STRIP FOOTINGS – FOR SINGLES & SEMIS UP TO 2 STOREYS

120 KPa NATIVE SOIL

- 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

BRICK VENEER LINTELS (WL)

WL1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)	+	2-2"x8" SPR. No.2
WL2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)	+	2-2"x8" SPR. No.2
WL3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	2-2"x10" SPR. No.2
WL4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)	+	2-2"x12" SPR. No.2
WL5	=6" x 4" x 3/8"L (150x100x10.0L)	+	2-2"x12" SPR. No.2
WL6	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	2-2"x12" SPR. No.2
WL7	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	3-2"x12" SPR. No.2
WL8	=5" x 3-1/2" x 5/16"L (125x90x8.0L)	+	3-2"x10" SPR. No.2
WL9	=6" x 4" x 3/8"L (150x100x10.0L)	+	3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1	=2-2"x8" (2-38x184) SPR. No.2
WB2	=3-2"x8" (3-38x184) SPR. No.2
WB3	=2-2"x10" (2-38x235) SPR. No.2
WB4	=3-2"x10" (3-38x235) SPR. No.2
WB5	=2-2"x12" (2-38x286) SPR. No.2
WB6	=3-2"x12" (3-38x286) SPR. No.2
WB7	=5-2"x12" (5-38x286) SPR. No.2
WB11	=4-2"x10" (4-38x235) SPR. No.2
WB12	=4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

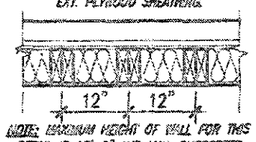
LVL1A	=1-1 3/4"x7 1/4" (1-45x184)
LVL1	=2-1 3/4"x7 1/4" (2-45x184)
LVL2	=3-1 3/4"x7 1/4" (3-45x184)
LVL3	=4-1 3/4"x7 1/4" (4-45x184)
LVL4A	=1-1 3/4"x9 1/2" (1-45x240)
LVL4	=2-1 3/4"x9 1/2" (2-45x240)
LVL5	=3-1 3/4"x9 1/2" (3-45x240)
LVL5A	=4-1 3/4"x9 1/2" (4-45x240)
LVL6A	=1-1 3/4"x11 7/8" (1-45x300)
LVL6	=2-1 3/4"x11 7/8" (2-45x300)
LVL7	=3-1 3/4"x11 7/8" (3-45x300)
LVL8	=2-1 3/4"x14" (2-45x356)
LVL9	=3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1	=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)
L2	=4" x 3-1/2" x 5/16"L (100x90x8.0L)
L3	=5" x 3-1/2" x 5/16"L (125x90x8.0L)
L4	=6" x 3-1/2" x 3/8"L (150x90x10.0L)
L5	=6" x 4" x 3/8"L (150x100x10.0L)
L6	=7" x 4" x 3/8"L (180x100x10.0L)

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12"o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

PRESTON 3-017 ELEV. 2 (5 BED)	ENERGY EFFICIENCY – ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	633.96 S.F.	141.39 S.F.	22.30 %
LEFT SIDE	1218.75 S.F.	87.50 S.F.	7.18 %
RIGHT SIDE	1218.75 S.F.	53.00 S.F.	4.35 %
REAR	651.36 S.F.	143.69 S.F.	22.06 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3722.82 S.F.	425.58 S.F.	11.43 %
TOTAL SQ. M.	345.86 S.M.	39.54 S.M.	11.43 %

2959 SF.

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	1314 SF
SECOND FLOOR AREA	1606 SF
TOTAL FLOOR AREA	2920 SF (271.28 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	63 SF
ADD TOTAL OPEN AREAS	+63 SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2983 SF (277.13 m2)
GROUND FLOOR COVERAGE	1320 SF
GARAGE COVERAGE/AREA	390 SF
PORCH COVERAGE/AREA	49 SF
COVERAGE W/ PORCH	1759 SF (163.42 m2)
COVERAGE W/O PORCH	1710 SF (158.86 m2)

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

ENERGY STAR V-17

JANUARY 2013

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (OR 29/UV .4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENSE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

RECEIVED
AUG 23 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO

REGISTERED PROFESSIONAL ENGINEER
R. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

ESCC MODEL
ENERGY STAR– V 17

JUL 4 6 2018

APPLICANT COPY

PRESTON 3-017
ENERGY STAR

no.	description	date	by
18			
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5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 10/19	GW
4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP 25/18	GW
1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has authority and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name signature BCIN
registration information
VA3 Design Inc. 42659

Contractor must verify all dimensions on this job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4762
va3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2 — municipality: CALEDON

PRESTON 3
11.6m

project no. 18023

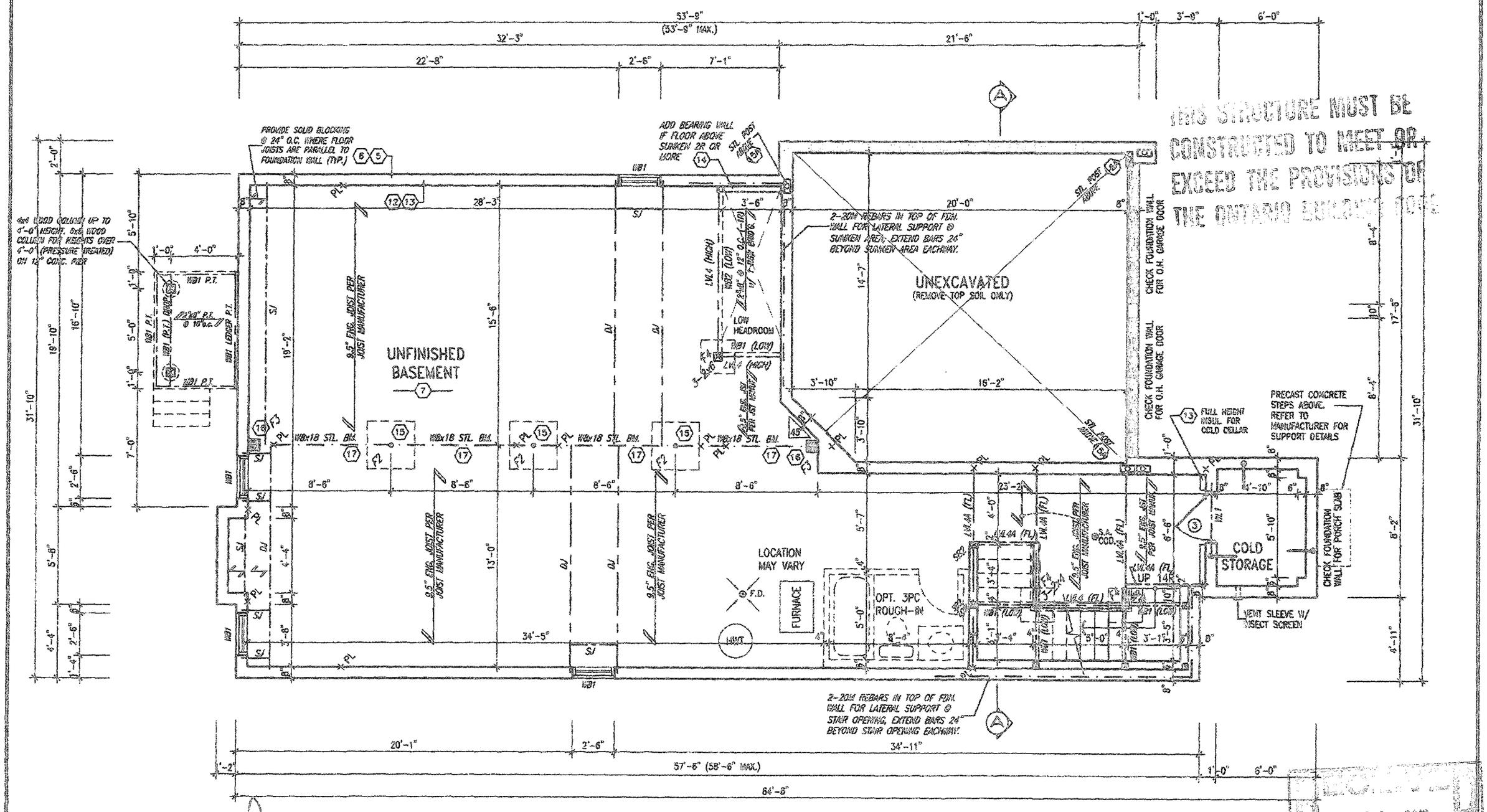
title: GENERAL NOTES & CHARTS

date: SEPT. 2018 — drawn by: GW — checked by: — scale: 5/16" = 1'-0" — file name: 18023-PRESTON-3-017

drawing no. A0

INDICATES REDUCED SIDE YARD CONDITION

2959 SF.



THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE

BASEMENT PLAN – ELEV. '2'

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

MINIMUM CEILING HEIGHT SHALL BE 2100 MM OVER AT LEAST 75% OF BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED 1980 M M

REGISTERED PROFESSIONAL ENGINEER
P. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (fitting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUL 16, 2019

RECEIVED
AUG 23 2019
TOWN OF CALEDON BUILDING SECTION
FILE NO.

JUL 16 2019

PRESTON 3-017
ENERGY STAR

no.	description	date	by
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5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 10/19	GW
4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24489
name signature BCIN
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

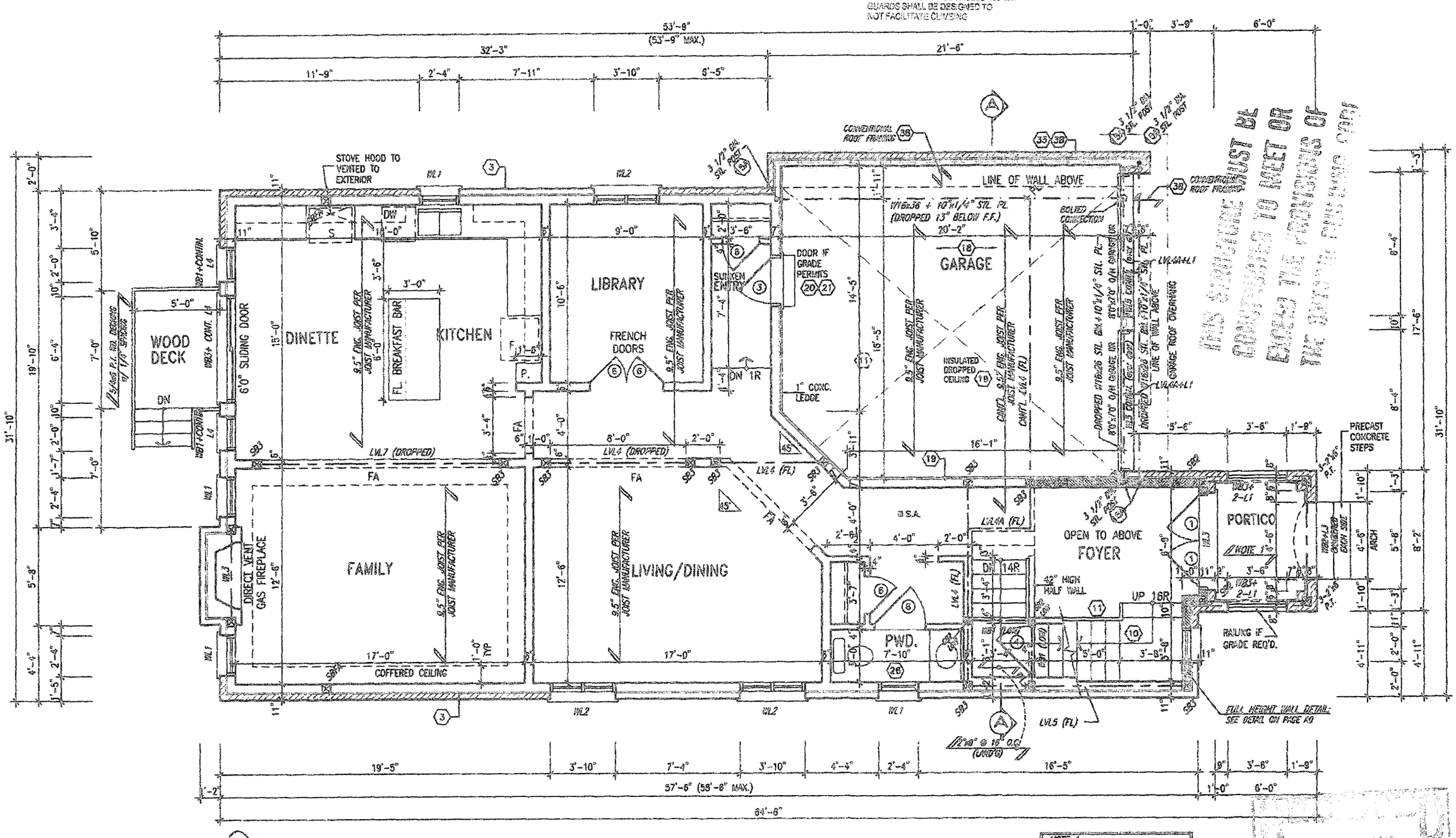
VA3 DESIGN
253 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
LAMBERTS LANE HOME CORP. PH.2 — CALEDON
PRESTON 3
11.6m
project no. 18023
date: SEPT. 2018
BASEMENT PLAN – ELEV. '2'
drawn by: GW
checked by
scale: 3/16" = 1'-0"
file name: 18023-PRESTON-3-017
drawing no. A1a

2959 SF.

INDICATES REDUCED SIDE YARD CONDITION

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING



GROUND FLOOR PLAN – ELEV. '2'

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE SHEATHING + SINGLE PLY ROOF MEMBRANE (SLOPE TO DRAIN)

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

THIS STRUCTURE MUST BE PROPERLY TIED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE

AUG 23 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO

JUL 18 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning plot plans and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUL 12, 2019
THIS CERTIFICATE IS COMPLETE WITHOUT THE SIGNATURE OF THE QUALIFIED ARCHITECT IN CHARGE

PRESTON 3–017
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	PRESTON 3–017 PER CUSTOM REQUEST.	JUL 10/19	GW
13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
12				3	ROOF–FLOOR–ENG. CO–ORD.	NOV 28/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
name
signature
24409
registration information
VA3 Design Inc.
42659

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4762
va3design.com

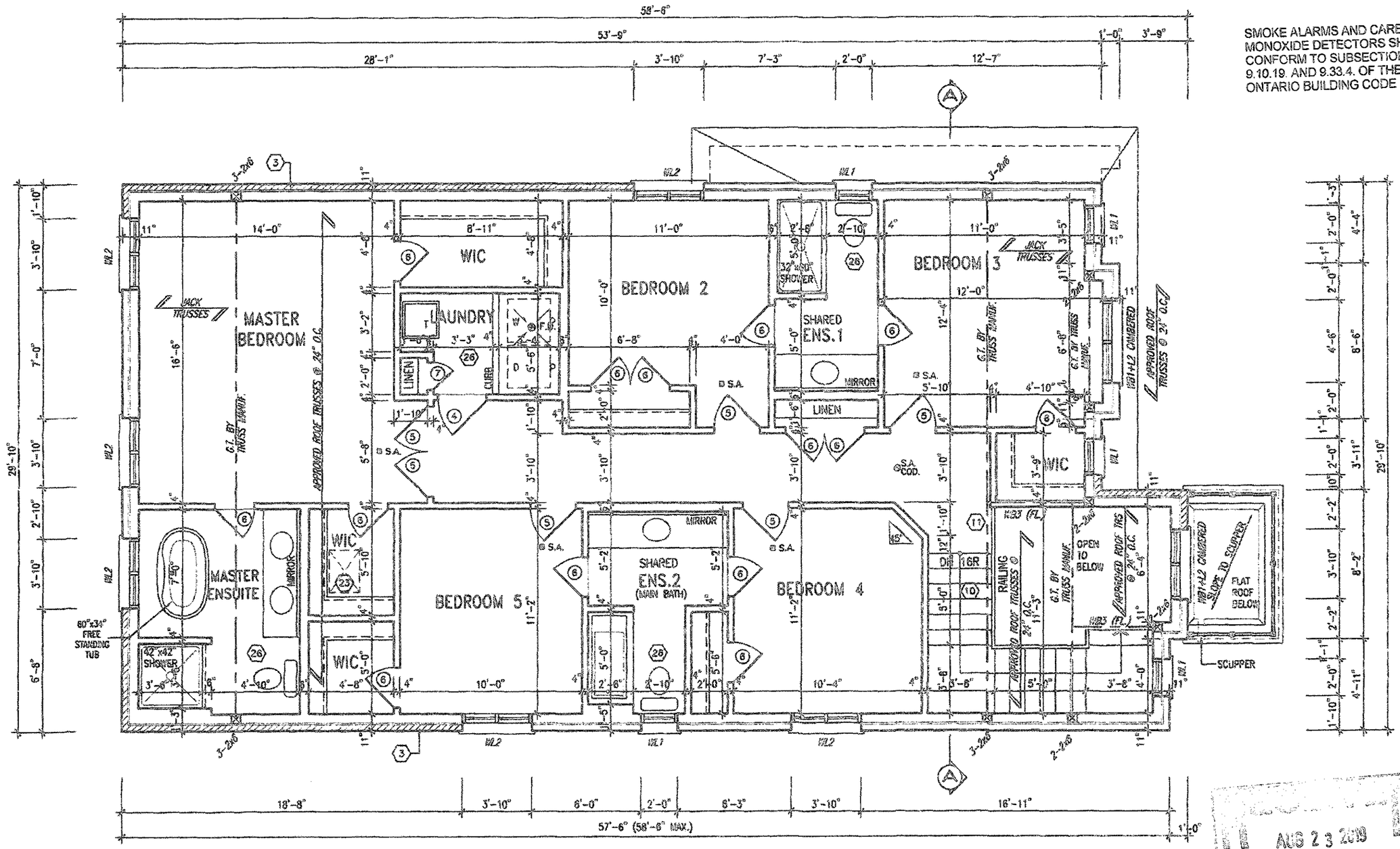
Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
PRESTON 3
11.6m
project no. 18023
date: SEPT. 2018
GROUND FLOOR PLAN – ELEV. '2'
drawn by: GW
checked by:
scale: 3/16" = 1'-0"
file name: 18023–PRESTON–3–017
drawing no. A2a

2959 SF.

OPENINGS WITHIN GUARDS AND SPACE BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE



SECOND FLOOR PLAN (5 BED) - ELEV. '2'

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(a) & 3.8.3.13.(1)(i).

REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE

RECEIVED AUG 23 2019 TOWN OF CALEDON BUILDING SECTION FILE NO

JUL 0 3 2019

PRESTON 3-017
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 19/19	GW
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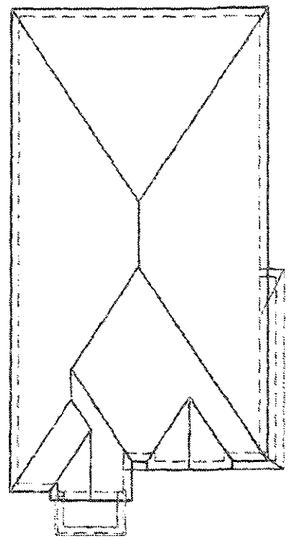
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
qualification information
Richard Vink — R Vink — 24409
name — signature — BCIN
registration information
VA3 Design Inc. — 42359
Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
PRESTON 3
11.6m
project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no. 18023
date: SEPT. 2018
OPT. SECOND FLOOR PLAN- ELEV. '2'
drawing no. A4a
drawn by: GW
checked by:
date
scale: 3/16" = 1'-0"
file name: 18023-PRESTON-3-017

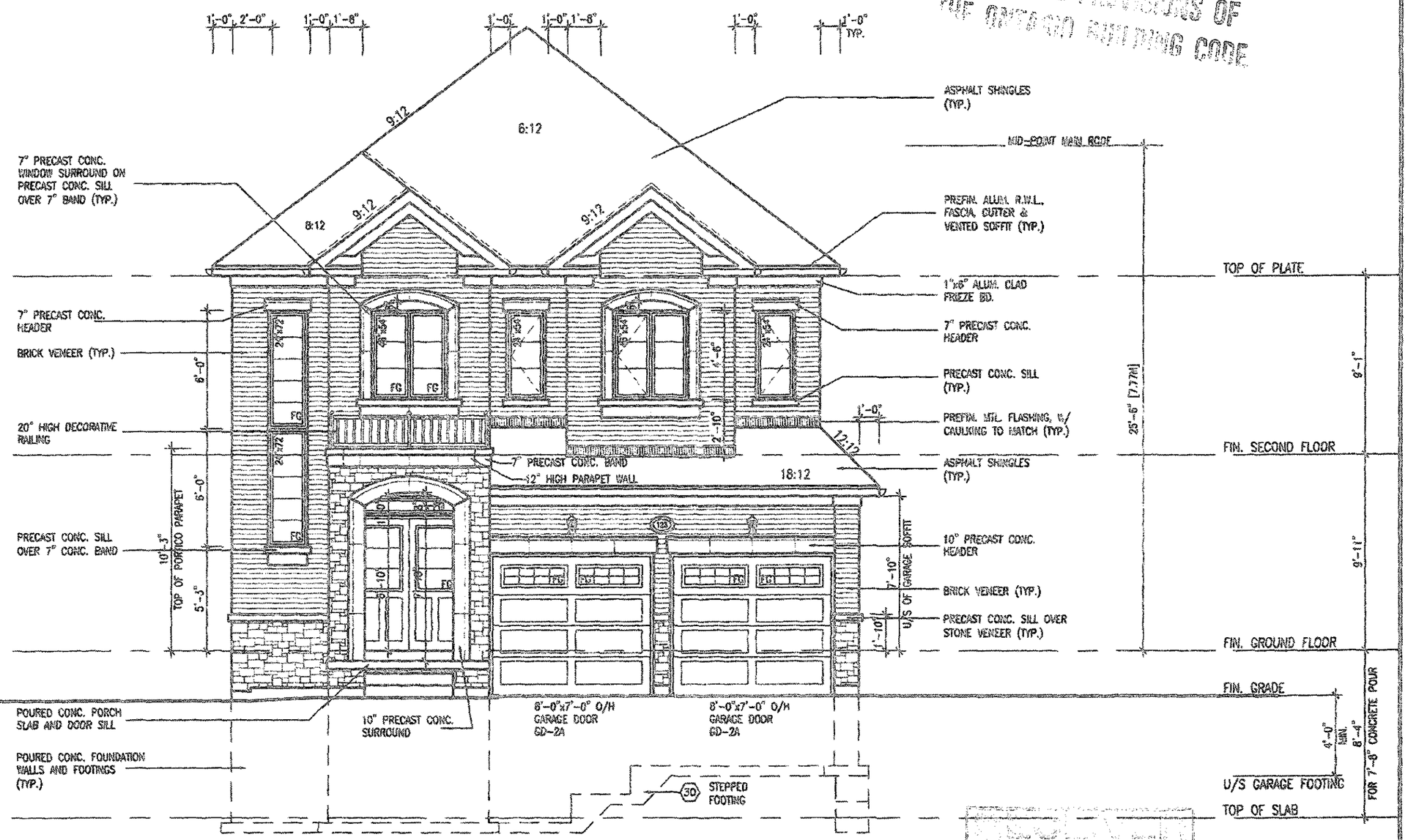
2959 SF.



ROOF PLAN ELEV. '2'
(Not to Scale)

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE



FRONT ELEVATION '2'

AUG 2 3 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.

JUL 1 8 2019

PRESTON 3-017
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUL 18 2019

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS WITH INTEGRATED MASONRY LEDGE ON SIDES WHERE GRADE ALLOWS.

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5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 10/19	GW
4	ISSUED FOR PERMIT.	DEC 20/18	GW
3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — 24486
name — signature — BCIN
registration information
VA3 Design Inc. — 42659

Contractor must verify all dimensions on this job and report any discrepancy to the Designer before commencing with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.639.4782
va3design.com

Greenpark.

PRESTON 3
11.6m

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no. 18023
date: SEPT. 2018
FRONT ELEVATION - ELEV. '2'
drawn by: GW
checked by:
scale: 3/16" = 1'-0"
file name: 18023-PRESTON-3-017
drawing no. A5a

2959 SF.

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

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ALLOWABLE GLAZED OPENINGS (5 BED PLAN)

WALL AREA	=1140.42 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=79.83 SQ. FT.
GLAZING PROVIDED	=75.82 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION '2'

RECEIVED AUG 23 2019 TOWN OF CALEDON BUILDING SECTION FILE NO. JUL 16 2019

PRESTON 3-017

ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on a lot.

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED BY
DATE JUL 19 2019

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1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has determined and hereby acknowledges responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

qualification information
Richard Vink — signature — 24458
name — registration information
VAS Design Inc. — 42658

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2256 f 416.630.4782
vas3design.com

Greenpark

PRESTON 3
11.5m

project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
project no.: 18023
date: SEPT. 2018
LEFT SIDE ELEVATION - ELEV. '2'
drawn by: GW
checked by:
scale: 3/16" = 1'-0"
18023-PRESTON-3-017
drawing no.: A6a

2959 SF.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

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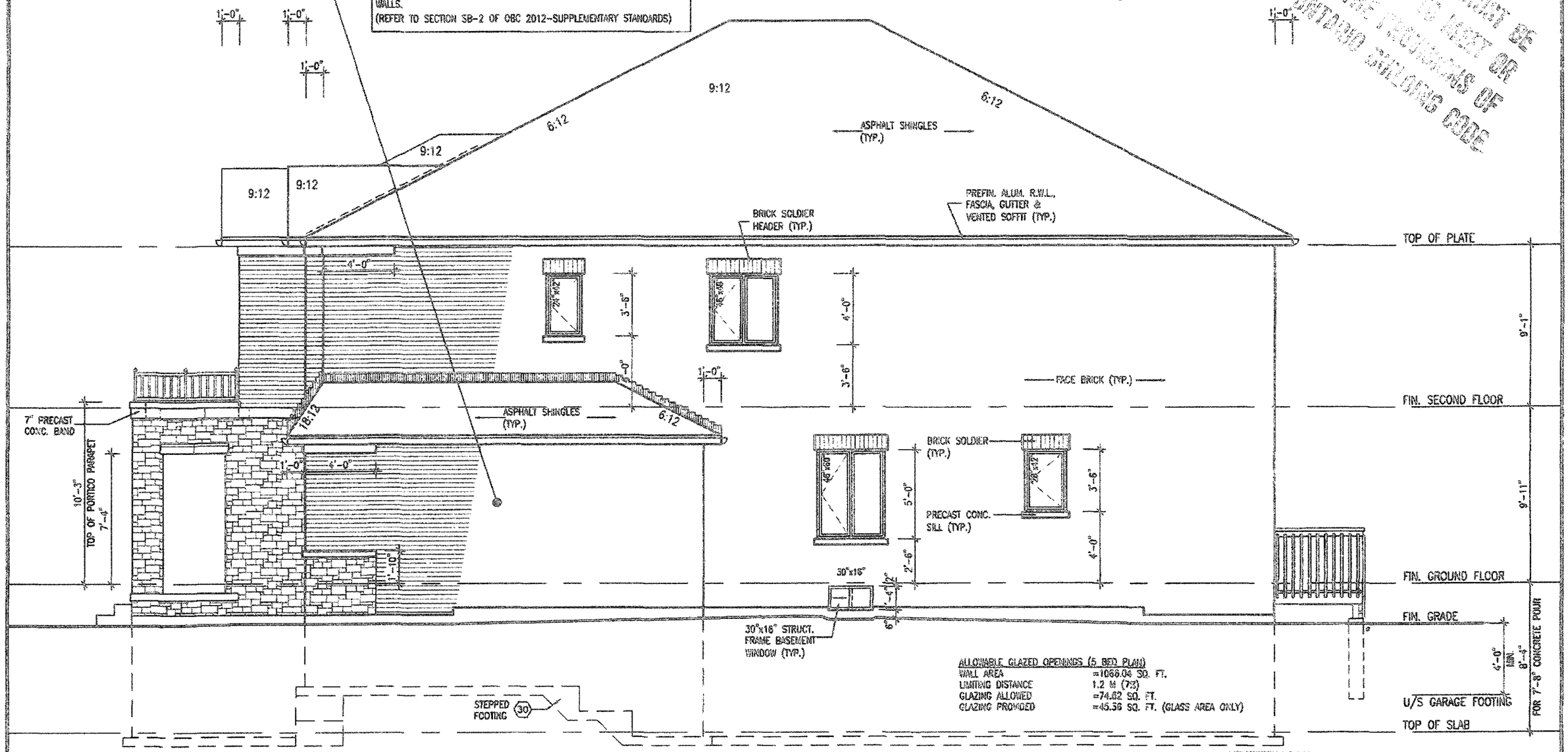

ALLOWABLE GLAZED OPENINGS (5 BED PLAN)

WALL AREA	=1066.04 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=74.62 SQ. FT.
GLAZING PROVIDED	=45.36 SQ. FT. (GLASS AREA ONLY)

RIGHT SIDE ELEVATION '2'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUL 18 2019

AUG 23 2019 JUL 18 2019
TOWN OF CALEDON BUILDING SECTION

PRESTON 3-017
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
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14				5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 10/19	GW
13				4	ISSUED FOR PERMIT.	DEC 20/18	GW
12				3	ROOF-FLOOR-ENG. CO-ORD.	NOV 29/18	GW
11				2	REVISED ROOF SLOPES PER A.C.	SEP. 25/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — BCIN 24499
registration information
VA3 Design Inc. — BCIN 42659
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
PRESTON 3
11.6m
project name: LAMBERTS LANE HOME CORP. PH.2 — municipality: CALEDON — project no. 18023
date: SEPT. 2018 — RIGHT SIDE ELEVATION - ELEV. '2'
drawn by: GW — checked by: — scale: 3/16" = 1'-0" — file name: 18023-PRESTON-3-017
drawing no. A7a

2959 SF.

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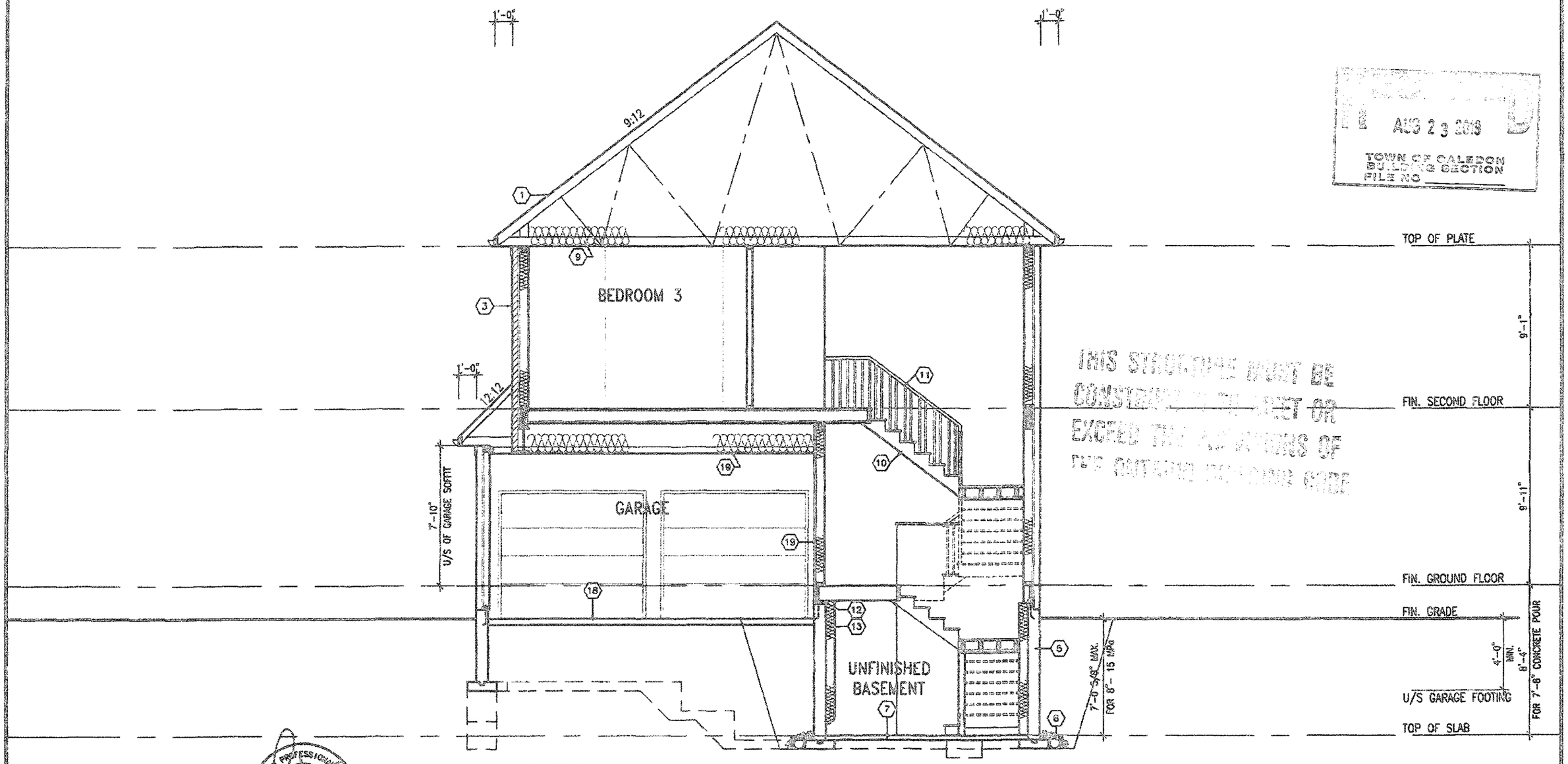

AUG 23 2018
TOWN OF CALEDON
BUILDING SECTION
FILE NO

THIS STRUCTURE MUST BE CONSTRUCTED ... FEET OR EXCEED THE ... OF THE CONTROL ... SIDE

SECTION A-A
ELEVATION '2'

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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

JUL 4 6 2018

PRESTON 3-017
ENERGY STAR

no.	description	date	by
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5	PRESTON 3-017 PER CUSTOM REQUEST.	JUL 10/19	GW
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1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 19/18	GW

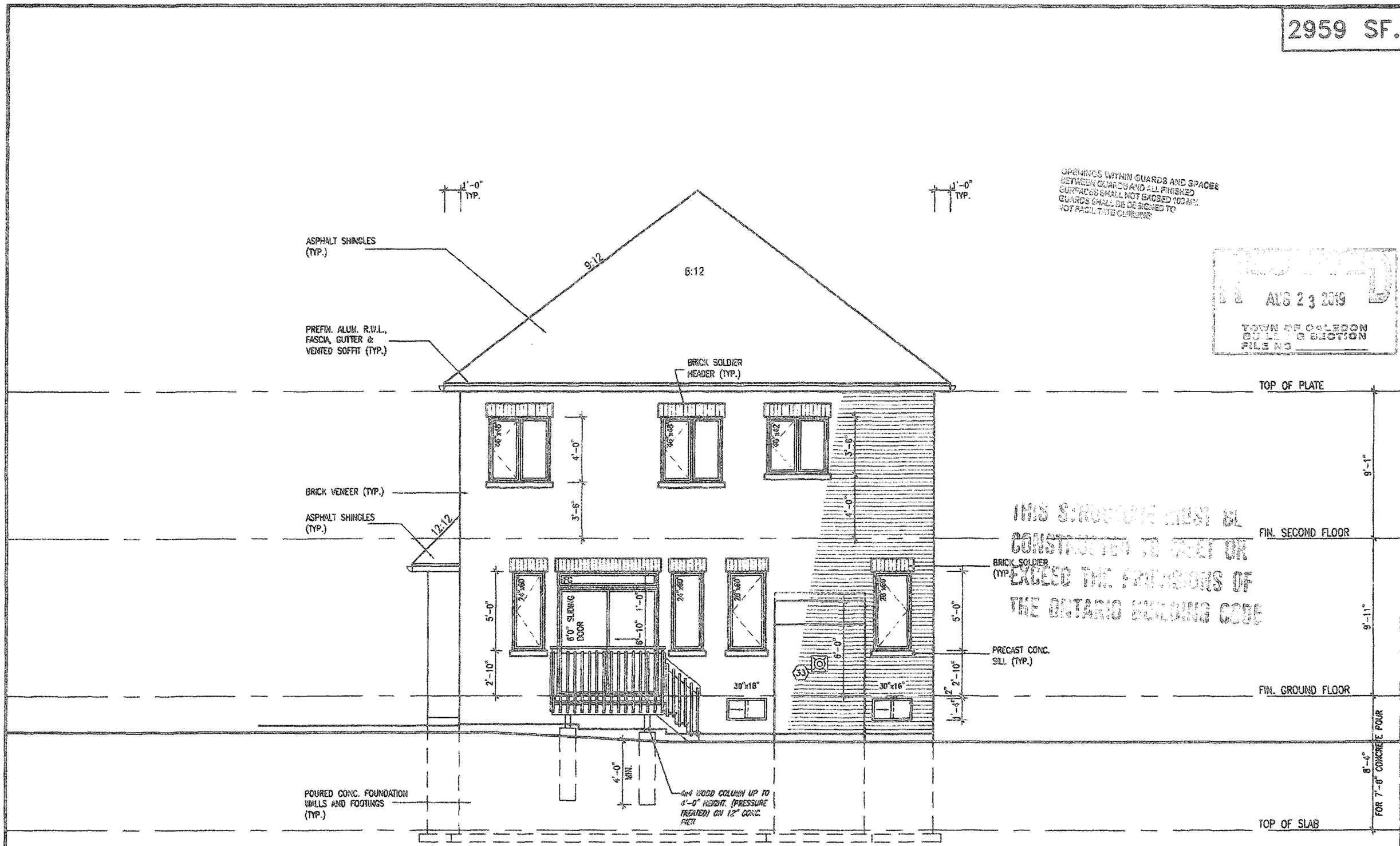
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
qualification information
Richard Vink — signature
name — registration information
VAB Design Inc. — 24480 — 62658

Contractor must verify all dimensions on this job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAB DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vab3design.com

Greenpark
project name: LAMBERTS LANE HOME CORP. PH.2
municipality: CALEDON
PRESTON 3
11.0m
project no. 18023
date: SEPT. 2018
drawn by: GW
checked by: —
scale: 3/16" = 1'-0"
file name: 18023-PRESTON-3-017
SECTION A-A, ELEV. '2'
drawing no. A9a

2959 SF.



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RECEIVED AUG 23 2019 TOWN OF CALEDON BUILDING SECTION FILE NO

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ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JUL 19, 2019

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

REAR ELEVATION '2'– DECK CONDITION

JUL 18 2019

PRESTON 3–017
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink — signature — 24488
name — signature — stamp
registration information
VAB Design Inc. — 42659

Contractor must verify all dimensions on this job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAB DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vab3design.com

Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2 — municipality: CALEDON

PRESTON 3 11.6m

project no. 18023

date: SEPT. 2018 — REAR ELEVATION '2' - DECK CONDITION

drawn by: GW — checked by: — scale: 3/16" = 1'-0" — file name: 18023-PRESTON-3-017

drawing no. A11a