

O.REG. 332/12

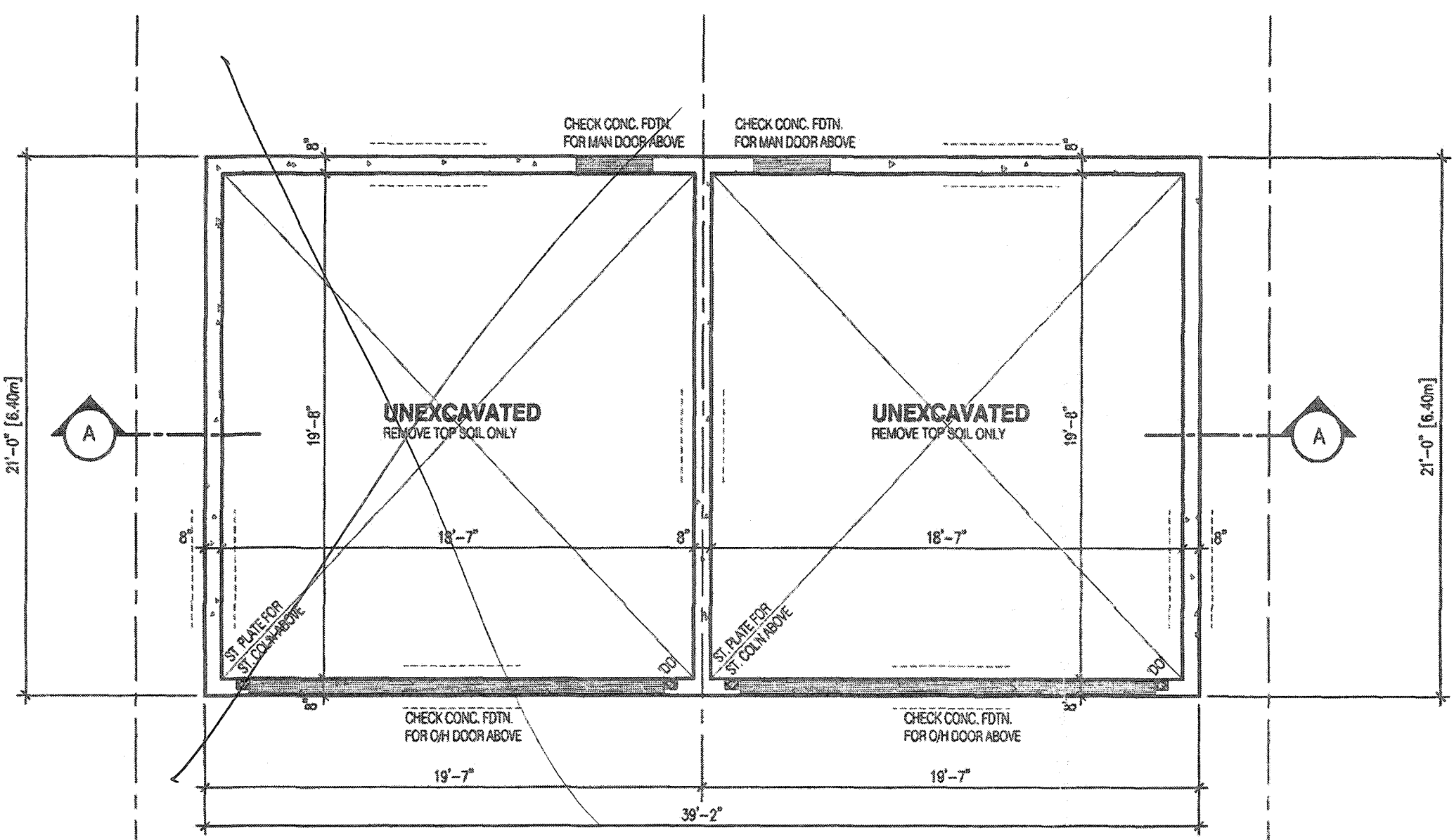
**GARAGE  
GALE 1B  
BLOCK 95  
BLOCK 96  
ELEVATION 1**

THIS STRUCTURE MUST BE  
CONSTRUCTED TO MEET OR  
EXCEED THE PROVISIONS OF  
THE ONTARIO BUILDING CODE

**RECEIVED**  
AUG 15 2019

TOWN OF CALEDON  
BUILDING SECTION  
FILE NO.

FEB 06 2019  
**TOWN COPY**



**GALE 1B  
ELEV. - 1  
TH 95-2  
TH 96-3**

**GALE 1B  
ELEV. - 1  
TH 95-1  
TH 96-2**

Block 95-1

**NOTE:**  
FOR STRUCTURAL INFORMATION SEE BLOCK PLAN DRAWINGS

**NOTE:**  
ALL GARAGE SLABS, PORCH SLABS,  
STAIRS (EXPOSED CONC. FLAT WORK) TO  
BE 32 MPa WITH 5-8% AIR ENTRAINMENT

**GARAGE SLAB**  
100MM (4") 32MPa (4640psi) CONC. SLAB WITH 5-8%  
AIR ENTRAINMENT ON OPT. 100mm (4") COARSE GRANULAR  
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE  
FILL SLOPE TO FRONT AT 1% MIN.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAY 29, 2019  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.  
AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
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| 1 | DEC. 13, 2018 | ISSUED FOR BUILDING PERMIT |

No. DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031  
NAME SIGNATURE BCIN

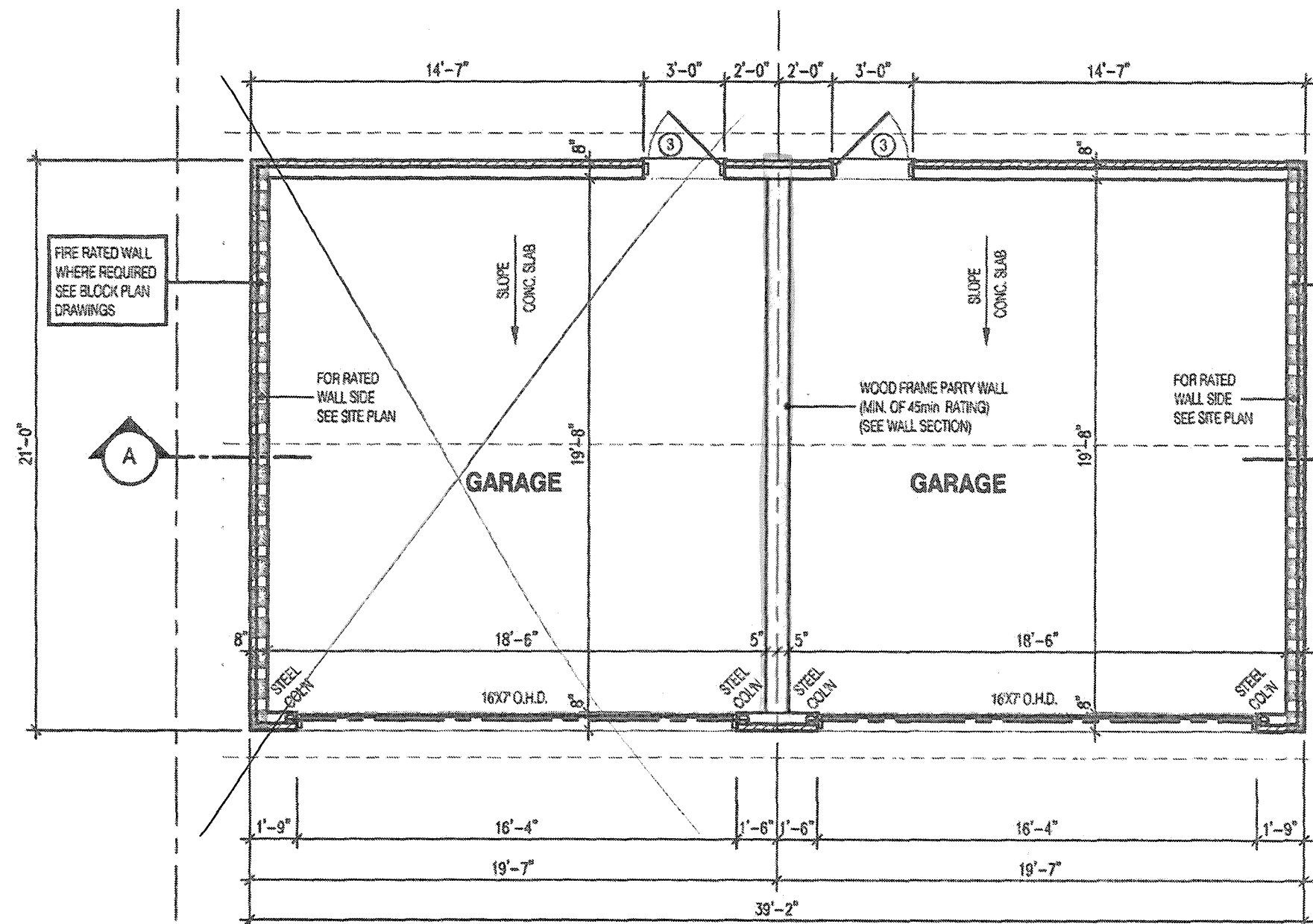
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763  
FIRM NAME BCIN

**FOUNDATION PLAN**  
LAMBERTS LANE - PHASE 2  
TOWN OF CALEDON

MODEL: ---  
SCALE: 3/16" = 1'-0"  
PRQI No. 18-18 DWG No. 1

O.REG. 332/12

**GARAGE  
GALE 1B  
BLOCK 95  
BLOCK 96  
ELEVATION 1**FIRE RATED WALL  
WHERE REQUIRED  
SEE BLOCK PLAN  
DRAWINGS

THIS STRUCTURE MUST BE  
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**RECEIVED**  
AUG 15 2019TOWN OF CALEDON  
BUILDING SECTION  
FILE NO.**GALE 1B  
ELEV. - 1  
TH 95-2  
TH 96-3****GALE 1B  
ELEV. - 1  
TH 95-1  
TH 96-2****NOTE:**  
FOR STRUCTURAL INFORMATION SEE BLOCK PLAN DRAWINGS**NOTE:**  
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with the applicable Architectural Design  
Guidelines approved by the Town of  
CALEDON.JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL TOWN/IN REVIEW  
AND APPROVALAPPROVED BY:   
DATE: MAY 28, 2019This stamp certifies compliance with the applicable  
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professional responsibility.

THE CONTRACTOR SHALL ONSITE AND VERIFY ALL DIMENSIONS AND  
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.  
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P.L.C. PRIOR TO COMMENCEMENT OF WORK.

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THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE  
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE  
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

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| 1 | DEC. 13, 2018 | ISSUED FOR BUILDING PERMIT |

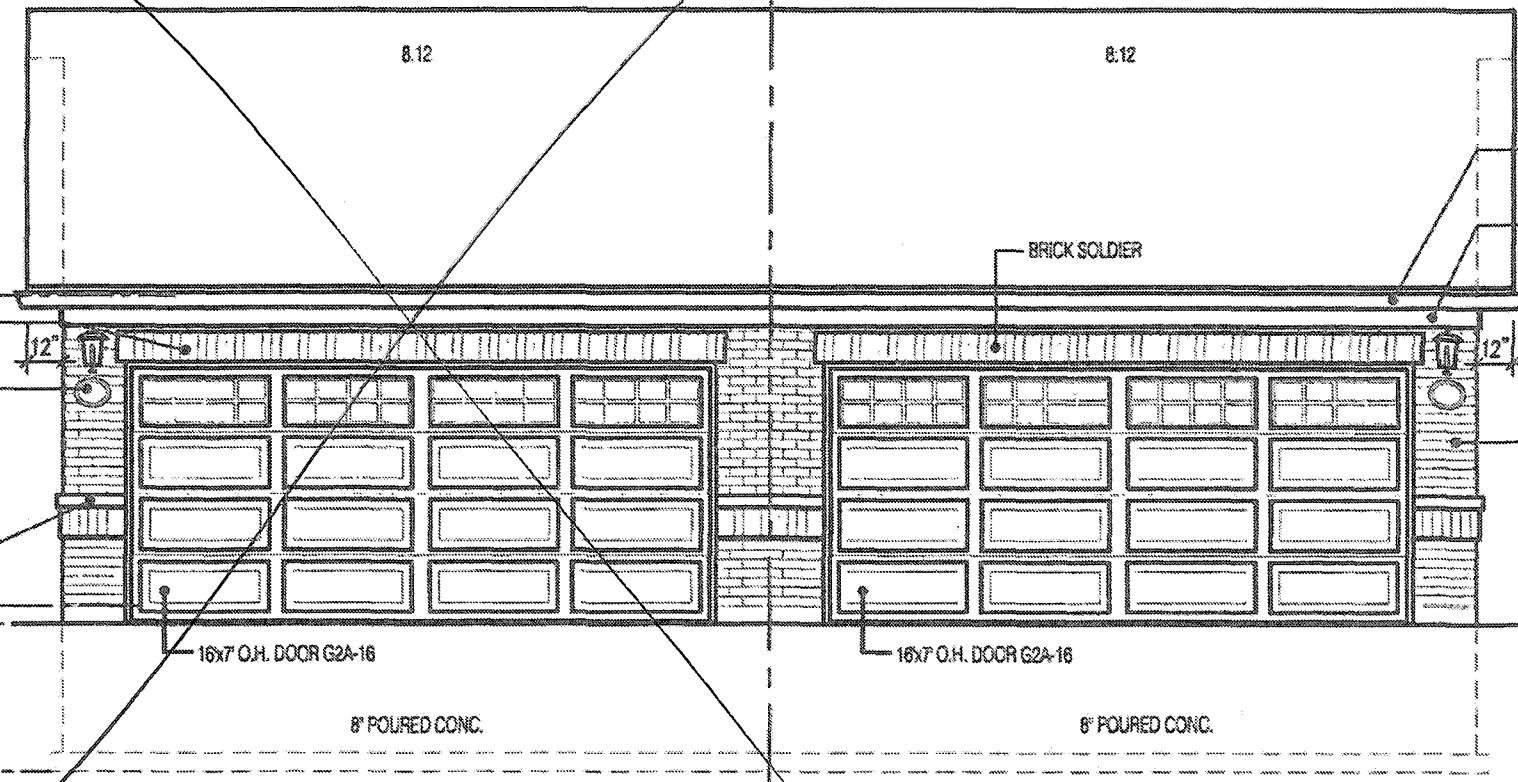
No. DATE WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN, ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.caThe undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer.QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the Building Code.Walter Boller 21031  
NAME SIGNATURE BCINREGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the Building Code.jardin design group inc. 27763  
FIRM NAME BCIN**GARAGE PLAN**  
LAMBERTS LANE - PHASE 2  
TOWN OF CALEDON  
MODEL  
SCALE 3/16" = 1'-0"  
PROJ. No. 18-18  
Dwg. No. 2

O.REG. 332/12

**GARAGE**  
**GALE 1B**  
**BLOCK 95**  
**BLOCK 96**  
**ELEVATION 1**

TOP OF  
WOOD PLATE  
8'-6"  
TOP OF WALL  
FIN. SLAB  
3'-0"  
4'-0"  
(MIN.)  
U/S OF FOOTING

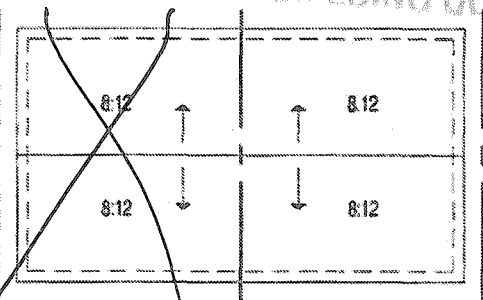


**GALE 1B FRONT EL-1**  
**TH 95-2**  
**TH 96-3**

**GALE 1B FRONT EL-1**  
**TH 95-1**  
**TH 96-2**

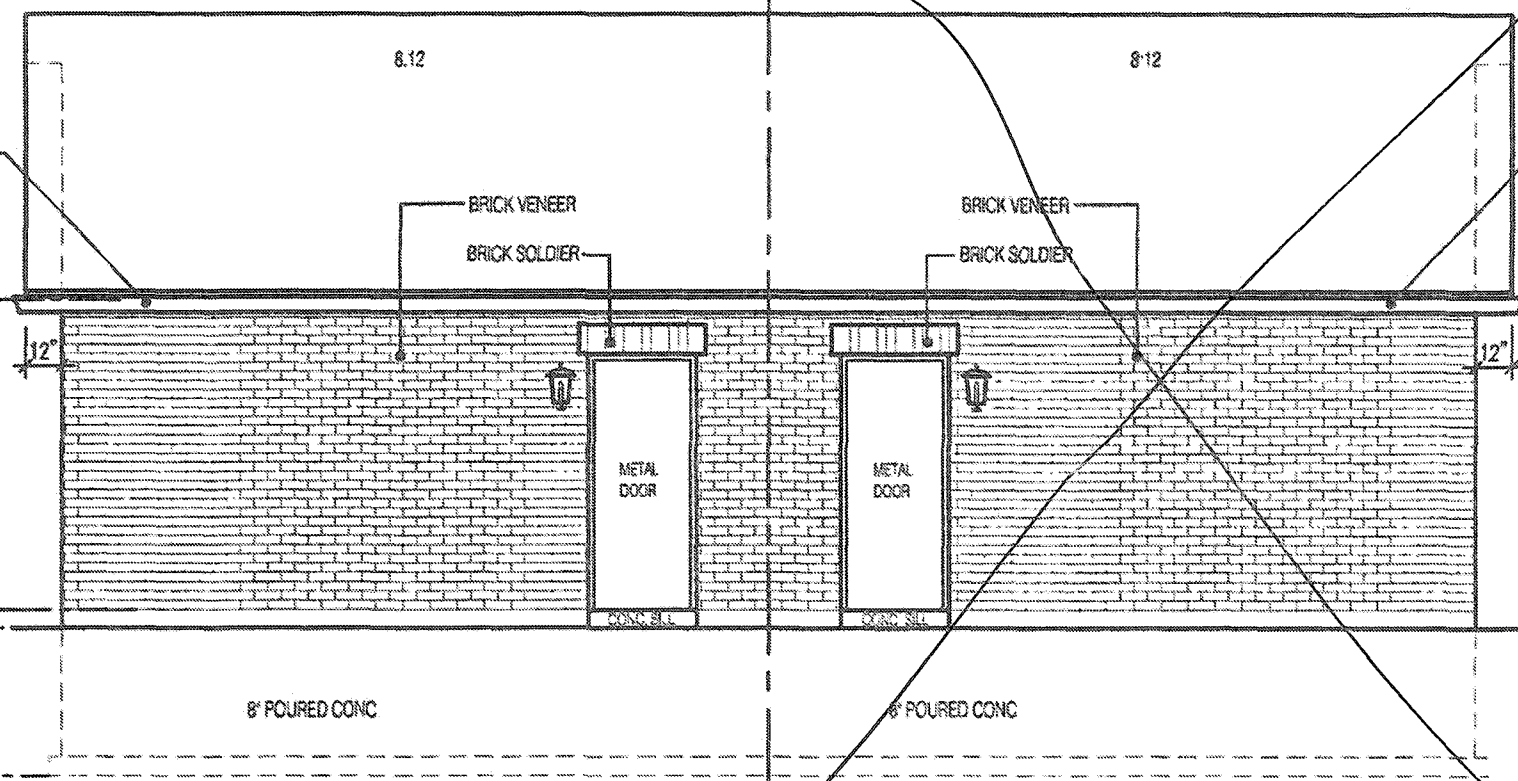
PREFIN. ALUM. R.W.L.  
FASCIA, GUTTER &  
VENTED SOFFIT  
6" ALUM. CLAD WD.  
FRIEZE BOARD (TYP.)

**THIS STRUCTURE MUST BE  
CONSTRUCTED TO MEET OR  
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THE ONTARIO BUILDING CODE**



**ROOF PLAN**  
N.T.S.

TOP OF  
WOOD PLATE  
8'-6"  
TOP OF WALL  
FIN. SLAB  
3'-0"  
4'-0"  
(MIN.)  
U/S OF FOOTING



**GALE 1B REAR EL-1**  
**TH 95-1**  
**TH 96-2**

**GALE 1B REAR EL-1**  
**TH 95-2**  
**TH 96-3**

PREFIN. ALUM. R.W.L.  
FASCIA, GUTTER &  
VENTED SOFFIT

**RECEIVED**  
AUG 15 2019

**TOWN OF CALEDON**  
**BUILDING SECTION**  
FILE NO.

FEB 06 2019

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAY 29, 2019  
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No: DATE: WORK DESCRIPTION:

**jardin**  
**DESIGN GROUP INC**  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION  
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Walter Boller 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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jardin design group inc. 27763  
FIRM NAME BCIN

**FRONT & REAR ELEV.**

**LAMBERTS LANE - PHASE 2**  
**TOWN OF CALEDON**

**BILD**  
MODEL: ---  
SCALE: 3/16"=1'-0"  
PROJ. No: 18-18  
DWG. No: 3



**O.REG. 332/12**

**GARAGE**  
**GALE 1B**  
**BLOCK 95**  
**BLOCK 96**  
**ELEVATION 1**

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| 1   | DEC.13, 2018 | ISSUED FOR BUILDING PERMIT |
| No: | DATE         | WORK DESCRIPTION           |

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION  
Required unless design is exempt under Section C, Subsection  
325 of the building code

|               |                    |       |
|---------------|--------------------|-------|
| NAME          | SIGNATURE          | BCIN  |
| Walter Botter | <i>[Signature]</i> | 21031 |

**REGISTRATION INFORMATION**  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code.  
**larkin design group inc.** 23362

FIRM NAME BCIN

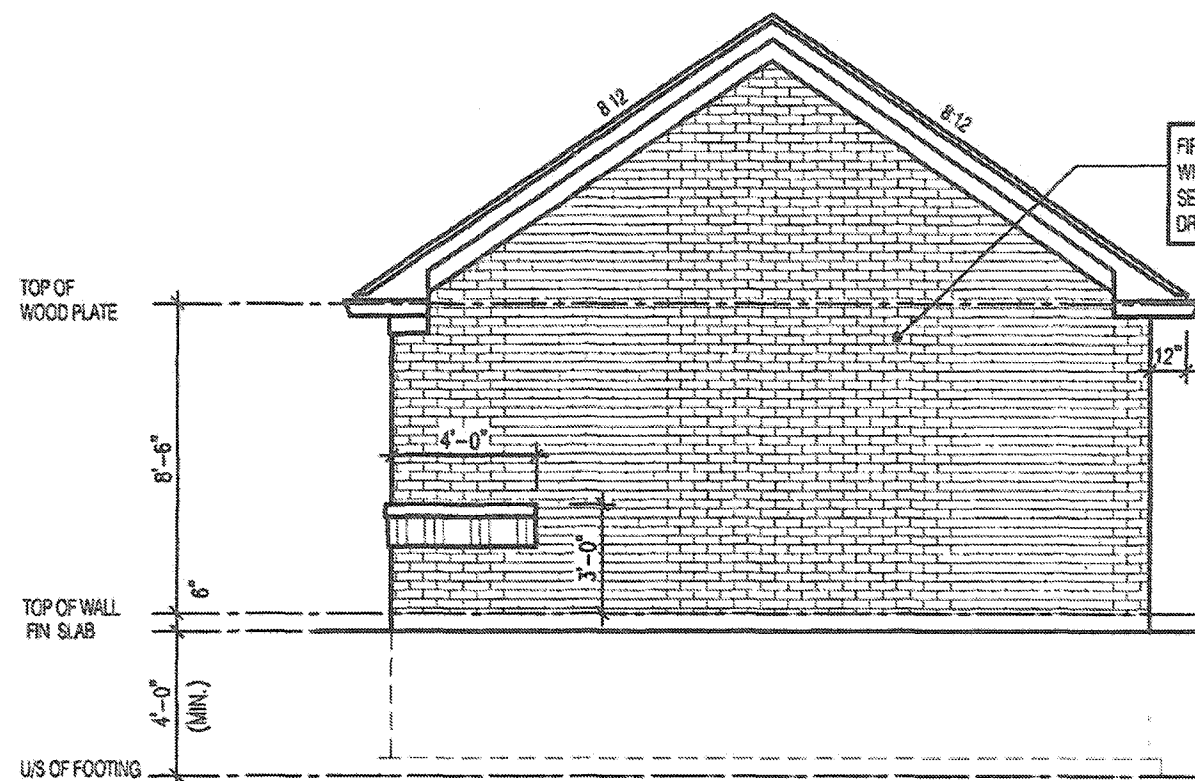
**SIDE ELEVATION**

LAMBERTS LANE - PHASE 2

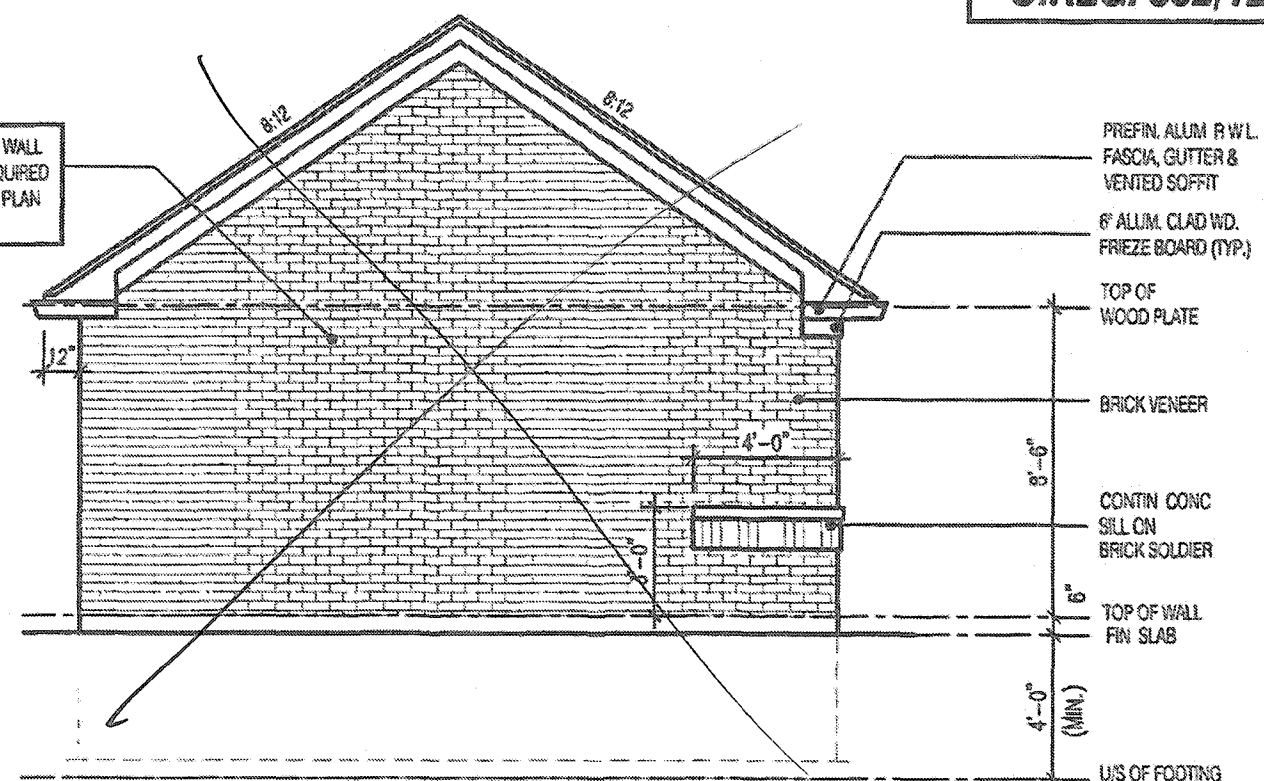
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| TOWN OF CALEDON                                                                       |       |
|  | MODEL |



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| <b>BILD*</b> | PROJ. No. | DWG. No. |
|              | 18-18     | 4        |



GALE 1B SIDE EL-1  
TH 95-1  
TH 96-2



GALE 1B SIDE EL-1  
TH 95-2  
TH 96-3

RECEIVED  
AUG 15 2019  
TOWN OF CALEDON  
BUILDING SECTION  
FILE NO. \_\_\_\_\_

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FEB 06 2019

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: 

DATE: MAY 29, 2019

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Design Guidelines only and bears no further  
professional responsibility.

|               |                    |       |
|---------------|--------------------|-------|
| NAME          | SIGNATURE          | BCIN  |
| Walter Botter | <i>[Signature]</i> | 21031 |

**REGISTRATION INFORMATION**  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code.  
**larkin design group inc.** 23362

FIRM NAME BCIN

**SIDE ELEVATION**

LAMBERTS LANE - PHASE 2

|                                                                                       |       |
|---------------------------------------------------------------------------------------|-------|
| TOWN OF CALEDON                                                                       |       |
|  | MODEL |



|              |           |          |
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| <b>BILD*</b> | PROJ. No. | DWG. No. |
|              | 18-18     | 4        |

O.REG. 332/12

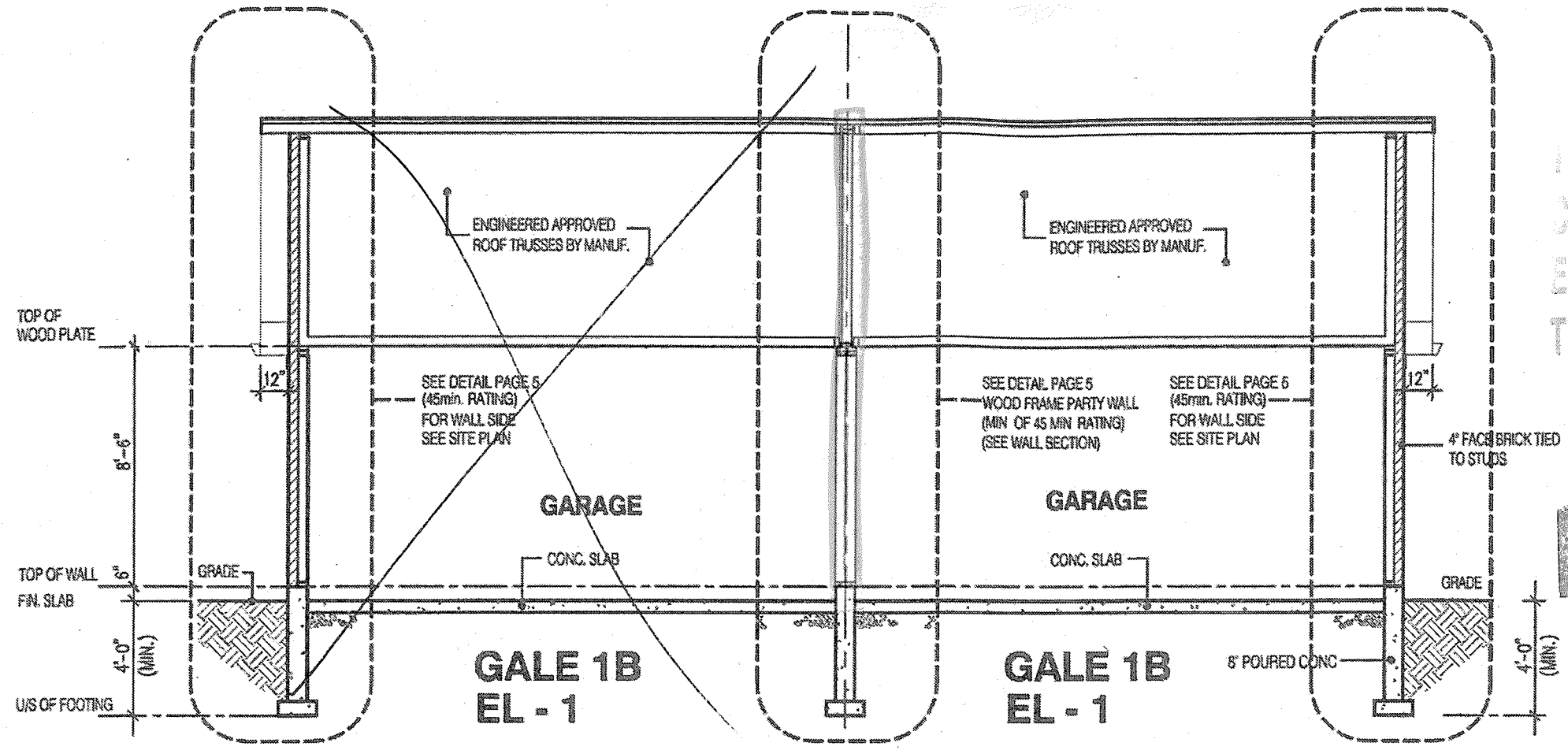
**GARAGE  
GALE 1B  
BLOCK 95  
BLOCK 96  
ELEVATION 1**

THIS STRUCTURE MUST BE  
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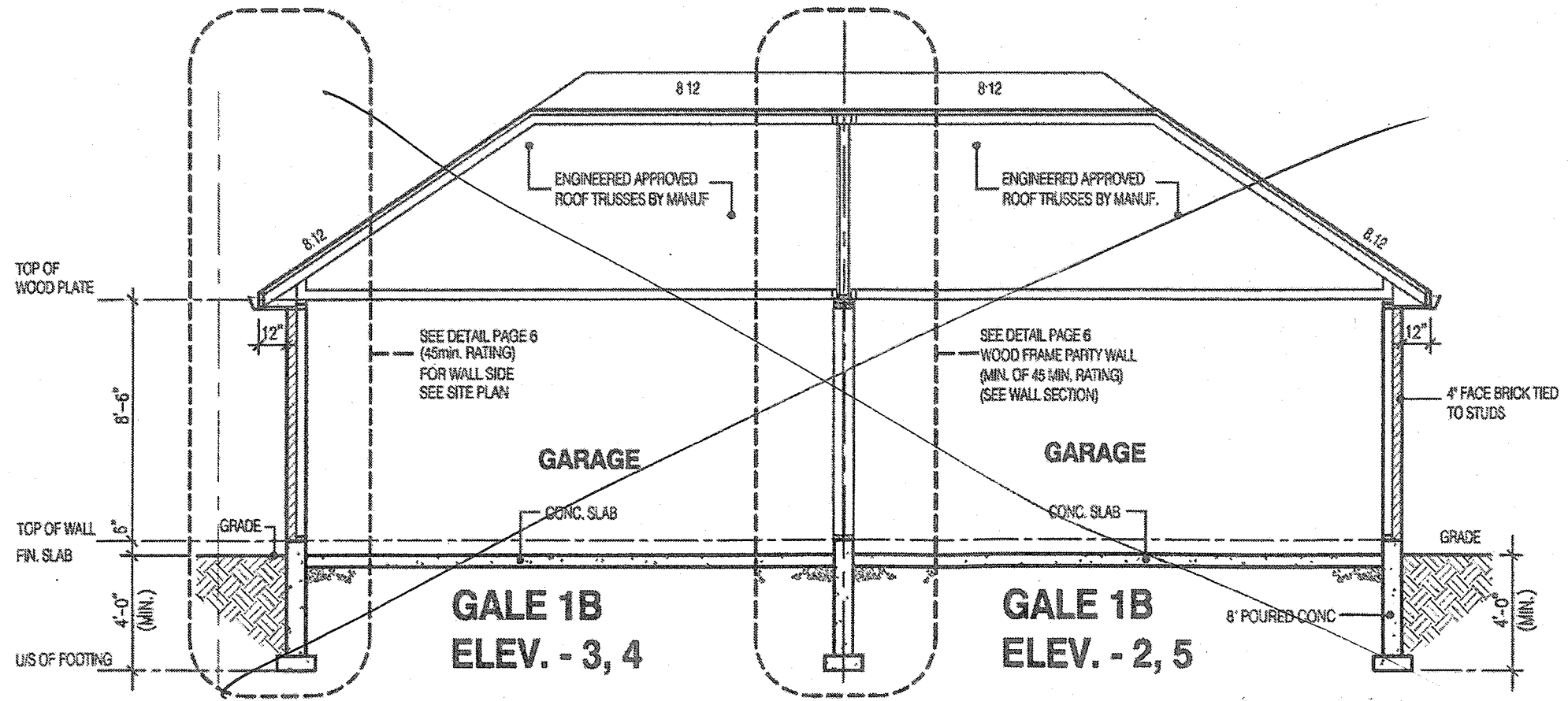
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AUG 15 2019

TOWN OF CALEDON  
BUILDING SECTION  
FILE NO.



**SECTION A-A**



**SECTION A-A**

STRUDET INC.



FOR STRUCTURE ONLY

FEB 06 2019

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| 1   | DEC.13.2018 | ISSUED FOR BUILDING PERMIT |
| No. | DATE:       | WORK DESCRIPTION:          |

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21037  
NAME SIGNATURE BCIN

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763  
FIRM NAME BCIN

**SECTION**  
LAMBERTS LANE - PHASE 2  
TOWN OF CALEDON

|  |           |             |
|--|-----------|-------------|
|  | MODEL     | ---         |
|  | SCALE     | 3/16"=1'-0" |
|  | PROJ. No. | 18-18       |
|  | DWG No.   | 5           |

15 2019 O.REG. 332/12

**GARAGE  
GALE 1B  
BLOCK 95  
BLOCK 96  
ELEVATION 1**

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VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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Walter Batten 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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jardin design group inc. 27763  
FIRM NAME BCIN

**WALL SECTION  
LAMBERTS LANE - PHASE 2  
TOWN OF CALEDON**

|           |        |
|-----------|--------|
| MODEL     | ---    |
| SCALE     | N.T.S. |
| PROJ. No. | 18-18  |
| DWG. No.  | 6      |

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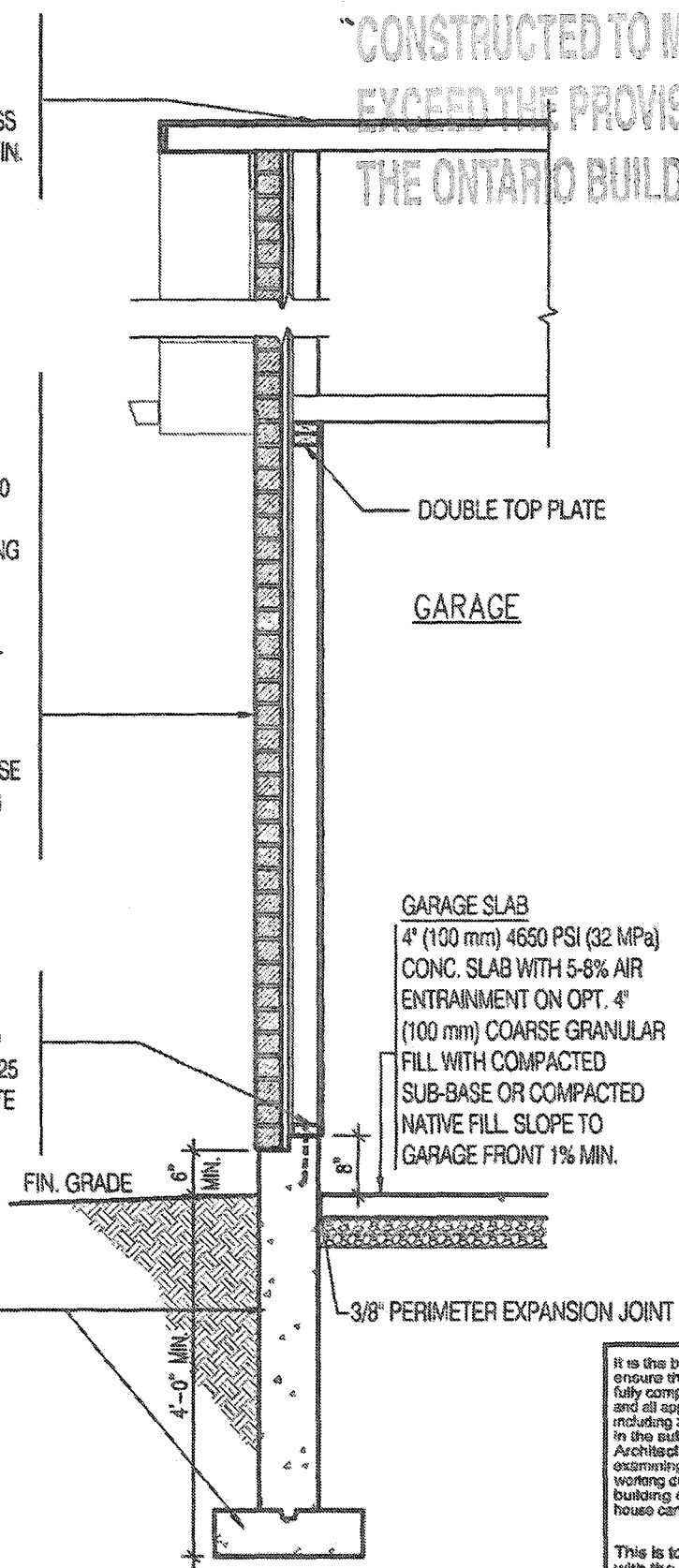
BUILDING SECTION  
FILE NO.

**ROOF CONSTRUCTION**  
210 LB. (10.25kg/m<sup>2</sup>) ASPHALT SHINGLES, 3/8" (9.5 mm) PLYWOOD SHEATHING WITH 1" CLIPS, APPROVED WOOD TRUSSES @ 24" (600 mm) o.c. MAX., 2"x4" (38x89 mm) TRUSS BRACING @ 6'-0" (1830 mm) o.c. AT BOTTOM CHORD, PREFIN. ALUM. FASCIA, VENTED SOFFIT, EAVESTROUGH, & RVL.

**BRICK VENEER EXTERIOR WALL CONSTRUCTION (2"x4") (45min. RATING)**  
4" (90MM) FACE BRICK, 7/8"x7"x0.03" (22 X 180 X 0.76 mm) GALV. METAL TIES @ 16" (400 mm) o.c. HORIZONTAL 24" (600 mm) o.c. VERTICAL, 1" (25 mm) AIR SPACE, APPROVED SHEATHING PAPER ON 3/8" (9.5 mm) EXT. GRADE SHEATHING ON 2"x4" (38 X 89 mm) STUDS @ 16" (400 mm) o.c. (MAX. HGT. - 9'-10" (3000 mm)) WITH APPROVED DIAGONAL WALL BRACING, 1/2" (13 mm) TYPE "X" GYPSUM BOARD. ALL JOINTS TO BE TAPED AND SEALED. ALL EDGES TO BE SUPPORTED. FASTENER TYPES AND SPACING SHALL CONFORM TO CSA-A82.31-M.  
PROVIDE WEEP HOLES @ 32" (800 mm) o.c. BOTTOM COURSE AND OVER ALL OPENINGS. PROVIDE BASE WALL FLASHING UP MIN. 6" (150 mm) BEHIND BUILDING PAPER.

**SILL PLATE**  
2" X 4" (38 mm X 89 mm) SILL PLATE WITH 1/2" (13 mm) DIA. ANCHOR BOLTS 8" (200 mm) LONG, EMBEDDED MIN. 4" (100 mm) INTO CONC. @ 7'-10" (2400 mm) o.c.. CAULKING OR 1" (25 mm) MIN. MINERAL WOOL OR POLY GASKET BETWEEN PLATE AND TOP OF FNDTN. WALL. USE MORTAR TO LEVEL SILL PLATE WHEN REQUIRED.

**FOUNDATION WALL/FOOTING: OBC 9.15.3 & 9.15.4**  
8" (200 mm) POURED CONC. FNDTN. WALL 2200 PSI (15 MPa). FOR STRIP FOOTING SIZES, SEE CHART ON BASEMENT PLAN PAGE OF BLOCK PLAN DRAWINGS.



**EXTERIOR WALL SECTION  
(45min. RATING)**

**TYPICAL ROOF CONSTRUCTION**  
1/2" TYPE "X" GYPSUM BOARD  
TIGHTLY SEALED TO U/S OF  
ROOF SHEATHING  
2"x4" WOOD STUDS  
AT MAX. 16" O.C.

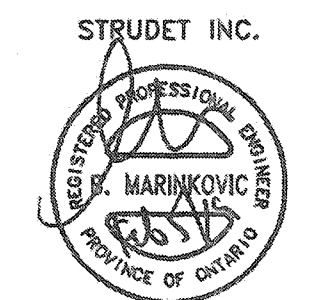
**PARTY WALL CONSTRUCTION (2"x4") (45min. RATING)**  
OBC WALL TYPE W13F  
TWO ROWS 2"x4" (38mmX89mm) WOOD STUDS EACH  
SPACED 16" O.C. ON SEPERATE 2"x4" (38mmX89mm)  
SILL PLATES SET 1" APART.  
1/2" TYPE "X" GYPSUM BOARD ON EACH SIDE.  
ALL JOINTS TO BE TAPED AND SEALED. ALL EDGES  
TO BE SUPPORTED. FASTENER TYPES AND SPACING  
SHALL CONFORM TO CSA-A82.31-M.

**SILL PLATE**  
SEPERATE 2" X 4" (38 mm X 89 mm) SET APART 1" SILL PLATE  
WITH 1/2" (13 mm) DIA. ANCHOR BOLTS 8" (200 mm) LONG,  
EMBEDDED MIN. 4" (100 mm) INTO CONC. @ 7'-10" (2400 mm)  
o.c.. CAULKING OR 1" (25 mm) MIN. MINERAL WOOL OR POLY  
GASKET BETWEEN PLATE AND TOP OF FNDTN. WALL. USE  
MORTAR TO LEVEL SILL PLATE WHEN REQUIRED.

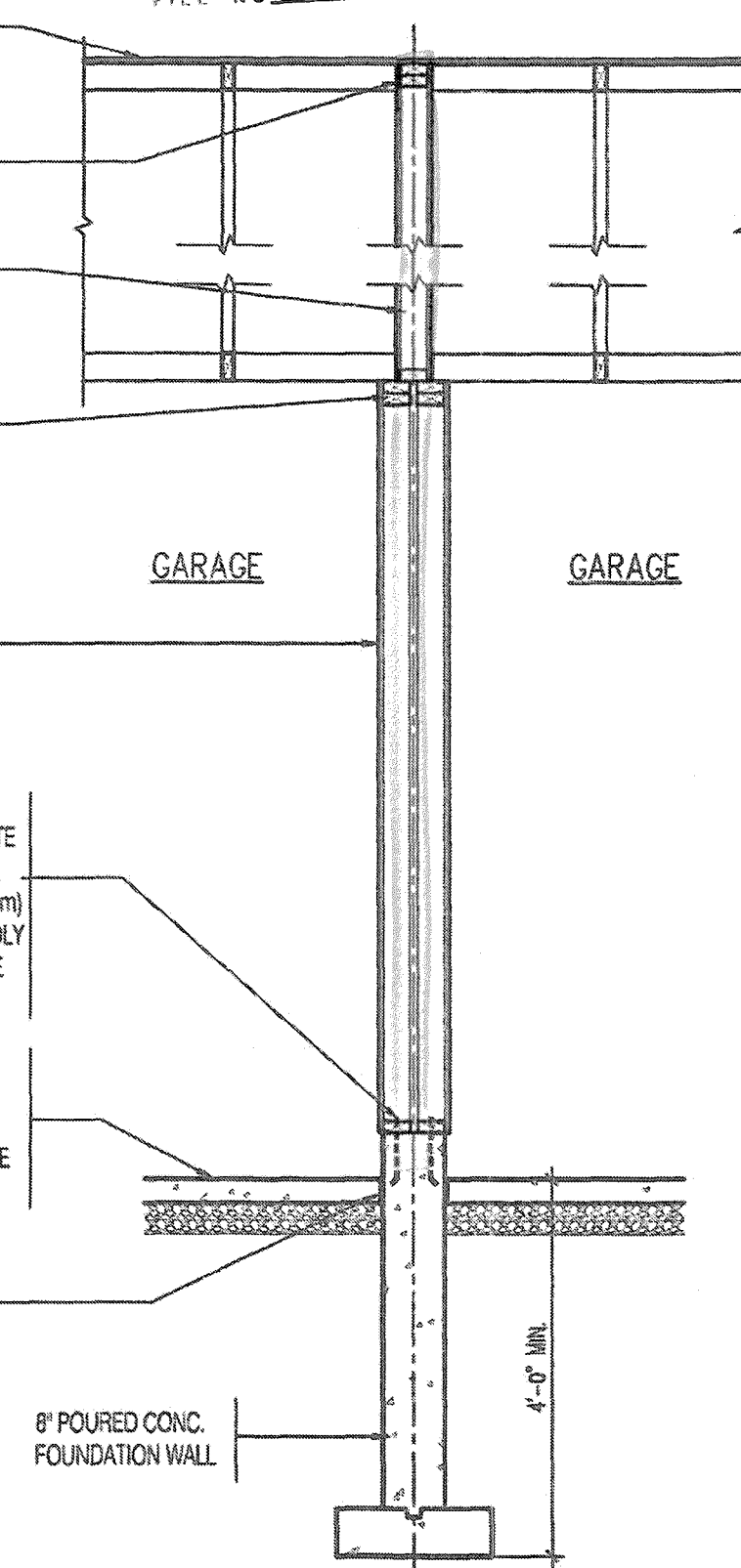
**GARAGE SLAB**  
4" (100 mm) 4650 PSI (32 MPa) CONC. SLAB WITH 5-8% AIR  
ENTRAINMENT ON OPT. 4" (100 mm) COARSE GRANULAR  
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE  
FILL. SLOPE TO GARAGE FRONT 1% MIN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



FOR STRUCTURE ONLY



**PARTY WALL SECTION**

FEB 06 2019