
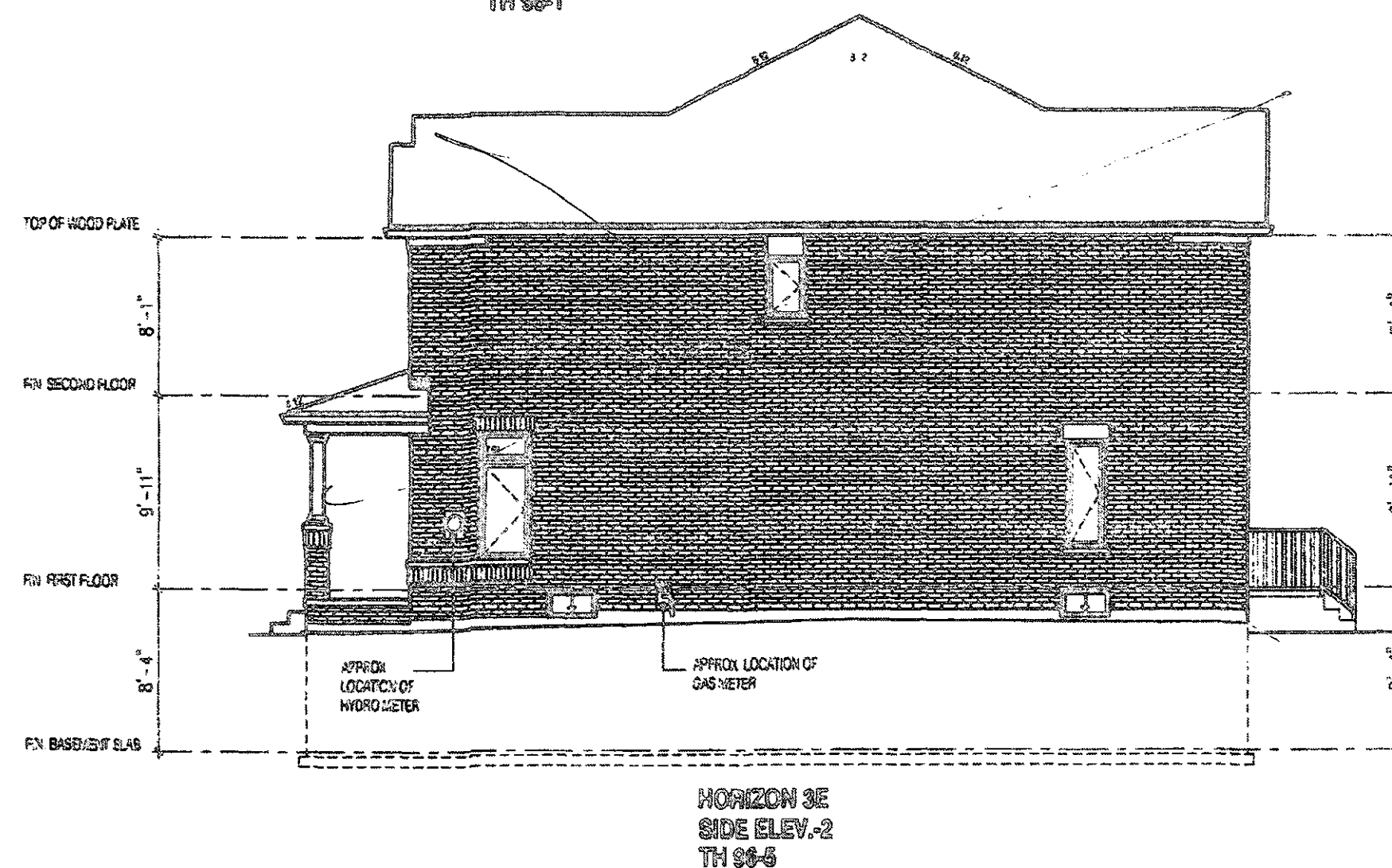
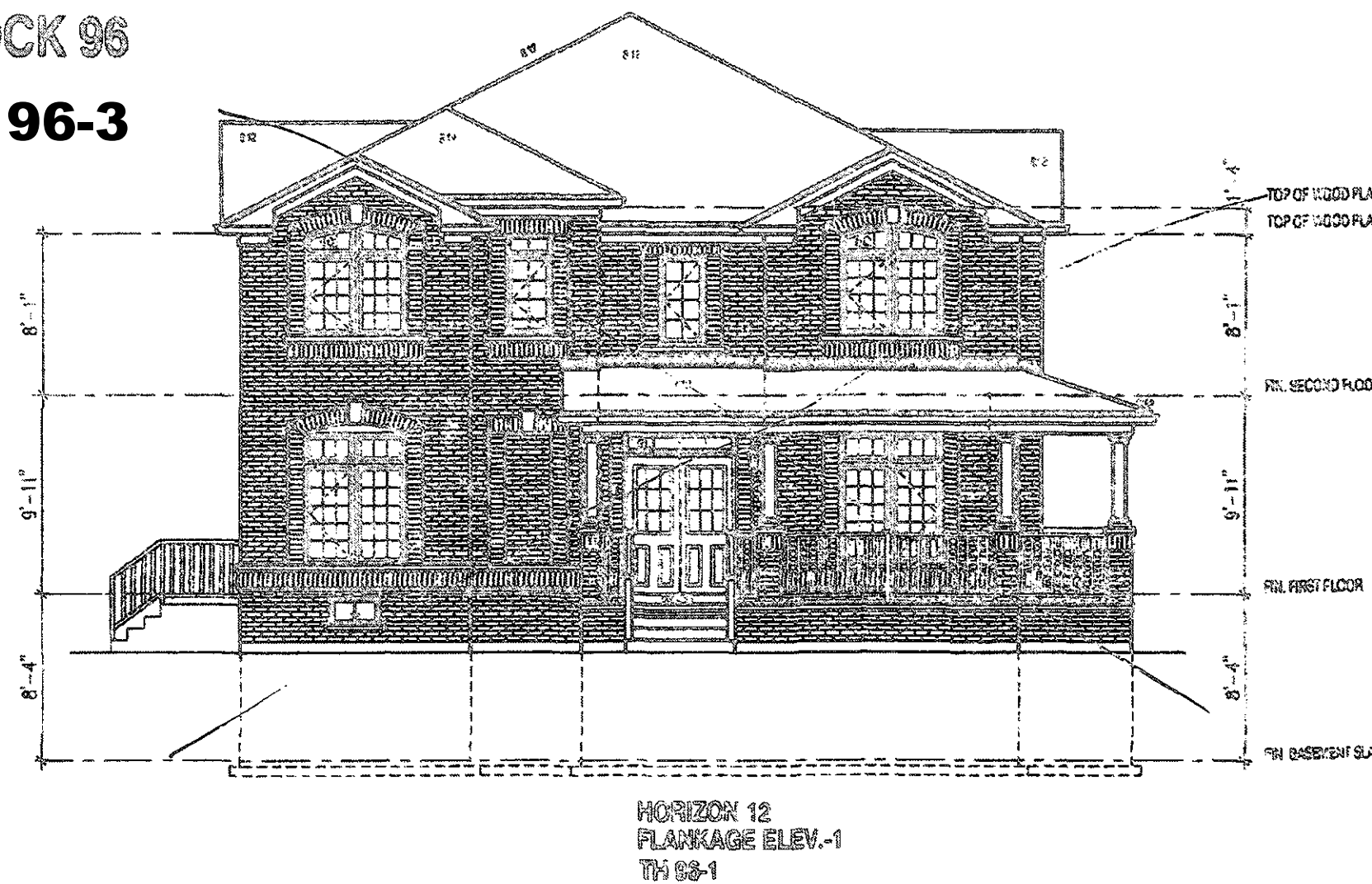
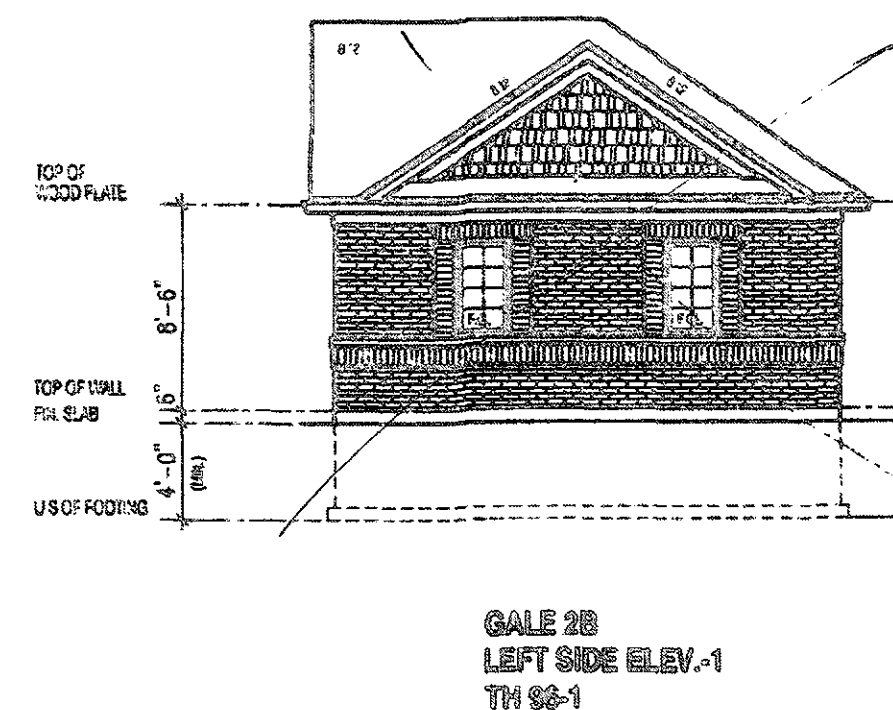
HORIZON 3E
ELEV-1
TM 98-5

BLOCK 96

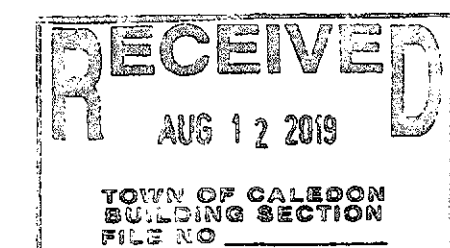
JUL 16 2019



BLOCK 96
Block 96-3



THIS DRAWING MUST BE
CONSIDERED AS PART OF
THE PROJECT AND NOT TO BE
REPRODUCED OR COPIED
WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT

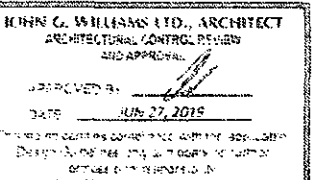


JUN 27 2019

BLOCK 96

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for ensuring or approving site (loading) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON AND THE TOWN OF CALEDON SHALL NOT BE RESPONSIBLE FOR OBTAINING SUCH PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON AND THE TOWN OF CALEDON SHALL NOT BE RESPONSIBLE FOR OBTAINING SUCH PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON AND THE TOWN OF CALEDON SHALL NOT BE RESPONSIBLE FOR OBTAINING SUCH PERMITS AND APPROVALS.

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3	JUNE 27, 2019 ISSUED FOR BUILDING PERMIT
2	JUNE 5, 2019 REVISED GRADING PER NEW GRADING PLAN ISSUED TO CLIENT
1	DEC 13, 2018 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN CR. SUITE 3A
VAUGHAN ONT. L4K 3P4
TEL: 905 460-3377 FAX: 905 660-3713
EMAIL: info@jardindesignco.com

The undersigned has reviewed and takes responsibility for this design and has the certification and approval of the undersigned and the undersigned shall be responsible for obtaining all necessary permits and approvals from the Town of Caledon and the Town of Caledon shall not be responsible for obtaining such permits and approvals.

CLARENCE H. HARRISON
Registered Professional Engineer
21031
DEC 13, 2018

Jardin design group inc. 27263
DEC 13, 2018

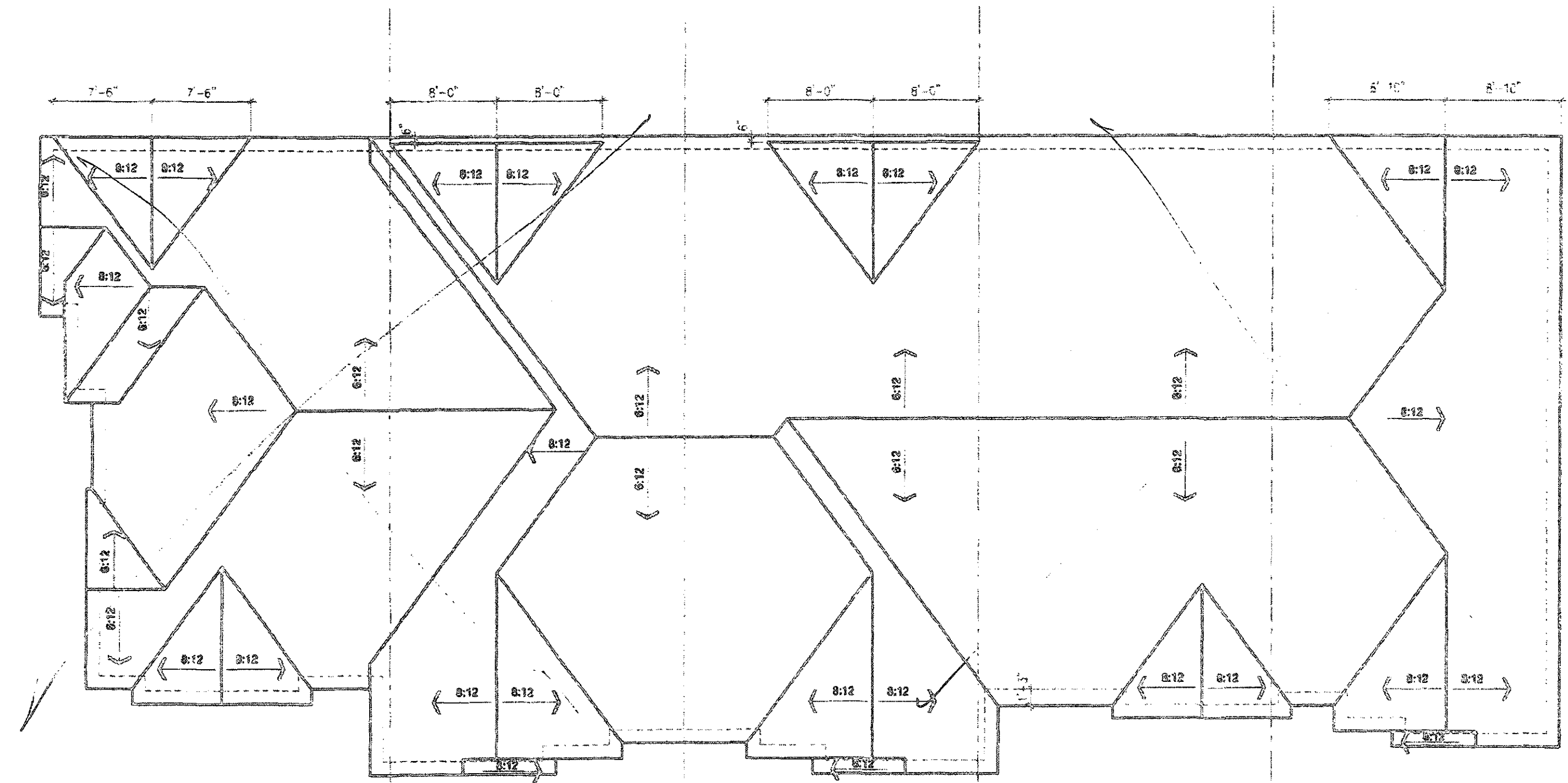
STREETSCAPE
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

SCALE: 1/8" = 1'-0"

18-18 4

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural and all applicable regulations and requirements including zoning provisions and any in the subdivision agreement. The Architect is not responsible in any way for examining or approving any (lotting) working drawings with respect to any building code or permit matter or house can be properly built or located.

This is to certify that these plans with the applicable Architectural Guidelines approved by the TOWN OF CALEDON.



Block 96-3

HORIZON 12
ELEV-1
TH 96-1

HORIZON 2
ELEV-1
TH 96-2

HORIZON 2
ELEV-1
TH 96-3

HORIZON 1
ELEV-1
TH 96-4

HORIZON 2E
ELEV-1
TH 96-5

BLOCK 96

THIS ROOFLINE MUST BE
CONFORMANT TO MEET ON
TOWN OF CALEDON
TOWN OF CALEDON

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS INCLUDING ZONING PROVISIONS AND ANY IN THE SUBDIVISION AGREEMENT. THE ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR EXAMINING OR APPROVING ANY (LOTTING) WORKING DRAWINGS WITH RESPECT TO ANY BUILDING CODE OR PERMIT MATTER OR HOUSE CAN BE PROPERLY BUILT OR LOCATED.

THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE ARCHITECT.

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2	JUNE 5 2019 REVISED GRADING PER NEW GRADING TO CLIENT
1	DEC. 13 2018 ISSUED FOR BUILDING PERMIT

No.	DATE	WORK DESCRIPTION
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Jardir
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3378
EMAIL: info@jardirdesign.com

The undersigned has reviewed and takes responsibility for and has the right to make any and all amendments to these drawings. The undersigned is not responsible for any errors or omissions in these drawings. The undersigned is not responsible for any errors or omissions in these drawings. The undersigned is not responsible for any errors or omissions in these drawings.

ROOF PLAN	
LAMBERTS LANE - PHASE 2	
TOWN OF CALEDON	
DATE	T
SCALE	1/8" = 1'
NO. 18	18-18

RECEIVED
AUG 12 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUN 12 2019