

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

120 KPa NATIVE SOIL

- 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 24"x6" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL

- 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
- 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS. OR
- 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

- 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
- 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT)

PAD FOOTINGS

120 KPa NATIVE SOIL

- F1 = 42"x42"x18" CONCRETE PAD
- F2 = 36"x36"x16" CONCRETE PAD
- F3 = 30"x30"x12" CONCRETE PAD
- F4 = 24"x24"x12" CONCRETE PAD
- F5 = 16"x16"x8" CONCRETE PAD

100 KPa NATIVE SOIL

- F1 = 46"x46"x20" CONCRETE PAD
- F2 = 38"x38"x16" CONCRETE PAD
- F3 = 32"x32"x14" CONCRETE PAD
- F4 = 26"x26"x12" CONCRETE PAD
- F5 = 17"x17"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

- F1 = 48"x48"x20" CONCRETE PAD
- F2 = 40"x40"x16" CONCRETE PAD
- F3 = 34"x34"x14" CONCRETE PAD
- F4 = 28"x28"x12" CONCRETE PAD
- F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

BRICK VENEER LINTELS (WL)

- WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x0.0L) + 2-2"x8" SPR. No.2
- WL2 = 4" x 3-1/2" x 5/16" (100x90x0.0L) + 2-2"x8" SPR. No.2
- WL3 = 5" x 3-1/2" x 5/16" (125x90x0.0L) + 2-2"x10" SPR. No.2
- WL4 = 6" x 3-1/2" x 3/8" (150x90x0.0L) + 2-2"x12" SPR. No.2
- WL5 = 6" x 4" x 3/8" (150x100x0.0L) + 2-2"x12" SPR. No.2
- WL6 = 5" x 3-1/2" x 5/16" (125x90x0.0L) + 2-2"x12" SPR. No.2
- WL7 = 5" x 3-1/2" x 5/16" (125x90x0.0L) + 3-2"x12" SPR. No.2
- WL8 = 5" x 3-1/2" x 5/16" (125x90x0.0L) + 3-2"x10" SPR. No.2
- WL9 = 6" x 4" x 3/8" (150x100x0.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

- WB1 = 2-2"x8" (2-38x184) SPR. No.2
- WB2 = 3-2"x8" (3-38x184) SPR. No.2
- WB3 = 2-2"x10" (2-38x235) SPR. No.2
- WB4 = 3-2"x10" (3-38x235) SPR. No.2
- WB5 = 2-2"x12" (2-38x286) SPR. No.2
- WB6 = 3-2"x12" (3-38x286) SPR. No.2
- WB7 = 5-2"x12" (5-38x286) SPR. No.2
- WB11 = 4-2"x10" (4-38x235) SPR. No.2
- WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

- LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
- LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
- LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
- LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
- LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
- LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
- LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
- LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
- LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
- LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
- LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
- LVL8 = 2-1 3/4"x14" (2-45x356)
- LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

- L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x0.0L)
- L2 = 4" x 3-1/2" x 5/16" (100x90x0.0L)
- L3 = 5" x 3-1/2" x 5/16" (125x90x0.0L)
- L4 = 6" x 3-1/2" x 3/8" (150x90x0.0L)
- L5 = 6" x 4" x 3/8" (150x100x0.0L)
- L6 = 7" x 4" x 3/8" (180x100x0.0L)

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
8	3'-0"	6'-8"	8'-0"	INTERIOR SLAB DOOR

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R80)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+RS)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR @ ZONE 2 (R 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	90% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HVAC MINIMUM EFFICIENCY	75% SRE ENERGY STAR @ HRY TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE EFFICIENCY
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.16 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

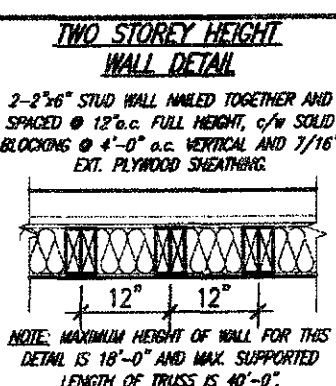
CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION

REVIEWED BY: *AS S. SNEI*
DATE: *1 JULY 18/2019*
FILE # *WOODCROFT 3 - ELEV 1, 2, 3*

OPT. 5 - BED.
OPT. DECK
OPT. W.B.B.

CERAMIC TILE FOR CONVENTIONAL LUMBER (ORC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0". 2 ROWS FOR SPANS GREATER THAN 7'0".



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

A COMPLETE SET OF REVIEWED DRAWINGS & SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION AS PER O.B.C.



STRUCTURE INC.
FOR STRUCTURE ONLY

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE FOR ALL MANDATORY INSPECTIONS. REFER TO ATTACHED BUILDING PERMIT FOR DETAILS

2907 SF.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

WOODCROFT-3 ELEVATION '1'	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	732.89 S.F.	183.00 S.F.	24.97 %
LEFT SIDE	905.72 S.F.	45.50 S.F.	5.02 %
RIGHT SIDE	905.72 S.F.	39.08 S.F.	4.31 %
REAR	727.22 S.F.	148.78 S.F.	20.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3271.55 S.F.	416.36 S.F.	12.73 %
TOTAL SQ. M.	303.93 S.M.	38.68 S.M.	12.73 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

WOODCROFT-3 ELEVATION '2'	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	727.22 S.F.	163.78 S.F.	22.52 %
LEFT SIDE	915.89 S.F.	45.50 S.F.	4.97 %
RIGHT SIDE	915.89 S.F.	39.08 S.F.	4.27 %
REAR	727.22 S.F.	148.78 S.F.	20.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3286.22 S.F.	397.14 S.F.	12.09 %
TOTAL SQ. M.	305.30 S.M.	36.90 S.M.	12.09 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

WOODCROFT-3 ELEVATION '3'	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	733.06 S.F.	180.53 S.F.	24.63 %
LEFT SIDE	905.04 S.F.	45.50 S.F.	5.03 %
RIGHT SIDE	905.04 S.F.	39.08 S.F.	4.32 %
REAR	727.22 S.F.	148.78 S.F.	20.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3270.36 S.F.	413.89 S.F.	12.66 %
TOTAL SQ. M.	303.82 S.M.	38.45 S.M.	12.66 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

WOODCROFT-3 EL '1' (W/OPT. PL)	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	732.89 S.F.	183.00 S.F.	24.97 %
LEFT SIDE	905.72 S.F.	44.49 S.F.	4.91 %
RIGHT SIDE	905.72 S.F.	46.08 S.F.	5.09 %
REAR	727.22 S.F.	148.78 S.F.	20.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3271.55 S.F.	422.35 S.F.	12.91 %
TOTAL SQ. M.	303.93 S.M.	39.24 S.M.	12.91 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

WOODCROFT-3 EL '2' (W/OPT. PL)	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	727.22 S.F.	163.78 S.F.	22.52 %
LEFT SIDE	915.89 S.F.	44.49 S.F.	4.86 %
RIGHT SIDE	915.89 S.F.	46.08 S.F.	5.03 %
REAR	727.22 S.F.	148.78 S.F.	20.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3286.22 S.F.	403.13 S.F.	12.27 %
TOTAL SQ. M.	305.30 S.M.	37.45 S.M.	12.27 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

WOODCROFT-3 EL '3' (W/OPT. PL)	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	733.06 S.F.	180.53 S.F.	24.63 %
LEFT SIDE	905.04 S.F.	44.49 S.F.	4.92 %
RIGHT SIDE	905.04 S.F.	46.08 S.F.	5.09 %
REAR	727.22 S.F.	148.78 S.F.	20.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3270.36 S.F.	419.88 S.F.	12.84 %
TOTAL SQ. M.	303.82 S.M.	39.01 S.M.	12.84 %

APPLICANT COPY

FEB 06 2019



ENERGY STAR - V 17

WOODCROFT 3
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com



project name
LAMBERTS LANE HOME CORP. PH.2

WOODCROFT 3
13.7m

project no.
18023

GENERAL NOTES & CHARTS

date
SEP. 2018

checked by
N.HUR

18023-WOODCROFT-3

drawing no.
A0

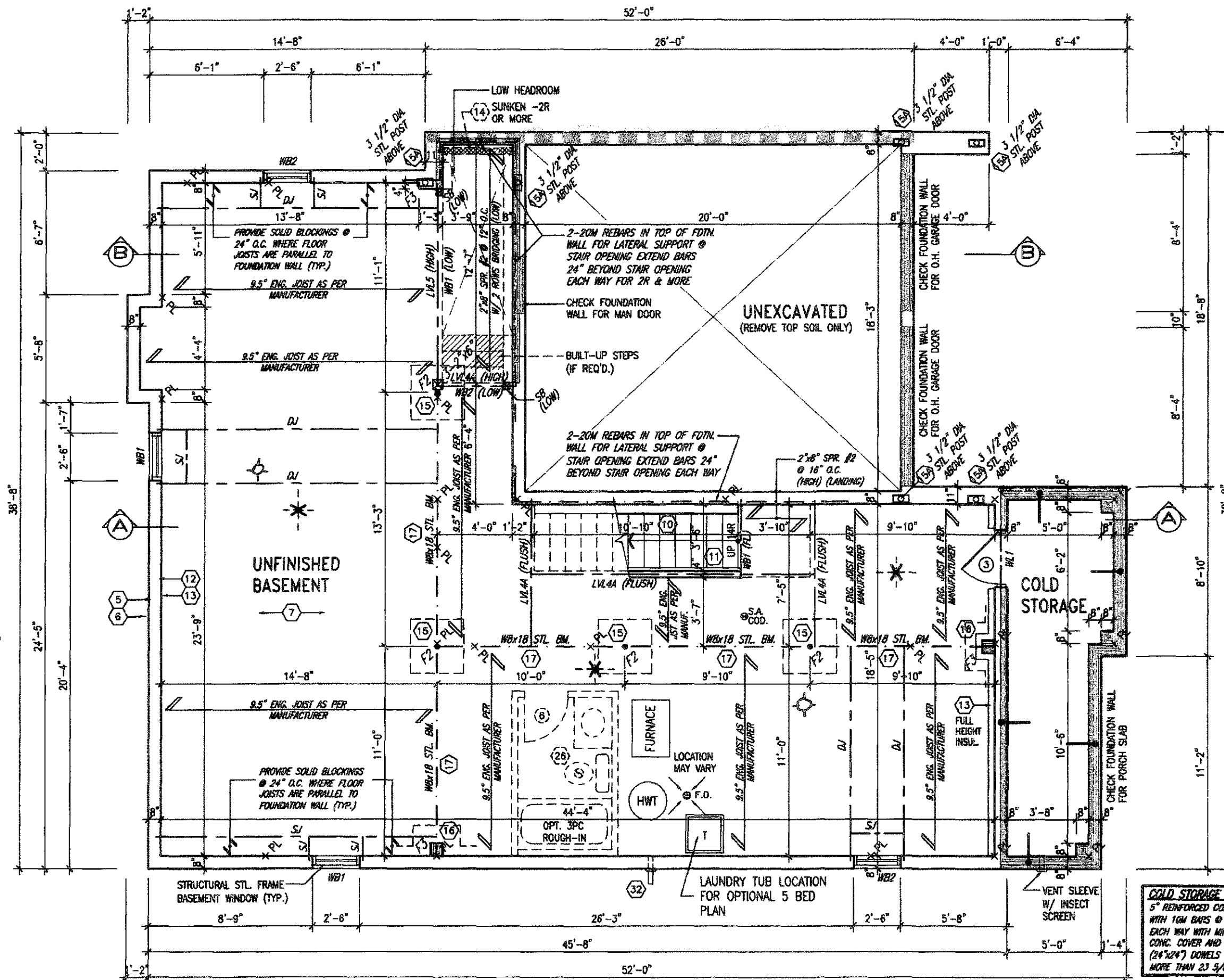
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2907 SF.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 MM



COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24" x 24") DOMES SPACED NOT
MORE THAN 23 5/8" o.c.

BASEMENT PLAN - ELEV. '1'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

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CALEDON



18			9		
17			8		
16			7		
15			6		
14			5	ISSUED FOR PERMIT.	JAN 31/19 GW
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19 GW
12			3	REAR UPGRADES REVISED PER A/C	NOV 22/18 GW
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP 27/18 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP 26/18 GW
no. description		date	by	no. description	

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24498
name
signature
42658
name
registration information
VA3 Design Inc.
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be copied.

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 / 416.630.4782
va3design.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2
CALEDON
date
SEP. 2018
checked by
3/18" = 1'-0"

WOODCROFT 3
13.7m

project no.
18023
drawing no.
A1

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2907 SF.

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BASEMENT PLAN - ELEV. '2'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18			9						
17			8						
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14			5	ISSUED FOR PERMIT.	JAN 31/19	GW			
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vs3design.com

Greenpark.
Project name
LAMBERTS LANE HOME CORP. PH.2
residentially
CALEDON
Date
SEP. 2018
Drawn by
N.HUR
checked by
-
scale
5/16" = 1'-0"
18023-WOODCROFT-3
DATE - 11/01/2018 10:18:18 AM (18023-WOODCROFT-3) - 11/01/2018 10:18:18 AM
18023-WOODCROFT-3

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A1a

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JUN 10 2019

TOWN OF CALEDON
PLANNING
FILE NO.

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 3/8" o.c.

2907 SF.

INDICATES REDUCED SIDE YARD CONDITION

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

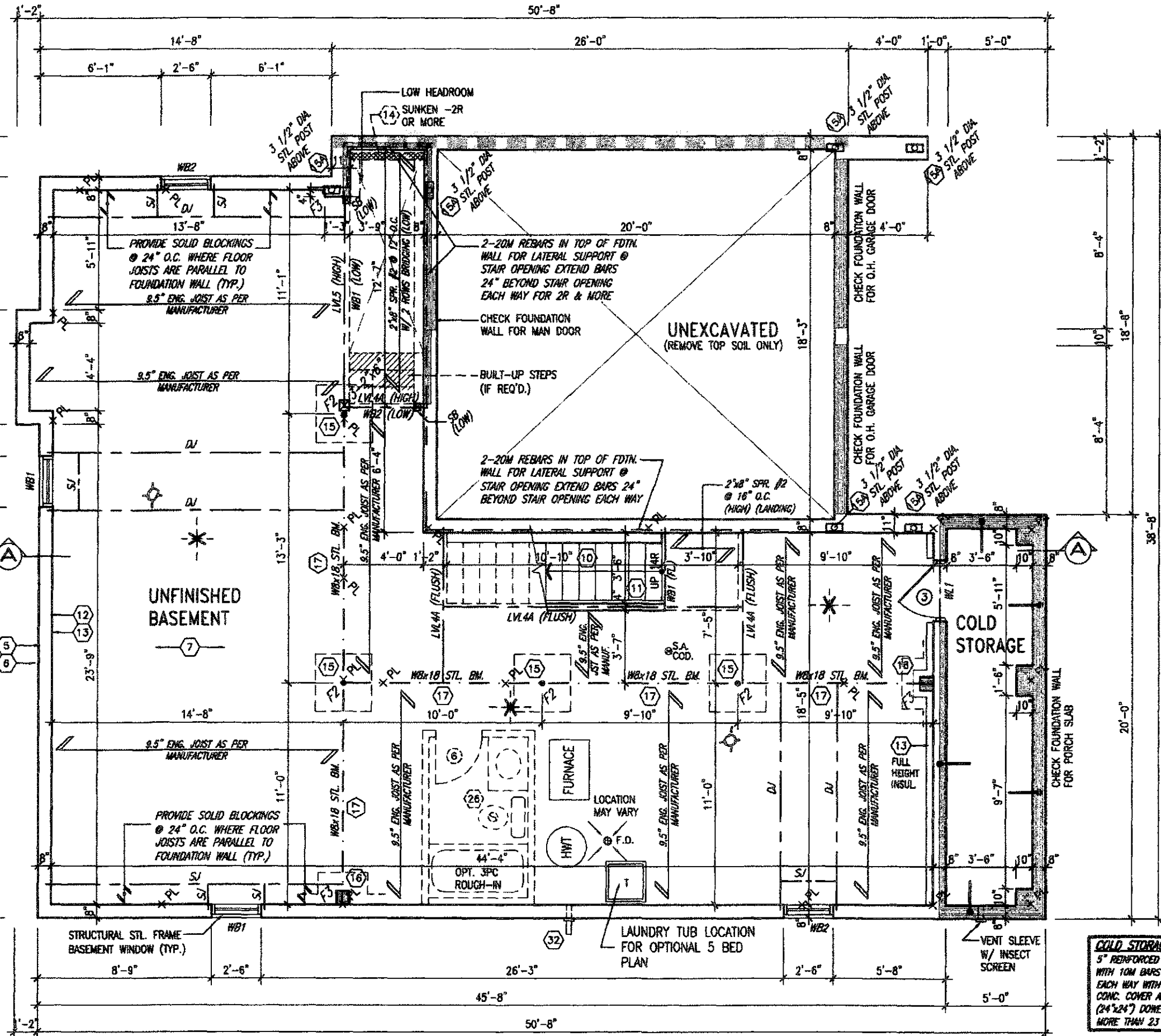
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STRUDET INC.
FOR STRUCTURE ONLY



BASEMENT PLAN - ELEV. '3'

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7' 8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

no.	description	date	by	no.	description	date	by
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Richard Vink 24488
signature
VAS Design Inc. 42656

Confirmer certifies that all dimensions on the job and report any
discrepancies to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be copied.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
city
SEP. 28/18
drawn by
PLANUR
checked by
3/18" = 1'-0"
scale
18023-WOODCROFT-3
drawing no.

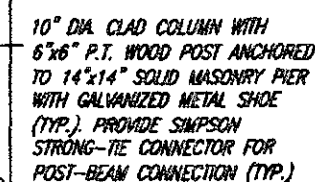
WOODCROFT 3
13.7m
project no.
18023
drawing no.
A1b

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TOWN OF CALEDON
BUILDING SECTION
FILE NO.

INDICATES REDUCED SIDE YARD CONDITION



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JUN 11 1966

TOWN OF CALEDON
REQUIREMENTS

WOODCROFT 3
ENERGY STAR

Greenpark.

WOODCROFT 3
13.7m

Project name	residential	project no.
LAMBERTS LANE HOME CORP. PH.2	CALEDON	1807
Date SEP. 2018	drawing no.	
GROUND FLOOR PLAN - ELEV. '1'		
Drawn by N.HUR	checked by 3/18" = 1'-0"	file name 18023-WOODCREST-3

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

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* 3-WAY SWITCH CONTROLLING
LIGHT OVER STAIRS

2 MIN. 1-WAY SWITCH CONTROLLING
LIGHT OVER STAIRS TO BASEMENT

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON



18				9			The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink 244B
14				5	ISSUED FOR PERMIT.	JAN 31/19 GW	name signature
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 09/19 GW	registration information VAS Design Inc. 426S
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18 GW	
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings may not be copied.
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18 GW	
no.	description	date	by	no.	description	date	by

INDICATES REDUCED SIDE YARD CONDITION



NOTE 2:
3 PLY BITUMINOUS (OR ONE PLY RUBBER) MEMBRANE ADHERED TO EXT. TYPE $\frac{5}{8}$ " TAG PLYWOOD SHEATHING ON 2"x2" SPR. PURLINS (LAID PERPENDICULAR TO JOISTS) ON 2"x8" P.T. SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

WOODCROFT 3
13.7m

Greenpark.

project name	jurisdiction	project #
LAMBERTS LANE HOME CORP. PH.2	CALEDON	1802

date SEP. 2018		GROUND FLOOR PLAN - ELEV. '2'		drawing no.
drawn by N.HUR	checked by	scale 3/16" = 1'-0"	file name 18B23-WOODCROFT-3	A2a

VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	2448
name	signature
registration information	903
VAS Design Inc.	4269
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications use instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

18				9		
17				8		
16				7		
15				6		
14				5	ISSUED FOR PERMIT.	JAN 31/19 GN
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19 GN
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18 GN
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18 GN
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18 GN
no.	description	date	by	no.	description	date

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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
12345

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

THESE BUILDINGS
CONTAINED MORE
EXACTED THE POWERS OF
THE OWNERS BUILDING CONF

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.19. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

MINIMUM CEILING HEIGHT SHALL BE 2100 MM
OVER AT LEAST 75% OF BASEMENT
AREA EXCEPT THAT UNDER BEAMS AND
DUCTS THE CLEARANCE IS PERMITTED TO
BE REDUCED 1950 M M

GROUND FLOOR PLAN - ELEV. '2'

 INDICATES REDUCED SIDE YARD CONDITION



JOHN OF GABRIEL

NOTE 2:
3 PLY BITUMINOUS (OR ONE PLY RUBBER) MEMBRANE ADHERED TO EXT. TYPE $\frac{3}{8}$ " T&G PLYWOOD SHEATHING ON 2"x2" SPR. PURLINS (LAID PERPENDICULAR TO JOISTS) ON 2"x8" P.T. SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S.

WOODCROFT 3
ENERGY STAR

 Greenpark.	WOODCROFT 3 13.7m
project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON
date SEP. 2018	project no. 18022
GROUND FLOOR PLAN - ELEV. '3'	
drawn by JMR	checking no. A2b
checked by -	scale 3/16" = 1'-0"
title MUR	file name 18023-WOODCROFT-3
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



GROUND FLOOR PLAN - ELEV. '3'

16			9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8				qualification information
16			7				Richard Vink
15			6				signature
14			5	ISSUED FOR PERMIT.	JUN 31/19	GW	244
13			4	ROOF-FLOOR-ENG. CO-ORD.	JUN 08/19	GW	428
12			3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW	
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP 27/18	GW	
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP 26/18	GW	
9	description	date	by	no	description	date	by

The undersigned has reviewed and takes responsibility for this design and lists the qualifications and meets the requirements set out in the Ontario Building Code for a Designer. qualification information Richard Vink name signature regulation information VAS Design Inc.		244 6 426
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied		

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DESIGN**
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark

Project name
LAMBERTS LANE HOME CORP. PH.2 CA

Job
EP. 2018 **GROUND FLO**

Drawn by
JMR checked by
- scale
3/16" = 1'-0"

SEC. 2 - 1/4" = 1'-0" (SEE PLAN) 1/4" = 1'-0" (SEE PLAN) 1/4" = 1'-0" (SEE PLAN) 1/4" = 1'-0" (SEE PLAN)

WOODCROFT 3
13.7m

project
1802

PLAN - ELEV. '3'

file name
18023-WOODCROFT-3

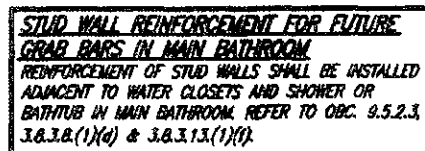
drawing no.
A2b

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THE CONCRETE HOUSE
DESIGNED TO LAST
FOR 100 YEARS
OF SMOKE PROTECTION
THE CONCRETE BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON



WOODCROFT 3
ENERGY STAR

 Greenpark.	WOODCROFT 3 13.7m
project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON
date SEP. 2018	project no. 18023
SECOND FLOOR PLAN - ELEV. '1'	
drawn by N.H.R.	checked by -
scale 3/16" = 1'-0"	file name 18023-WOODCROFT-3
THIS IS A PRELIMINARY DRAWING AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF GREENPARK INC. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN NECESSARY PERMITS FROM THE APPROPRIATE AUTHORITIES.	

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STANDARD
COSTS
EXTENSIVE
THEORY

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL CONFORM TO SUBSECTIONS 9.10.10. AND 9.33.4. OF THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
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NOT FACILITATE CLIMBING

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON



**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.2.3.2.(1)(c) & 3.2.3.13.(1)(c).

SECOND FLOOR PLAN - ELEV. '2'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18				9				The undersigned has reviewed and takes responsibility for this design and from the specifications and made the requirements set out in the Ontario Building Code to be a Designer.
17				8				qualification information
16				7				
15				6				Richard Vink
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW	name
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW	registration information
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW	VAS Design Inc.
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW	425
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW	
no.	description	date	by	no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink <i>R Vink</i> 24 name signature registration information VAS Design Inc. 42 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.	
---	--



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
va3design.com



project name
LAMBERTS LANE HOME CORP. PH.2

date
SEP. 2016

drawn by
M.HUR

checked by
-

note
3/16" = 1'-0"

SECOND FLOOR PLAN

WOODCROFT 3
13.7m

Project no.
8023

drawing no. **A7**

450 |

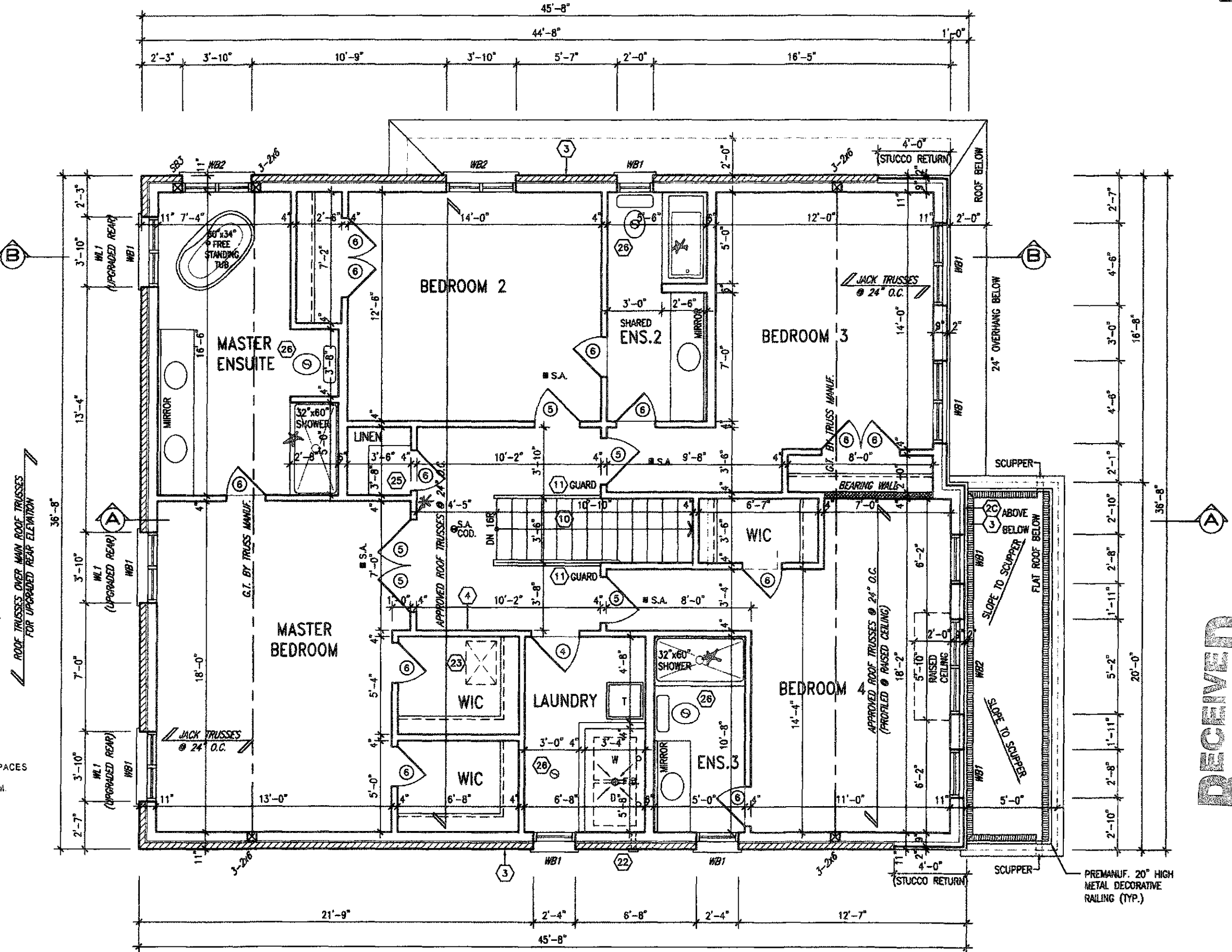
श्री श्री गुरुभ्यो नमः ।

2907 SF.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

SMOKE ALARMS AND CARBON
MONOXIDE DETECTORS SHALL
CONFORM TO SUBSECTIONS
9.10.19. AND 9.33.4. OF THE
ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



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BUILDING SECTION

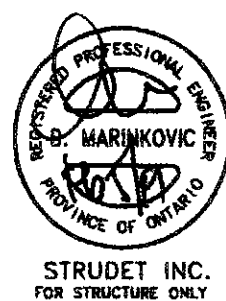
SECOND FLOOR PLAN - ELEV. '3'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

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ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
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house can be properly built or located on its lot.

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with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON



**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
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ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.2.(1)(d) & 3.8.3.13.(1)(f).

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT.	JAN 31/19	GW
13		4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12		3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11		2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 244388
name
signature
VA3 Design Inc. 42658
name
signature
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
1 416.630.2255 / 416.630.4782
va3design.com

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
1 416.630.2255 / 416.630.4782
va3design.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2
date
SEP. 2018
designed by
N.HUR
checked by
3/16" = 1'-0"

WOODCROFT 3
13.7m
project no.
18023
municipality
CALEDON
drawing no.
18023-WOODCROFT-3
A3b

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AND CARBON
TORS SHALL
SECTIONS
OF THE
BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
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STRUDET INC.
FOR STRUCTURE ONLY

**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
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ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO CBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(i).

OPT. SECOND FLOOR PLAN (5 BED) - ELEV. '1'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18				9			The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink
14				5	ISSUED FOR PERMIT.	JAN 31/19	24489
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	24489
12				3	REAR UPGRADES REVERSED PER A/C.	NOV 22/18	42659
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18	
no.	description	date	by	no.	description	date	by

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**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com



Greenpark.

project name: LAMBERTS LANE HOME CORP. PH.2 municipality: CALEDON

ART SECOND FLOOR PLAN (5 PER) FILE# 949

SEP. 2018 OPT. SECOND FLOOR PLAN (5 BED) - ELEV. 1'

drawn by _____ checked by _____ scale _____ file number _____

NUM - 3/16" = 1'-0" 18023-WOODCROFT-3

CSG - N:\ARC-ME\BOS\BOS\1818\18223\REF-1\UTS\137-UTS\DOFT\DOFT-5\18223-DOFT-3.dwg - Thu - Jan 31 2019 - 10:33 AM

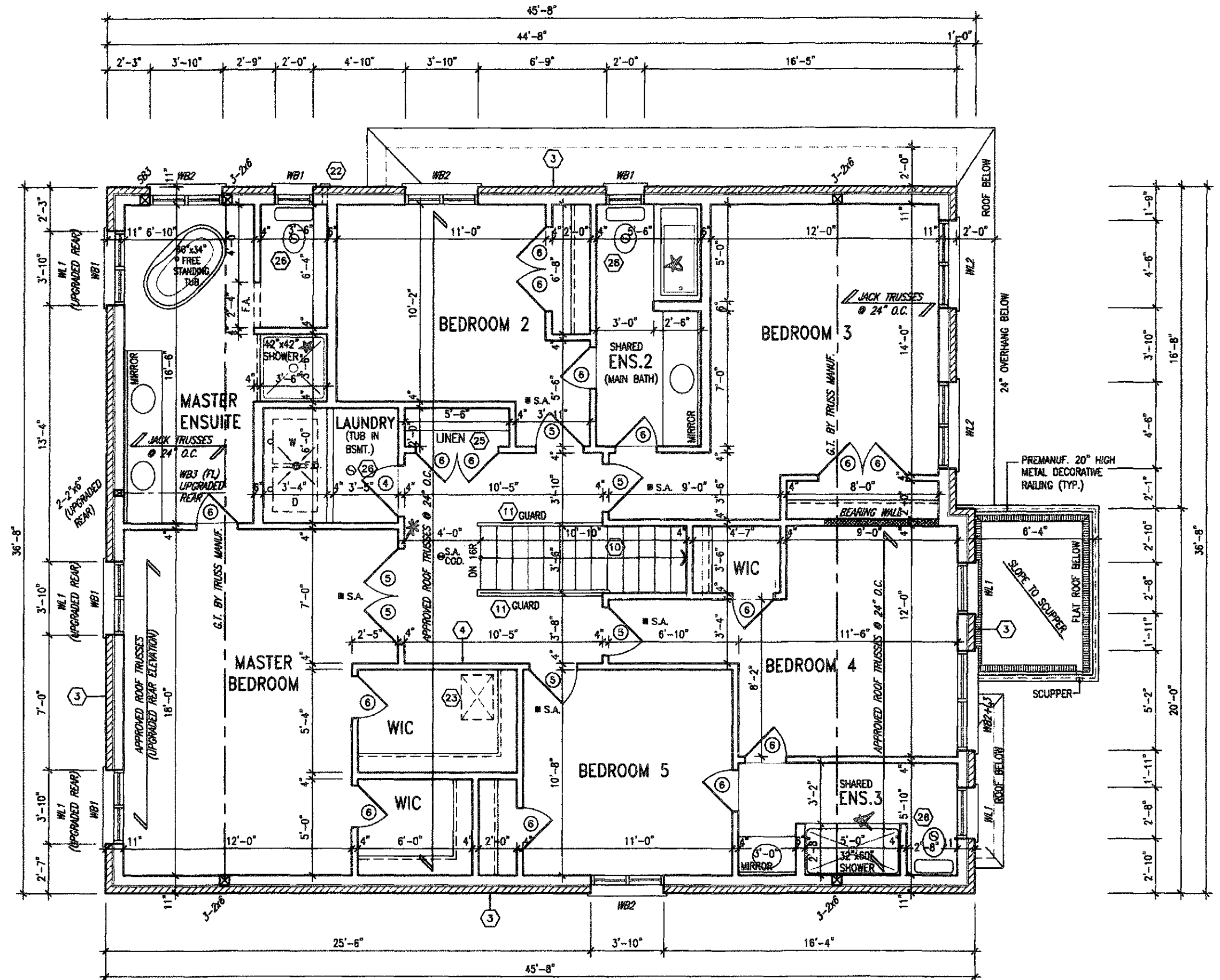
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2907 SF.

THIS STRUCTURE MUST BE
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EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

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TOWN OF CALEDON
BUILDING SECTION
FILE NO.

OPT. SECOND FLOOR PLAN (5 BED) - ELEV. '2'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

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FOR STRUCTURE ONLY

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BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(a) & 3.8.3.13.(1)(a).

18				9					
17				8					
16				7					
15				6					
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW		
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW		
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW		
no.	description	date	by	no.	description	date	by		

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qualification information
Richard Vink 24488
name
signature
VAS Design Inc. 42658
registration information
VAS Design Inc.
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DESIGN**
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t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
multiplicity
CALEDON
date
SEP. 2018
checked by
N.HUR
scale
3/16" = 1'-0"

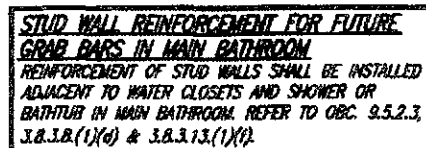
WOODCROFT 3
13.7m
project no.
18023
drawing no.
A4a
18023-WOODCROFT-3
date
JAN 31 2019 - 10:30 AM

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1. **THE STATE OF TEXAS,**
 2. **COUNTY OF DALLAS,**
 3. **do hereby certify that**
 4. **the within and foregoing**
 5. **is a true and correct**
 6. **copy of the original**
 7. **as the same appears**
 8. **from the records of**
 9. **the said County of**
 10. **Dallas, this 10th day**
 11. **of May, 1906.**
 12. **Attest my hand and**
 13. **the seal of said County**
 14. **this 10th day of May,**
 15. **1906.**

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON



FEB 06 2019

WOODCROFT 3
ENERGY STAR

18				9				The undersigned has reviewed and takes responsibility for this design and has the conditions and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8				
16				7				questionnaire information
15				6				Richard Vink 244- B <i>R Vink</i> signature
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW	note
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW	regulation information
12				3	REAR UPGRADES REMOVED PER A/C.	NOV 22/18	GW	VAS Design Inc. 426-
11				2	NEIGH SLOPES SLOPED PER CLIENT.	SEP 27/18	GW	Contractor must verify all dimensions on the job and report all discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which shall be returned at the completion of the project. Drawings are not to be copied.
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP 26/18	GW	
no.	description	date	by	no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink *R Vink* 244

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**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 / 416.630.478
va3design.com

Greenpark.

project name	LAMBERTS LANE HOME CORP. PH.2	municipality	CALEDON
--------------	-------------------------------	--------------	---------

SEP. 2018 OPT. SECOND FC

M.HUR - 3/16" = 1'-0"

WOODCROFT 3
13.7m

project no.
18023

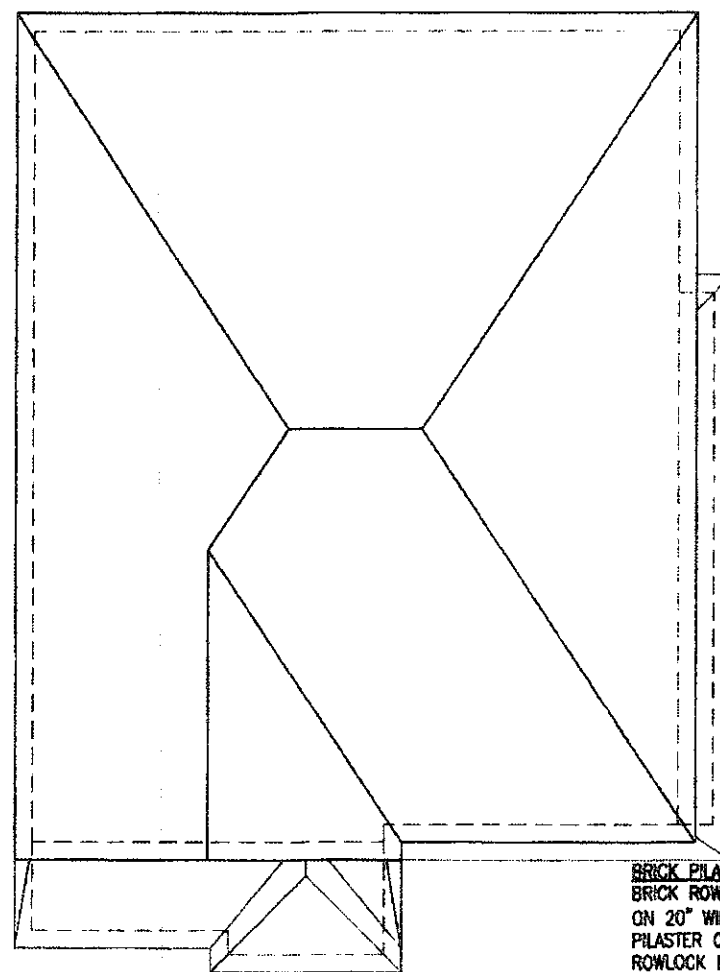
D) - ELEV. '3'	drawing no.
----------------	-------------

18023-WOODCROFT-3 A4b

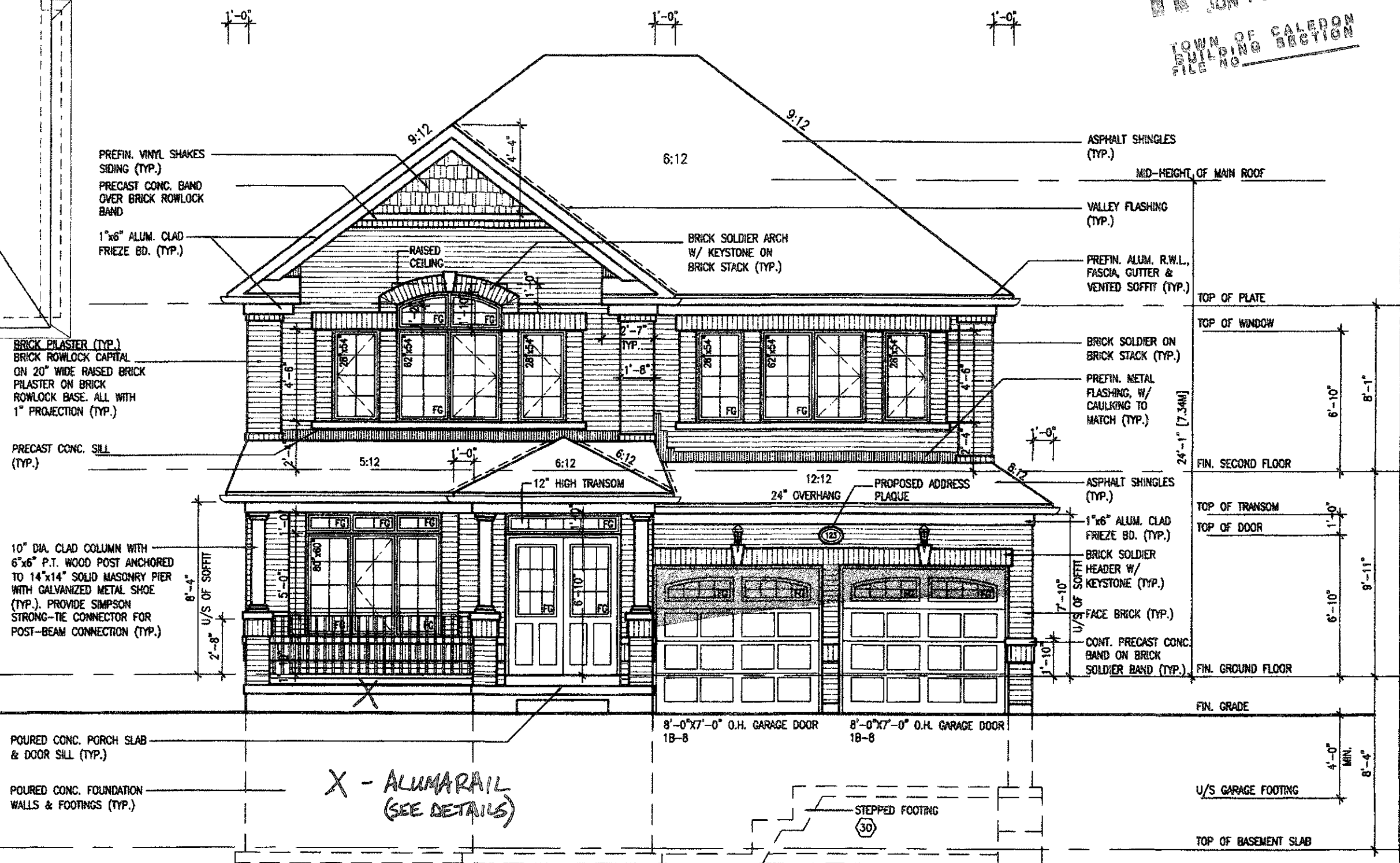
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TOWN OF CALEDON
BUILDING DEPARTMENT
FILE NO. _____



ROOF PLAN '1'



FRONT ELEVATION '1'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9			
17				6			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	JAN 31/18	GN
13				4	ROOF-FLOOR-ENC. CO-ORD.	JAN 08/18	GN
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GN
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GN
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GN
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	<i>R Vink</i>	2448
Richard Vink	signature	EC
name		
registration information		
VAS Design Inc.		4265

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Questions are not to be asked.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 **Greenpark.**

WOODCROFT 3
13.7m

project name	marketplace	project no.
LAMBERTS LANE HOME CORP. PH.2	CALEDON	18023
date	FRONT ELEVATION - ELEV. '1'	
SEP. 2018		
drawn by	checked by	scale
M.HUR		3/16" = 1'-0"
18023-WOODCROFT-3		

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2907 SF.

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JUN 10 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO.

ASPHALT SHINGLES
(TYP.)

MID-HEIGHT OF MAIN ROOF

VALLEY FLASHING
(TYP.)

PREFIN. ALUM. R.W.I.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

TOP OF WINDOW

PREFIN. METAL
FLASHING, W/
CAULKING TO
MATCH (TYP.)

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF DOOR

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)
10" PRECAST CONC.
HEADER (TYP.)

1/2" FACE BRICK (TYP.)
CONT. PRECAST
CONC. BAND (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

U/S GARAGE FOOTING

TOP OF BASEMENT SLAB

FEB 06 2019

WOODCROFT 3
ENERGY STAR

WOODCROFT 3
13.7m

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2

municipality
CALEDON

project no.
18023

date
SEP. 2018

FRONT ELEVATION - ELEV. '2'

checked by
3/16" = 1'-0"

drawing no.
18023-WOODCROFT-3

A5a

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
signature
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

18				9					
17				8					
16				7					
15				6					
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		
12				3	REAR UPGRADES REVISED PER A/C	NOV 22/18	GW		
11				2	REVISED ROOF SLOPES PER CLIENT	SEP. 27/18	GW		
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	SEP. 26/18	GW		
no.	description	date	by	no.	description	date	by		

ROOF PLAN '2'

FRONT ELEVATION '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

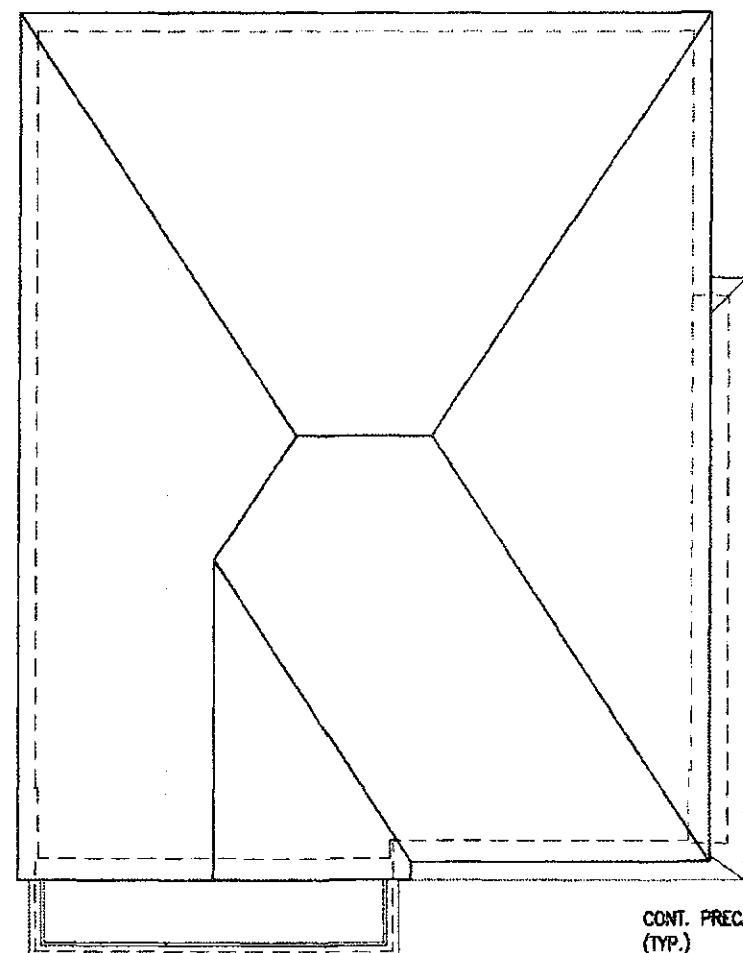
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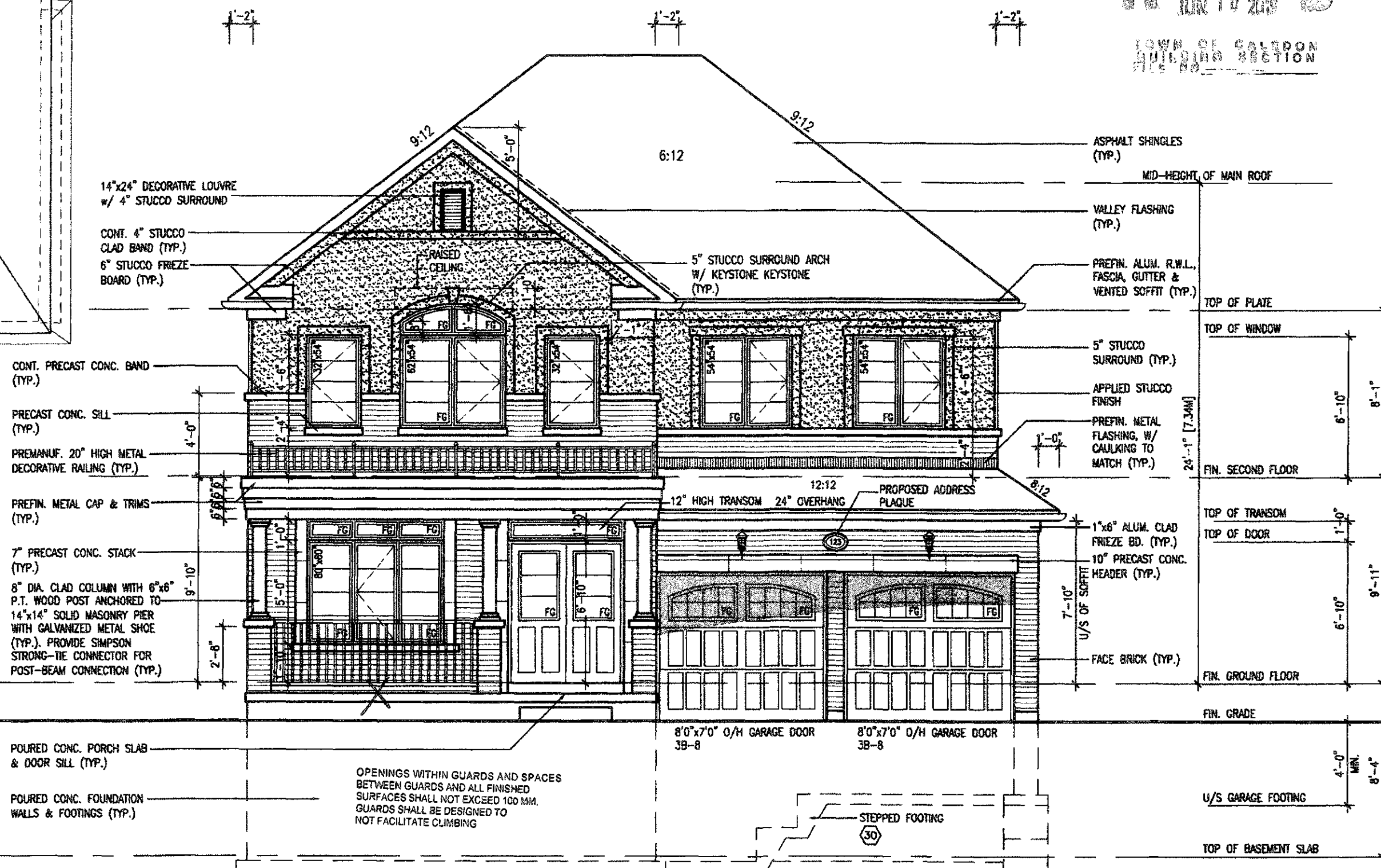
2907 SF.

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TOWN OF CALEDON
BUILDING DEPARTMENT



ROOF PLAN '3'



FRONT ELEVATION '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
WITH INTEGRATED MASONRY
LEDGE ON SIDES WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
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THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18				9					
17				8					
16				7					
15				6					
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW		
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW		
12				3	REAR UPGRADES REVISED PER A/C	NOV 22/18	GW		
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW		
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 28/18	GW		
no. description		date	by	no. description		date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and creates the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BOM
home
registration information
VAB Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAB
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vabdesign.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
date
SEP. 2018
drawn by
M.HUR
checked by
3/16" = 1'-0"

WOODCROFT 3
13.7m

FRONT ELEVATION - ELEV. '3'

project no.
18023

drawing no.
A5b

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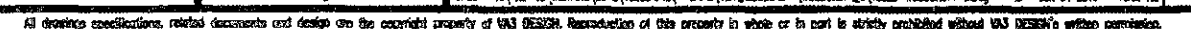
ALL INFORMATION CONTAINED
HEREIN IS UNCLASSIFIED
DATE 08-10-2001 BY 60322 UCBAW



 Greenpark.	WOODCROFT 3 13.7m
project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON
date SEP. 2018	project no. 18023
LEFT SIDE ELEVATION - ELEV. 2nd	
drawn by M.NUR	drawing no. A6a
checked by -	scale 3/16" = 1'-0"
the name N.MUR	the name 18023-WOODCROFT-3
SPEC : 18023-GEOMTRY (MAY 2018) 18023-GRD (JULY 2018) 18023-TV (NOV 2019) 18023-WOODCROFT-3den - Thu - Jan 31 2019 - 13:53 AM	

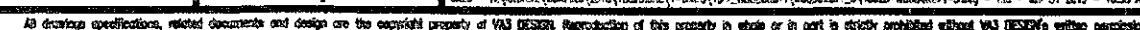
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TOWN BOARD SECTION



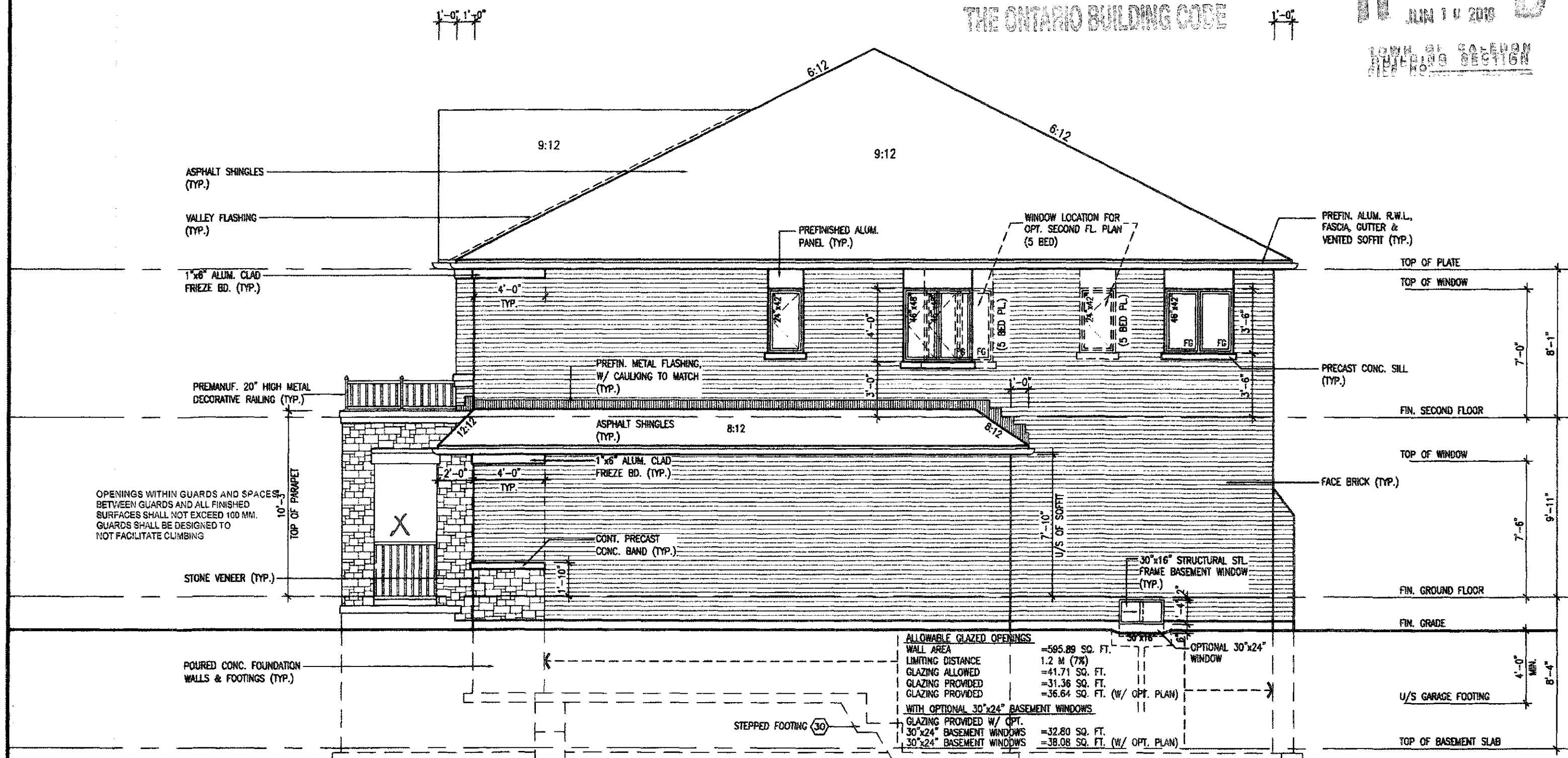
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EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

1994年11月15日



THE STRUCTURE MUST BE
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THE ONTARIO BUILDING CODE

100-443889-100



RIGHT SIDE ELEVATION '2'

3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in The Ontario Building Code to be a Designer.
17				8				
16				7				qualification information
15				6				Richard Vink
14				5	ISSUED FOR PERMIT.	JAN 31/19	CW	2448
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 09/19	CW	name registration information
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GHW	VAS Design Inc.
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GHW	428
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GHW	
no.	description	date	by no.	description	date	by		

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VA
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark

project name **LAMBERTS LANE HOME CORP. PH.2** municipality **CALEDON**
date **SEP. 2018** right side elevation
drawn by **N.H.MUR** checked by **-** azide
3/16" = 1'-0"

WOODCROFT 3
13.7m

project
1802

10/10/2012

1. **General Information**

A70

A70

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JUN 14 2008
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U.S. DEPARTMENT OF JUSTICE



45 MINUTE FIRE RATED WALL

RIGHT SIDE ELEVATION '3'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

18				9		
17				8		
16				7		
15				6		
14				5	ISSUED FOR PERMIT.	JAN 31/19
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18
9	description	date	by	no.	description	date

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DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

project name LAMBERTS LANE HOME CORP. PH.2 municipality CALEDON

date SEP. 2018 RIGHT SIDE ELEVATION

drawn by M.HUR checked by - north

scale 3/16" = 1'-0"

cadd - H:\ARCHIVE\PROJECTS\2018\18023\18023-17\18023-17.dwg 9/17/2018 10:00 AM

project no.
18023

drawing no.
A7b

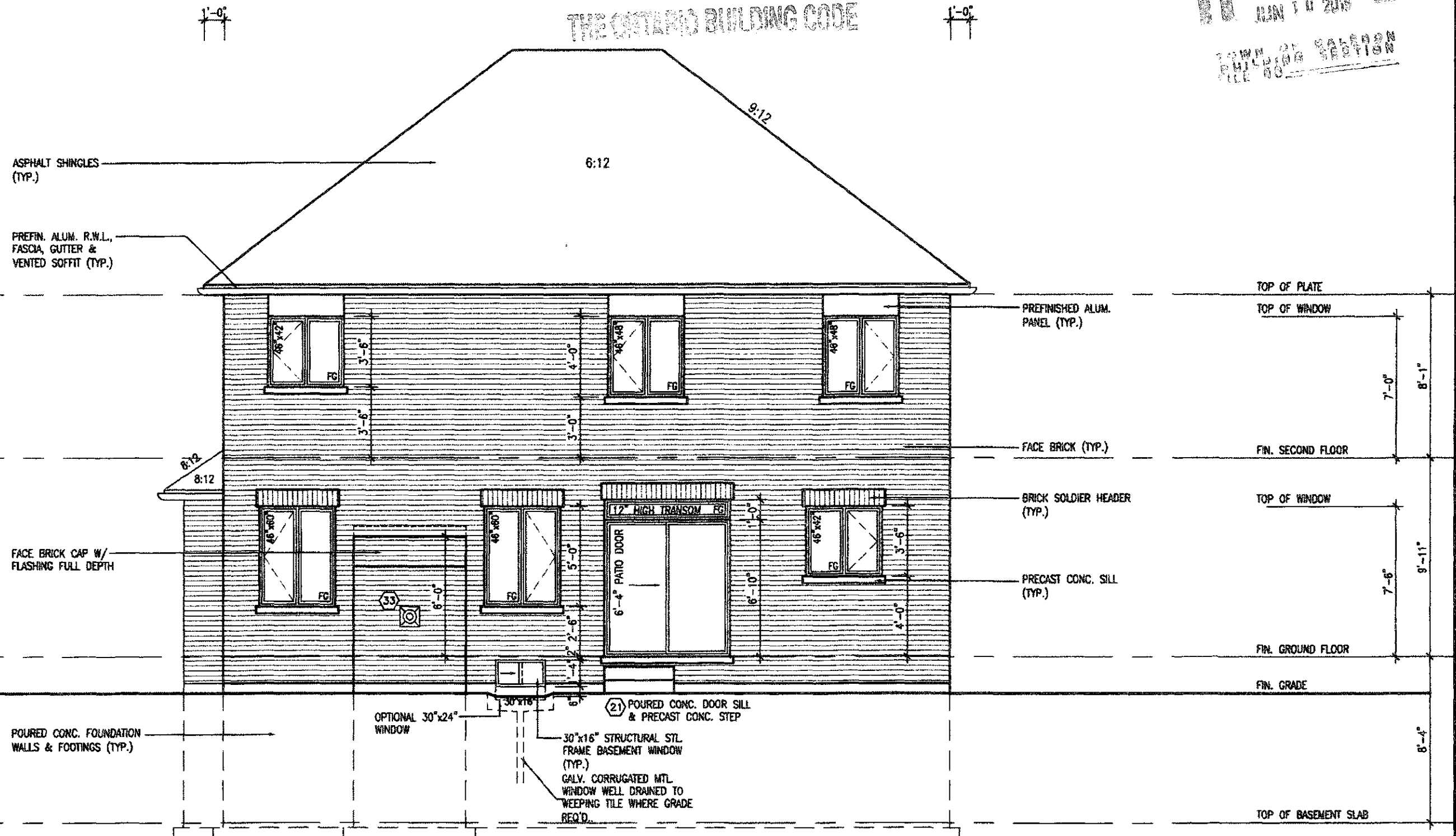
ON - ELEV. '3'
the name
18023-WOODCROFT-3
Thu - Jan 31, 2019 - 10:38 AM

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RECEIVED
JAN 14 2019
TOWN OF CALEDON
BUILDING DEPARTMENT
FILE NO.



REAR ELEVATION '1'

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18.				9.			
17.				8.			
16.				7.			
15.				6.			
14.				5.	ISSUED FOR PERMIT.	JAN 31/19	GW
13.				4.	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12.				3.	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11.				2.	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10.				1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification Information
Richard Vink
name
signature
24488
BCN
42658

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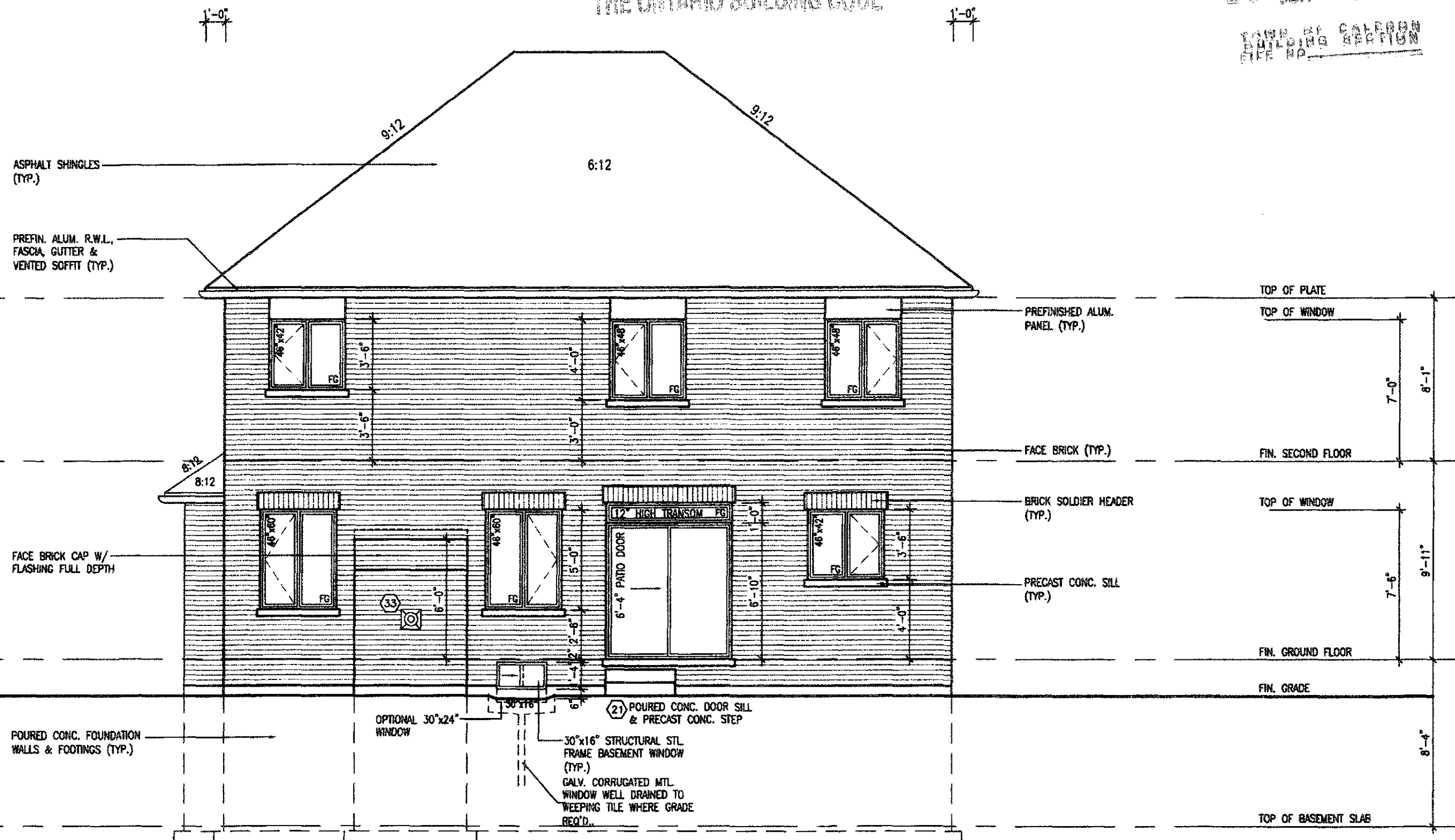
VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.	WOODCROFT 3 13.7m
project name LAMBERTS LANE HOME CORP. PH.2	project no. 18023
date SEP. 2018	drawing no. A8
drawn by N.MUR	checked by 3/16" = 1'-0"
18023-WOODCROFT-3	

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LOWE'S CALIFORNIA
ELECTRIC SECTION



FEB 06 2019

WOODCROFT 3
ENERGY STAR

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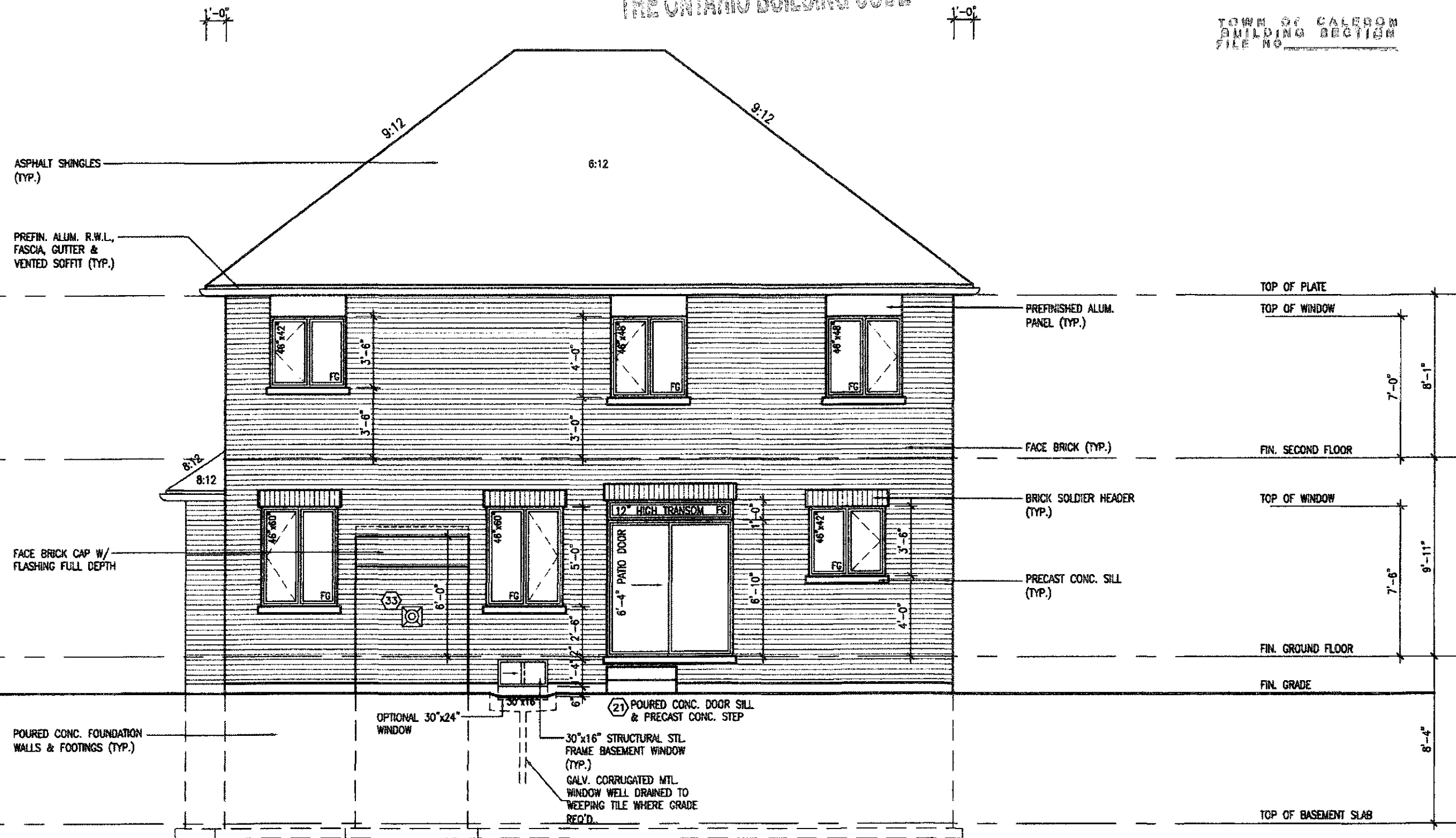
ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]

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TOWN OF CALEDON
BUILDING SECTION
FILE NO.



REAR ELEVATION '3'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18		-	9	The undersigned has released and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.				
17		-	8	qualification information				
16		-	7					
15		-	6	Richard Vink			244B-01	R.Vink signature
14		-	5	ISSUED FOR PERMIT.	JAN 31/19	GW	BCH	
13		-	4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW	VAS Design Inc.	42654
12		-	3	REAR UPGRADES REVEALED PER A/C.	NOV 22/18	GW		
11		-	2	NEAR ROOFS SLOPED PER CLIENT.	SEP. 27/18	GW		
10		-	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW		
no.	description	date	by no.	description	date	bv		

The undersigned has released and takes responsibility for this design, the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	244
name	
signature	
registration information	
VAS Design Inc.	428
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions and specifications are to be verified on the ground and the signature of the Designer shall not be returned at the completion of the work. Drawings are not to be sealed.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

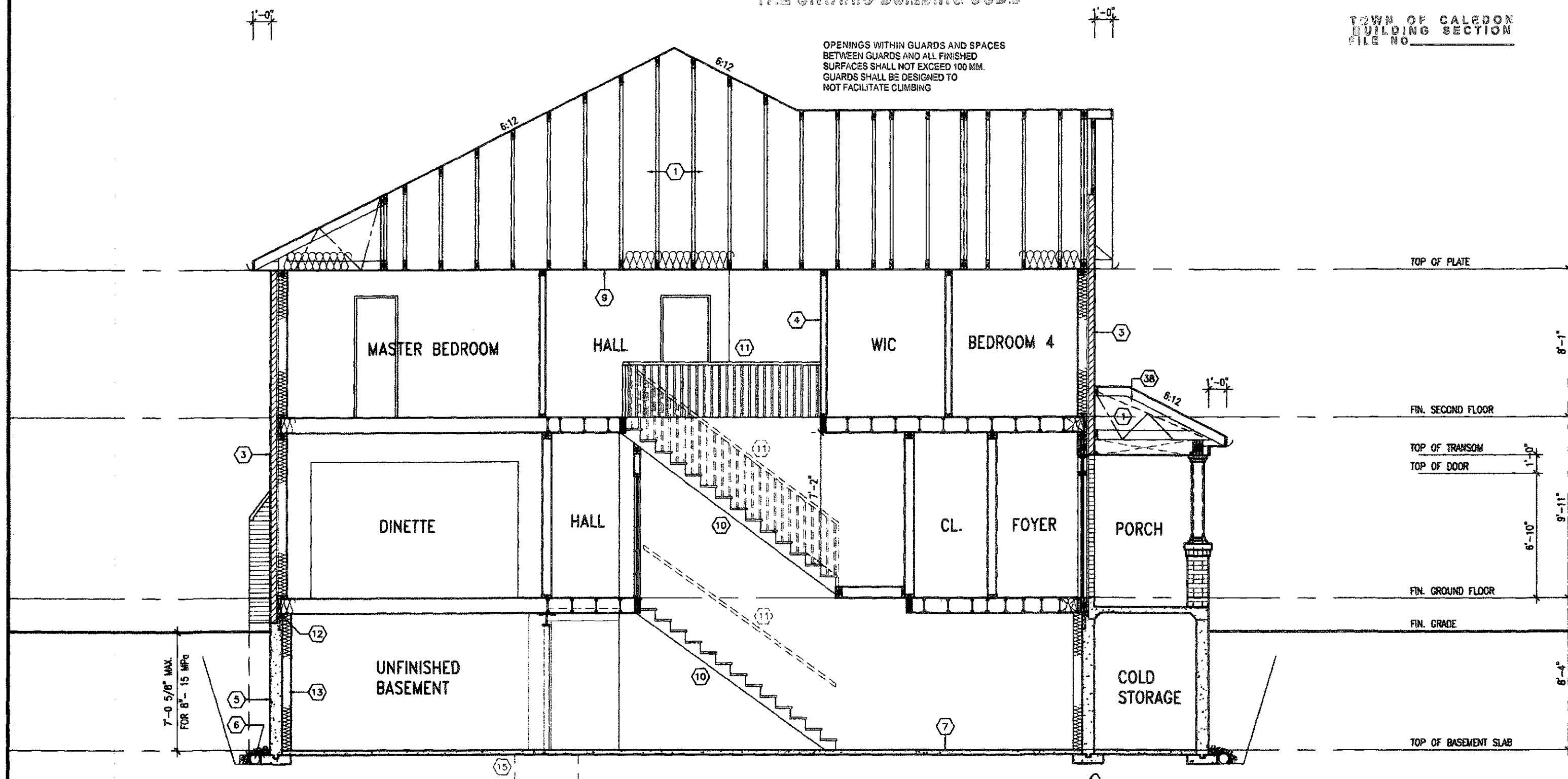
WOODCROFT 3
13.7m

project name	city	county	project no.
LAMBERTS LANE HOME CORP. PH.2	CALEDON		18023
date SEP. 2010			drawing no.
rear elevation - elev. '3'			
drawn by	checked by	scale	file name
N.HUR		3/16" = 1'-0"	18023-WOODCROFT-3
C:\AEC\2010\WORKSPACE\18023\18023-3\18023-3\WOODCROFT-3.dwg 18023-WOODCROFT-3.dwg - Thu - 10/1/2010 - 10:58 AM			

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OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



CROSS SECTION A-A ELEVATION '1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



FEB 06 2019

WOODCROFT 3
ENERGY STAR

[illegible]

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2907 SF.

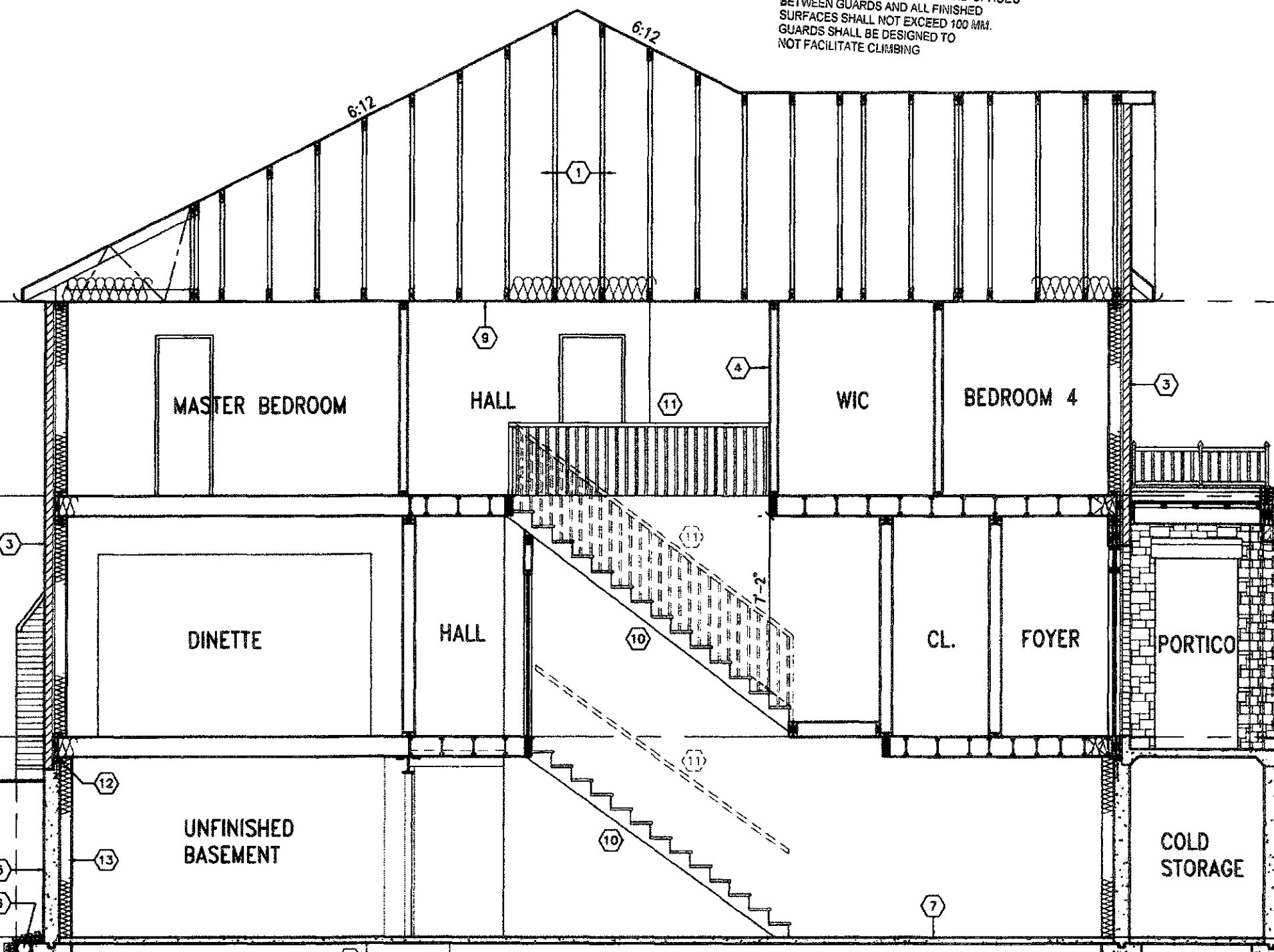
RECEIVED
JUN 10 2018

TOWN OF CALEDON
BUILDING DEPARTMENT
FILE NO.

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

1'-0"

1'-0"



TOP OF PLATE

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF DOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF BASEMENT SLAB

CROSS SECTION A-A ELEVATION '2'



STRUDET INC.
FOR STRUCTURE ONLY

FEB 06 2019

WOODCROFT 3
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW
9							
8							
7							
6							
5							
4							
3							
2							
1							

The undersigned has reviewed and takes responsibility for this design and the specifications and notes the requirements set out in the Ontario Building Code to be a Designer.
signature information
Richard Vink 24488
name
registration information
VA3 Design Inc. 42858
Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 / 416.630.4782
va3design.com

Greenpark.

WOODCROFT 3
13.7m

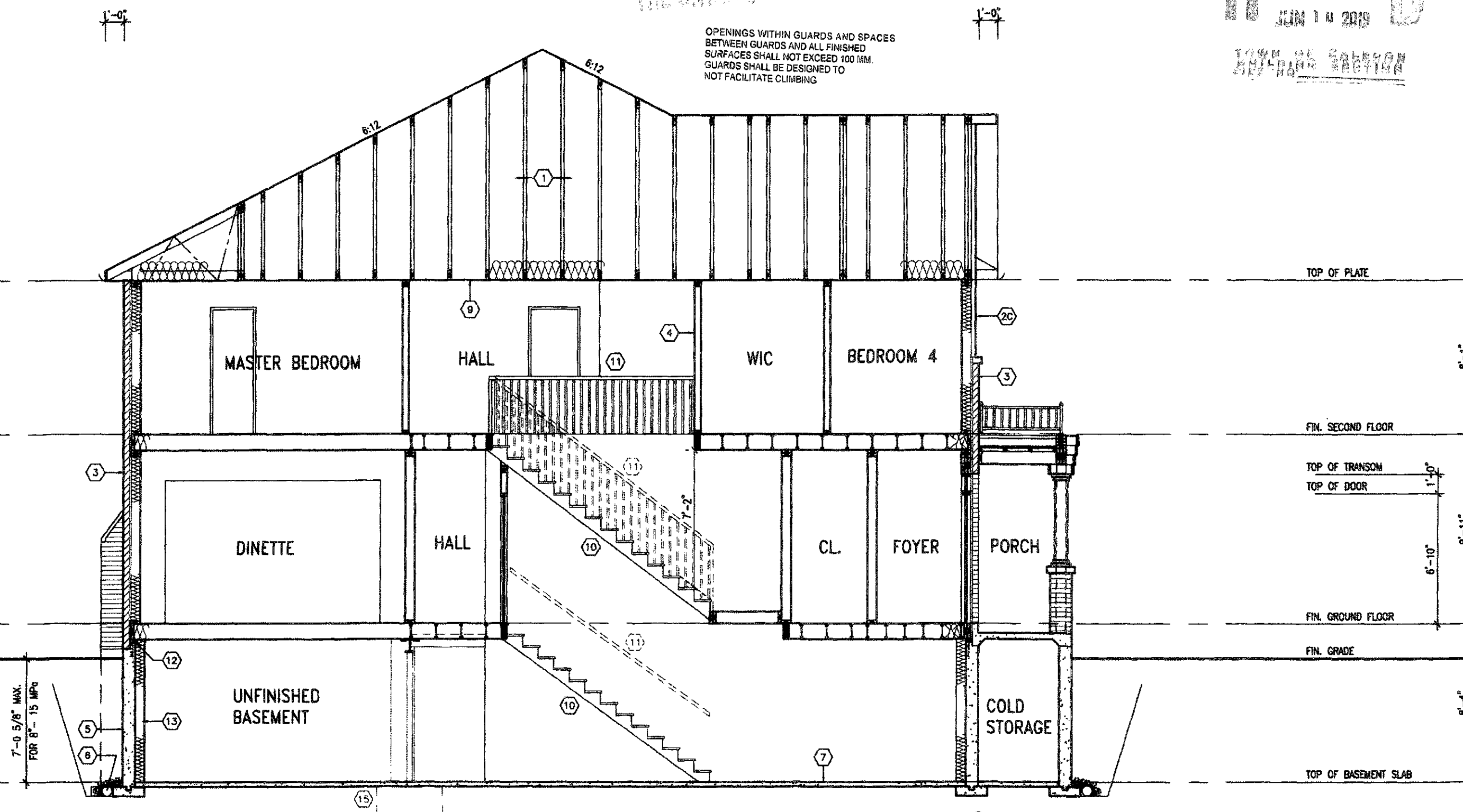
project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
project no.
18023
date
SEP. 2018
checked by
scale
3/16" = 1'-0"
drawing no.
A9a
file name
18023-WOODCROFT-3
GDS - R:\VARENE\WORK\18023\18023-001\18023-WOODCROFT-3.dwg - Thu, Jan 31 2019 - 12:36 AM

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RECEIVED
JUN 10 2009
TOWN OF GALETON
ENTERING SECTION

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING



CROSS SECTION A-A ELEVATION '3'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the recommendations set out in the Ontario Building Code to be a Designer.
17			8	-	
16			7	-	qualification information
15			6	-	Richard Vink <i>R Vink</i> 244
14			5	ISSUED FOR PERMIT.	JAN 31/19 GW name signature 42B
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19 GW registration information
12			3	REAR UPGRADES REVISED PER A/C.	MAY 22/18 GW VAS Design Inc.
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP 27/18 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP 26/18 GW
no.	description	date	by no.	description	date by

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

STRUDET INC
FOR STRUCTURE ONLY

FEB 06 2019

WOODCROFT 3
ENERGY STAR

VA3 DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vn3design.com

Greenpark.

project name
LAMBERTS LANE HOME CORP. PH.2 municipality
CALEDON
date
SEP. 2018 cross section
drawn by
HLK/HL checked by
3/16" = 1'-0"

WOODCROFT 3
13.7m

project no.
18023

drawing no.
A9b

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2907 SF.

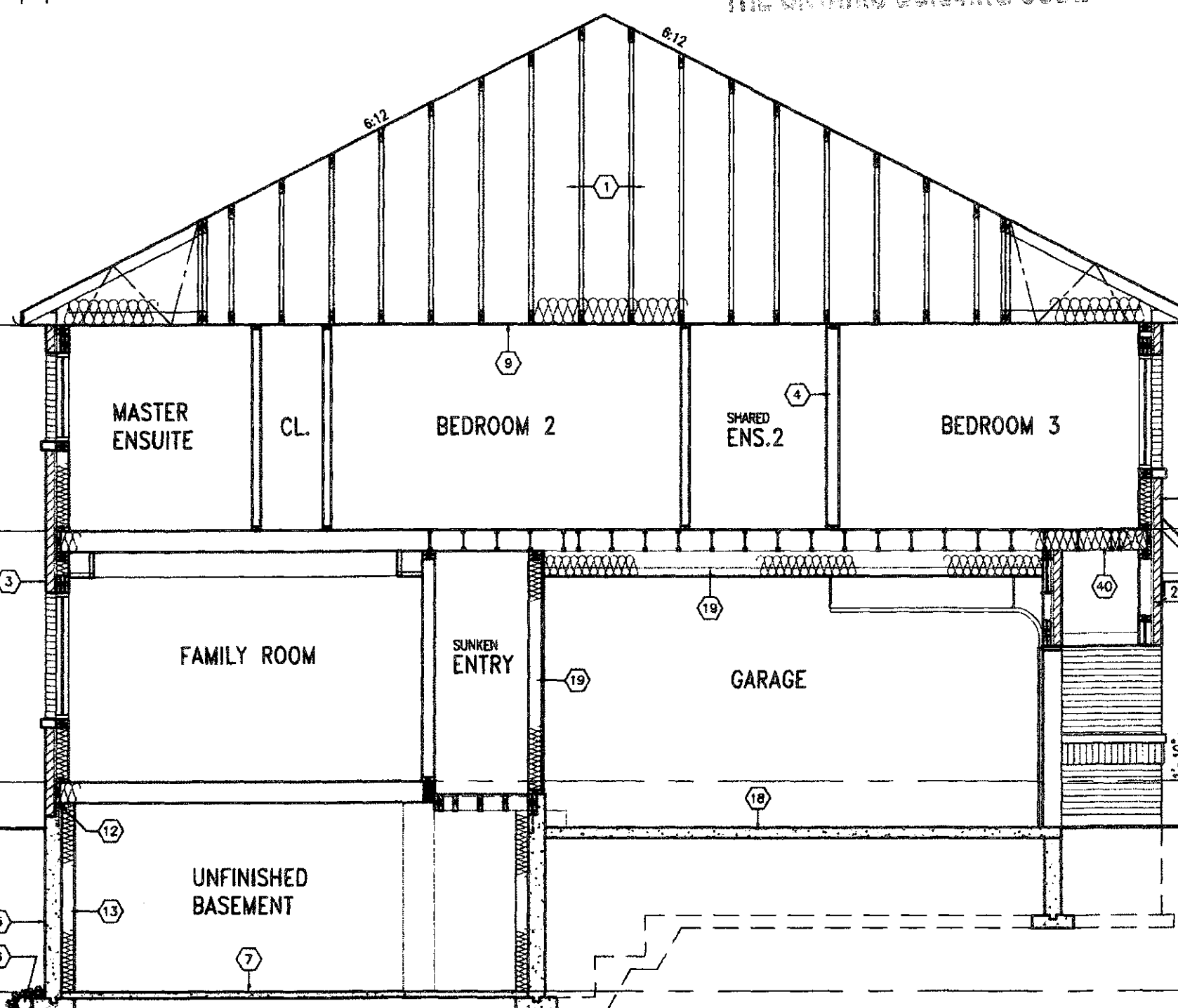
THIS STRUCTURE MUST BE
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JUN 10 2019

TOWN OF CALEDON
BUILDING SECTION

1'-0"

1'-0"



CROSS SECTION B-B ELEVATION '1'



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WOODCROFT 3
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9		
17			8		
16			7		
15			6		
14			5	ISSUED FOR PERMIT.	JAN 31/19 GW
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19 GW
12			3	REAR UPGRADES REVISED PER A/C.	NOV 22/18 GW
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name
registration information
VAS Design Inc. 42658
BCN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
date
SEP. 2018
drawn by
N.HUR
checked by
-
scale
3/16" = 1'-0"

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A10
CROSS SECTION B-B - ELEV. '1'
18023-WOODCROFT-3
DATE - JUN 21 2019 - 10:38 AM

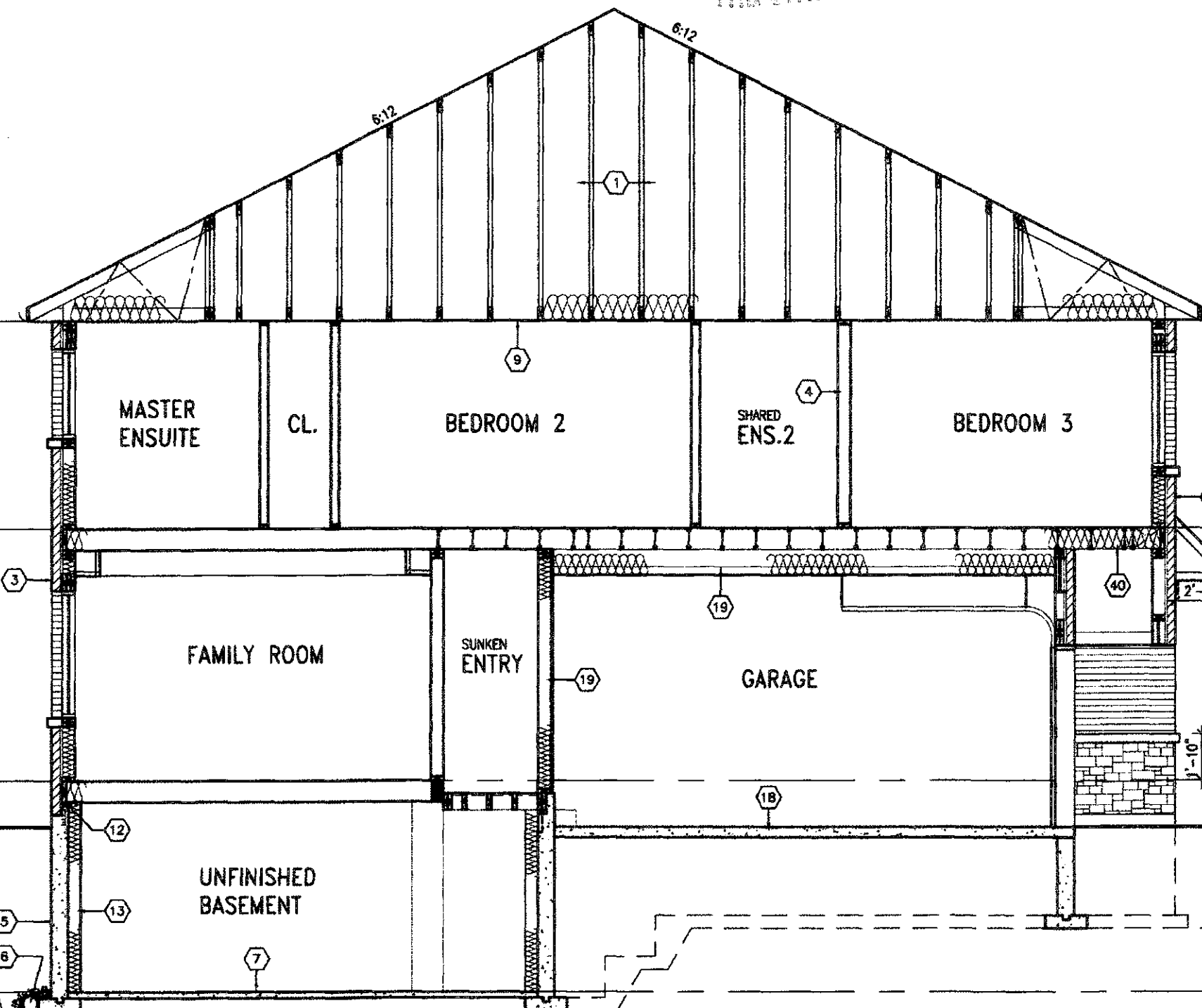
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TOWN OF CALEDON
BUILDING SECTION
FILE NO.



7'-0 5/8\" MAX.
FOR 8\" - 15 MPa

CROSS SECTION B-B ELEVATION '2'



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FEB 06 2019

WOODCROFT 3
ENERGY STAR

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12				3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP 27/18	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP 26/18	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42858
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
municipality
CALEDON
date
SEP. 2018
checked by
N.HUR
scale
3/16\" = 1'-0\"
18023-WOODCROFT-3

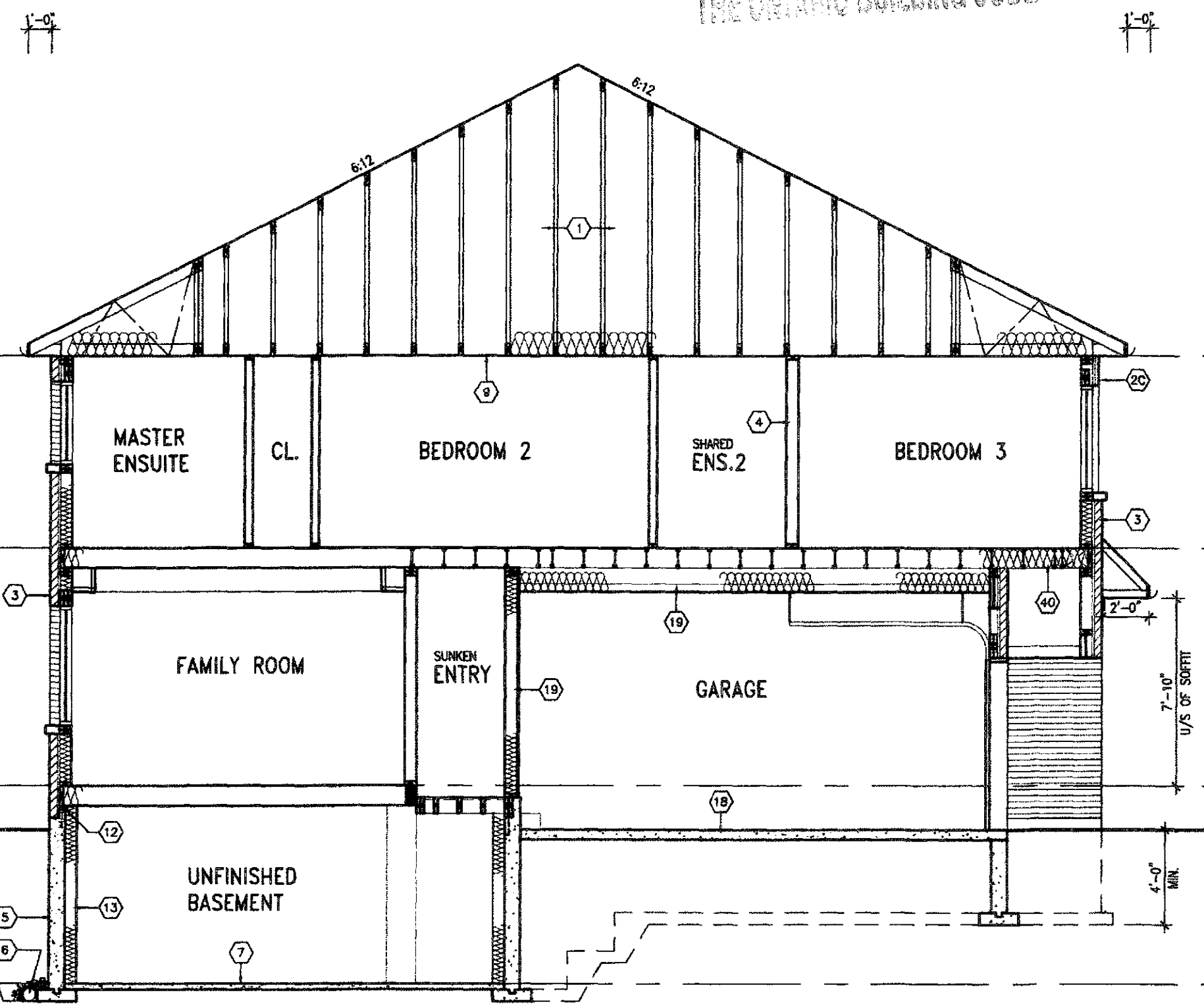
WOODCROFT 3
13.7m
project no.
18023
drawing no.
A10a

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TOWN OF CALEDON
BUILDING SECTION



CROSS SECTION B-B ELEVATION '3'

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

FEB 06 2019

WOODCROFT 3
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9		
17			8		
16			7		
15			6		
14			5	ISSUED FOR PERMIT.	JAN 31/19 GW
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19 GW
12			3	REAR UPGRADES REVISED PER A/C.	NOV 22/18 GW
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18 GW
no.	description	date	by	no.	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature
Richard Vink 24488
name
VA3 Design Inc. 42858
registration information
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.830.2255 / 416.830.4782
va3design.com

Greenpark.		WOODCROFT 3 13.7m	
project name LAMBERTS LANE HOME CORP. PH.2		project no. 18023	
checked by NLHUR		drawing no. A10b	
date SEP. 2018		cross section B-B - ELEV. '3'	
scale 3/16" = 1'-0"		18023-WOODCROFT-3	
GTC - 11/18/2018/18023/2018/18023/2018/18023/2018/18023-WOODCROFT-3.dwg - Thu - Apr 31 2019 - 16:38 AM			

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TOWN OF CALPORN
BUILDING SECTION



NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL WOOD DECK INFORMATION.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
12512

STRUDET INC.
FOR STRUCTURE ONLY

PARTIAL GROUND FLOOR PLAN -
DECK CONDITION

FEB 06 2019

WOODCROFT 3
ENERGY STAR

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.
17			8			qualification information
16			7			Richard Vink
15			6			R Vink 244
14			5	ISSUED FOR PERMIT.	JAN 31/19	GW name signature 426
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW registration information VA3 Design Inc.
12			3	REAR UPDATES REVISED PER A/C.	NOV 22/18	GW Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 28/18	GW
no.	description	date	by no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and its use. The undersigned has reviewed and creates the requirements and sets in the Ontario Building Code to be a Designer.

qualification information

Richard Vink *R. Vink* 244

name signature

registration information

VA3 Design Inc. 428

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions and specifications are indicated on drawings and the proper use of the Designer which must be returned at the completion of the work. Drawings are not to be used.

**VA3
DESIGN**
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.830.2255 f 416.630.47
va3design.com

 Greenpark.	
project name LAMBERTS LANE HOME CORP. PH.2	municipality CALEDON
date SEP. 2018	
drawn by HLHUR	
checked by 3/16" = 1'-0"	
PARTIAL PLANS - D - 3/16" = 1'-0" 6826 - H:\ESTHAR\WORKING\2018\18023.002\1-1075\117_1000\00PT\1000C00T_3\1000-1000C00T_3.dwg	

The logo for Woodcroft 3 is displayed in a stylized, bold font. Below the name, the project number 18023 is shown. To the left, the text 'ECK CONDITION' is visible, and below that, the file name '18023-WOODCROFT-3'. To the right, the drawing number 'A11' is prominently displayed. At the bottom, the date 'Thu - Jan 31 2019' and the time '1:03:00 AM' are printed.

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TOWN OF CALEDONIA
BUILDING SECTION
FILE NO. _____



REAR ELEVATION '1'
- DECK CONDITION
(SIMILAR FOR ELEV. 2 & 3)

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FACILITATE CLIMBING

FEB 06 2019

WOODCROFT 3
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any cause may be deemed fault or liability on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18		-	9				The undersigned has reviewed and takes responsibility for this design and from the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		-	8				
16		-	7				qualification information
15		-	6				Richard Vink <i>R Vink</i> 2446
14		-	5	ISSUED FOR PERMIT.	JAN 31/19	GW	name signature 428
13		-	4	ROOF-FLOOR-ENG. CD-ORD.	JAN 09/19	GW	registration information VAS Design Inc.
12		-	3	REAR UPGRADES REMOVED PER A/C.	NOV 22/18	GW	
11		-	2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW	
10		-	1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW	
no.	description	date	by	no.	description	date	by

VA3
DESIGN
255 Consumers Rd Suite 117
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4141
va3design.com


Greenpark.

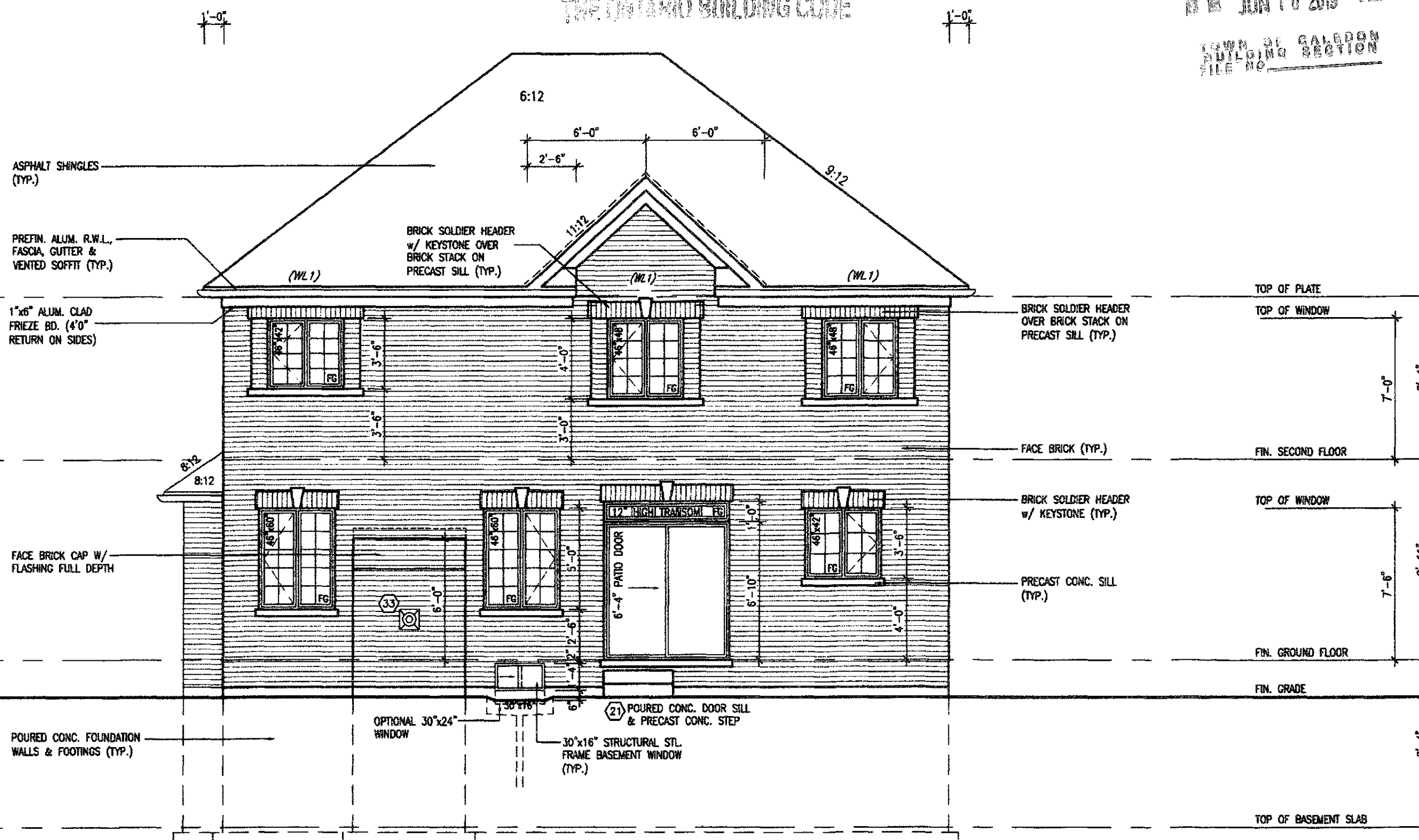
WOODCROFT 3
13.7m

project name	municipality		project
LAMBERTS LANE HOME CORP. PH.2	CALEDON		1802
date SEP. 2018	REAR ELEVATION - ELEV. '1' DECK CONDITION		drawing no.
drawn by K.NUR	checked by NUR	scale 3/16" = 1'-0"	file name 18023-WOODCROFT-3

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TOWN OF CALADON
BUILDING SECTION
FILE NO. _____



UPGRADED REAR ELEVATION '1'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18		-	9				The undersigned has reviewed and takes responsibility for this design and how the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		-	8				
16		-	7				qualification information
15		-	6				Richard Wink 24AB
14		-	5	ISSUED FOR PERMIT.	JAN 31/19	GW	name signature 60
13		-	4	ROOF-FLOOR-ENG. CO-ORD.	JAN 09/19	GW	registration information VAS Design Inc. 42B5
12		-	3	REAR UPGRADES REVISED PER A/C	NOV 22/18	GW	
11		-	2	REVISED ROOFS PER CLIENT.	SEP. 27/18	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings may not be copied.
10		-	1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW	
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	<i>R Vink</i>	244B
Richard Vink		
name	signature	801
registration information		1065

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Dimensions are not to be copied.

VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name LAMBERTS LANE HOME CORP. PH.2 municipality CALEDON
date SEP. 2018 UPGRADED REAR ELEVATION
drawn by H.N.KUR checked by acle
 $\frac{3}{16}'' = 1'-0''$
CASE - H:\AL\REV\HONGKONG\2017\19023-OPR1-A\SUPD\17-0000000017-WOODCOGENT_A\19023-WOODCOGENT-3.dwg

WOODCROFT 3
13.7m

project #
1802

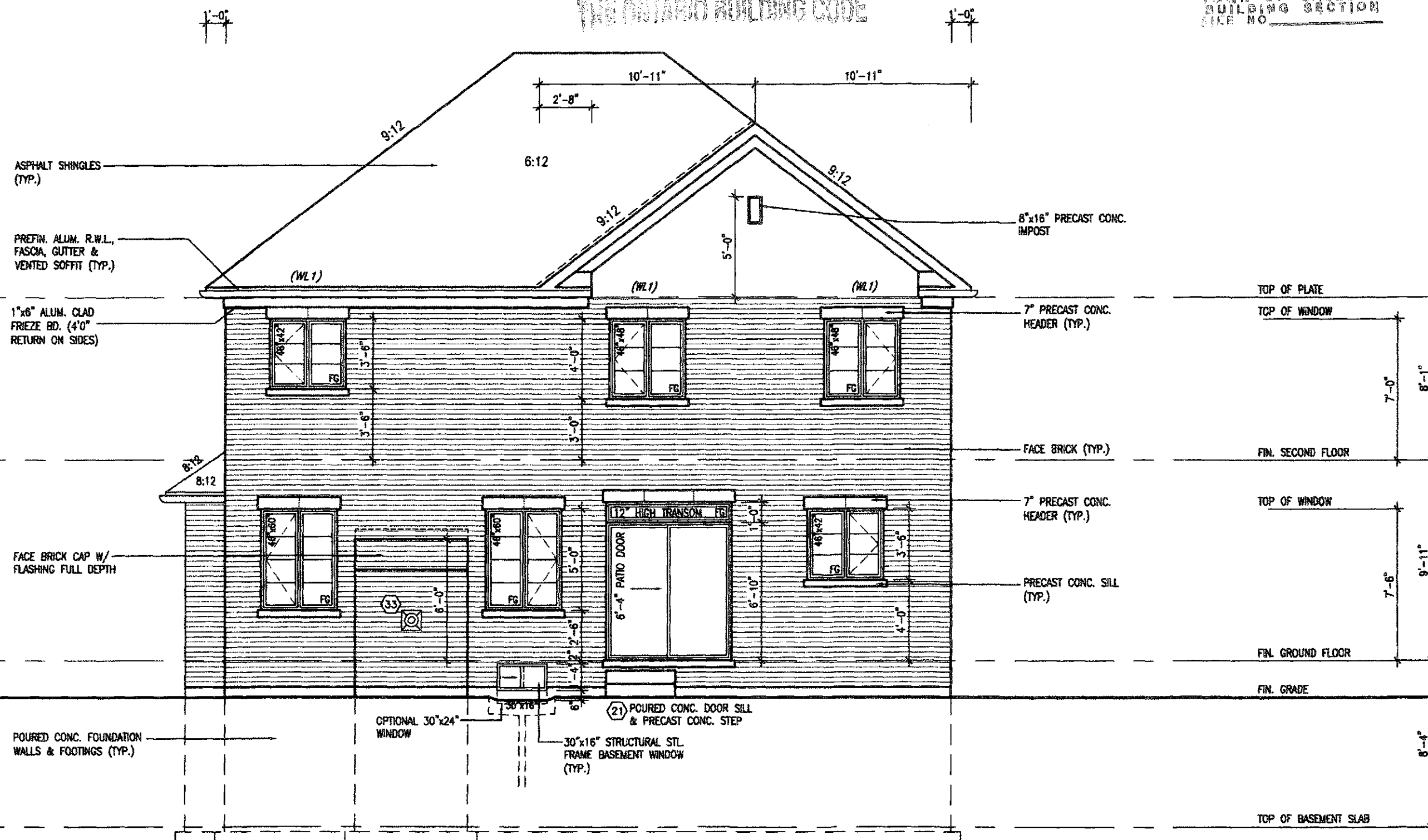
drawing no.
A13

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RECEIVED
JUN 10 2019

TOWN OF CALEDON
BUILDING SECTION
FILE NO. _____

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



FEB 06 2019

WOODCROFT 3
ENERGY STAR

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.
17			8						qualification information
16			7						Richard Vink
15			6						244
14			5	ISSUED FOR PERMIT.	JAN 31/19	GW			6
13			4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW			426
12			3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW			
11			2	REVISED ROOF SLOPES PER CLIENT.	SEP 27/18	GW			
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP 28/18	GW			
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	<i>R Vink</i>	244
Richard Vink		

name	signature	6
registration information		
VAS Design Inc.		426

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark

project name	LAMBERTS LANE HOME CORP. PH.2	monitopoint	CALEDON
--------------	-------------------------------	-------------	---------

SEP. 2018 UPGRADED REAR ELEVATION

2 M.MUR - 3/18" = 1'-0"

WOODCROFT 3
13.7m

1802

ION - ELEV. '2'

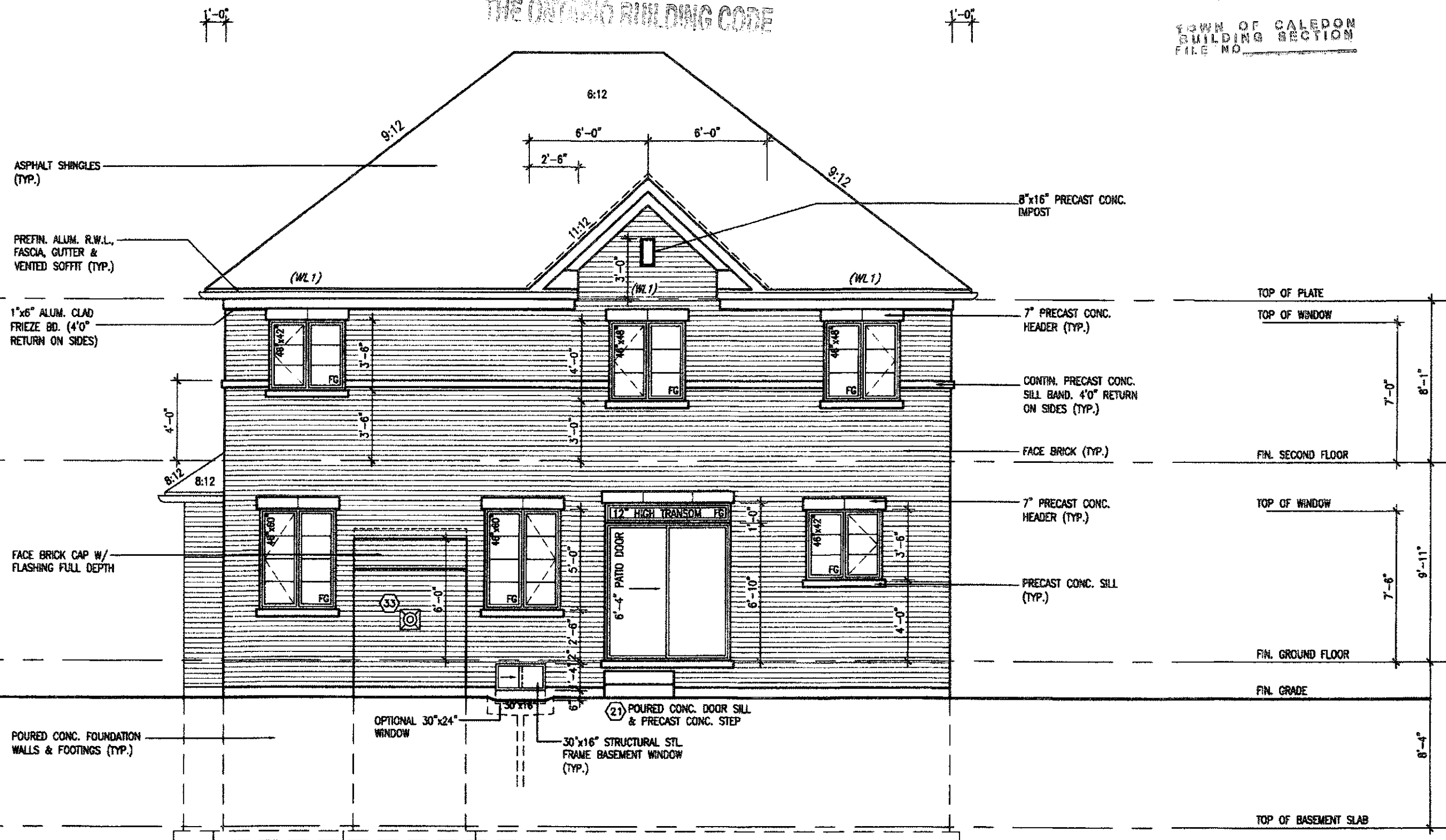
18023-WOODCROFT-3 A130
- Thu - Jan 31 2019 - 10:53 AM

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2907 SF.

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THE ONTARIO BUILDING CODE

RECEIVED
JUN 10 2019
TOWN OF CALEDON
BUILDING SECTION
FILE NO.



UPGRADED REAR ELEVATION '3'

FEB 06 2019

WOODCROFT 3
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18		9			
17		8			
16		7			
15		6			
14		5	ISSUED FOR PERMIT.	JAN 31/19	GW
13		4	ROOF-FLOOR-ENG. CO-ORD.	JAN 08/19	GW
12		3	REAR UPGRADES REVISED PER A/C.	NOV 22/18	GW
11		2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GW
no.	description	date	by	no.	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature
Richard Vink
24488
VAS Design Inc.
42658
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
LAMBERTS LANE HOME CORP. PH.2
city
CALEDON
date
SEP. 2019
drawn by
MLHR
scale
3/16" = 1'-0"

WOODCROFT 3
13.7m
project no.
18023
drawing no.
A13b

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Electrical Contractor
Registration Agency
ALL ELECTRICAL INSTALLATIONS
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ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR AT
FIND A CONTRACTOR AT
www.plugsafe.ca

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THE ONTARIO BUILDING CODE

INDICATES REDUCED SIDE YARD CONDITION

2907 SF.

CERTIFIED MODEL
PRE-APPROVED
FOR PERMIT APPLICATION AS PER THE
ONTARIO BUILDING CODE
TOWN OF CALEDON BUILDING DIVISION
REVIEWED BY **K. SNELL**
DATE **10/15/19**
FILE # **18023-18023027-3**
ELEV. 1,23

OPT. W.O.B.
OPT. DECK

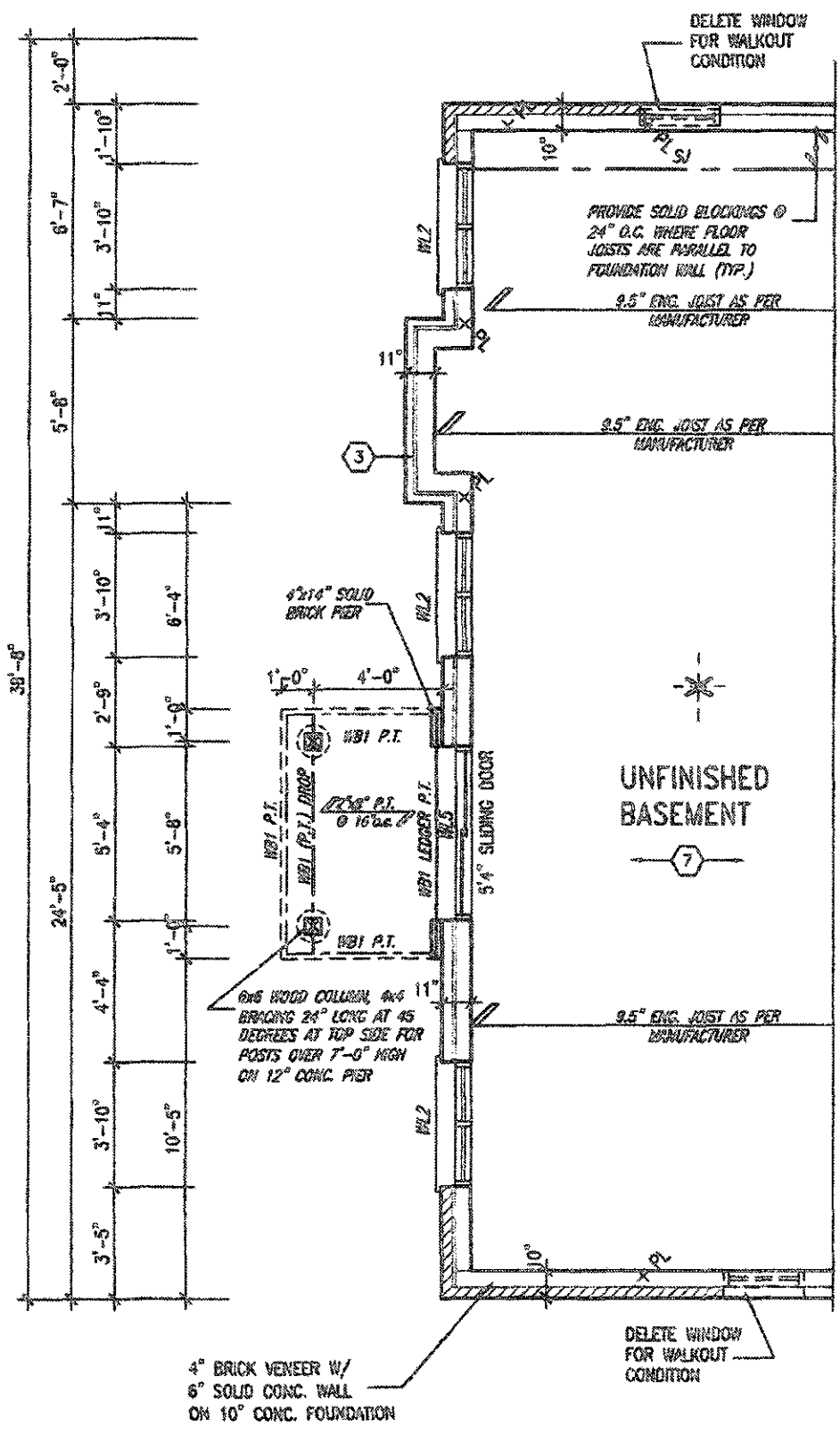
REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

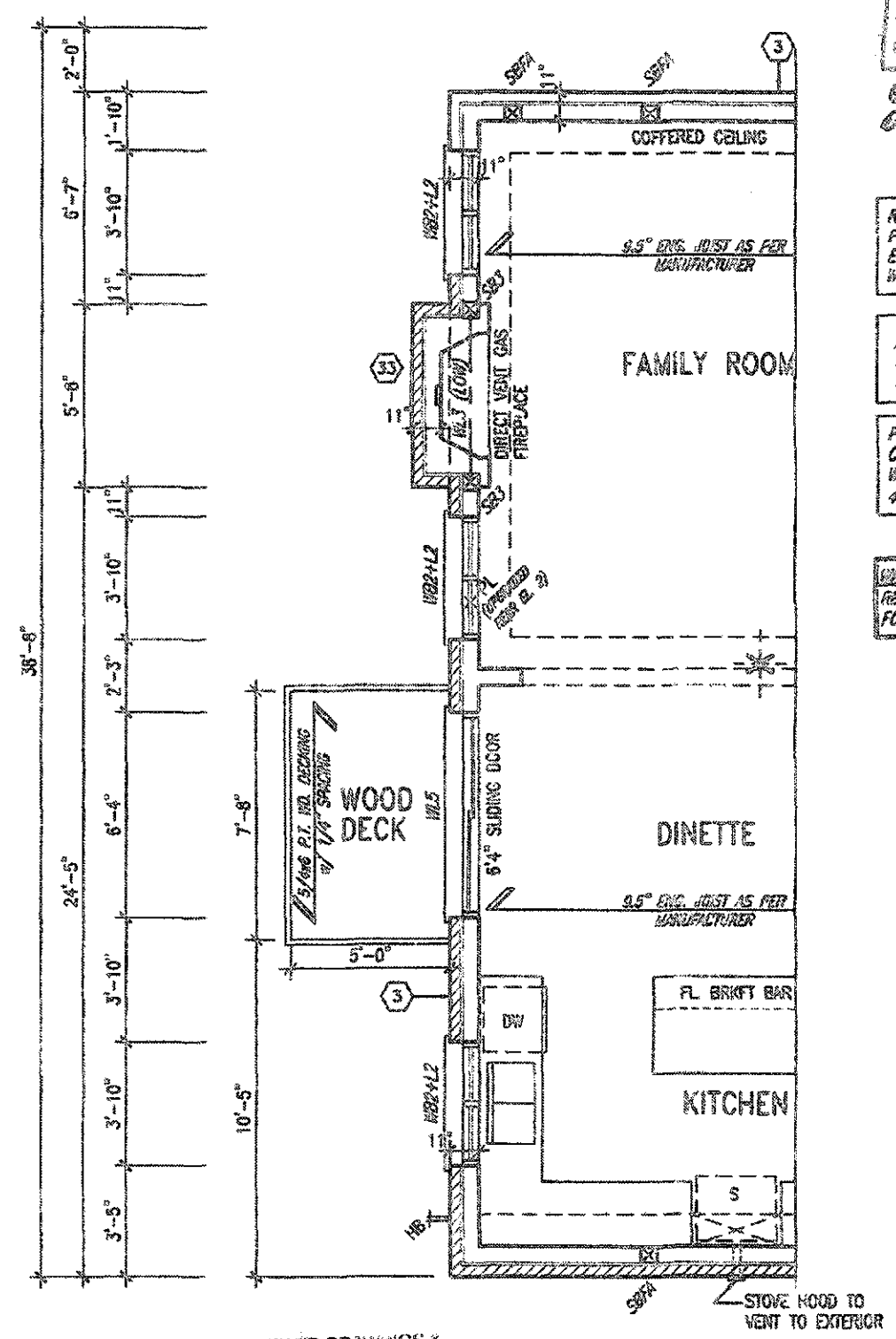
PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

WALKOUT DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5-3)
FOR ADDITIONAL WOOD DECK INFORMATION.

VEENER CUT
WHEN VEENER CUT IS GREATER
THAN 26" A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



PARTIAL BASEMENT PLAN -
WALKOUT CONDITION



COMPLETE SET OF REVIEWED DRAWINGS &
SPECIFICATIONS MUST BE KEPT ON SITE AT ALL TIME
DURING CONSTRUCTION AS PER O.B.C.

PARTIAL GROUND FLOOR PLAN -
WALKOUT CONDITION

FEB 14 2019

WOODCROFT 3
ENERGY STAR

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the Subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
REGISTERED PROFESSIONAL ENGINEER
AND ARCHITECT
DATE: **10/15/19**
1-877-ESA-SAFE (372-7233)
www.plugsafe.ca



STRUDET INC.
FOR STRUCTURE ONLY

BUILDING INSPECTOR IS REQUIRED TO BE ON SITE
FOR ALL MANDATORY INSPECTIONS. REFER TO
ATTACHED BUILDING PERMIT FOR DETAILS

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	ISSUED FOR PERMIT.	JAN 31/19	GW
13				4	ROOF-FLOOR-ENG. CO-ORD.	JAN 05/19	GW
12				3	REAR UPGRADES REVISED PER A/C.	MAY 22/18	GW
11				2	REVISED ROOF SLOPES PER CLIENT.	SEP. 27/18	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP. 25/18	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed the plans submitted for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink
24488
42888
255 Consumers Rd Suite 120
Toronto, ON M2T 1R4
416.630.2255 416.630.4782
vo3design.com

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2T 1R4
416.630.2255 416.630.4782
vo3design.com

Greenpark
LAMBERTS LANE HOME CORP. PH.2
CALEDON
PARTIAL PLANS - WALKOUT CONDITION
SEP. 2018
3/16" = 1'-0"
18023-18023027-3
A14

WOODCROFT 3
13.7m
project no. 18023
drawing no. A14

APPLICANT COPY

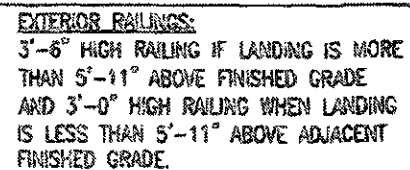
APPLICANT COPY

THIS STRUCTURE MUST BE
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THE ONTARIO BUILDING CODE

100-443886-100



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THE ONTARIO BUILDING CODE

[illegible]

JOHN G. WILLIAMS LTD., ARCHITECT
 ASSOCIATED, CHICAGO, ILL. REVIEW
 AND APPROVAL

APPROVED BY _____
 DATE MAY 31 1919

This drawing certifies compliance with the undersigned
 Design Code and any and all the rules of the
 National Board of Fire Underwriters.

UPGRADED REAR ELEVATION '15
- WALKOUT CONDITION

44 30 2619

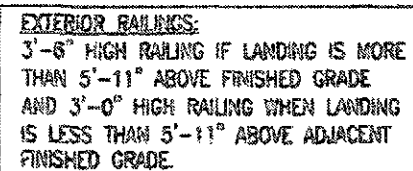
WOODCROFT 3
ENERGY STAR

 Greenpark.		WOODCROFT 3 13.7m	
project name LAMBERTS LANE HOME CORP. PH.2		municipality CALEDON	
project no. 15023		drawing no. 15023	
date SEP. 2016		title UPGRADED REAR ELEV. '1' WALKOUT CONDITION	
drawn by MMR		checked by 3/16" = 1'-0"	
scale 1/8" = 1'-0"		title block 15023-WOODCROFT-3	
notes 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.		A16	

1. 1990年12月15日，在北京市召开的“1990年中国新闻奖”评选工作会议上，宣读了《1990年中国新闻奖评选办法》。

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[Faint, illegible markings]



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUL 31 2019

This is in compliance with the Department of Health and Human Services' policy on the release of information.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

UPGRADED REAR ELEVATION '2'
- WALKOUT CONDITION

6x6 WOOD COLUMN, 6x4
BRACING 24" LONG AT 45
DEGREES AT TOP SIDE FOR
POSTS OVER 7'-0" HIGH
ON 12" CONC. PIER

JUL 30 2019

WOODCROFT 3
ENERGY STAR

18			9			The undersigned has reviewed and takes responsibility for this estimate and has the quantities and costs are representative and set out in it.
17			8			Obtain Building Code to be a Designer.
16			7			qualification information
15			6	ADD UPGRADE REAR WWS PER CLIENT.	JUL 30/19	GW Richard Vink 2448
14			5	ISSUED FOR PERMIT	AUG 31/19	GW 425
13			4	ROOF-FLOOR-ENG. CO-ORD	JAN 08/19	GW qualification information
12			3	REAR UPGRADES REVISED FOR A/C	MAY 22/16	GW VAS Design Inc.
11			2	REVISED ROOF SLOPES PER CLIENT	SEP 27/18	GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	SEP 26/18	GW
no.	description	date	by	no.	description	date by

**VA3
DESIGN**
255 Consumers Rd Suite 126
Toronto ON M2N 1R6
t 416.630.2255 f 416.630.672
va3design.com

***Greenpark.**

AMBERTS LANE HOME CORP. PH.2 **CALE**

UPGRADED REAR ELEV. '2' V

5/16" = 1'-0"

WOODCROFT 3
13.7m

project no.
18023

drawing no.
A16a

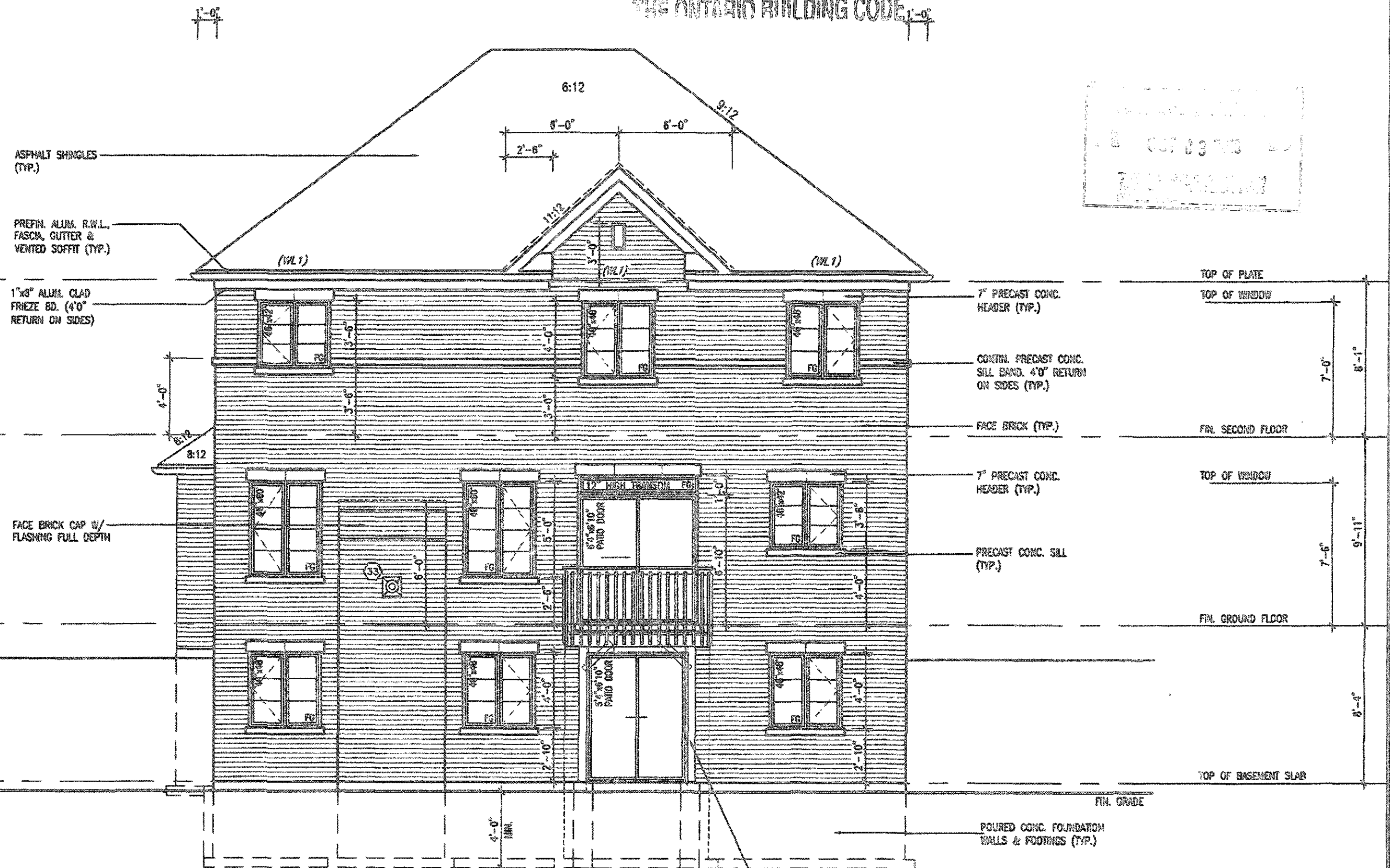
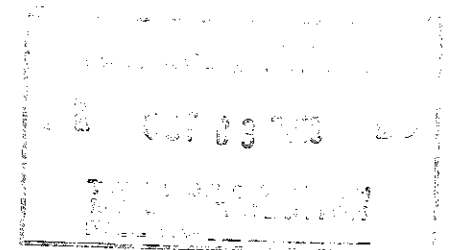
OUT CONDITION

18023-WOODCROFT-3
See serial No. 2828 - 127 PM

1. The first part of the document is a title page. It contains the title of the document, the author's name, and the date of the document.

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THE ONTARIO BUILDING CODE

OPENINGS WITHIN GUARDS AND SPACES
BETWEEN GUARDS AND ALL FINISHED
SURFACES SHALL NOT EXCEED 100 MM.
GUARDS SHALL BE DESIGNED TO
NOT FRUITATE CUMBIANCE



EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (plotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JUL 31, 2019
This change order is to be made only with the appropriate Design, Guidelines and Engineering letter to the original agreement.

UPGRADED REAR ELEVATION '3'
- WALKOUT CONDITION

4x6 WOOD COLUMN, 4x4
BRACING 24" LONG AT 45
DEGREES AT TOP SIDE FOR
POSTS OVER 7'-0" HIGH
ON 12" CONC. PIER

JUL 30 2019

WOODCROFT 3
ENERGY STAR

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18		9		2	The undersigned has reviewed and takes responsibility for this design and has the qualifications and means the requirements and not to
17		8			Contract Being Made to be a Design
16		7			qualifications information
15		6	ADD UPGRADE REAR W/OB PER CLIENT.	JUL 30/19	GV Richard Vink 2440
14		5	ISSUED FOR PERMIT.	JUN 31/19	GV notes signature
13		4	ROOF-FLOOR-ENG. CO-ORD.	JUN 05/19	GV representative information
12		3	REAR UPGRADES REVISED FOR A/C.	NOV 22/18	GV WAS Design Inc. 426
11		2	REVISED ROOF SLOPES FOR CLIENT.	SEP. 27/18	GV
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	SEP. 26/18	GV
no. description		date	by	no. description	date by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Order indicating this to be a Designer.	
Registration Information	<i>R. Vink</i>
Richard Vink	2440
name	signature
Registration Information	4263
MAS Design Inc.	
Contractor shall verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which shall be returned at the completion of the work.	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
www.veon.com



project Name **LAMBERTS LANE HOME CORP. PH.2** **CALEDON**
 date **SEP. 2010** **UPGRADED REAR ELEV. '3' WALL**
 drawn by **H.A.M.R.** **3/16" = 1'-0"**

WOODCROFT 3
13.7m

Project no.
18023
Page no.
6b

1. The first part of the document is a title page. It contains the title of the document, the author's name, and the date of the document. The title is "The first part of the document is a title page. It contains the title of the document, the author's name, and the date of the document." The author's name is "The author's name is the name of the person who wrote the document." The date of the document is "The date of the document is the date when the document was written." The title page is the first page of the document and it contains the title, author's name, and date of the document.