

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW
AND APPROVAL

APPROVED BY _____
DATE JUN 25, 2012

This stamp certifies compliance with the applicable
Design Code Act, and does not constitute
approval or endorsement of any

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "B. MARINKOVIC" is written above the number "1219". A stylized drawing of a bridge or arch is positioned behind the text.

RECEIVED
AUG 12 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO _____

NOTE:
REFER TO INDIVIDUAL PLANS FOR
STANDARD WOOD, STEEL BEAMS AND
LINTELS OVER WINDOWS

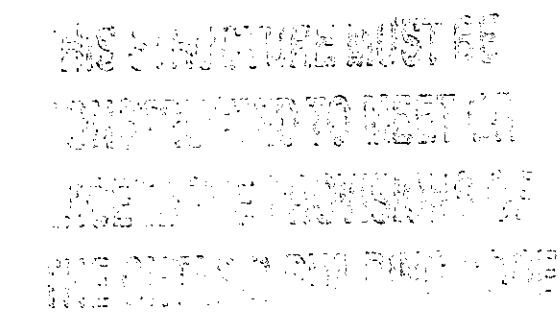
NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER
APPROVED ROOF TRUSS DRAWINGS BY
MANUFACTURER

WOOD LINTELS:

W11 - 2" x 8" SPRUCE BEAM
W12 - 3" x 8" SPRUCE BEAM
W13 - 2" x 10" SPRUCE BEAM
W14 - 3" x 10" SPRUCE BEAM
W15 - 2" x 12" SPRUCE BEAM
W16 - 3" x 12" SPRUCE BEAM
W17 - 5" x 12" SPRUCE BEAM
W18 - 4" x 8" SPRUCE BEAM
W19 - 4" x 10" SPRUCE BEAM
W20 - 4" x 12" SPRUCE BEAM
W21 - 2" x 2" BOARD
W22 - 1" x 2" BOARD



BILD



Block 96-4

Mar 12 1961

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for assessing or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY [Signature]
DATE: JUL 17, 2019
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility

THE GOVERNMENT HAS COMPLETED THE FIRST STAGE OF A COMPREHENSIVE RE-ORGANIZATION OF THE NATIONAL DEFENSE AGENCY, AND IS NOW CONSIDERING THE SECOND STAGE OF THE RE-ORGANIZATION. THE GOVERNMENT HAS COMPLETED THE FIRST STAGE OF THE RE-ORGANIZATION, AND IS NOW CONSIDERING THE SECOND STAGE OF THE RE-ORGANIZATION. THE GOVERNMENT HAS COMPLETED THE FIRST STAGE OF THE RE-ORGANIZATION, AND IS NOW CONSIDERING THE SECOND STAGE OF THE RE-ORGANIZATION.

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3	JULY 11, 2019	REV. PER NEW BRUSS LAYOUTS RESERVED TO CLIENT
2	JUNE 5, 2019	PERIOD GRAB NO. PER NEW GRABIN PLAN RESERVED TO CLIENT
1	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set in the Ontario Building Code to be a designer

DECLARATION OF INFORMATION
Required unless design is covered under Division C, Subsection 2.2.4 of the building code

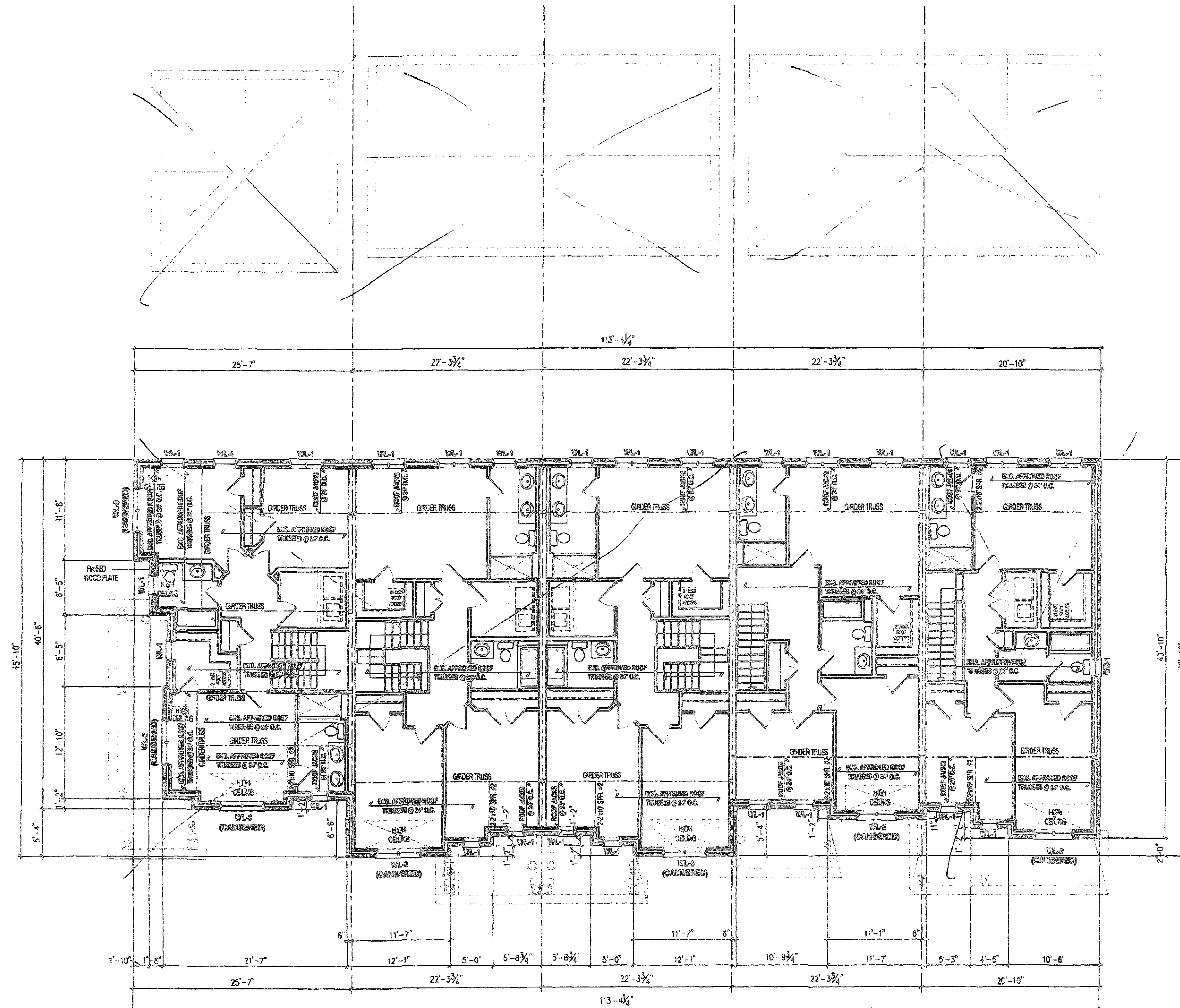
Walter Boller *WBB* 21431
NAME SIGNATURE DATE

DECLARATION OF INFORMATION
Required unless design is covered under Division C, Subsection 2.2.4 of the building code

Jarvin design group inc. 27763

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

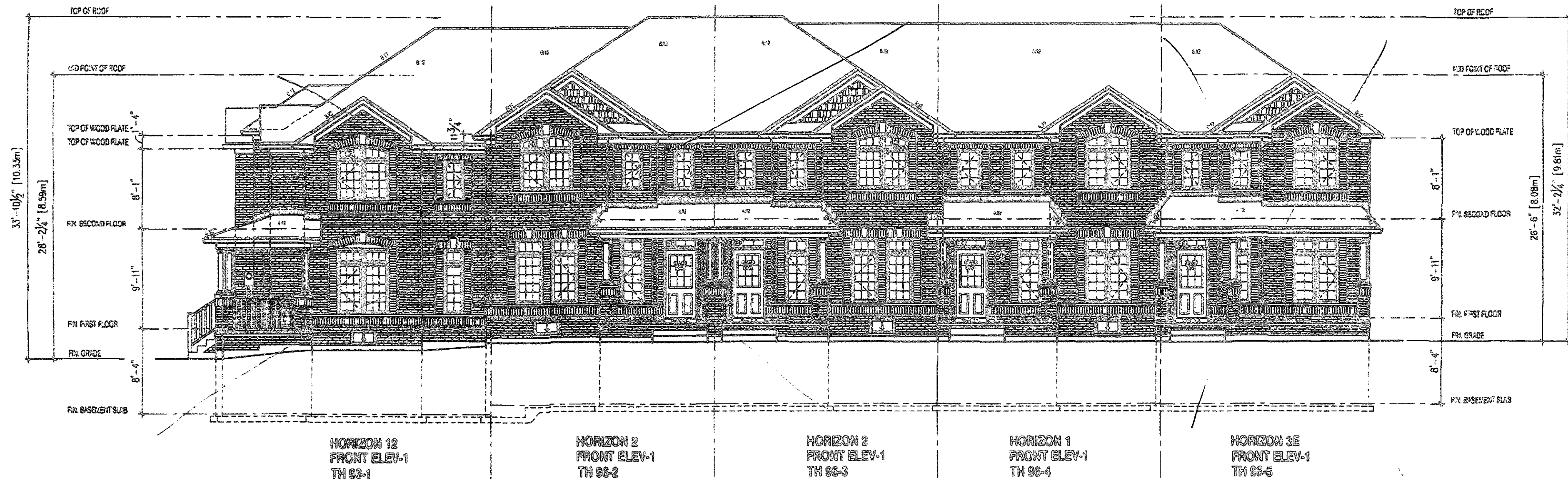
	TYPE	T	SSD	—
	SCALE	1/8"=1'-0"		
	DATE	18-18	PRICE	3



HORIZON 3E
ELEV-1
TH 98-5

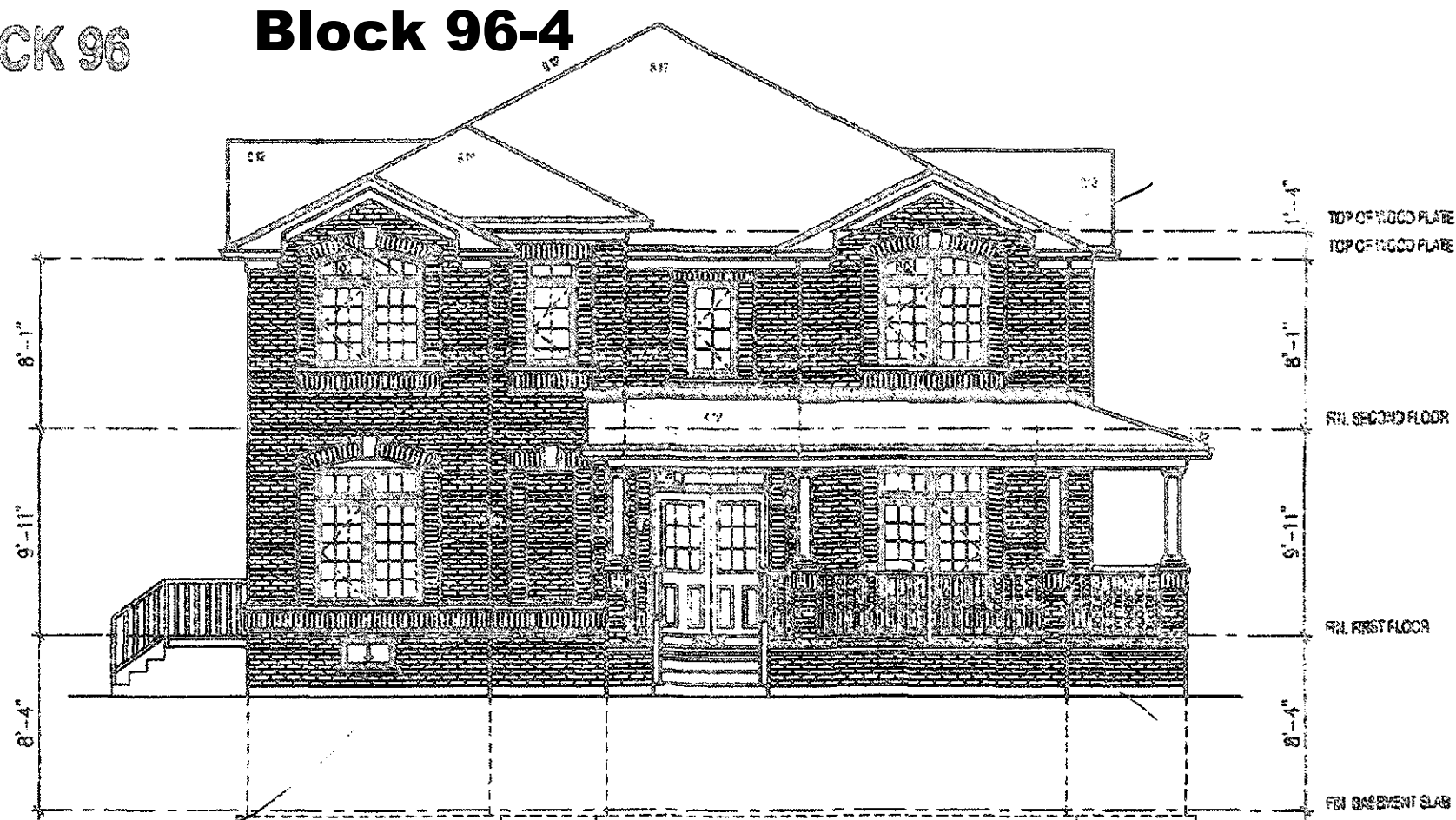
Block 96-4

JUL 16 2019

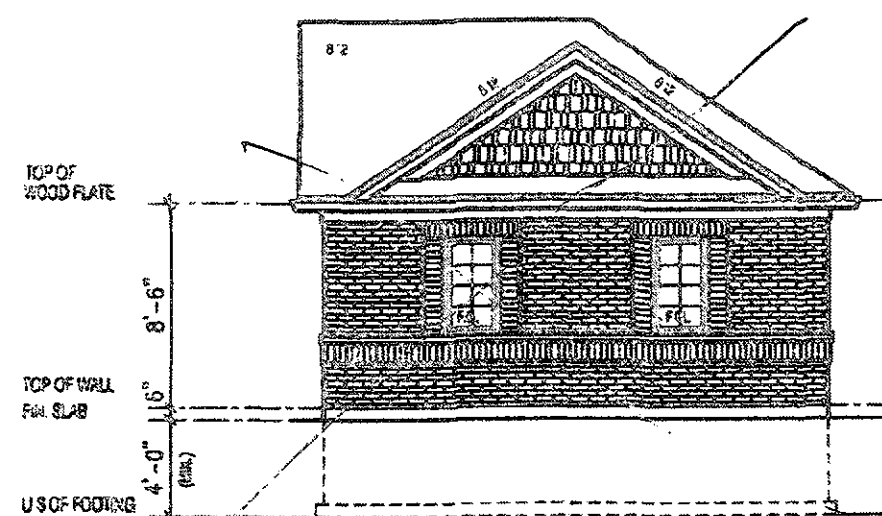


BLOCK 96

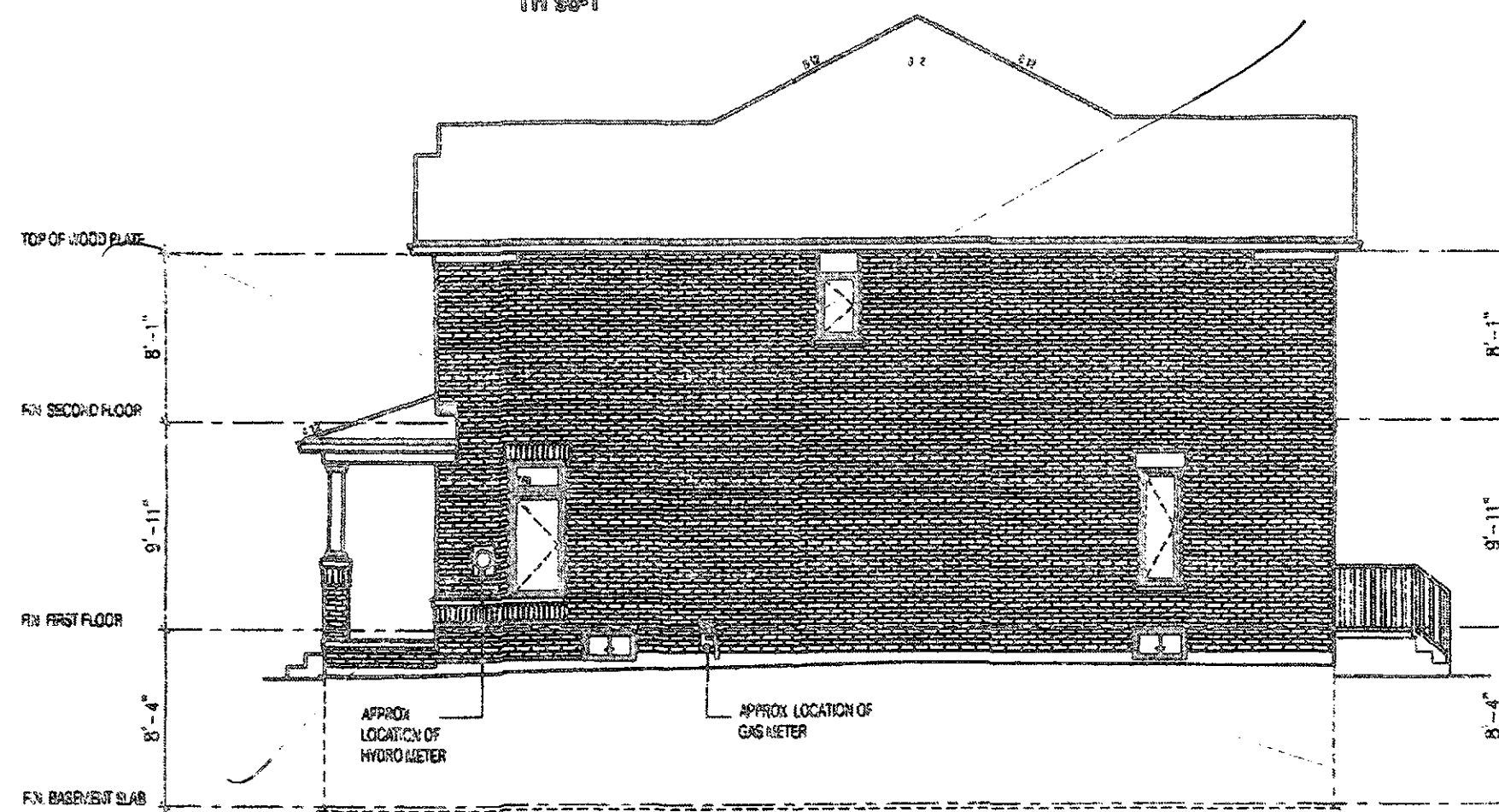
Block 96-4



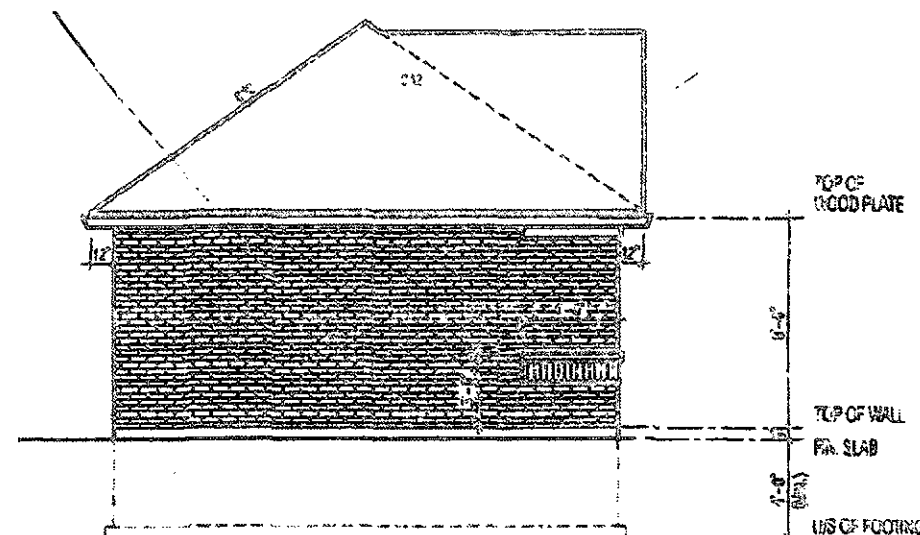
HORIZON 12
FLANKAGE ELEV.-1
TH 96-1



GALE 28
LEFT SIDE ELEV.-1
TH 96-1

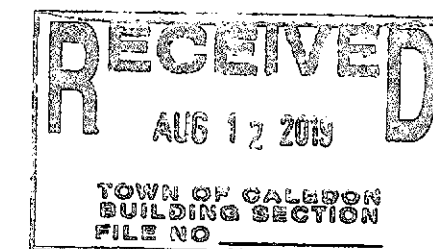


HORIZON 3E
SIDE ELEV.-2
TH 96-5



GALE 18
SIDE ELEV.-3
TH 96-6

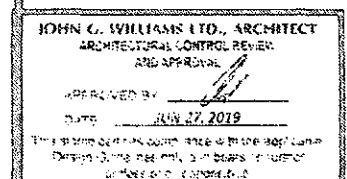
THIS STRUCTURE MUST BE
CONSTRUCTED IN ACCORDANCE
WITH THE TOWN OF CALEDON
BUILDING CODE



BLOCK 96

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. ANY INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. ANY INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.

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3	JUNE 27, 2019
2	JUNE 5, 2019
1	DEC. 13, 2018

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for the design and has the final decision and makes the representations set out in the Ontario Building Code to the designer.

CLAUDE JARDIN, ARCHITECT
Registered with the Ontario Association of Architects (OAA) and the Ontario Association of Architects (OAA) and the Ontario Association of Architects (OAA).

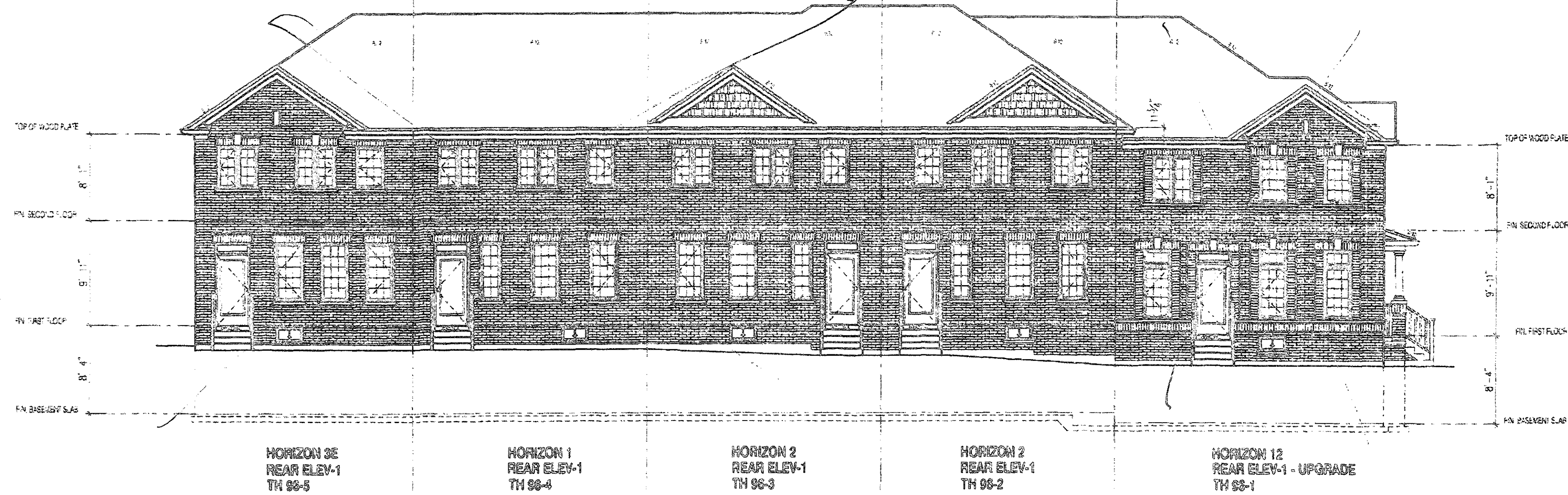
Walter Foster 21031
2000
27760
27760

STREETSCAPE
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

BILD

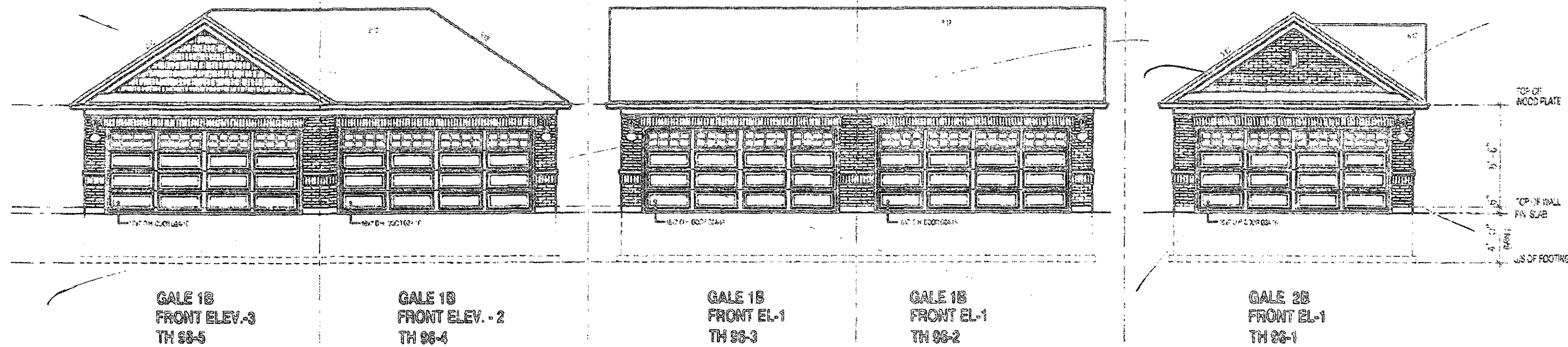
1/8" = 1'-0"
18-18 4

JUN 27 2019

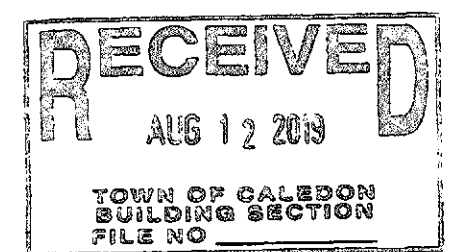


Block 96-4

BLOCK 96



THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE MINIMUM
REQUIREMENTS OF THE
TOWN OF CALEDON



JUN 12 2019

BLOCK 96

It is the builder's complete responsibility to ensure that all plans submitted for a building permit fully comply with the Architectural Guidelines and all applicable regulations and requirements. The Architect is not responsible in any way for the construction of the building or for the safety of the building or for the safety of the occupants of the building.

This is to certify that these plans with the applicable Architectural Guidelines approved by the TOWN OF CALEDON.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: 08/25/2019
DRAWN BY: J. WILLIAMS
CHECKED BY: J. WILLIAMS
DESIGNED BY: J. WILLIAMS
PROJECT NO.: 18-18

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON.

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DATE: 08/25/2019

WORK DESCRIPTION: 18-18

jardin
DESIGN GROUP INC.
24 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4V 3P3
TEL: 905.650.3377 FAX: 905.650.3378
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for the design of the building and for the safety of the building and for the safety of the occupants of the building.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C. 3.1.1 of the Building Code.

Walter Butler
DATE: 08/25/2019
DESIGNATION: ARCHITECT
Required unless design is exempt under Division C. 3.1.1 of the Building Code.

jardin design group inc.
18-18

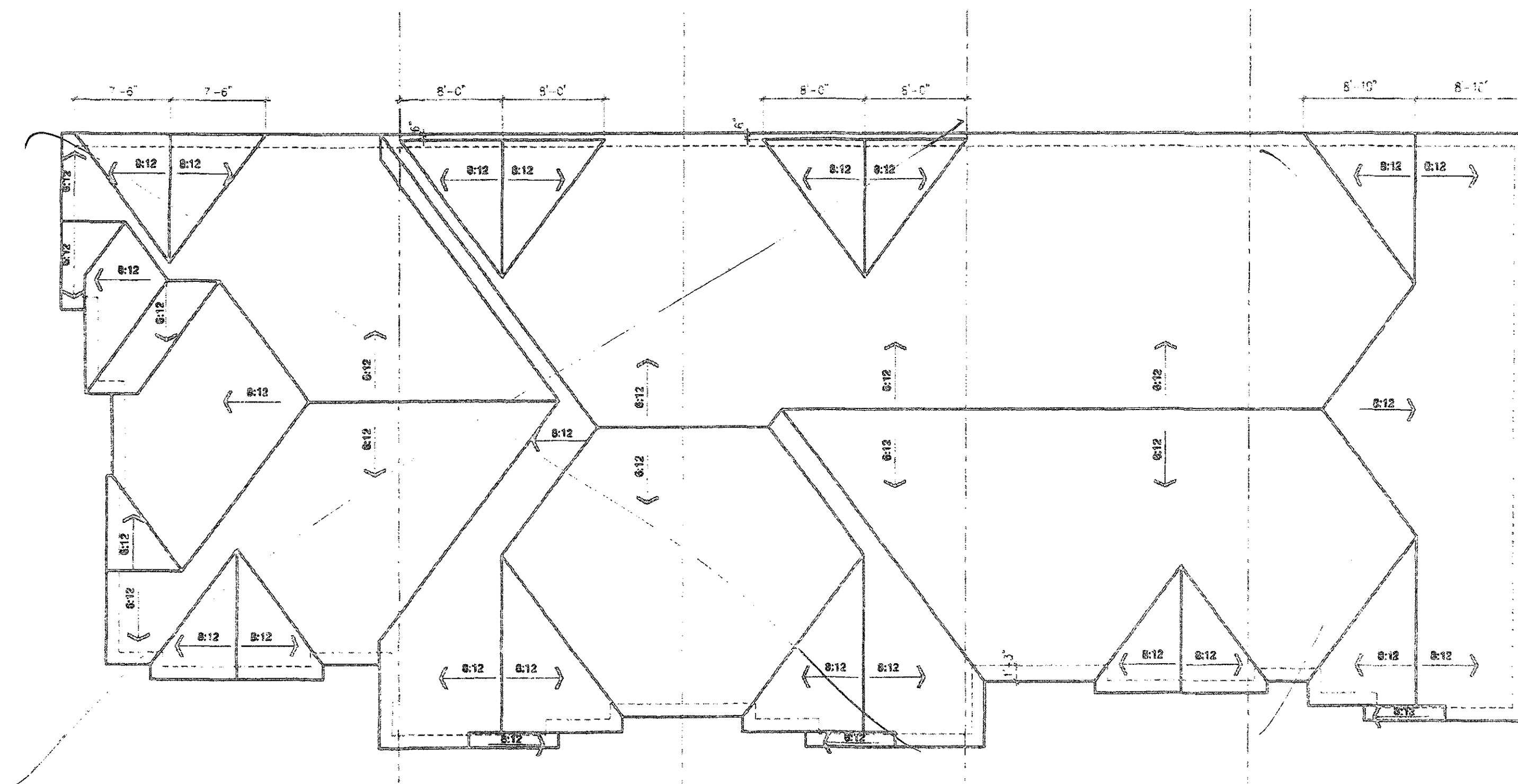
STREETSCAPE

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

FILE	T	DATE	18-18
SCALE	1/8" = 1'-0"	DATE	18-18

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and not including zoning provisions and any other provisions in the subdivision agreement. The Architect is not responsible in any way for examining or approving any building drawings with respect to any building code or permit matter or house can be properly built or located.

This is to certify that these plans with the applicable Architectural Guidelines approved by the TOWN OF CALEDON.



Block 96-4

HORIZON 12
ELEV-1
TH 96-1

HORIZON 2
ELEV-1
TH 96-2

HORIZON 2
ELEV-1
TH 96-3

HORIZON 1
ELEV-1
TH 96-4

HORIZON SE
ELEV-1
TH 96-5

BLOCK 96

THIS PLAN IS THE MOST RECENT
REVISION TO THE PLAN
AND THE REVISIONS OF
THE PLAN ARE SHOWN

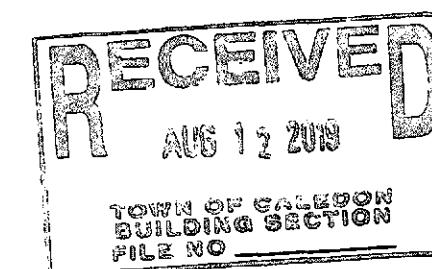
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON AND THE TOWN OF CALEDON SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO OBTAIN SUCH PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF CALEDON AND THE TOWN OF CALEDON SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO OBTAIN SUCH PERMITS AND APPROVALS.

NO.	DATE	WORK DESCRIPTION
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2	JUNE 5 2018	REVISED DRAWING FOR REVIEW SUBMITTED TO CLIENT
1	DEC. 13 2018	ISSUED FOR BUILDING PERMIT

NO. DATE WORK DESCRIPTION

Jardir
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905 660 3377 FAX: 905 660 3378
EMAIL: info@jardirdesign.ca

The undersigned has reviewed and taken responsibility for and has the responsibility and issues the requirements of the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C.5 of the Building Code.
Walter Boller
REGISTERED PROFESSIONAL
Required unless design is exempt under Division C.5 of the Building Code.
Jardir design group inc.
18-18



ROOF PLAN

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

NO.	DATE	WORK DESCRIPTION
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2	JUN 12 2018	REVISED DRAWING FOR REVIEW SUBMITTED TO CLIENT
1	DEC. 13 2018	ISSUED FOR BUILDING PERMIT

NO. DATE WORK DESCRIPTION

18-18

JUN 12 2018