

O.REG. 332/12

GARAGE
GALE 1B
BLOCK 95
BLOCK 96
ELEVATION 2,3,4 & 5

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4		
3		
2		
1	DEC.13, 2018	ISSUED FOR BUILDING PERMIT

No. DATE WORK DESCRIPTION

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Boffa *Walter Boffa* 21031
NAME SIGNATURE BCIN

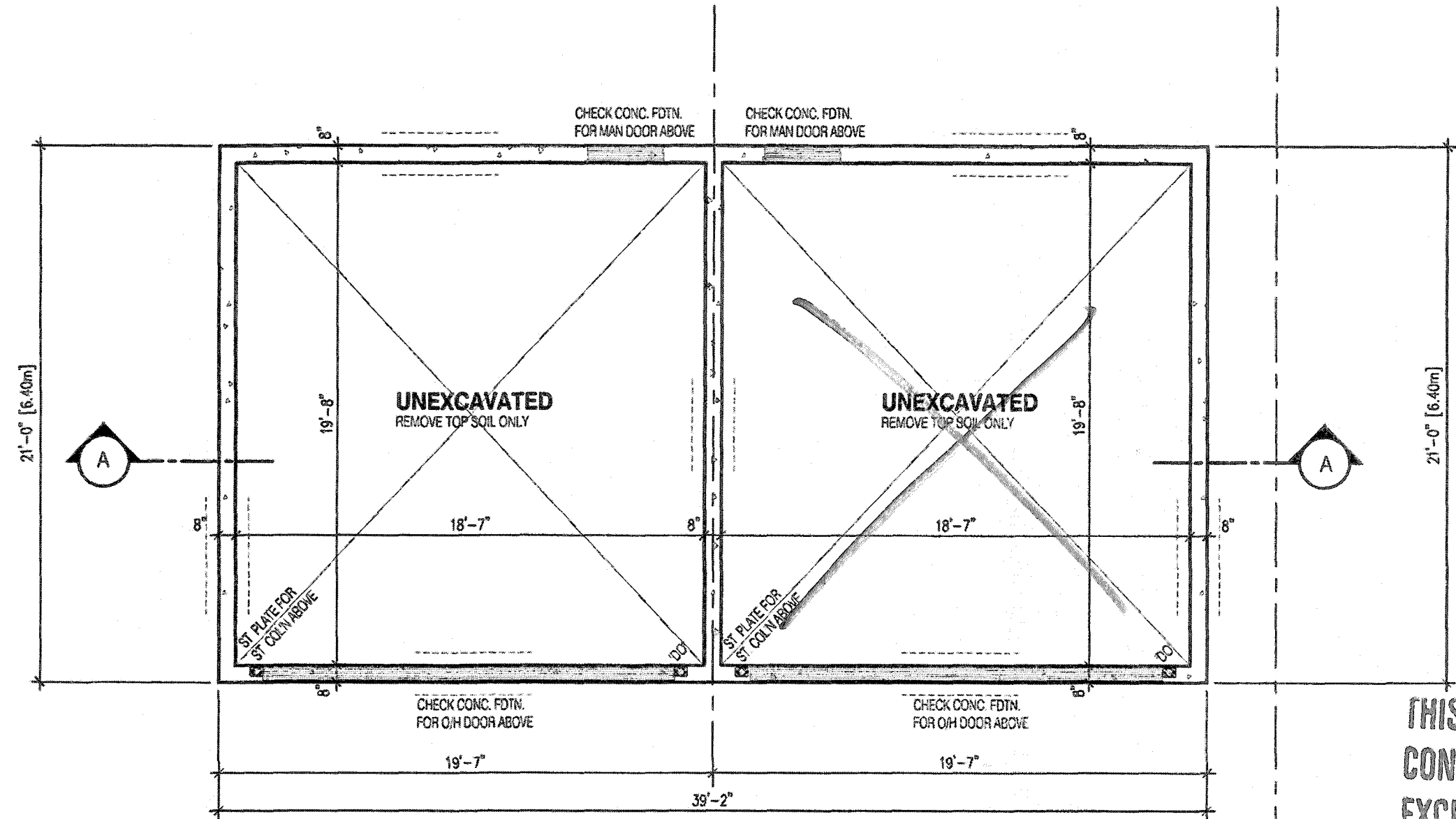
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

FOUNDATION PLAN
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

 **BILD**

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 1A



GALE 1B
ELEV. - 3, 4
TH 95-4
TH 96-5

GALE 1B
ELEV. - 2, 5
TH 95-1
TH 96-2

**THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE**

FEB 06 2019

NOTE:
FOR STRUCTURAL INFORMATION SEE BLOCK PLAN DRAWINGS

NOTE:
ALL GARAGE SLABS, PORCH SLABS,
STAIRS (EXPOSED CONC. FLAT WORK) TO
BE 32 MPa WITH 5-8% AIR ENTRAINMENT

GARAGE SLAB
100MM (4") 32MPa (4640psi) CONC. SLAB WITH 5-8%
AIR ENTRAINMENT ON OPT. 100mm (4") COARSE GRANULAR
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE
FILL SLOPE TO FRONT AT 1% MIN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

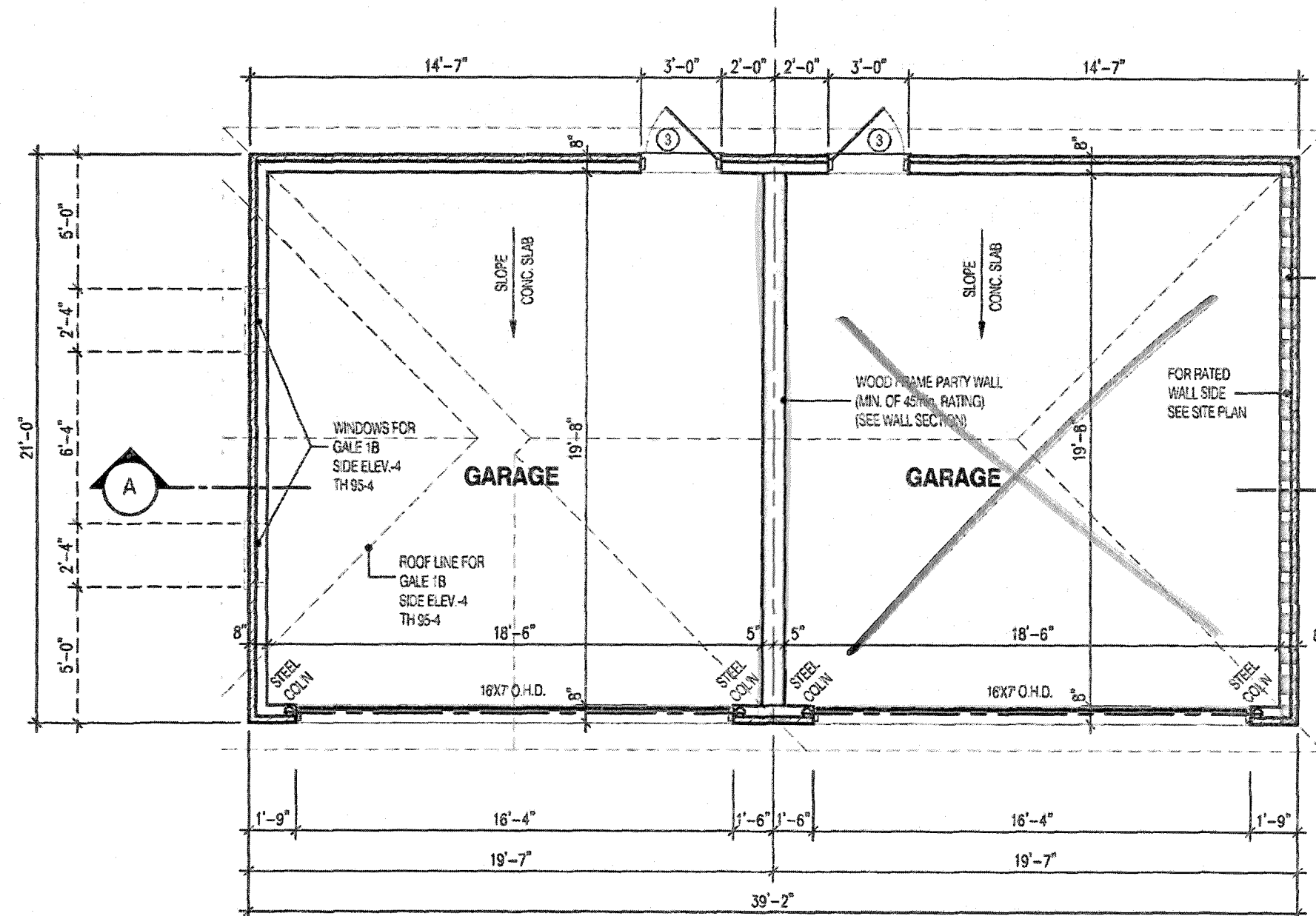
APPROVED BY: *[Signature]*
DATE: MAY 29, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

Block 95-4

O.REG. 332/12

**GARAGE
GALE 1B
BLOCK 95
BLOCK 96
ELEVATION 2,3,4 & 5**



**GALE 1B
ELEV. - 3, 4
TH 95-4
TH 96-5**

**GALE 1B
ELEV. - 2, 5
TH 95-1
TH 96-2**

**THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE**

NOTE:
FOR STRUCTURAL INFORMATION SEE BLOCK PLAN DRAWINGS

NOTE:
ALL GARAGE SLABS, PORCH SLABS,
STAIRS (EXPOSED CONC. FLAT WORK) TO
BE 32 MPa WITH 5-8% AIR ENTRAINMENT

GARAGE SLAB
100MM (4") 32MPa (4640psi) CONC. SLAB WITH 5-8%
AIR ENTRAINMENT ON OPT. 100mm (4") COARSE GRANULAR
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE
FILL SLOPE TO FRONT AT 1% MIN.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 28, 2019
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

FEB 06 2019

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7	
6	
5	
4	
3	
2	
1	DEC.13, 2018 ISSUED FOR BUILDING PERMIT
No	DATE WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Walter Botter [Signature] 21031
NAME SIGNATURE BCIN

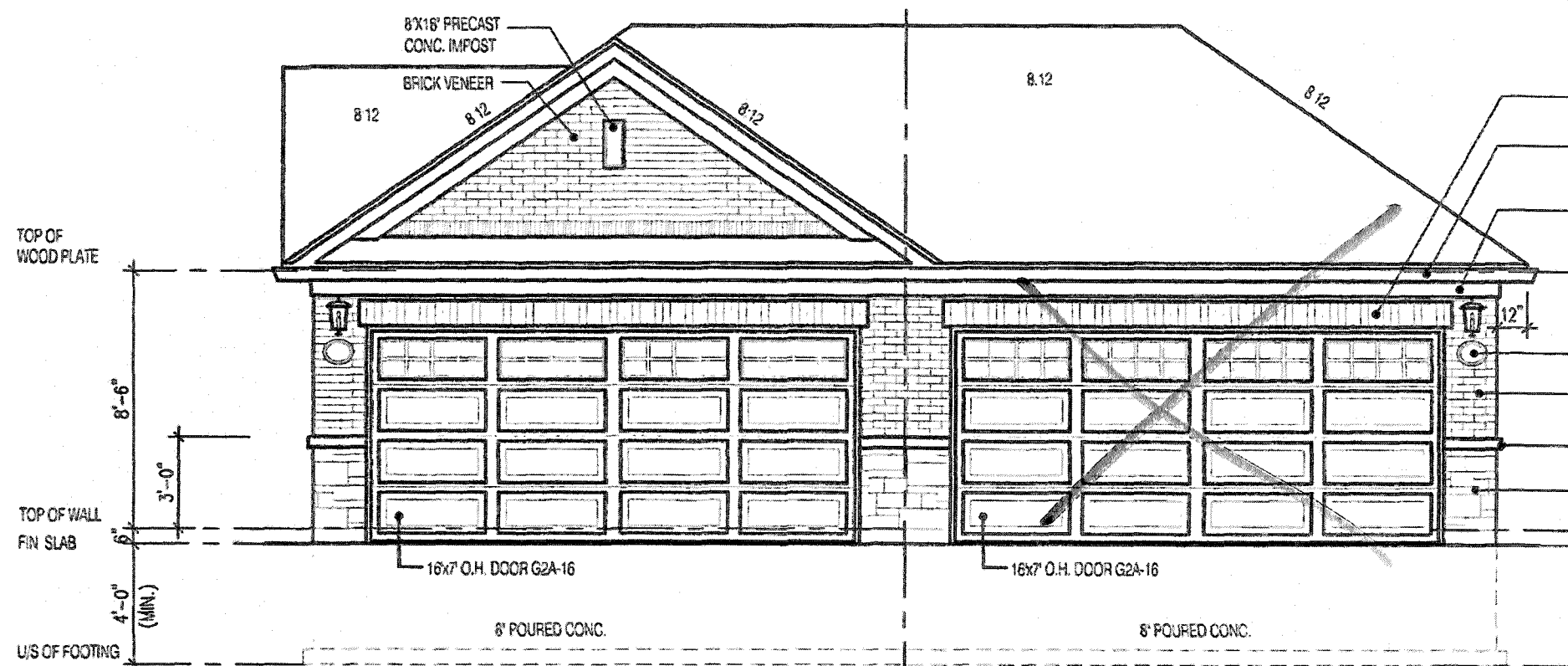
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

GARAGE PLAN
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

MODEL
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 2A

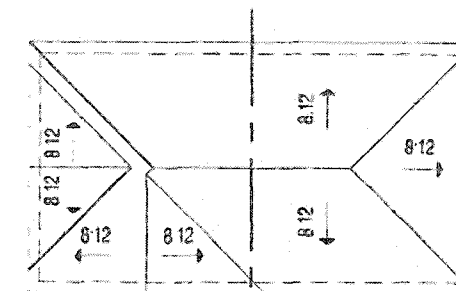




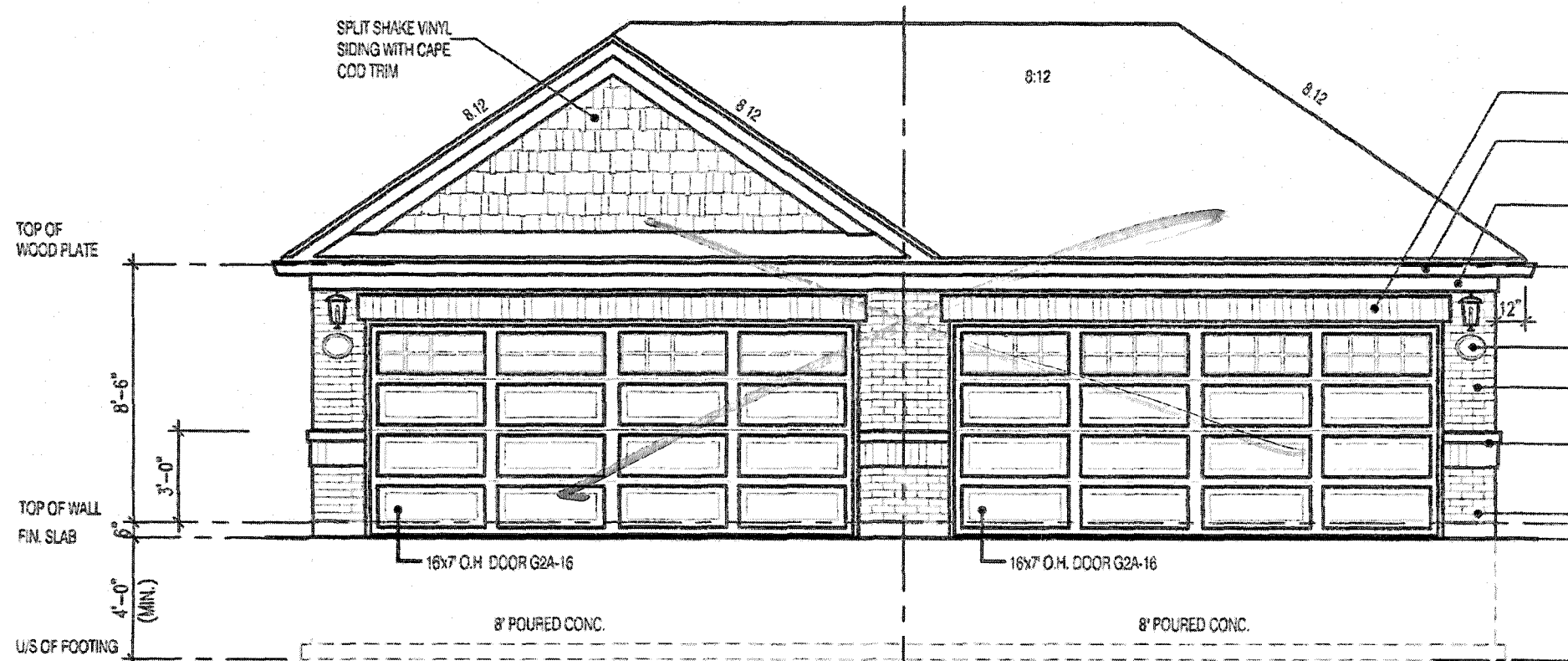
**GALE 1B
FRONT ELEV. - 4
TH 95-4**

BRICK SOLDIER
PREFIN. ALUM. R.W.L.
FASCIA, GUTTER &
VENTED SOFFIT
6' ALUM. CLAD WD.
FRIEZE BOARD (TYP.)

ADDRESS
PLAQUE (TYP.)
BRICK VENEER
CONTIN. CONC.
SILL
STONE VENEER



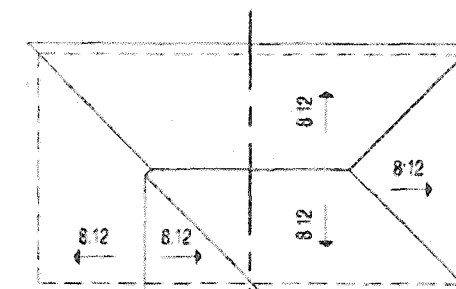
**ROOF PLAN
N.T.S.**



**GALE 1B
FRONT ELEV. - 3
TH 96-5**

BRICK SOLDIER
PREFIN. ALUM. R.W.L.
FASCIA, GUTTER &
VENTED SOFFIT
6' ALUM. CLAD WD.
FRIEZE BOARD (TYP.)

ADDRESS
PLAQUE (TYP.)
BRICK VENEER
CONTIN. CONC.
SILL ON BRICK
SOLDIER BAND
BRICK VENEER



**ROOF PLAN
N.T.S.**

**GALE 1B
FRONT ELEV. - 5
TH 95-3**

**GALE 1B
FRONT ELEV. - 2
TH 96-4**

**THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE**

O.REG. 332/12

**GARAGE
GALE 1B
BLOCK 95
BLOCK 96
ELEVATION 2,3,4 & 5**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	
6	
5	
4	
3	
2	
1	DEC.13.2018 ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATIONS
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

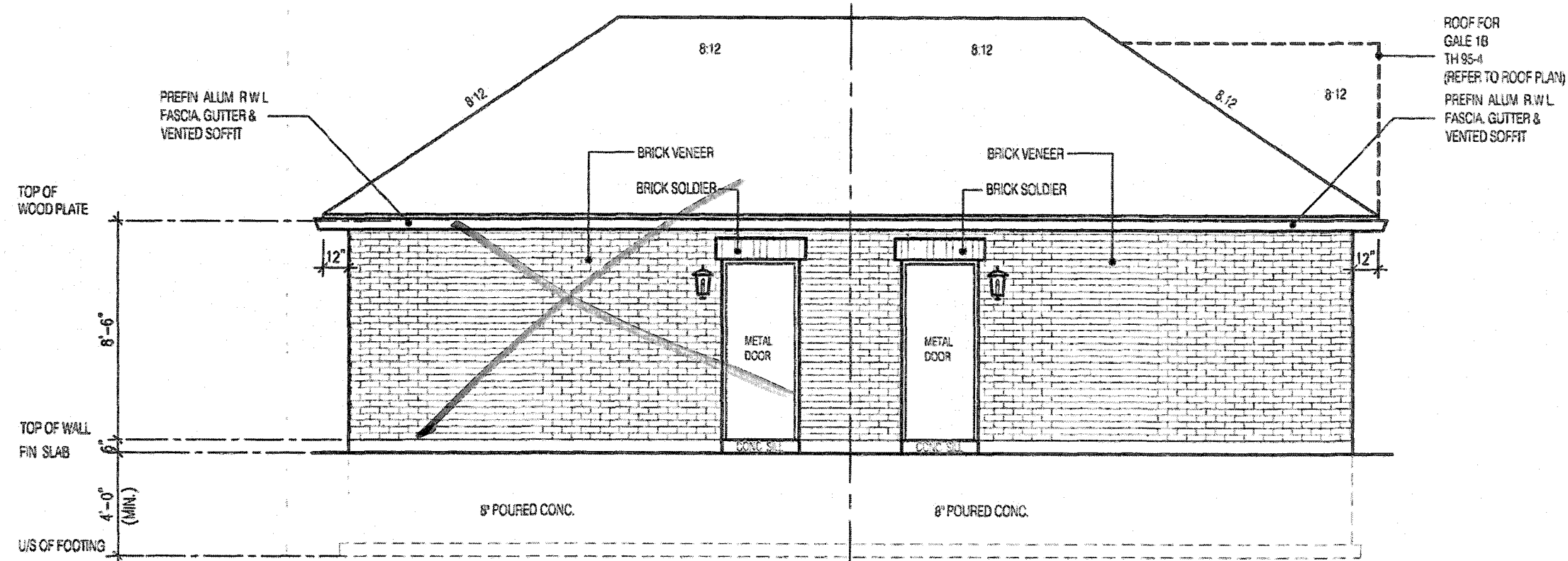
BILD
MODEL
SCALE 3/16"=1'-0"
PROJ. NO. 18-18 DWG. NO. 3A

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY *[Signature]*
DATE: MAY 29, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FEB 06 2019



**GALE 1B
REAR ELEVATION
TH 95-3 EL-2
TH 96-4 EL-5**

**GALE 1B
REAR ELEVATION
TH 95-4 EL-4
TH 96-5 EL-3**

**THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE**

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: MAY 29, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**GARAGE
GALE 1B
BLOCK 95
BLOCK 96
ELEVATION 2,3,4 & 5**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	
6	
5	
4	
3	
2	
1	DEC.13. 2018 ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code.

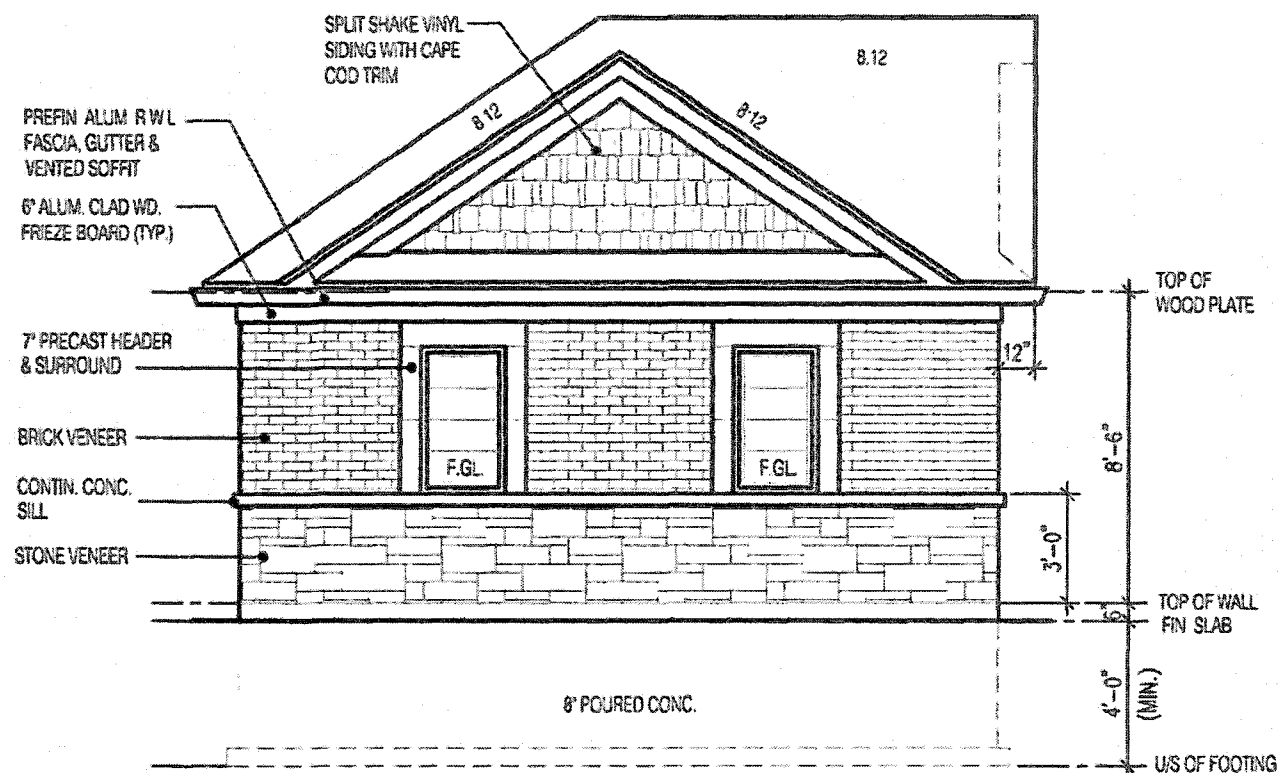
Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code.

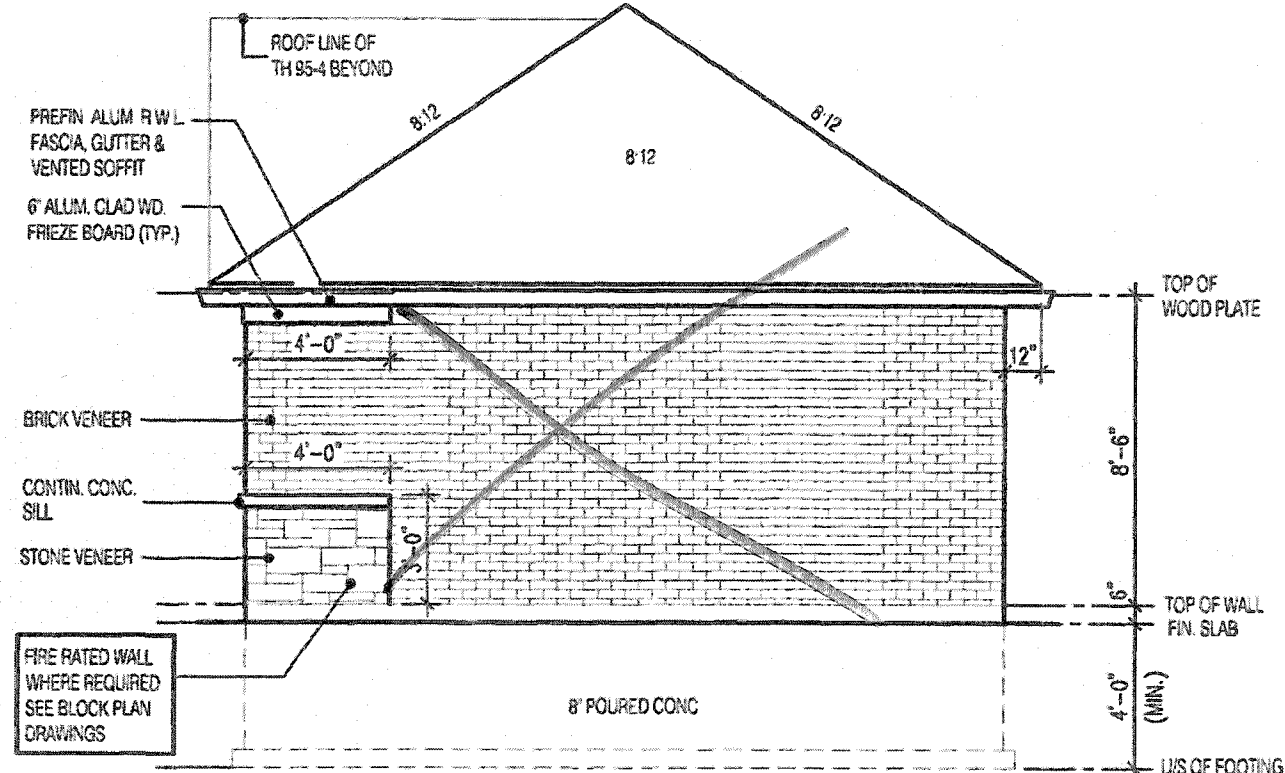
jardin design group inc. 27763
FIRM NAME BCIN

**REAR ELEVATION
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON**

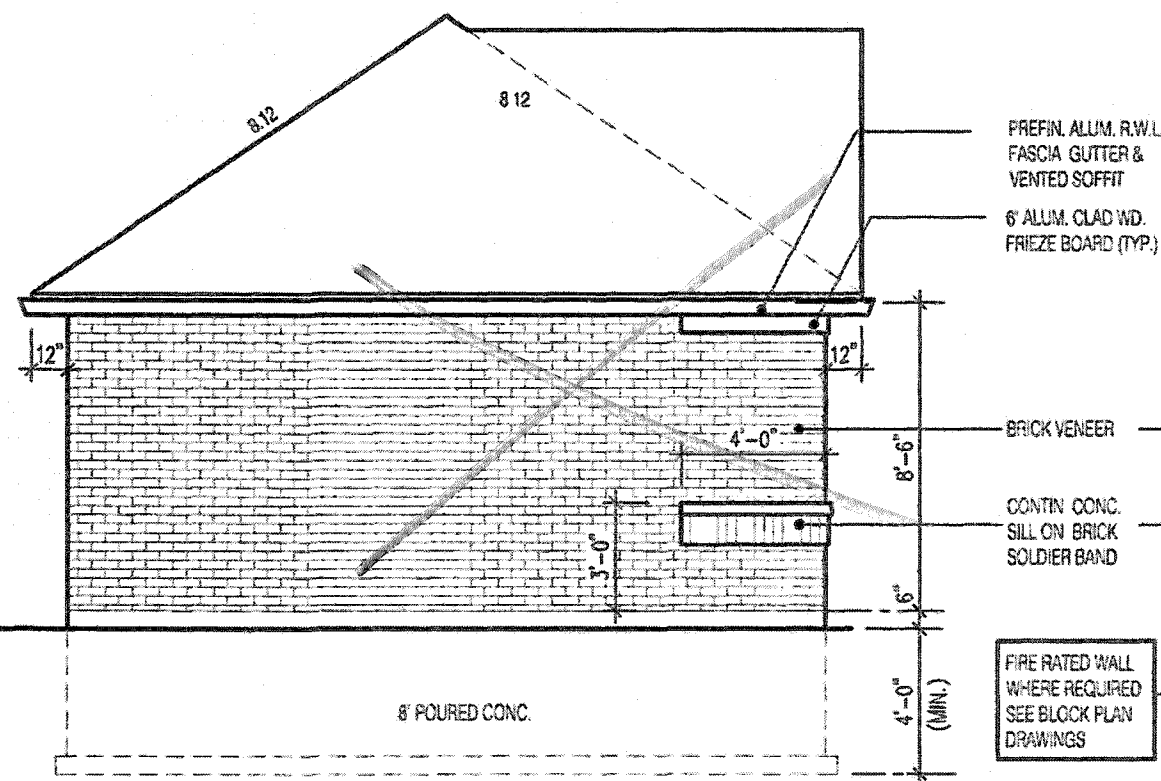
MODEL ---
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 3B



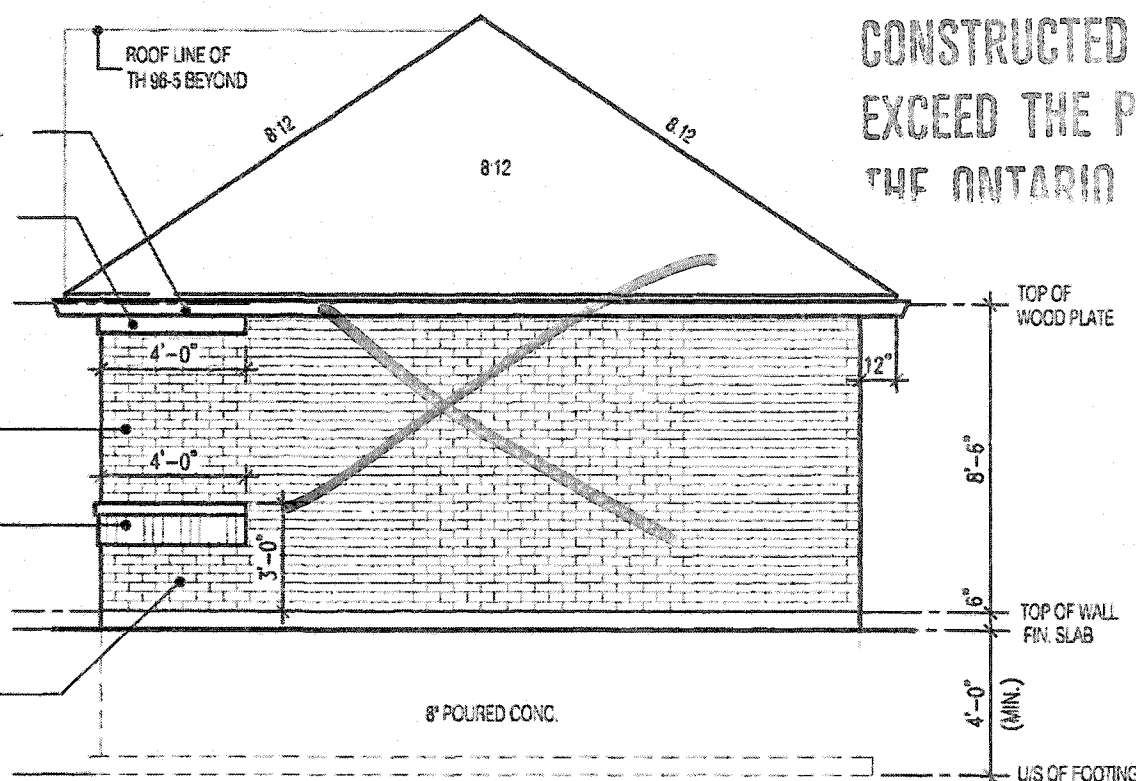
**GALE 1B
SIDE ELEV. - 4
TH 95-4**



**GALE 1B
SIDE ELEV. - 5
TH 95-3** THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE



**GALE 1B
SIDE ELEV. - 3
TH 96-5**



**GALE 1B
SIDE ELEV. - 2
TH 96-4**

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: MAY 23, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**GARAGE
GALE 1B
BLOCK 95
BLOCK 96
ELEVATION 2,3,4 & 5**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7	
6	
5	
4	
3	
2	
1	DEC.13. 2018 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION.

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

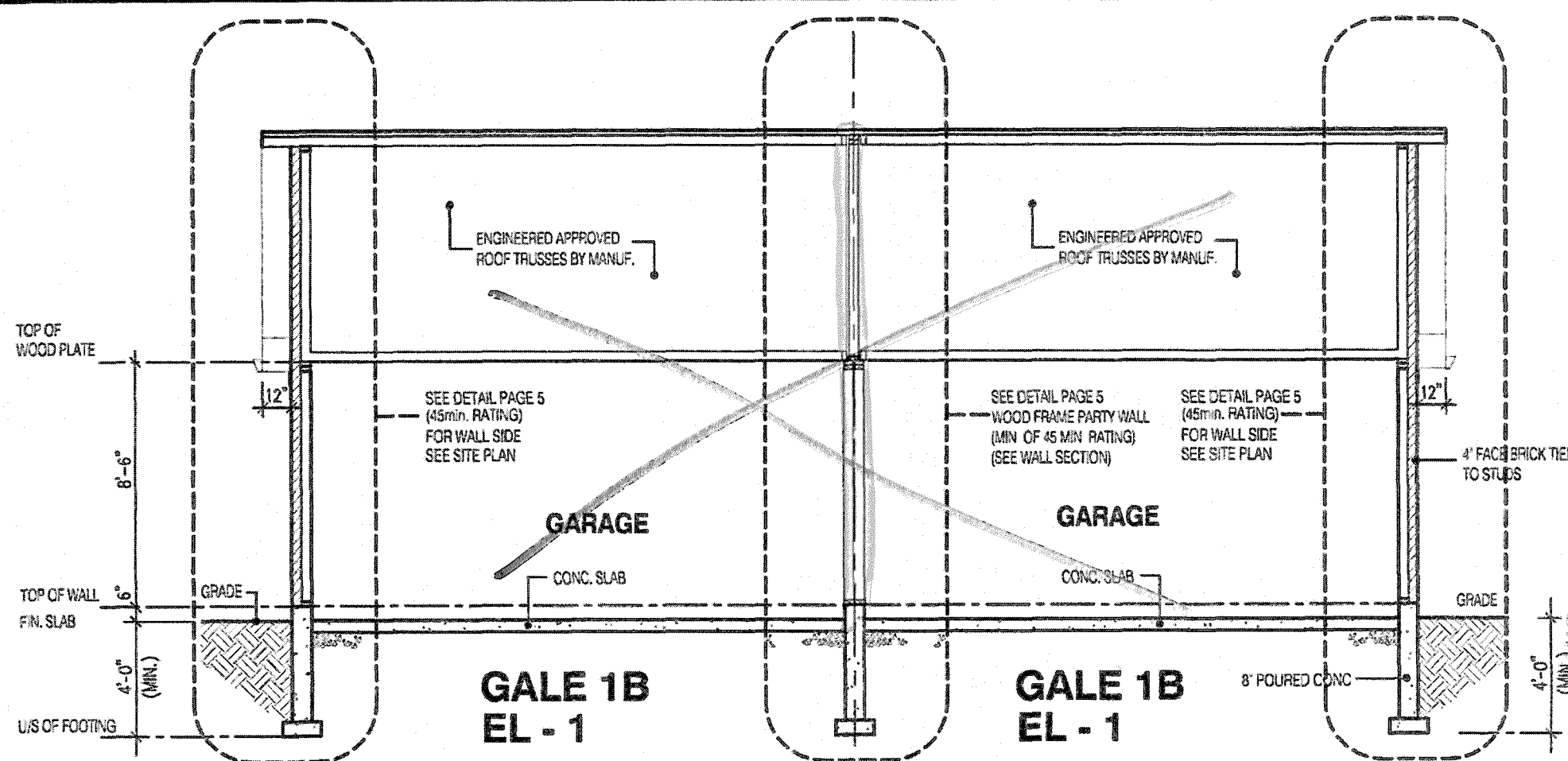
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

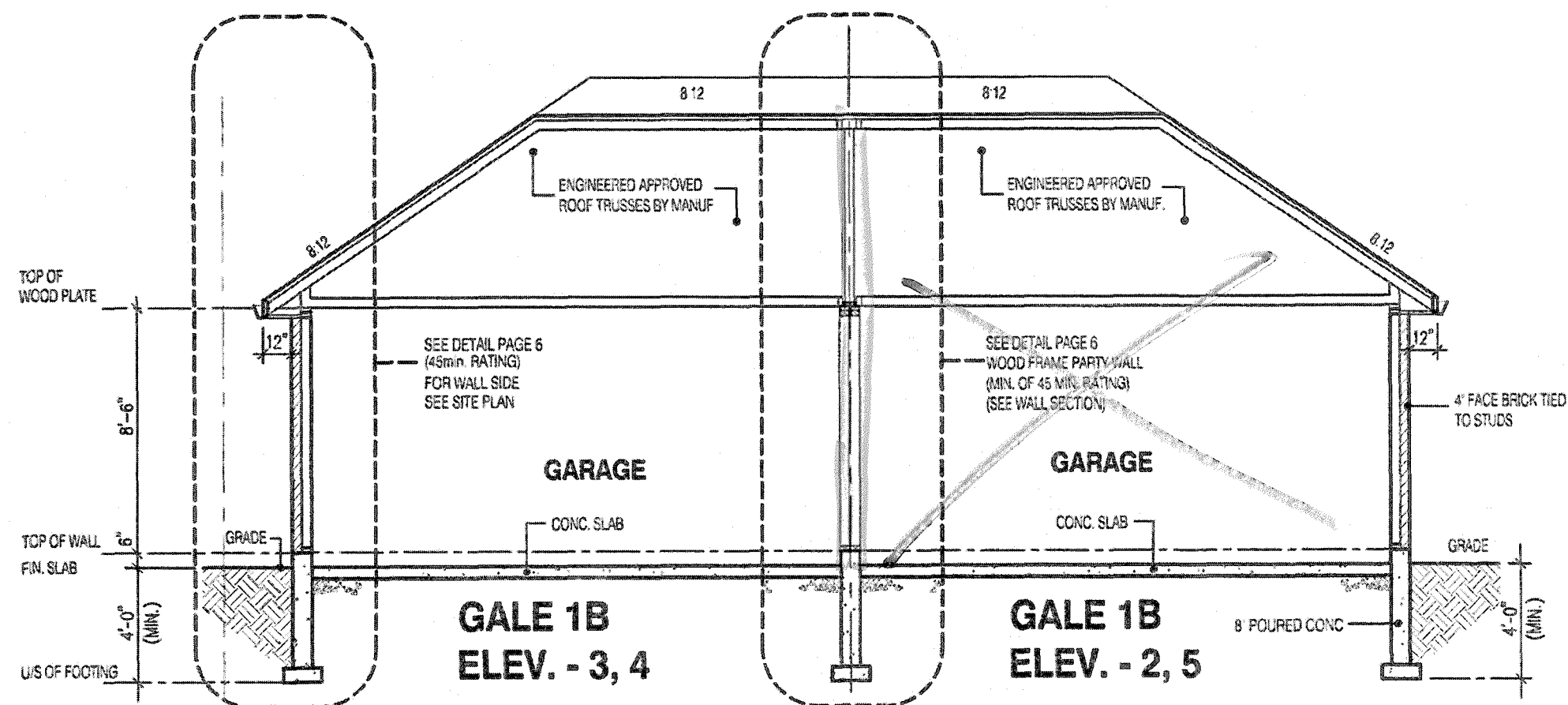
SIDE ELEVATIONS

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

MODEL —
SCALE 3/16" = 1'-0"
PROJ. No. 18-18 DWG. No. 4A



SECTION A-A



SECTION A-A

O.REG. 332/12

GARAGE
GALE 1B
BLOCK 95
BLOCK 96
ELEVATION 1

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED.

7		
6		
5		
4		
3		
2		
1	DEC. 13, 2018	ISSUED FOR BUILDING PERMIT
No.	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SECTION
LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

BILD
MODEL ---
SCALE 3/16" = 1'-0"
PHOT. No. 18-18 DWG. No. 5

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

STRUDET INC.



FOR STRUCTURE ONLY

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

THIS STRUCTURE MUST BE
CONSTRUCTED TO MEET OR
EXCEED THE PROVISIONS OF
THE ONTARIO BUILDING CODE

O.REG. 332/12

GARAGE

GALE 1B

BLOCK 95

BLOCK 96

ELEVATION 2,3,4 & 5

ROOF CONSTRUCTION

210 LB. (10.25kg/m²) ASPHALT SHINGLES, 3/8" (9.5 mm)
PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD
TRUSSES @ 24" (600 mm) o.c. MAX., 2"x4" (38x89 mm) TRUSS
BRACING @ 6'-0" (1830 mm) o.c. AT BOTTOM CHORD, PREFIN.
ALUM. FASCIA, VENTED SOFFIT, EAVESTROUGH, & RWL.

BRICK VENEER EXTERIOR WALL CONSTRUCTION (2"x4") (45min. RATING)

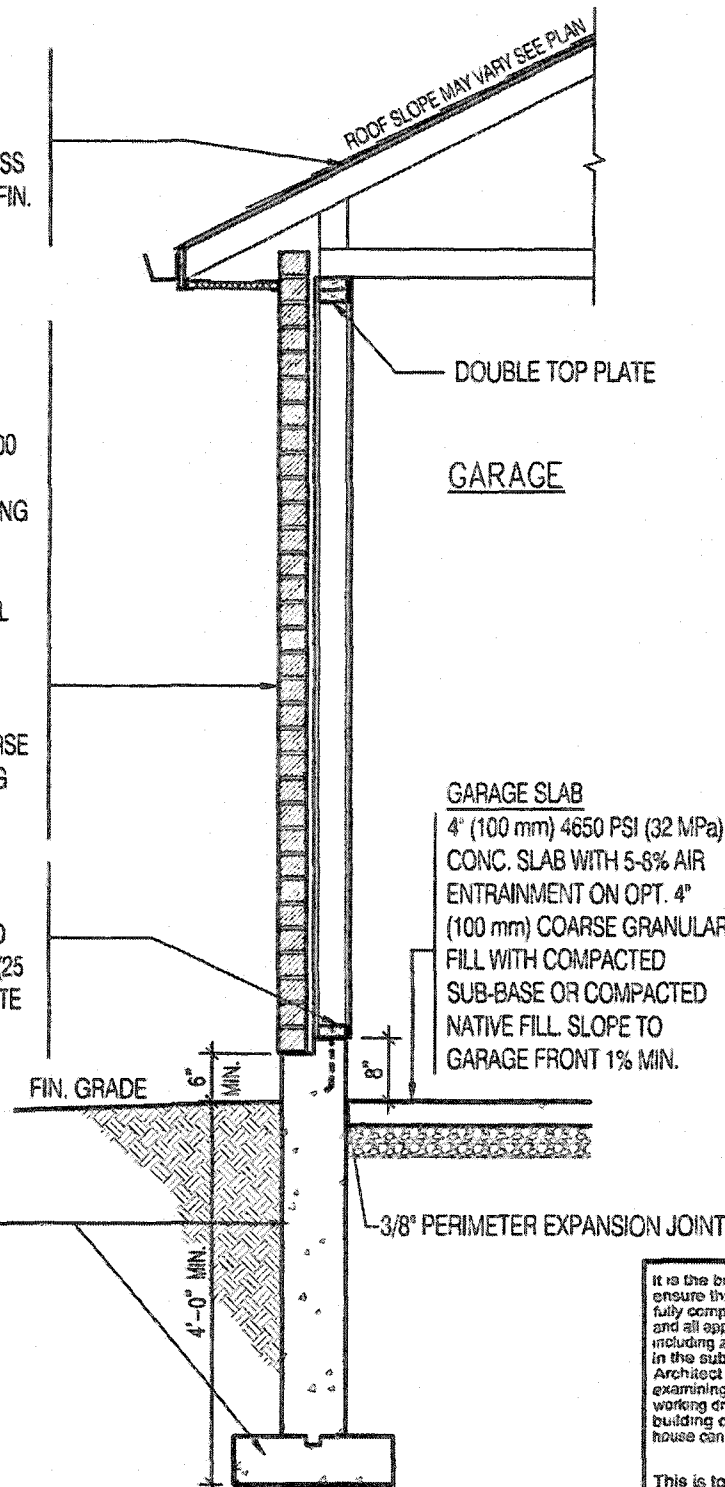
4" (90MM) FACE BRICK, 7/8"x7"x0.03" (22 X 180 X 0.76 mm)
GALV. METAL TIES @ 16" (400 mm) o.c. HORIZONTAL 24" (600
mm) o.c. VERTICAL, 1" (25 mm) AIR SPACE, APPROVED
SHEATHING PAPER ON 3/8" (9.5 mm) EXT. GRADE SHEATHING
ON 2"x4" (38 X 89 mm) STUDS @ 16" (400 mm) o.c.
(MAX. HGT. - 9'-10" (3000 mm)) WITH APPROVED DIAGONAL
WALL BRACING, 1/2" (13 mm) TYPE "X" GYPSUM BOARD. ALL
JOINTS TO BE TAPED AND SEALED. ALL EDGES TO BE
SUPPORTED. FASTENER TYPES AND SPACING SHALL
CONFORM TO CSA-A82.31-M.
PROVIDE WEEP HOLES @ 32" (800 mm) o.c. BOTTOM COURSE
AND OVER ALL OPENINGS. PROVIDE BASE WALL FLASHING
UP MIN. 6" (150 mm) BEHIND BUILDING PAPER.

SILL PLATE

2" X 4" (38 mm X 89 mm) SILL PLATE WITH 1/2" (13 mm) DIA.
ANCHOR BOLTS 8" (200 mm) LONG, EMBEDDED MIN. 4" (100
mm) INTO CONC. @ 7'-10" (2400 mm) o.c. CAULKING OR 1" (25
mm) MIN. MINERAL WOOL OR POLY GASKET BETWEEN PLATE
AND TOP OF FNDTN. WALL. USE MORTAR TO LEVEL SILL
PLATE WHEN REQUIRED.

FOUNDATION WALL/ FOOTING: OBC 9.15.3 & 9.15.4

8" (200 mm) POURED CONC. FNDTN. WALL 2200 PSI
(15 MPa). FOR STRIP FOOTING SIZES, SEE CHART
ON BASEMENT PLAN PAGE OF BLOCK PLAN
DRAWINGS.



EXTERIOR WALL SECTION
(45min. RATING)

TYPICAL ROOF CONSTRUCTION

1/2" TYPE "X" GYPSUM BOARD
TIGHTLY SEALED TO U/S OF
ROOF SHEATHING

2"x4" WOOD STUDS
AT MAX. 16" O.C.

DOUBLE TOP PLATE

PARTY WALL CONSTRUCTION (2"x4") (45min. RATING) OBC WALL TYPE W13f

TWO ROWS 2"x4" (38mmX89mm) WOOD STUDS EACH
SPACED 16" O.C. ON SEPERATE 2"x4" (38mmX89mm)
SILL PLATES SET 1" APART.
1/2" TYPE "X" GYPSUM BOARD ON EACH SIDE
ALL JOINTS TO BE TAPED AND SEALED. ALL EDGES
TO BE SUPPORTED. FASTENER TYPES AND SPACING
SHALL CONFORM TO CSA-A82.31-M.

SILL PLATE

SEPERATE 2" X 4" (38 mm X 89 mm) SET APART 1" SILL PLATE
WITH 1/2" (13 mm) DIA. ANCHOR BOLTS 8" (200 mm) LONG,
EMBEDDED MIN. 4" (100 mm) INTO CONC. @ 7'-10" (2400 mm)
o.c. CAULKING OR 1" (25 mm) MIN. MINERAL WOOL OR POLY
GASKET BETWEEN PLATE AND TOP OF FNDTN. WALL. USE
MORTAR TO LEVEL SILL PLATE WHEN REQUIRED.

GARAGE SLAB

4" (100 mm) 4650 PSI (32 MPa) CONC. SLAB WITH 5-8% AIR
ENTRAINMENT ON OPT. 4" (100 mm) COARSE GRANULAR
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE
FILL. SLOPE TO GARAGE FRONT 1% MIN.

3/8" PERIMETER EXPANSION JOINT

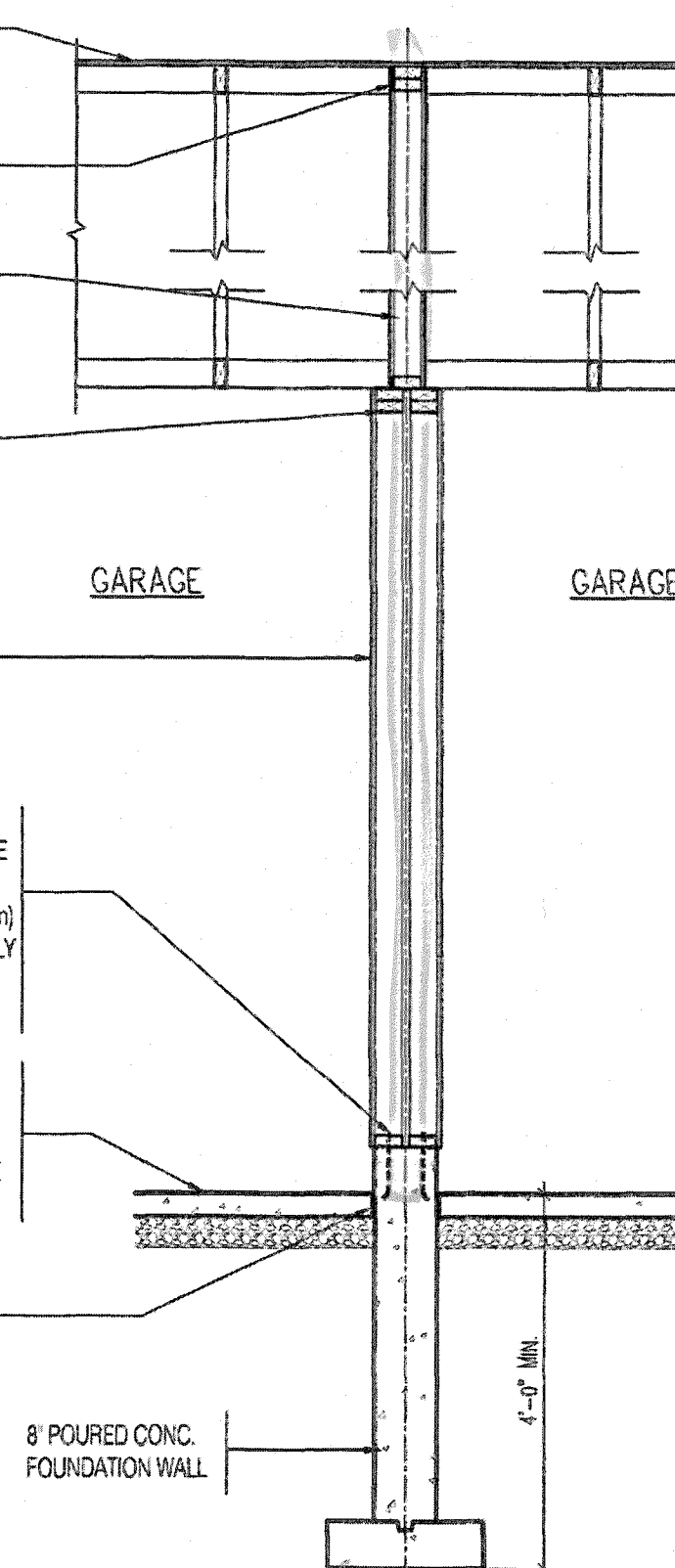
It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
CALEDON.

STRUDET INC.



FOR STRUCTURE ONLY



PARTY WALL SECTION

FEB 06 2019

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7		
6		
5		
4		
3		
2		
1	DEC.13, 2018	ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

WALL SECTION

LAMBERTS LANE - PHASE 2
TOWN OF CALEDON

MODEL	---
SCALE	N.T.S.
PROJ. No.	18-18
DWG. No.	6A

