

120 KPa NATIVE SOIL

- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x6" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR
ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING
DETAIL FOR REINFORCEMENT)

120 KPa NATURAL SOIL	100 KPa NATURAL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 46"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD

NO. 10- ENGINEER FILL 501

F1	=	48"x48"x20"	CONCRETE PAD
F2	=	40"x40"x16"	CONCRETE PAD
F3	=	34"x34"x14"	CONCRETE PAD
F4	=	28"x28"x12"	CONCRETE PAD
F5	=	18"x18"x8"	CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

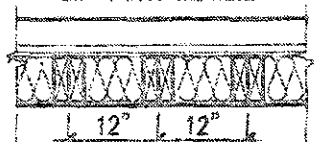
WL1	= $3-1/2^{\circ} \times 3-1/2^{\circ} \times 1/4^{\circ}$ (90x90x0L)	+	2-2"x8" SPR. No.2
WL2	= $4^{\circ} \times 3-1/2^{\circ} \times 5/16^{\circ}$ (100x90x0L)	+	2-2"x8" SPR. No.2
WL3	= $5^{\circ} \times 3-1/2^{\circ} \times 3/16^{\circ}$ (125x90x0L)	+	2-2"x10" SPR. No.2
WL4	= $6^{\circ} \times 3-1/2^{\circ} \times 3/8^{\circ}$ (150x90x0L)	+	2-2"x12" SPR. No.2
WL5	= $6^{\circ} \times 4^{\circ} \times 3/8^{\circ}$ (150x100x10L)	+	2-2"x12" SPR. No.2
WL6	= $5^{\circ} \times 3-1/2^{\circ} \times 5/16^{\circ}$ (125x90x0L)	+	2-2"x12" SPR. No.2
WL7	= $5^{\circ} \times 3-1/2^{\circ} \times 5/16^{\circ}$ (125x90x0L)	+	3-2"x12" SPR. No.2
WL8	= $5^{\circ} \times 3-1/2^{\circ} \times 5/16^{\circ}$ (125x90x0L)	+	3-2"x10" SPR. No.2
WL9	= $6^{\circ} \times 4^{\circ} \times 3/8^{\circ}$ (150x100x10L)	+	3-2"x10" SPR. No.2

WB1	$= 2 - 2'' \times 8''$	(2-38x184)	SPR. No.2
WB2	$= 3 - 2'' \times 8''$	(3-38x184)	SPR. No.2
WB3	$= 2 - 2'' \times 10''$	(2-38x235)	SPR. No.2
WB4	$= 3 - 2'' \times 10''$	(3-38x235)	SPR. No.2
WB5	$= 2 - 2'' \times 12''$	(2-38x286)	SPR. No.2
WB6	$= 3 - 2'' \times 12''$	(3-38x286)	SPR. No.2
WB7	$= 5 - 2'' \times 12''$	(5-38x286)	SPR. No.2
WB11	$= 4 - 2'' \times 10''$	(4-38x235)	SPR. No.2
WB12	$= 4 - 2'' \times 12''$	(4-38x286)	SPR. No.2

LVL1A	=1-1	$3/4" \times 7$	$1/4"$	(1-45x184)
LVL1	=2-1	$3/4" \times 7$	$1/4"$	(2-45x184)
LVL2	=3-1	$3/4" \times 7$	$1/4"$	(3-45x184)
LVL3	=4-1	$3/4" \times 7$	$1/4"$	(4-45x184)
LVL4A	=1-1	$3/4" \times 9$	$1/2"$	(1-45x240)
LVL4	=2-1	$3/4" \times 9$	$1/2"$	(2-45x240)
LVL5	=3-1	$3/4" \times 9$	$1/2"$	(3-45x240)
LVL5A	=4-1	$3/4" \times 9$	$1/2"$	(4-45x240)
LVL6A	=1-1	$3/4" \times 11$	$7/8"$	(1-45x300)
LVL6	=2-1	$3/4" \times 11$	$7/8"$	(2-45x300)
LVL7	=3-1	$3/4" \times 11$	$7/8"$	(3-45x300)
LVL8	=2-1	$3/4" \times 14"$		(2-45x356)
LVL9	=3-1	$3/4" \times 14"$		(3-45x356)

L1 = $3^{-1/2} \times 3^{-1/2} \times 1/4^{1/4}$ (90°90°6.0L)
 L2 = $4^{\circ} \times 3^{-1/2} \times 5/16^{1/4}$ (100°90°8.0L)
 L3 = $5^{\circ} \times 3^{-1/2} \times 5/16^{1/4}$ (125°90°8.0L)
 L4 = $6^{\circ} \times 3^{-1/2} \times 3/8^{1/4}$ (150°90°10.0L)
 L5 = $6^{\circ} \times 4^{\circ} \times 3/8^{1/4}$ (150°100°10.0L)
 L6 = $7^{\circ} \times 4^{\circ} \times 3/8^{1/4}$ (180°100°10.0L)

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID
BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 18'-0" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

UNINSULATED OPENINGS (PER IRC, SB-12.3.1.1(7))			
PRESTON 3-017 ELEV. 2 (5 BED)		ENERGY EFFICIENCY - ENERGY SDR	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	633.96 S.F.	141.39 S.F.	22.30 %
LEFT SIDE	1218.75 S.F.	87.50 S.F.	7.18 %
RIGHT SIDE	1218.75 S.F.	53.00 S.F.	4.35 %
REAR	651.36 S.F.	143.69 S.F.	22.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3722.82 S.F.	425.58 S.F.	11.43 %
TOTAL SQ. M.	345.86 S.M.	39.54 S.M.	11.43 %

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

AREA CALCULATIONS		LEV. '2'
GROUND FLOOR AREA	1314 SF	
SECOND FLOOR AREA	1808 SF	
TOTAL FLOOR AREA	3122 SF	
	(271.28 m ²)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	63 SF	
ADD TOTAL OPEN AREAS	+83 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	2883 SF	
	(277.13 m ²)	
GROUND FLOOR COVERAGE	1320 SF	
GARAGE COVERAGE/AREA	380 SF	
PORCH COVERAGE/AREA	49 SF	
COVERAGE W/ PORCH	1758 SF	
	(163.42 m ²)	
COVERAGE W/O PORCH	1719 SF	
	(158.86 m ²)	

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
2 ROWS FOR SPANS GREATER THAN 7'0".

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE NOTED.

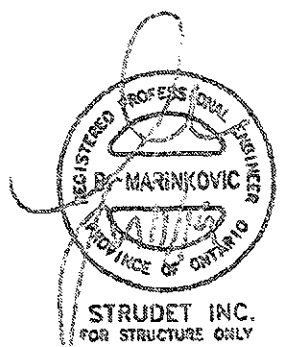
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

It is the Builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for, examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:	
ENERGY STAR V-17	
JANUARY 20	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.55 (R80)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.48 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.48 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.75 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/AV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	98% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANKS 90% IE EFFICIENCY
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 HLR) ATTACHED LEVEL 1 (3.0 ACH/0.25 HLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

TOWN OF CALEDON
 BUILDING SECTION
 FILE NO _____



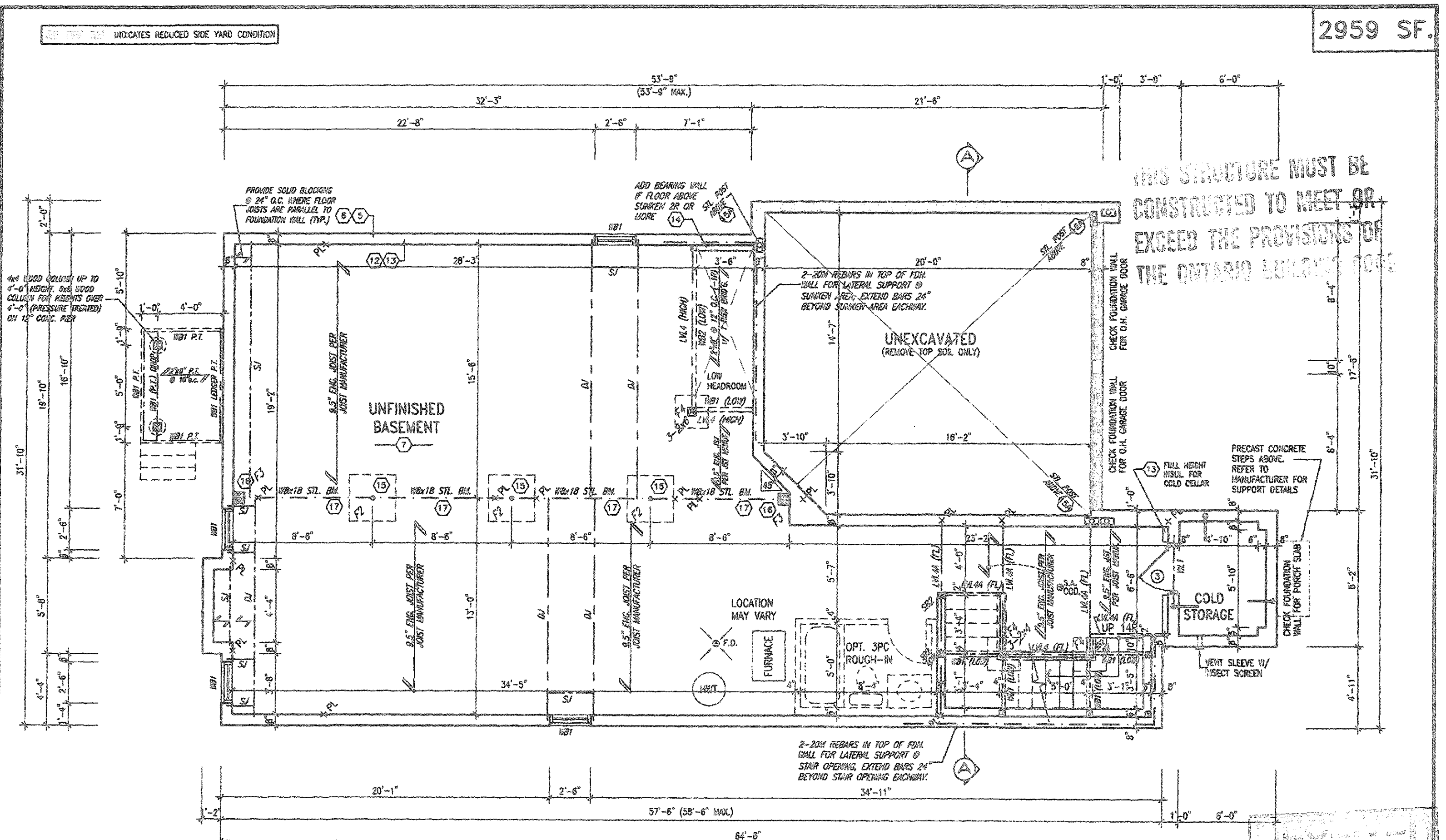
ENERGY STAR- V 17

APPLICANT COPY PRESTON 3-017
ENERGY STAR

[illegible]

THE UNIVERSITY OF CHICAGO PRESS

2959 SF.



BASEMENT PLAN - ELEV. '2'

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1980 MM

AUG 23 2019

TOWN OF CALEDON BUILDING SECTION FILE NO.

JUL 4 3 2019

PRESTON 3-017 ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or zoning diagrams with respect to any zoning or building codes or permit matters or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD. ARCHITECT ARCHITECTURAL CONTROL SYSTEM AND APPROVAL

APPROVED BY: [Signature] DATE: JUL 18/2019

These plans were prepared and submitted for approval by the Architectural Control System of the Town of Caledon.



STRUDET INC. FOR STRUCTURE ONLY

WOOD DECK DETAILS REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

VENETIAN CUT WHEN VENETIAN CUT IS GREATER THAN 26" A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 19/19	GW
13				4	ISSUED FOR PERMIT	DEC 20/18	GW
12				3	ROOF-FLOOR-END, CD-DRL	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP 25/18	GW
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW	SEP 18/18	GW
9							

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink
24488
BCEI

corporate information
VA3 Design Inc.
42688

Computer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are for the use of the contractor and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2N 1R4
416.630.2255 / 416.630.4762
va3design.com

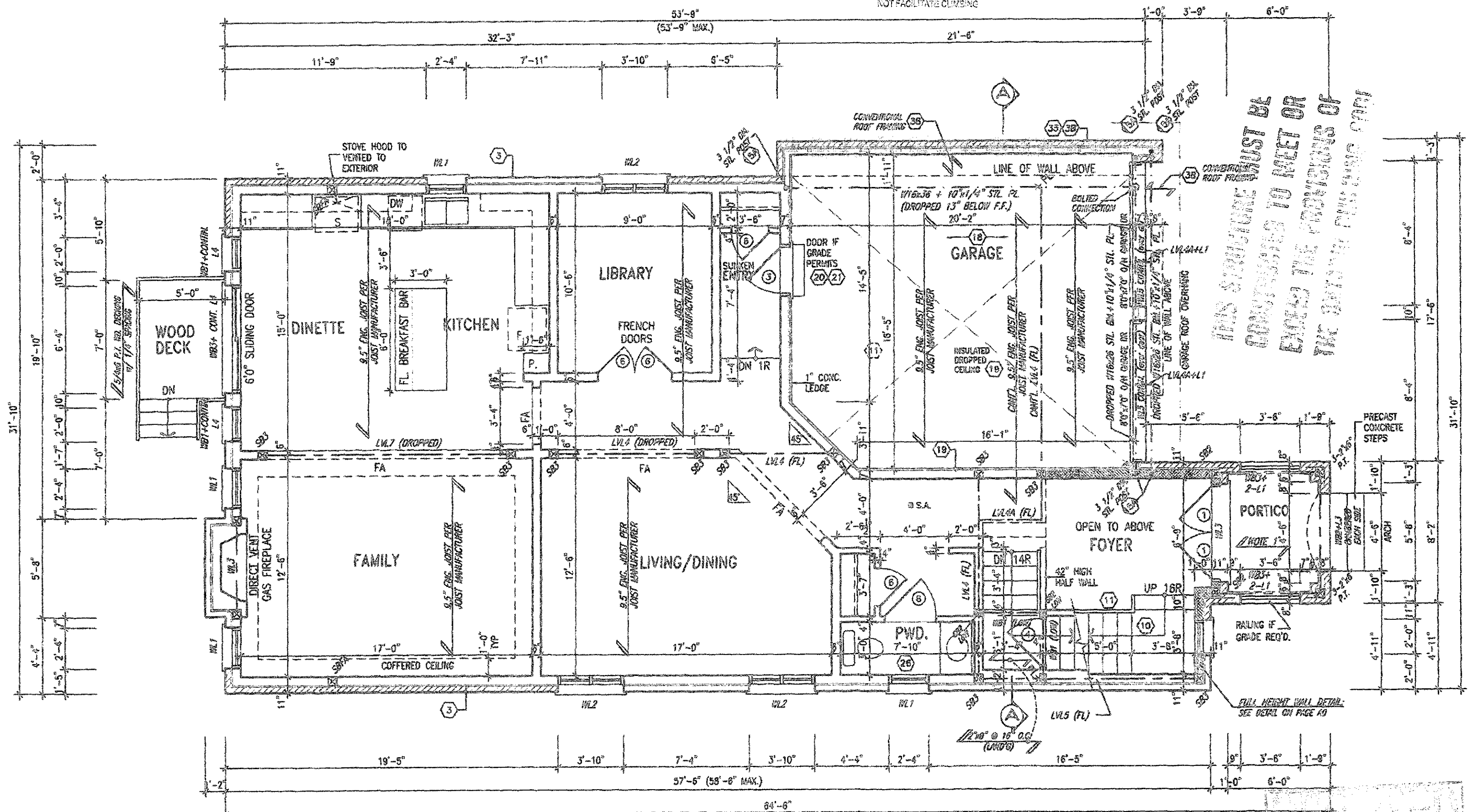
Greenpark.
project name
LAWRENCE LANE HOME CORP. PH2
designed by
CALEDON
date
SEPT. 2018
drawing no.
BASEMENT PLAN - ELEV. '2'
scale
3/16" = 1'-0"

PRESTON 3
11.6m
drawing no.
18023
drawing by
A1a

2959 SF.

INDICATES REDUCED SIDE YARD CONDITION

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



GROUND FLOOR PLAN - ELEV. '2'

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

AUG 23 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

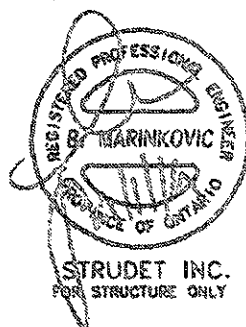
JUL 10 2019

PRESTON 3-017
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the submission agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or installed on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL DESIGN, REVIEW
AND APPROVAL
DATE: JUL 15, 2019
The following conditions apply to the use of these plans and drawings for the purpose of construction.



no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 10/19	GW
13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 28/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature: Richard Vink
name: Richard Vink
registration information: 24408
firm: VAS Design Inc.
42655
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All changes and specifications are in accordance with the property of the Designer which must be obtained at the expense of the work. Drawings are not to be copied.

255 Consumers Rd Suite 120
Toronto ON M2J 1M4
416.630.2253 / 416.630.4782
vasdesign.com

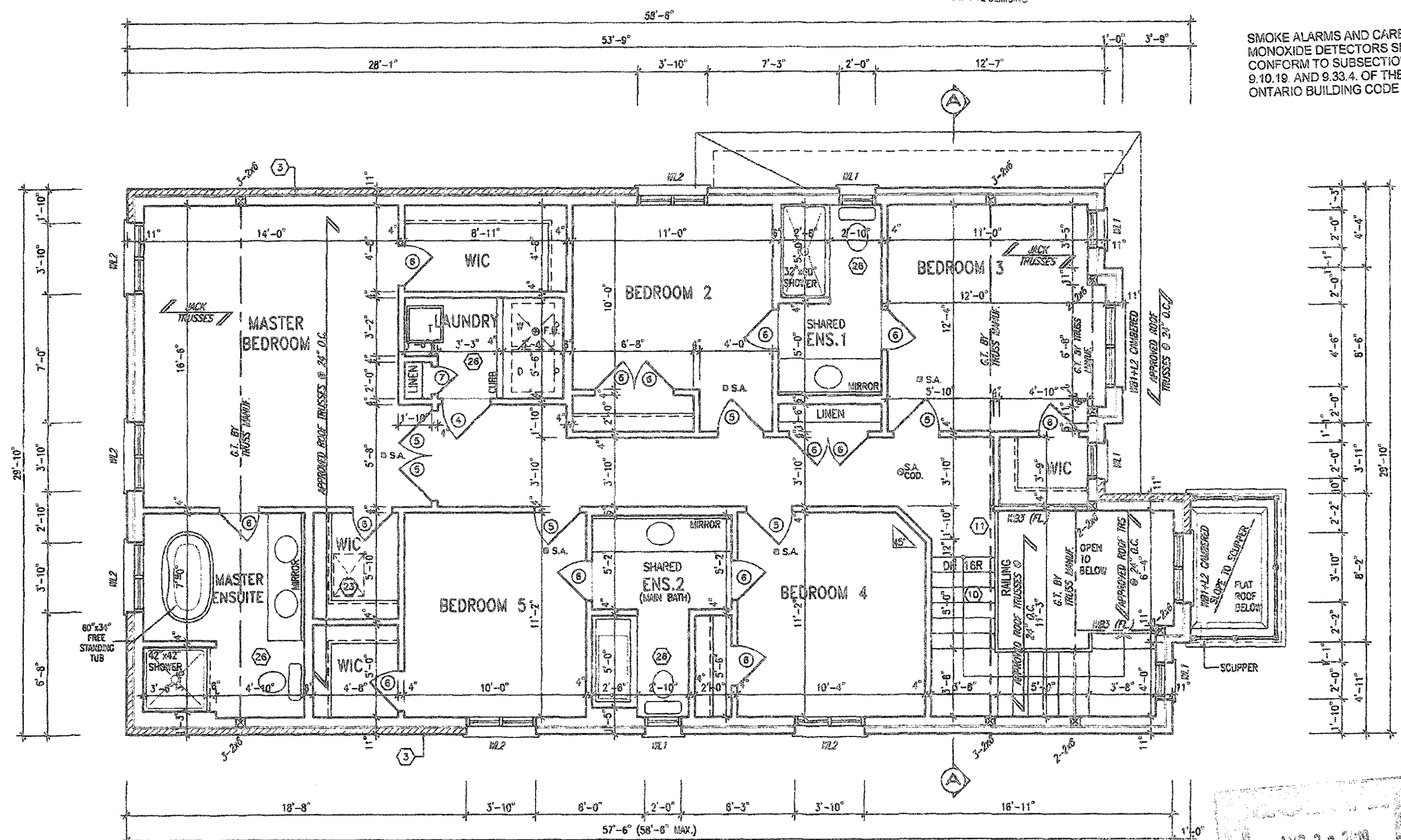
Greenpark.
LAMBERTS LANE HOME CORP. PH.2
CALEDON
SEPT. 2018
GROUND FLOOR PLAN - ELEV. '2'
18025-PRSTON3-017

PRESTON 3
11.6m
18023
A2a

2959 SF.

OPENINGS WITHIN GUARDS AND SPACE
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19 AND 9.33.4. OF THE
ONTARIO BUILDING CODE



SECOND FLOOR PLAN (5 BED) -
ELEV. '2'

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE REQUIREMENTS OF
THE ONTARIO BUILDING CODE

AUG 23 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

JUL 4 3 2018

PRESTON 3-017
ENERGY STAR



STRUDET INC.
FOR STRUCTURE ONLY

STUD WALL REINFORCEMENT FOR FUTURE
CUBIC BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO CBC, 9.5.2.3,
3.8.3.2(1)(a) & 3.8.3.13(1)(a).

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 10, 2018
THIS CERTIFICATE IS VALID FOR THE ARCHITECTURAL
DESIGN REVIEW ONLY. IT DOES NOT COVER THE
STRUCTURAL, MECHANICAL, ELECTRICAL, OR
PLUMBING ASPECTS.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 10/19	GW
13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD	NOV 28/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and taken responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a designer.

Richard Vink
[Signature]
24403
name
registration information
VIA Design Inc.
42359

Designer must verify all dimensions on the job and report any
discrepancies to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which shall be retained at the completion of the work.
Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2N 1R4
1-416-630-2255 F 416-630-4782
va3design.com

Greenpark
Project name:
LAMBERTS LANE HOME CORP. PH.2
City: CALEDON
Date: SEPT. 2018
Drawn by: [Signature]
Scale: 3/16" = 1'-0"
18023-3-017

PRESTON 3
11.6m
Project no.
18023
Sheet no.
A4a

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



APPROVED BY: _____
DATE: 08/19/2010
This stamp certifies compliance with the applicable
Design Load Standard and shall be filed
with the permit application.

AUG 23 2019
 TOWN OF CALEDON
 BUILDING SECTION
 FILE NO

PRESTON 3-017
ENERGY STAR

[illegible]

[Faint, illegible text at the bottom of the page]

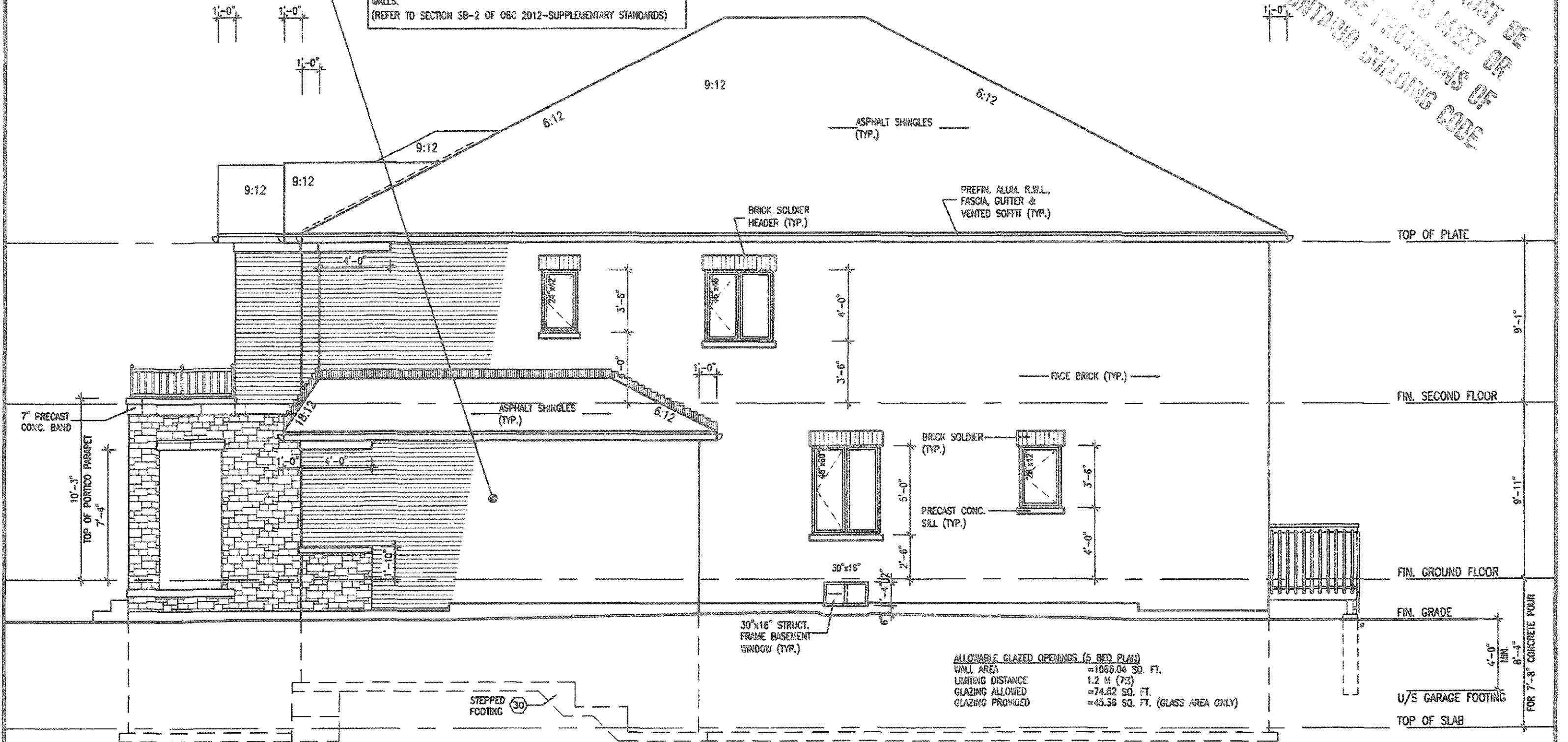
2959 SF.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE



RIGHT SIDE ELEVATION '2'

It is the owner's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including, but not limited to, any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUL 18 2018
This stamp is for information only and does not constitute a guarantee or warranty of any kind. The architect assumes no liability for any errors or omissions in the plans or for any consequences arising from the use of the plans.

no.	description	date	by	no.	description	date	by
18				8			
17				7			
16				6			
15				5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 10/18	GV
14				4	ISSUED FOR PERMIT.	DEC 20/18	GW
13				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
12				2	REVISED ROOF SLOPES PER A.C.	SEP 25/18	GW
11				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP 19/18	GW
10							

the undersigned has reviewed and taken responsibility for the design and has the qualifications and made the requirements set out in the Ontario Building Code to be a designer.
qualifier information
Richard Vink
name
24493
DOB
42659
registration information
V&S Design Inc.
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. If existing not capabilities are independent of review and the property of the Designer shall not be returned at the completion of the work. Drawings are not to be copied.

V&S DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark
LAMBERTS LANE HOME CORP. PH.2
CALEDON
SEPT. 2018
RIGHT SIDE ELEVATION - ELEV. '2'
drawing no. A7a

PRESTON 3
11.6m
18025
18025-3-017

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

TOP OF PLATE

BEDROOM 3

GARAGE

UNFINISHED
BASEMENT

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

U/S GARAGE FOOTING

TOP OF SLAB

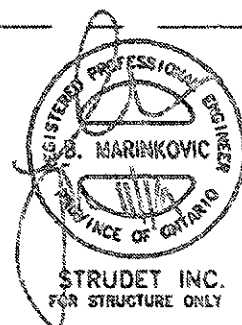
SECTION A-A
ELEVATION '2'

1020

PRESTON 3-017
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving such holding plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be legally built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

[illegible]

11. Contractor's certification that the work was performed in accordance with the contract and that the work was completed in accordance with the contract.

2959 SF.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

AUG 23 2006
 TOWN OF CALEDON
 BUILDING SECTION
 FILE NO.

ASPHALT SHINGLES
(TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER
HEADER (TYP.)

BRICK VENEER (TYP.)

ASPHALT SHINGLES
(TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS ----
(TYP.)

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT. (PRESSURE
TREATED) ON 12" CONC.
PIER

TOP OF PLATE

FIN. SECOND FLOOR

FIN. GROUND FLOOR

TOP OF SLAB

THIS CONTRACT MAY BE
CONVERTED TO A
FIXED RATE CONTRACT AT
ANY TIME AT THE OPTION OF
THE BORROWER.

BRICK SOLDIER
(TYP. EXC)
THE
PRECAST CONC
SILL (TYP.)

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

REAR ELEVATION 2'-
DECK CONDITION

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

PRESTON 3-017
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site planning, plans or working drawings with respect to any zoning or building code or permit matters of that any house can be erected built or located on any lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS, INC., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE: JUL 12, 2019

THIS PLAN SET HAS BEEN REVIEWED AND FOUND TO BE
IN ACCORDANCE WITH THE CITY OF LOS ANGELES
UNIFORM BUILDING ORDINANCE (UBO)

18				9		
17				8		
16				7		
15				6		
14				5	PRESTON 3-017 PER CUSTOMER REQUEST.	JUL 10/10 GR
13				4	ISSUED FOR PERMIT.	DEC 20/16 GR
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/16 GR
11				2	REVISED ROOF SLOPES PER A.C.	SEP 25/18 GR
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP 19/16 GR
9	description	date	hw	no	description	date

The undersigned has reviewed and takes responsibility for this design and sees the qualifications and accepts the requirements set out in the Article Relating Data to be a Designer.	
qualification information	<i>R. Vink</i>
Richard Vink	26
name	signature
qualification information	
VAS Design Inc.	421
Contractor must notify all Disasters on the job and agree any emergency to this Design before proceeding with the work. All drawings and specifications are instruments of service and the paper is the property of VAS Design Inc. and will be returned to the company at the end of the project.	

**VAB
DESIGN**
255 Consumers Rd Suite 123
Toronto ON M2J 1R6
t 416.633.2256 f 416.633.4772
vabdesign.com

 Greenpark.		PRESTON 3 11.6m	
project name LAMBERTS LANE HOME CORP. PH.2		address CALEDON	
date SEPT. 2010		drawing no. 1802	
description REAR ELEVATION '2' - DECK CONDITION		client name 18025-PRESTON-3-017	
drawn by 3/10/5 = 5'-0"		scale 18025-PRESTON-3-017	

4) Sources participating in this research and others on the overall status of the USNSM. Identification of the sources in state or in past a state involved about the USNSM's other activities.