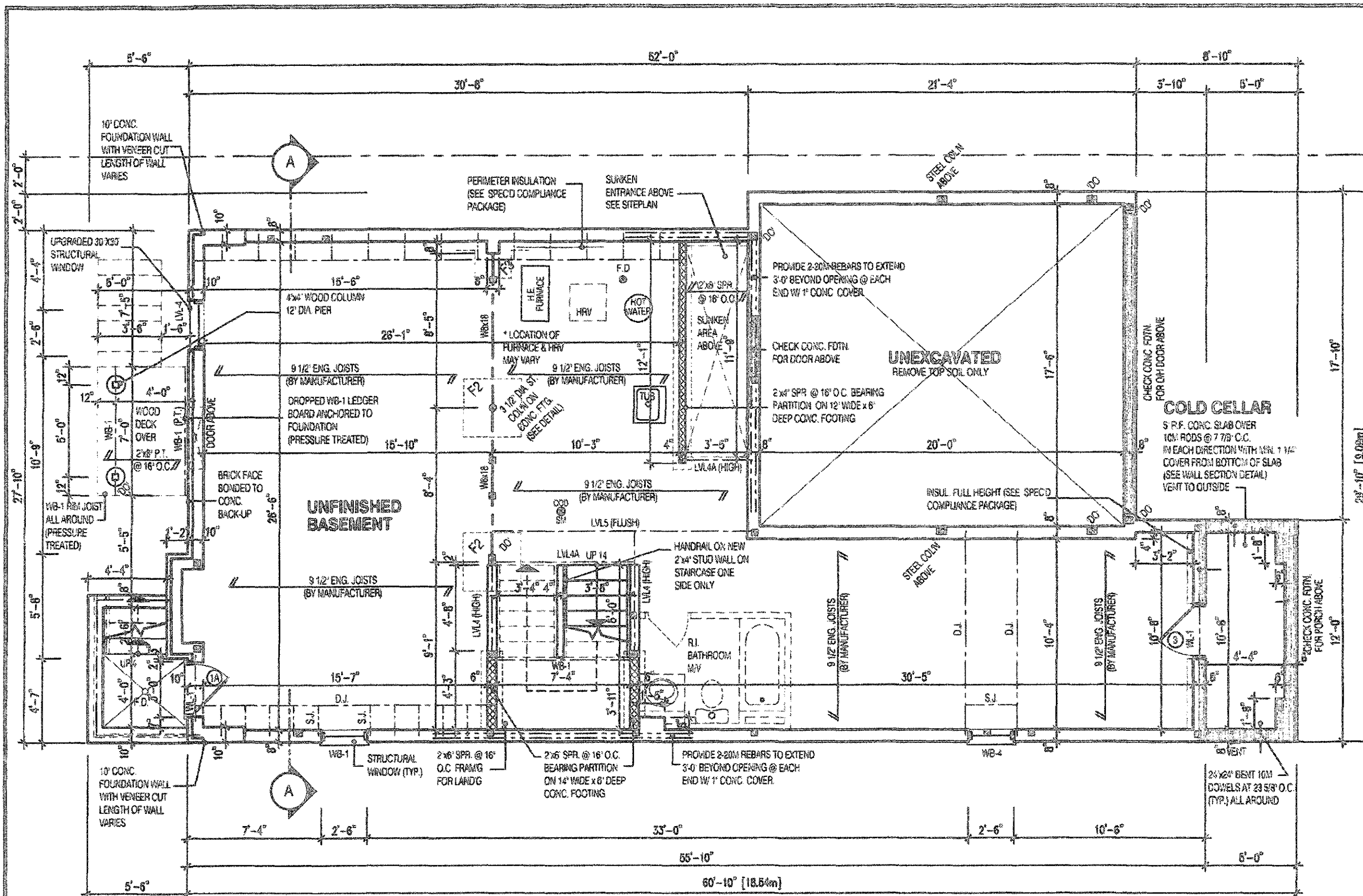
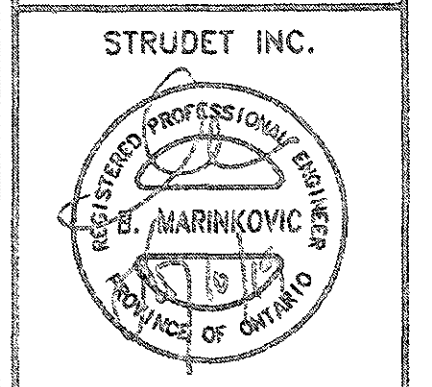


18-18	0
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2638
11.0m LOTS
BARTON 3-010 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12



FOR STRUCTURAL ONLY

THIS DOCUMENT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC. THE USER OF THIS DOCUMENT AGREES TO HOLD JARDIN DESIGN GROUP INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY JARDIN DESIGN GROUP INC. OR ITS EMPLOYEES, AGENTS, OR SUBCONTRACTORS, IN CONNECTION WITH THE USE OF THIS DOCUMENT.

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4	SEP 09, 2019	REV AS PER CLIENT COMMENTS, AND FESSED TO CLIENT
3	AUG 29, 2019	PREPARED DRAWING FOR LOT-10 ISSUED TO CLIENT
2	JAN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

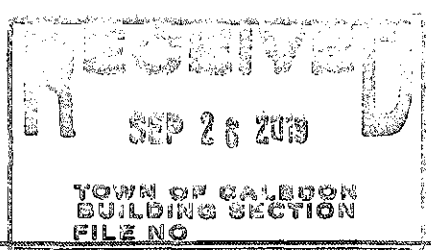
It is the architect's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning requirements and any conditions in the subdivision agreement. The Control Architect is not responsible in any way for engineering or approving any (noting) plans or working drawings with respect to any safety or building code or permit or that any house can be properly built or located on the lot.

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.4 of the Building Code
Jardin design group inc. 27763
FIRM NAME BCIN

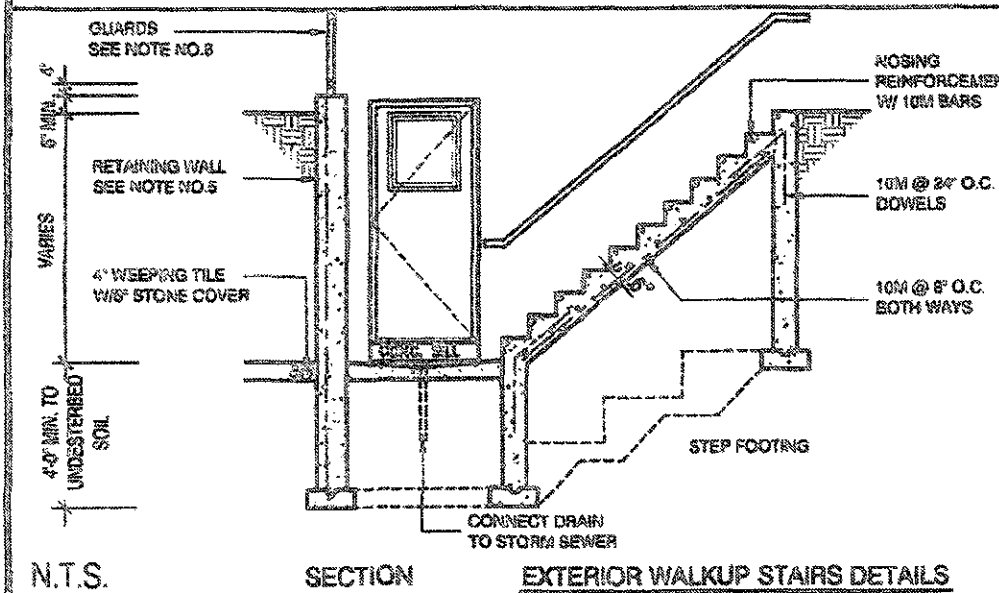
BASEMENT PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	---
SCALE	3/16" = 1'-0"
PROJ. NO.	18-18
DWG. NO.	1A

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE



SEP 10 2019



- GENERAL NOTES:**
- FOOTING**
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL CONCRETE.
 - MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.**
 - EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
 - INSULATION**
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
 - RETAINING WALL**
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 18M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OSC DIVISION B SECTION 4.1.5.18.
 - GUARDS**
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7.2 ROWS FOR SPANS GREATER THAN 7'

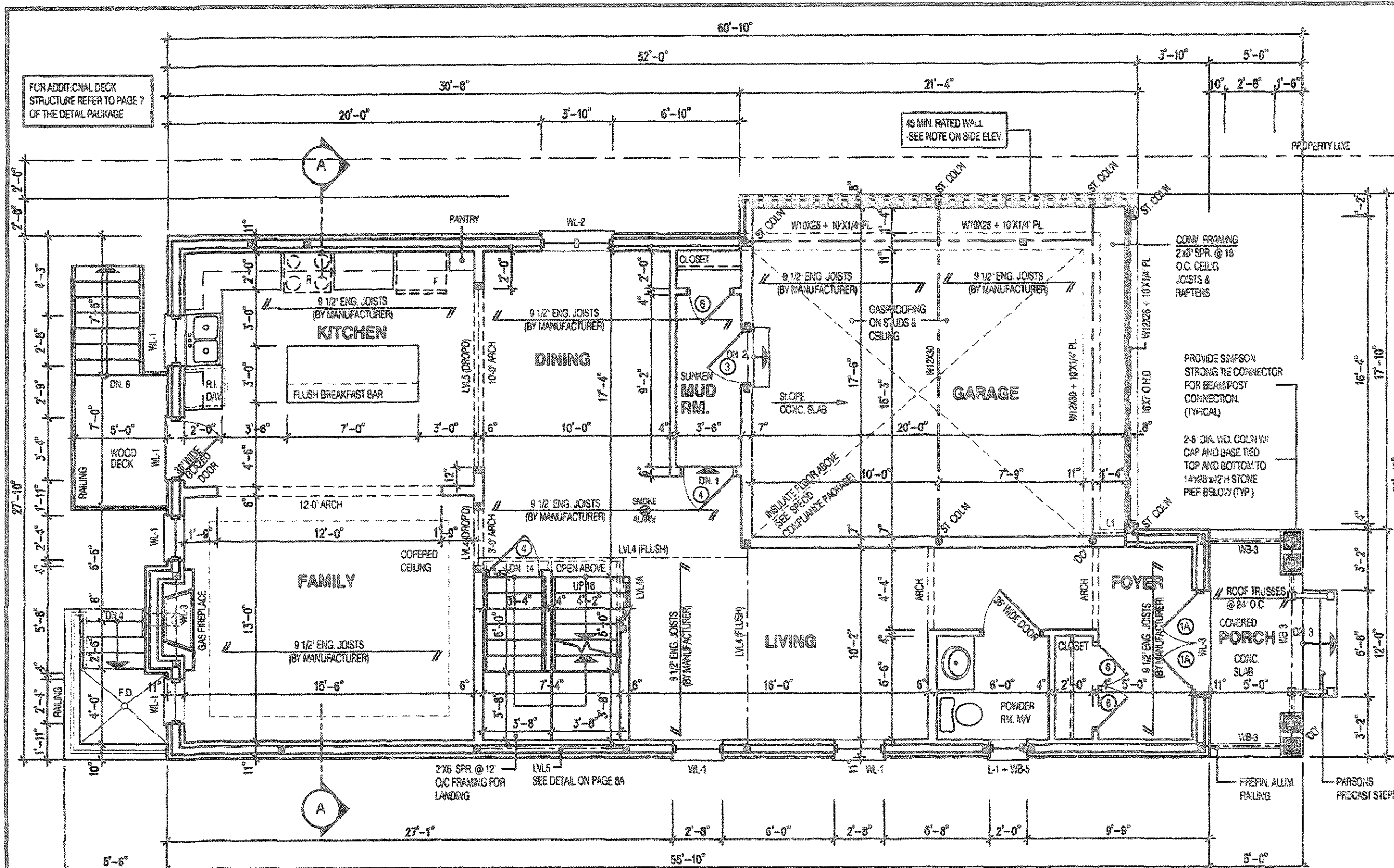
NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

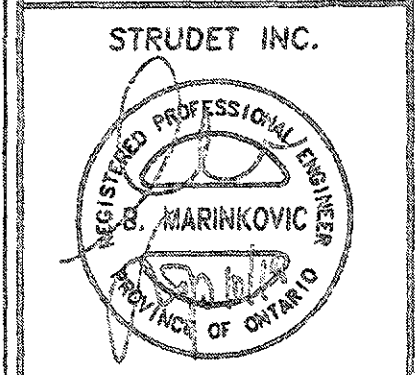
NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

It is the architect's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning requirements and any conditions in the subdivision agreement. The Control Architect is not responsible in any way for engineering or approving any (noting) plans or working drawings with respect to any safety or building code or permit or that any house can be properly built or located on the lot.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL, ENGINEERING, INTERIOR DESIGN
2019 OF PROFESSIONAL ARCHITECTS
APPROVED BY: [Signature]
DATE: SEP 12 2019
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



2638
11.0m LOTS
BARTON 3-010 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12
THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



FOR STRUCTURAL ONLY
THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. SHALL BE RESPONSIBLE FOR THE ACCURACY
OF SURVEY AND FOUNDATION DATA. NO WARRANTIES, EXPRESSED OR
IMPLIED, ARE MADE FOR THE DESIGN OR CONSTRUCTION OF THE
STRUCTURE OR FOR THE PERFORMANCE OF THE STRUCTURE. THE
DESIGNER ASSUMES NO LIABILITY FOR THE FAILURE OF THE STRUCTURE
OR FOR THE FAILURE OF THE FOUNDATION OR FOR THE FAILURE OF THE
DESIGN OR CONSTRUCTION OF THE STRUCTURE. THE DESIGNER
ASSUMES NO LIABILITY FOR THE FAILURE OF THE STRUCTURE OR
FOR THE FAILURE OF THE FOUNDATION OR FOR THE FAILURE OF THE
DESIGN OR CONSTRUCTION OF THE STRUCTURE.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS NOT TO BE
REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN
CONSENT OF JARDIN DESIGN GROUP INC.

7		
6		
5		
4	SEP 03, 2019	REV AS PER CLIENT COMMENTS, AND REISSUED TO CLIENT
3	AUG 29, 2019	PREPARED DRAWING FOR LOT 10, REISSUED TO CLIENT
2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT

NO: DATE: WORK DESCRIPTION:
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.
QUALIFICATION INFORMATION
Required unless design is completed under Division C, Subsection
3.1.5 of the building code.

Waiter Boller 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is completed under Division C, Subsection
3.1.5 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

BILD	TYPE	AREA
	SCALE	3/16" = 1'-0"
	PROJ. NO.	18-18
	DWG. NO.	2A

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL
BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE
1 ROW BRIDGING FOR SPANS OF 5'-7. 2 ROWS
FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

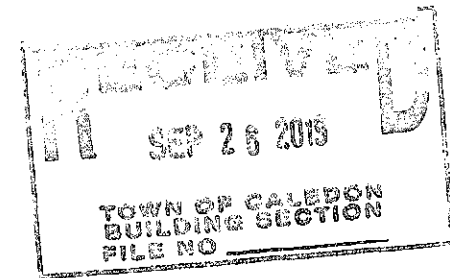
NOTE:
SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:
BUILDING FACE < THAN 4'-0" (1.2m)
(AS MIN. FIRE RATING REQ'D)
INDICATES SCUD BEARING REQUIRED
OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COLN ABOVE
LAMINATED VENEER LVL/SER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
REPEAT NOTE
SHOWER WEEPERS

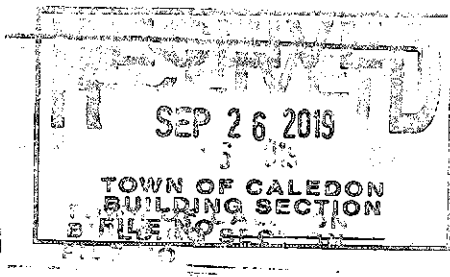
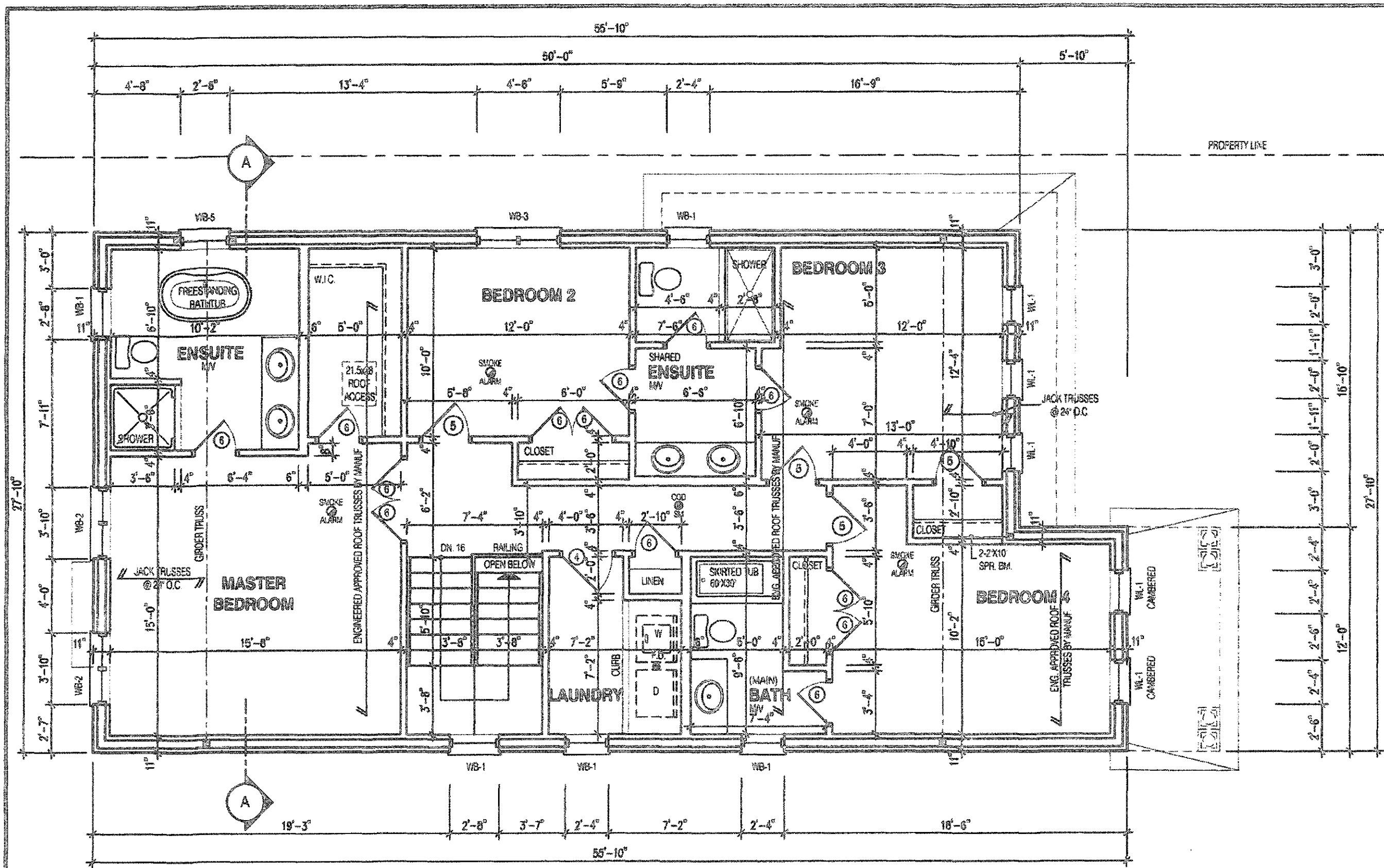
It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Contract
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
plans can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILKINSON LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: 2022.09.11
IN WITNESS WHEREOF, I have hereunto set my hand and
the seal of the firm at the City of Caledon, Ontario, Canada
this 11th day of September, 2022.



SEP 10 2019



SEP 10 2019

- LEGEND:**
- BUILDING FACE < 4'-0" (1.2m) (45 MIN. FIRE RATING REQD)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLUMN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for a building or structure that does not conform to the applicable Building Code or any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

PHILIP G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
DATE: SEP 12 2019
This stamp is valid only for the project and site shown on this drawing.

2638
11.0m LOTS
BARTON 3-010 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

STRUDET INC.

FOR STRUCTURAL ONLY

No.	DATE	WORK DESCRIPTION
7		
6		
5		
4	SEP. 08, 2019	REV. AS PER CLIENT COMMENTS AND REISSUED TO CLIENT
3	AUG. 29, 2019	PREPARED DRAWINGS FOR LOT-30 REISSUED TO CLIENT
2	JUN. 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

Walter Boller **21031**
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

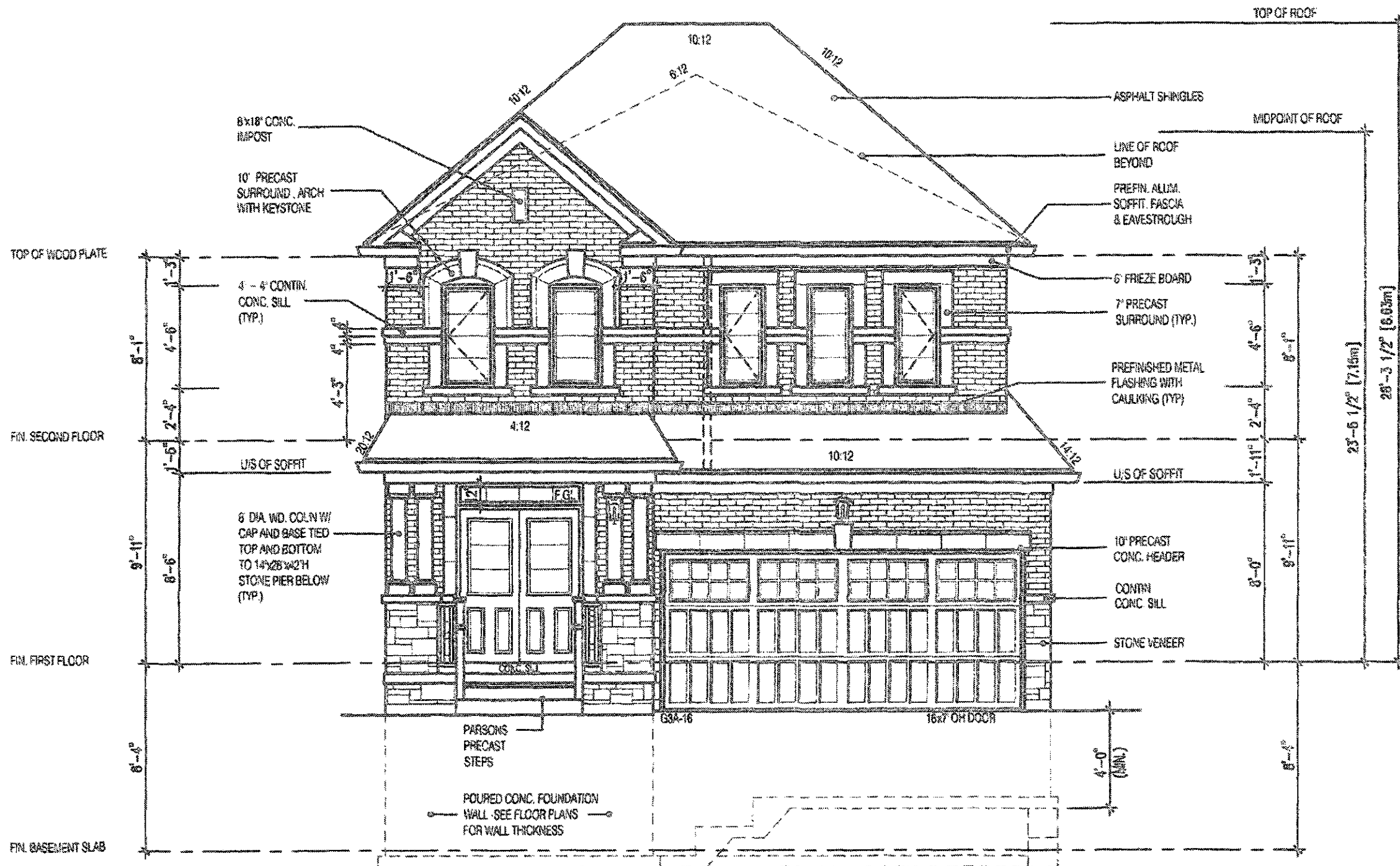
jardin design group inc. **27763**
FIRM NAME BCN

SECOND FL. PLAN EL-2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

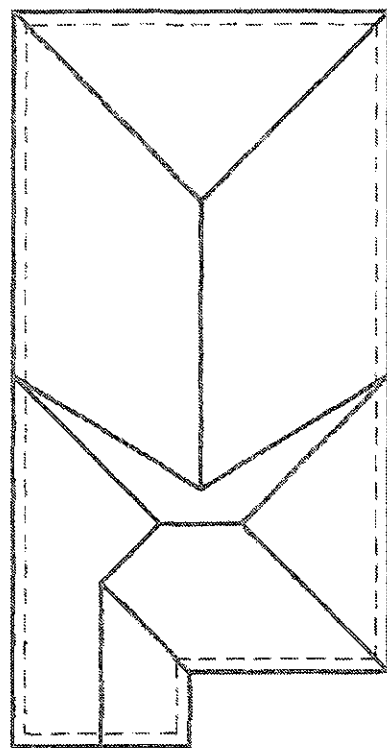
TYPE	AREA
7	

SCALE
3/16" = 1'-0"

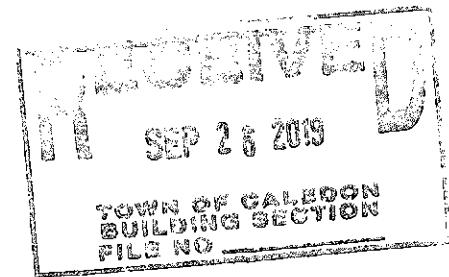
PROJ. No. 18-18 **DWG. No.** 3A



**BARTON 3-010
ELEV-2**



**ROOF PLAN
N.T.S.**



SEP 18 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL, COURTESY DESIGN
AND APPROVAL
APPROVED BY
DATE 09/10/2019
This stamp certifies that the plans have been reviewed and approved by the Council Architect.

2638
11.0m LOTS
BARTON 3-010 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

**THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE**

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONSIDER ALL CITY BY-LAWS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE CLIENTS ON OR BEFORE THE COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR CIVIL DRAWINGS OR THE PROPERTY OF THESE CRANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS. REFER TO THE APPROPRIATE BUILDING DEPARTMENT BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED, THIS MUST BE VERIFIED AS TO FOLLOWING FOOTINGS
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CONDUCT A GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS PREPARED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4	SEP 08, 2019	REV AS PER CLIENT COMMENTS, AND REISSUED TO CLIENT
3	AUG 28, 2019	PREPARED DRAWING FOR LOT-10, REISSUED TO CLIENT
2	JAN 17, 2019	ISSUED FOR BUILDING PERMIT
1	OCT 15, 2018	COMPLETED TO PRECOORDINATION STAGE, ISSUED TO CLIENT

No DATE WORK DESCRIPTION:

Jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

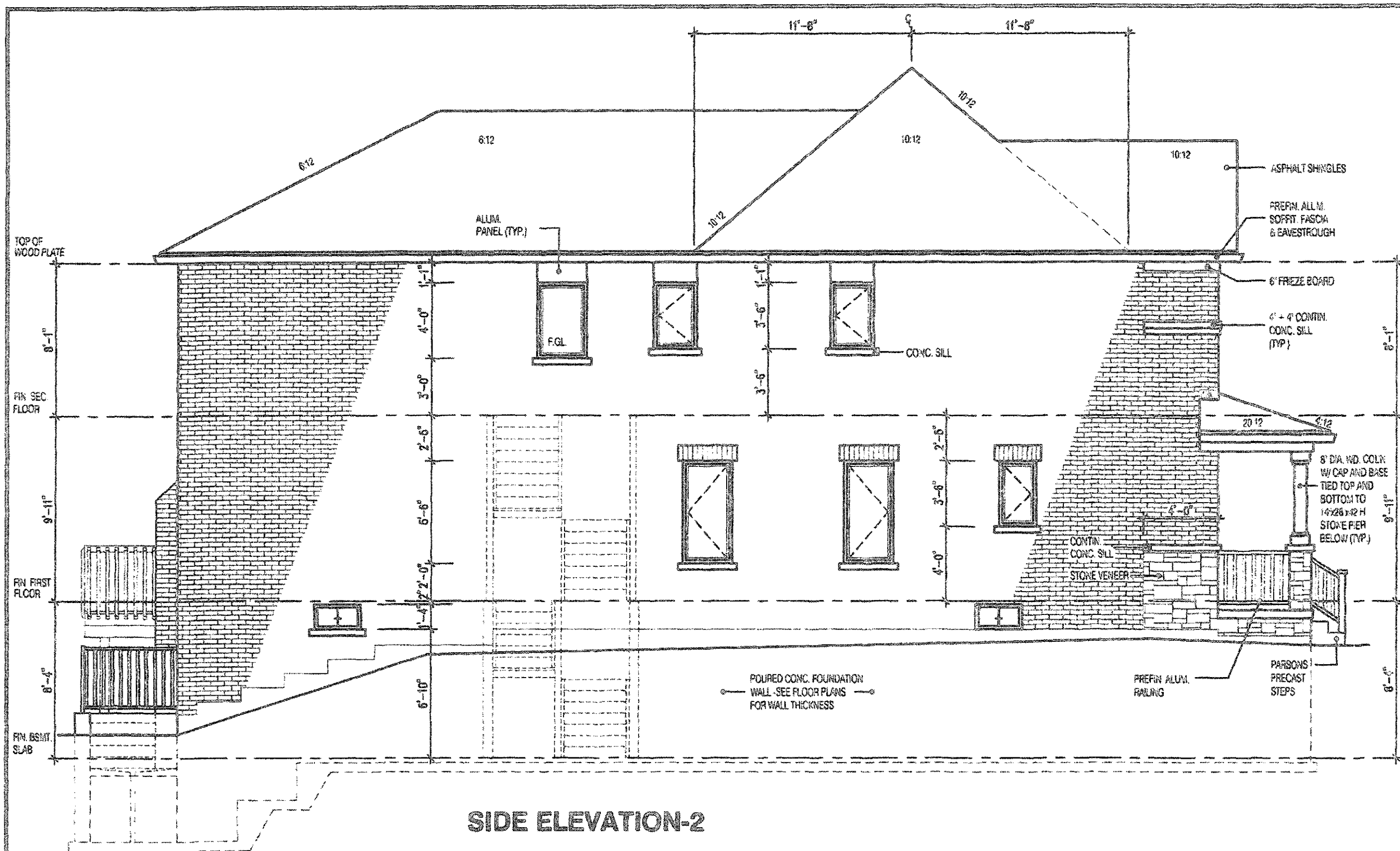
Waiver Status *Waiver* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRMA NAME BCIN

FRONT ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

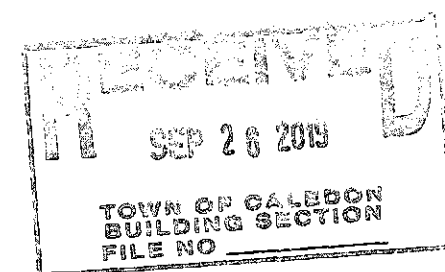
BILD
TYPE AREA
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWS. No. 4A



SIDE ELEVATION-2

UNPROTECTED OPENINGS

WALL AREA	1172	φ
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	82.0	φ
ACTUAL GLASS AREA	54.9	φ



SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (building) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTING REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 10 2019
The Building Department is a part of the Town of Caledon, Ontario, Canada. It is not responsible for the design or construction of the building.

2638
11.0m LOTS
BARTON 3-010 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THIS DRAWING MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

THE CONTRACTOR SHALL CHECK AND OVERSEE ALL DESIGNERS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR CIVIL ENGINEERING INFORMATION PROVIDED BY OTHER CONSULTANTS OR FOR CONSTRUCTION VARIATIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROVED ONE-STOP BUILDING DEPARTMENT PROCESS FOR MORE INFORMATION.
AS LOCATED, THE DRAWING MUST BE LIFTED FROM THE FLOORING.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE DESIGN AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE PROVIDED BY JARDIN DESIGN GROUP INC. TO THE CLIENT. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

No	DATE	WORK DESCRIPTION
7		
6		
5		
4	SEP. 09 2019	REV. AS PER CLIENT COMMENTS AND REISSUED TO CLIENT
3	AUG. 29 2019	PREPARED DRAWING FOR LOT 10 ISSUED TO CLIENT
2	JAN. 17 2019	ISSUED FOR BUILDING PERMIT
1	OCT. 16 2018	COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Walter Botter [Signature] 21031
NAME SIGNATURE BCIN

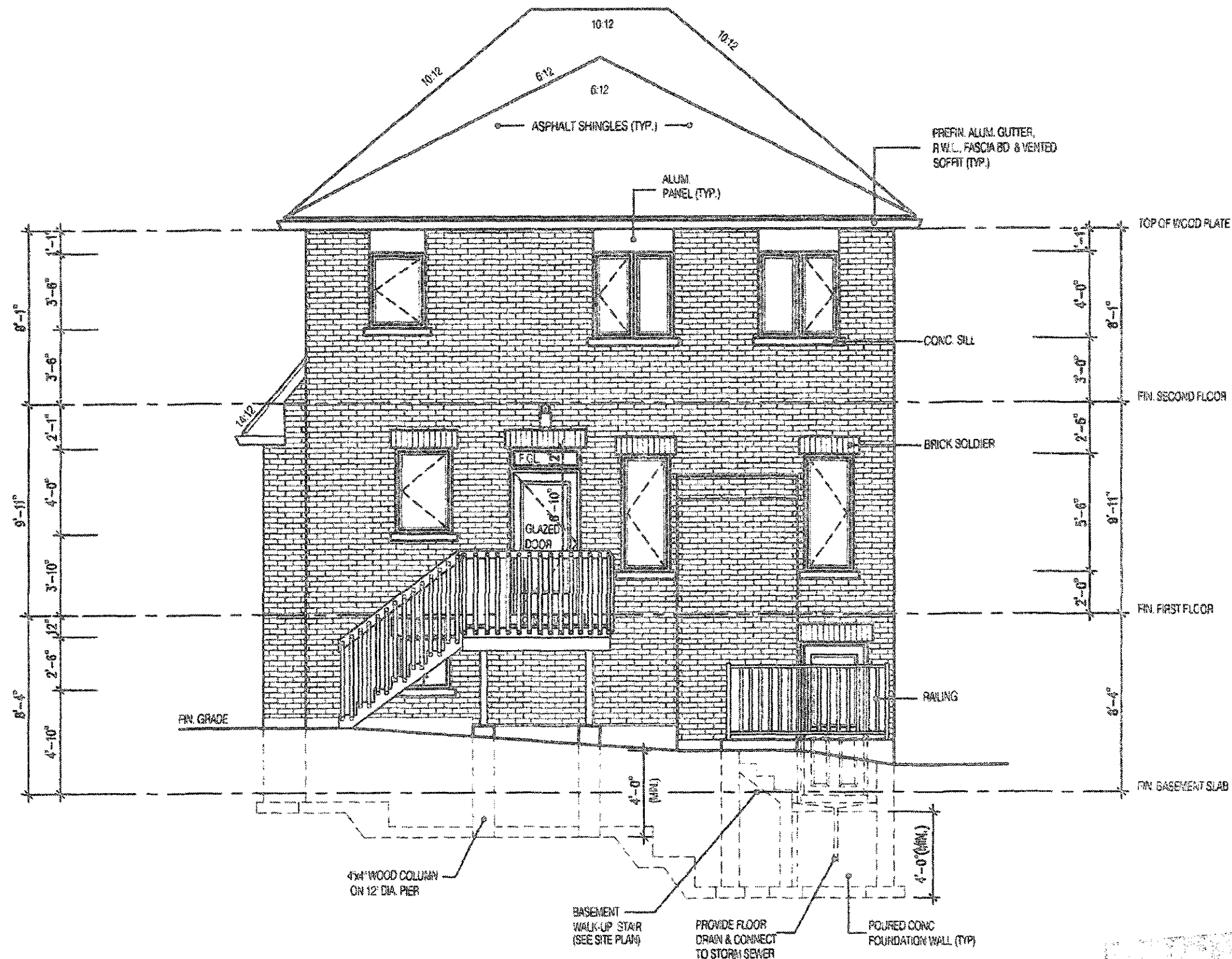
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	
SCALE	3/16" = 1'-0"
PROJ. No.	18-18
DWG. No.	5A

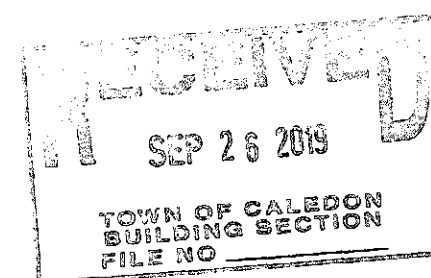
BILD



REAR ELEVATION 2 DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)



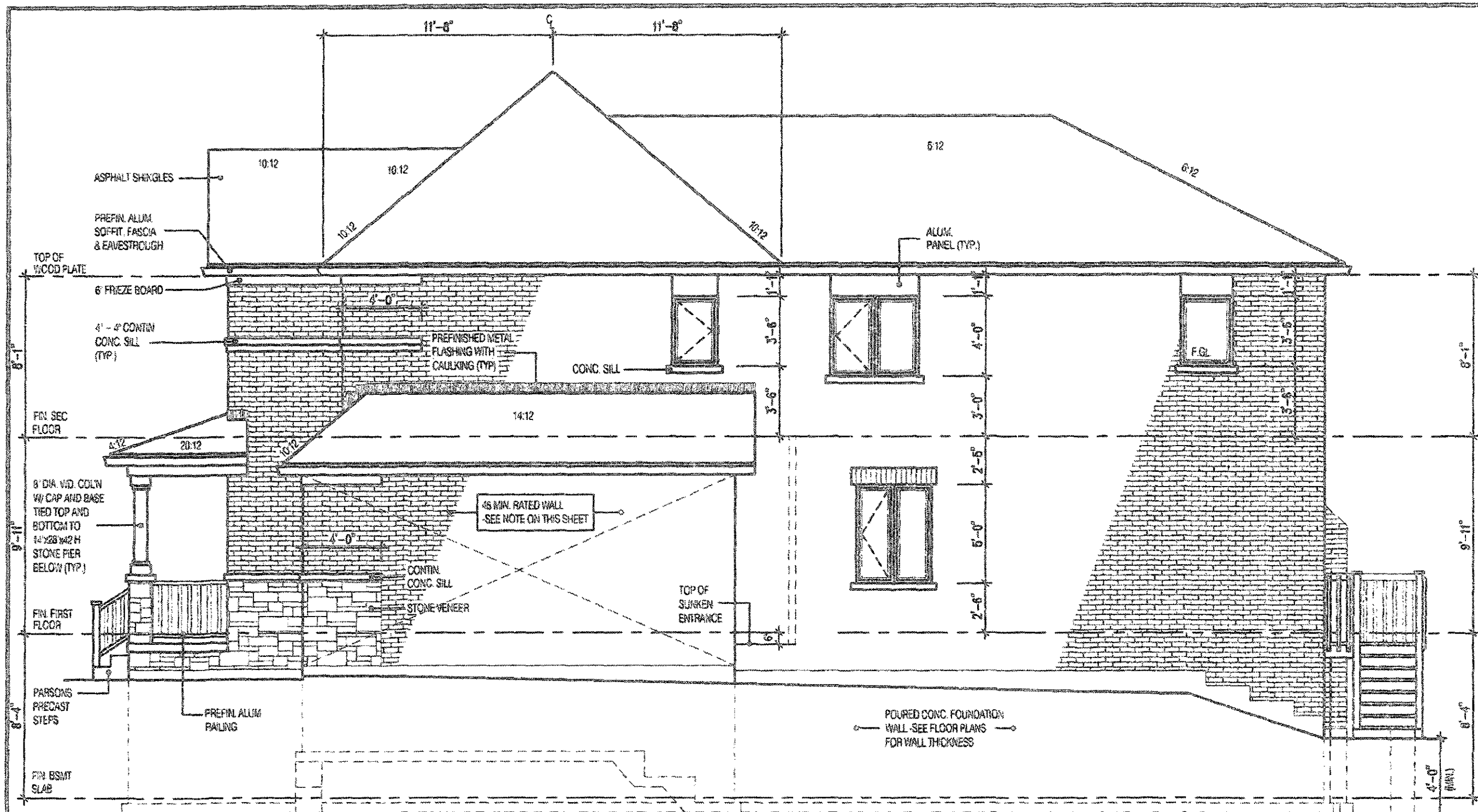
SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lot) plans or confirming drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTS & INTERIORS DESIGN
AND APPROVAL
DATE: 09/10/2019
This document is to be used for the purpose of confirming compliance with the Architectural Guidelines and is not to be used for any other purpose.

2638	
11.0m LOTS	
BARTON 3-010 (GR)	
ELEVATION 2	
ENERGY STAR	
O.REG. 332/12	
THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE	
THE CONTRACTOR SHALL DESIGN AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THIS ELEVATION PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SUPPLY, MANUFACTURE OR DELIVERY OF INFORMATION OR MATERIALS SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND MATERIALS SHOWN ON THESE DRAWINGS AND FOR CONSTRUCTION OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND MATERIALS SHOWN ON THESE DRAWINGS AND FOR CONSTRUCTION OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND MATERIALS SHOWN ON THESE DRAWINGS AND FOR CONSTRUCTION OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND MATERIALS SHOWN ON THESE DRAWINGS AND FOR CONSTRUCTION OF THE STRUCTURE.	
7	
6	
5	
4	
3	SEP 09, 2019 REV AS PER CLIENT COMMENTS AND REISSUED TO CLIENT
2	AUG 20, 2019 PREPARED DRAWING FOR LOT 10 REISSUED TO CLIENT
1	JUNE 13, 2018 DRAWING FOR LOT 10 ADDED TO SET
NO.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.co	
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION: Required unless design is exempt under Division C, subsection 3.2.5 of the Building Code.	
NAME	Walter Boller 21031
SIGNATURE	
REGISTRATION INFORMATION:	Required unless design is exempt under Division C, subsection 3.2.4 of the Building Code
FIRM NAME	jardin design group inc. 27763
DECK/WALK-UP CONDITION EL-2	
LAMBERTS LANE PHASE 2 TOWN OF CALEDON	
TYPE	AREA
SCALE	3/16" = 1'-0"
PROJ. No.	DWG. No.
18-18	6A



SIDE ELEVATION-2

UNPROTECTED OPENINGS

WALL AREA	1160
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	81.2
ACTUAL GLASS AREA	42.5

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

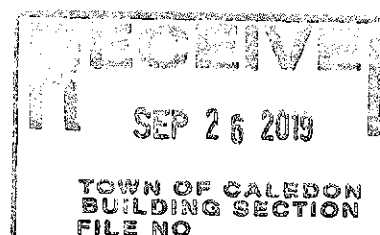
HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)



SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTANT REVIEW AND APPROVAL
DATE: SEP 10 2019

2019-09-10
2019-09-10
2019-09-10

2638
11.0m LOTS
BARTON 3-010 (GR)
ELEVATION 2
ENERGY STAR
O.REG. 332/12

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

THE CONTRACTOR SHALL OBTAIN AND VERIFY ALL NECESSARY AND OBTAIN AS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY STRUCTURAL OR ELECTRICAL INFORMATION PROVIDED IN THESE DRAWINGS OR FOR CONFLICTS OR OMISSIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE BUILDING DEPARTMENT BEFORE PROCEEDING WITH WORK.

NO CONSTRUCTION SHALL BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUBSEQUENT TO OBTAIN OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY ADDING THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	
6	
5	
4	SEP 09 2019 REV. AS PER CLIENT COMMENTS AND REISSUED TO CLIENT
3	AUG 20 2019 PREPARED DRAWING FOR LOT-10 REISSUED TO CLIENT
2	JAN 17 2019 ISSUED FOR BUILDING PERMIT
1	OCT 15 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT
No.	DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN CR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

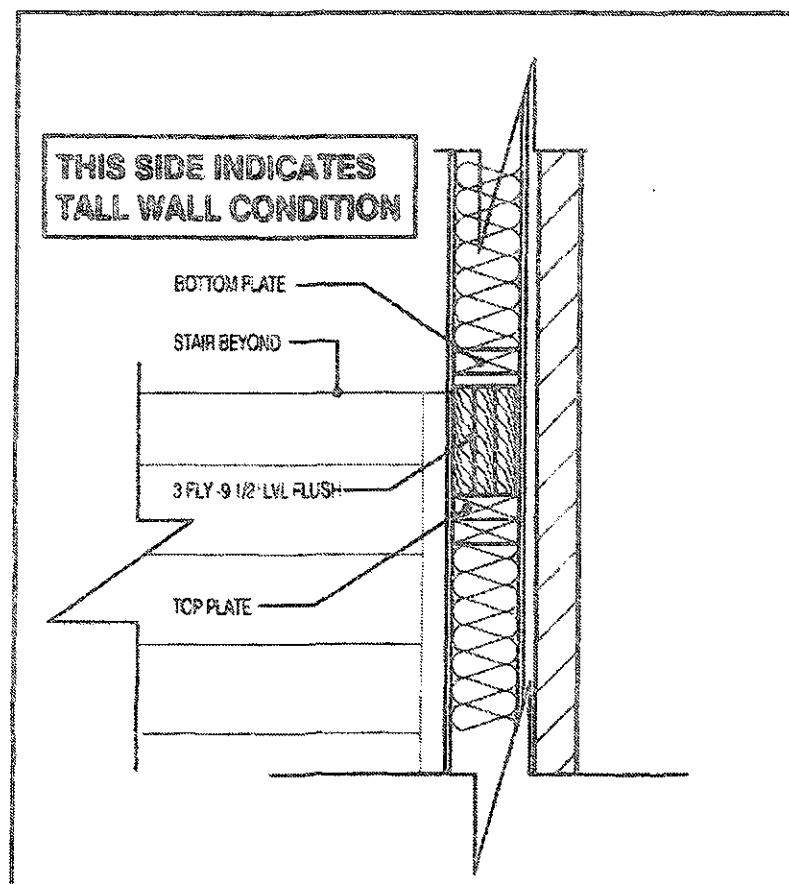
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

COMMUNICATION INFORMATION
Required unless design is completed under Division C, Subsection 1.2.5 of the Building Code.

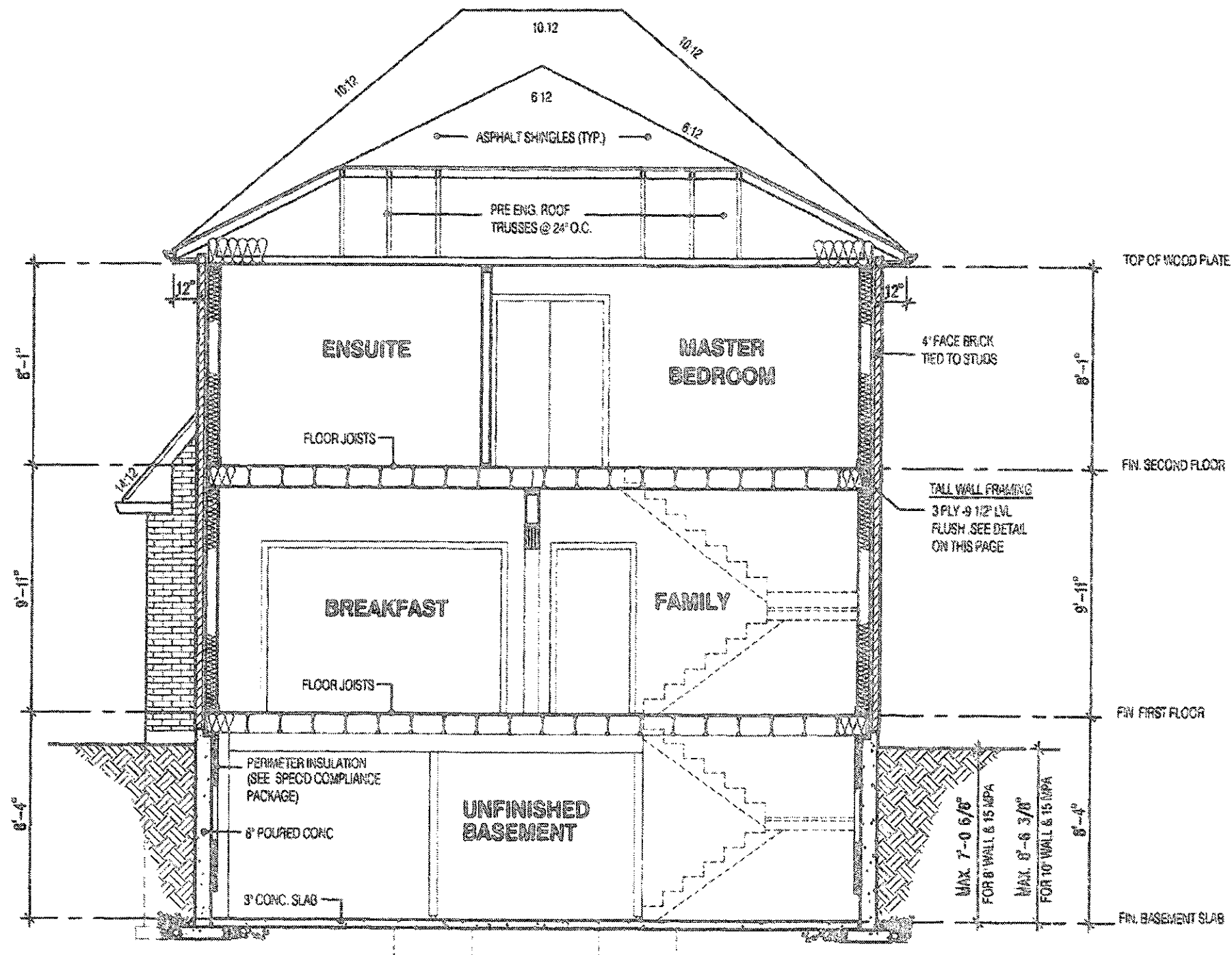
Water Butler 21037
NAME SIGNATURE
REGISTRATION INFORMATION
Required unless design is completed under Division C, Subsection 1.2.5 of the Building Code
jardin design group inc. 27763
FIRM NAME

SIDE ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

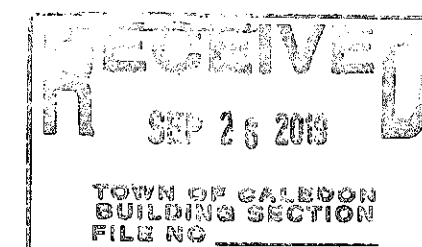
TYPE	T	AREA	----
SCALE	3/16"=1'-0"		
PROJ. NO.	18-18	DWG. NO.	7A



B TALL WALL FRAMING
N.T.S.



**SECTION A-A
ELEVATION 2**



SEP 10 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or issuing drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

2638

11.0m LOTS

**BARTON 3-010 (GR)
ELEVATION 2**

ENERGY STAR

O.REG. 332/12

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

STRUDET INC.



FOR STRUCTURAL ONLY

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT AGAINST ALL RISKS. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY DATA, OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSEQUENCES ARISING FROM RELIANCE ON A FILED DRAWING. DESIGN OF THE STRUCTURE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUB-CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT AGAINST ALL RISKS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE RELIANCE OF THE CONTRACTOR OR SUB-CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT AGAINST ALL RISKS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF JARDIN DESIGN GROUP INC.

7	
6	
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4	SEP. 03, 2019 REV. AS PER CLIENT COMMENTS AND REISSUED TO CLIENT
3	AUG. 29, 2019 PREPARED DRAWING FOR LOT-10 REISSUED TO CLIENT
2	JAN. 17, 2019 ISSUED FOR BUILDING PERMIT
1	OCT. 15, 2018 COMPLETED TO PRECOORDINATION STAGE. ISSUED TO CLIENT

No DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.5 of the Building Code.

Water Butler 21031
NAME SIGNATURE BORN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 12.5 of the Building Code.

Jardin design group inc. 27763
FIRM NAME BORN

SECTION ELEVATION 2
LAMBERTS LANE PHASE 2
TOWN OF CALEDON

TYPE	AREA
T	----
SCALE	3/16" = 1'-0"
PROJ. NO.	DWG. NO.
18-18	8A

