

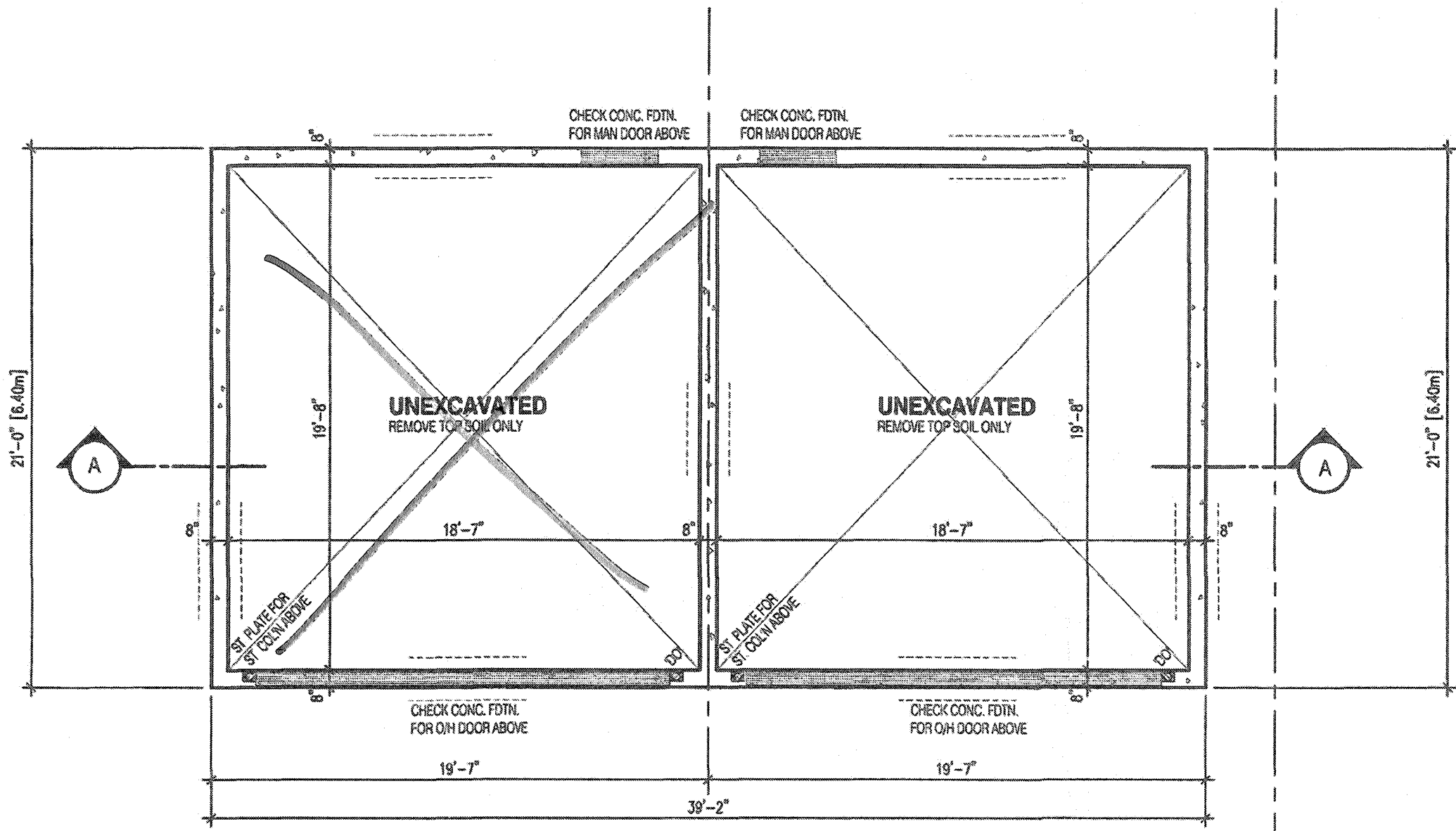
O.REG. 332/12

**GARAGE**  
**GALE 1B**  
**BLOCK 95**  
**BLOCK 96**  
**ELEVATION 2,3,4 & 5**

THIS STRUCTURE MUST BE  
CONSTRUCTED TO MEET OR  
EXCEED THE PROVISIONS OF  
THE ONTARIO BUILDING CODE

**RECEIVED**  
AUG 15 2019

TOWN OF CALEDON  
BUILDING SECTION  
FILE NO.



**GALE 1B**  
**ELEV. - 3, 4**  
**TH 95-4**  
**TH 96-5**

**GALE 1B**  
**ELEV. - 2, 5**  
**TH 95-1**  
**TH 96-2**

Block 96-4

**APPLICANT COPY**

FEB 06 2019

**NOTE:**  
FOR STRUCTURAL INFORMATION SEE BLOCK PLAN DRAWINGS

**NOTE:**  
ALL GARAGE SLABS, PORCH SLABS,  
STAIRS (EXPOSED CONC. FLAT WORK) TO  
BE 32 MPa WITH 5-8% AIR ENTRAINMENT

**GARAGE SLAB**  
100MM (4") 32MPa (4640psi) CONC. SLAB WITH 5-8%  
AIR ENTRAINMENT ON OPT. 100mm (4") COARSE GRANULAR  
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE  
FILL SLOPE TO FRONT AT 1% MIN.

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving any (lotting) plans or  
working drawings with respect to any zoning or  
building code or planning matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: MAY 29, 2019  
This stamp certifies compliance with the applicable  
Design Guidelines only and does not further  
professional responsibility.

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| 1 | DEC. 13, 2018 | ISSUED FOR BUILDING PERMIT |

No. DATE WORK DESCRIPTION

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code.

Walter Botter [Signature] 27037  
NAME SIGNATURE BCIN

Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code.

Jardin design group inc. 27763  
FIRM NAME BCIN

**FOUNDATION PLAN**  
LAMBERTS LANE - PHASE 2  
TOWN OF CALEDON

**BILD**  
MODEL  
SCALE 3/16"=1'-0"  
PROJ. No. 18-18 DWG. No. 1A

**O.REG. 332/12**

|                                |
|--------------------------------|
| <b>GARAGE</b>                  |
| <b>GALE 1B</b>                 |
| <b>BLOCK 95</b>                |
| <b>BLOCK 96</b>                |
| <b>ELEVATION 2,3,4 &amp; 5</b> |

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INHERITS MUST BE MAINTAINED PRIOR TO POURING FOOTINGS

JARDIN DESIGN GROUP INC. HAS NOT BEEN REVENUED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION ON THIS CONTRACT TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE COPIED

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| 1 | DEC. 13, 2018 | ISSUED FOR BUILDING PERMIT |

[illegible]

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under Paragraph C, Subsection 3.2.5 of the building code.

|                |            |       |
|----------------|------------|-------|
| Walter Boffter | <i>WSE</i> | 21031 |
| NAME           | SIGNATURE  | BCIN  |

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
1.2.4 of the building code

|                          |       |
|--------------------------|-------|
| jardin design group inc. | 27763 |
| FIRM NAME                | BCIN  |

**GARAGE PLAN**  
LAMBERTS LANE - PHASE 2  
TOWN OF CALEDON

|                                                                                       |                      |                |
|---------------------------------------------------------------------------------------|----------------------|----------------|
|  | MODEL                |                |
|                                                                                       | SCALE<br>3/16"=1'-0" |                |
|                                                                                       | PROJ. No.<br>18-18   | DWG. No.<br>2A |

THIS STRUCTURE MUST BE  
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EXCEED THE PROVISIONS OF  
THE ONTARIO BUILDING CODE

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TOWN OF CALEDON  
BUILDING SECTION  
FILE NO. \_\_\_\_\_

FEB 06 2019

GALE 1B  
ELEV. - 3, 4  
TH 95-4  
TH 96-5

GALE 1B  
ELEV. - 2, 5  
TH 95-1  
TH 96-2

**NOTE:**  
FOR STRUCTURAL INFORMATION SEE BLOCK PLAN DRAWINGS

**NOTE:**  
ALL GARAGE SLABS, PORCH SLABS,  
STAIRS (EXPOSED CONC. FLAT WORK) TO  
BE 32 MPa WITH 5-8% AIR ENTRAINMENT

## GARAGE SLAB

100MM (4") 32MPa (4640psi) CONC. SLAB WITH 5-6%  
AIR ENTRAINMENT ON OPT. 100mm (4") COARSE GRANULAR  
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE  
FILL SLOPE TO FRONT AT 1% MIN.

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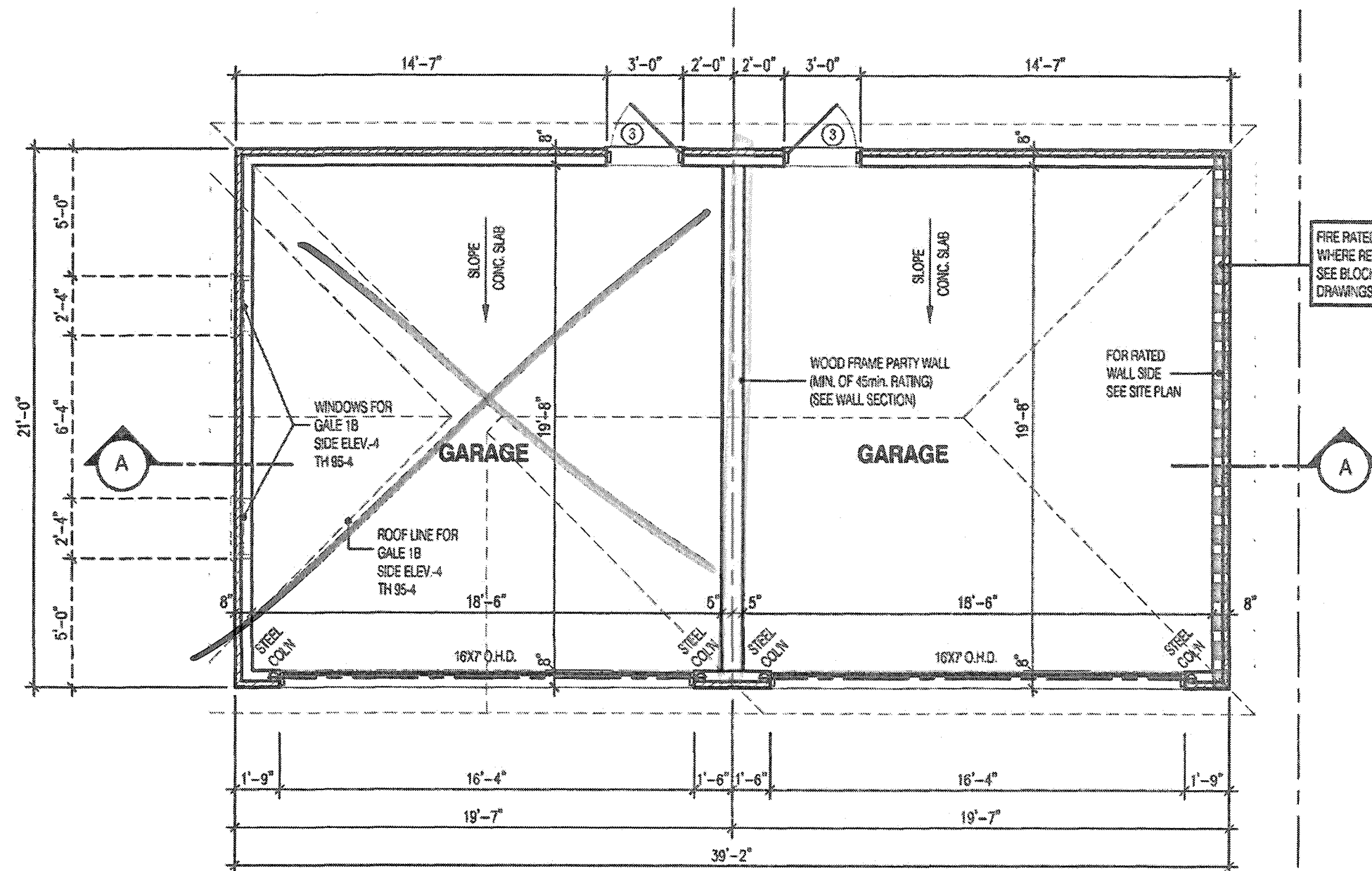
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

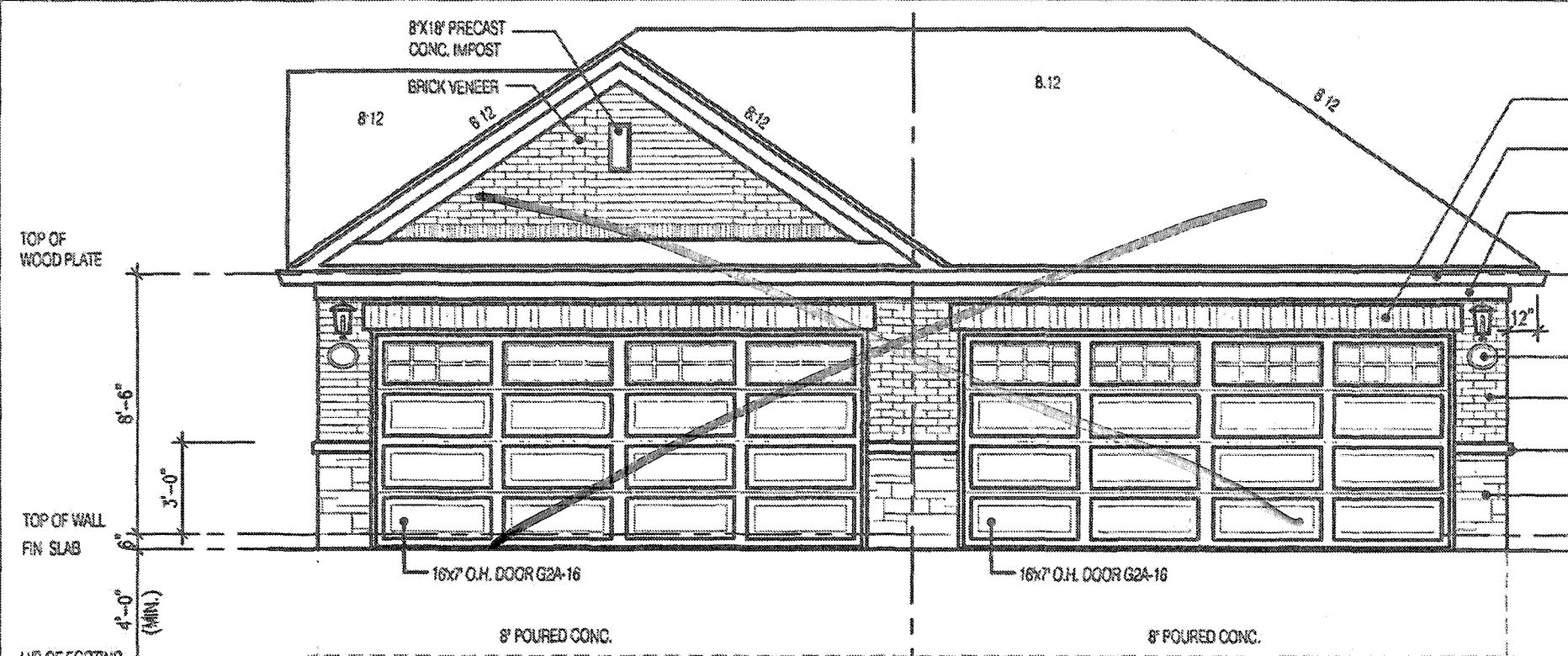
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_

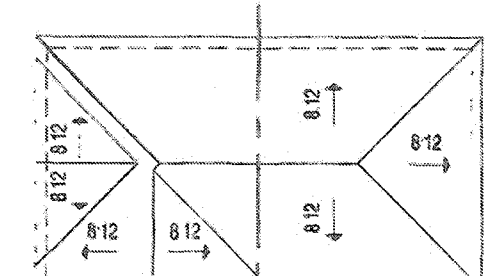
DATE: MAY 29, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.





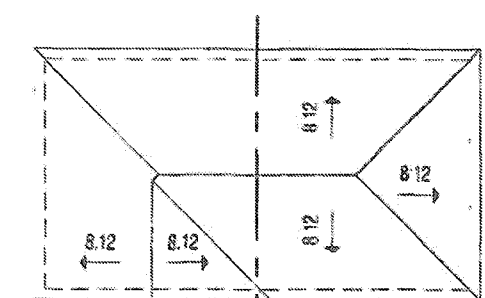
- BRICK SOLDIER
- PREFIN. ALUM. R.W.L.
- FASCIA, GUTTER & VENTED SOFFIT
- 6" ALUM. CLAD WD. FRIEZE BOARD (TYP.)
- ADDRESS PLAQUE (TYP.)
- BRICK VENEER
- CONTIN. CONC. SILL
- STONE VENEER



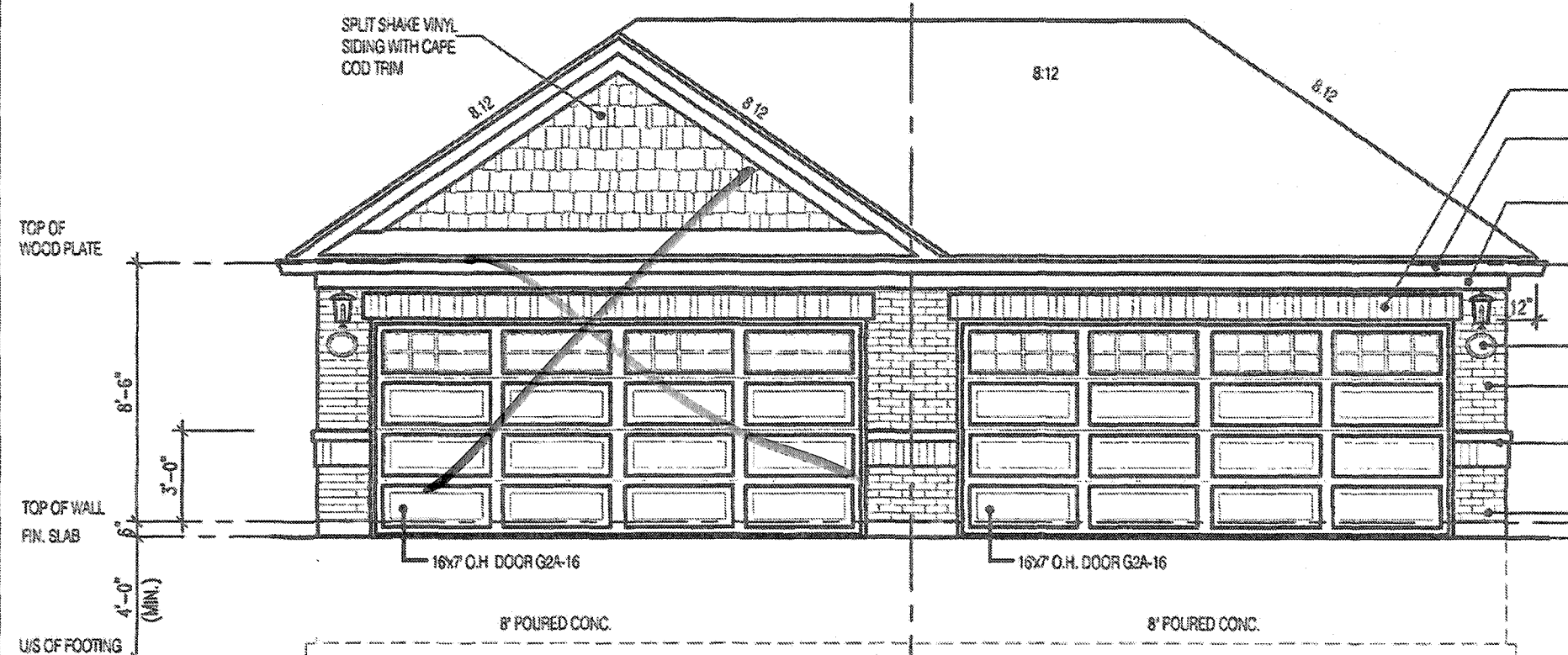
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EXCEED THE PROVISIONS OF  
THE ONTARIO BUILDING CODE

**RECEIVED**  
AUG 15 2019

TOWN OF CALEDON  
BUILDING SECTION  
FILE NO.



ROOF PLAN  
N.T.S.



- BRICK SOLDIER
- PREFIN. ALUM. R.W.L.
- FASCIA, GUTTER & VENTED SOFFIT
- 6" ALUM. CLAD WD. FRIEZE BOARD (TYP.)
- ADDRESS PLAQUE (TYP.)
- BRICK VENEER
- CONTIN. CONC. SILL ON BRICK SOLDIER BAND
- BRICK VENEER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: MAY 23, 2019  
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

**GARAGE**  
**GALE 1B**  
**BLOCK 95**  
**BLOCK 96**  
**ELEVATION 2,3,4 & 5**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.  
AS CONSTRUCTED DRAWINGS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THIS WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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| No. | DATE: WORK DESCRIPTION:                 |

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code.

Walter Boffe *[Signature]* 21031  
NAME SIGNATURE BCIN

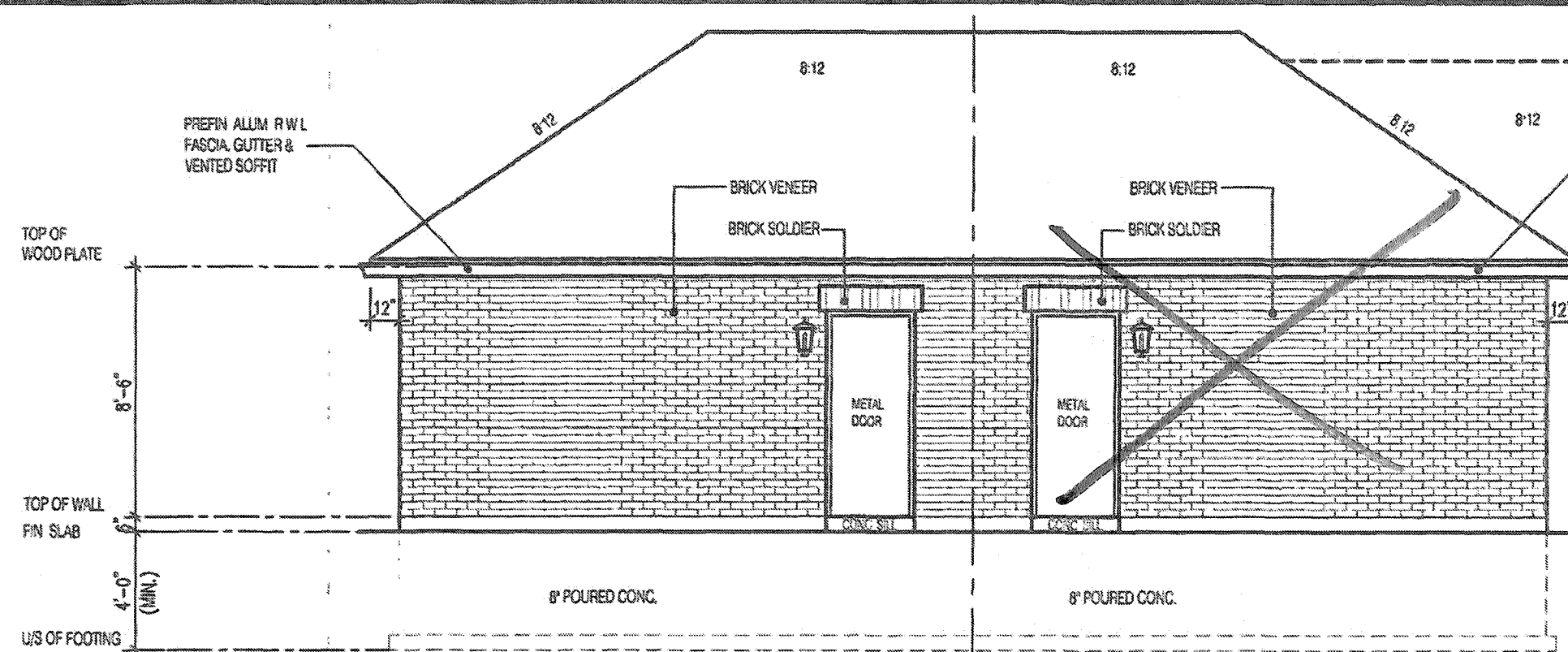
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 2.2.4 of the building code.

Jardin design group inc. 27763  
FIRM NAME BCIN

**FRONT ELEVATIONS**  
**LAMBERTS LANE - PHASE 2**  
**TOWN OF CALEDON**

MODEL  
SCALE 3/16"=1'-0"  
PROJ. No. 18-18 DWG. No. 3A

FEB 06 2019



**GALE 1B  
REAR ELEVATION  
TH 95-3 EL-2  
TH 96-4 EL-5**

**GALE 1B  
REAR ELEVATION  
TH 95-4 EL-4  
TH 96-5 EL-3**

**THIS STRUCTURE MUST BE  
CONSTRUCTED TO MEET OR  
EXCEED THE PROVISIONS OF  
THE ONTARIO BUILDING CODE**

**RECEIVED**  
AUG 15 2019  
TOWN OF CALEDON  
BUILDING SECTION  
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**FEB 06 2019**

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                          |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|
| <b>GARAGE</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                          |
| <b>GALE 1B</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                          |
| <b>BLOCK 95<br/>BLOCK 96</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                          |
| <b>ELEVATION 2,3,4 &amp; 5</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                          |
| <small>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.<br/>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.<br/>AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.<br/>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.<br/>THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALE'D.</small> |                                          |
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| NO.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | DATE WORK DESCRIPTION:                   |
| <b>jardin</b><br><b>DESIGN GROUP INC</b><br>64 JARDIN DR. SUITE 3A<br>VAUGHAN ONT. L4K 3P3<br>TEL: 905 660-3377 FAX: 905 660-3713<br>EMAIL: info@jardindesign.ca                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                          |
| <small>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</small>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                          |
| <small>QUALIFICATION INFORMATION<br/>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.</small>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                          |
| NAME                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | SIGNATURE BCIN                           |
| Walter Botter                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <i>[Signature]</i> 21031                 |
| <small>REGISTRATION INFORMATION<br/>Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.</small>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                          |
| FIRM NAME                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | BCIN                                     |
| jardin design group inc.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | 27763                                    |
| <b>REAR ELEVATION</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                          |
| <b>LAMBERTS LANE - PHASE 2</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                          |
| <b>TOWN OF CALEDON</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                          |
| MODEL —                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                          |
| SCALE 3/16"=1'-0"                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                          |
| PROJ. NO.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | DWG. No.                                 |
| 18-18                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | 3B                                       |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*  
DATE: MAY 29, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**GARAGE**  
**GALE 1B**  
**BLOCK 95**  
**BLOCK 96**  
**ELEVATION 2,3,4 & 5**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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AS CONSTRUCTED INSETS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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| No: DATE: WORK DESCRIPTION: |                                        |

**jardin**  
**DESIGN GROUP INC**  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

**Walter Botter** 21031  
 NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

**jardin design group inc.** 27763  
 FIRM NAME BCIN

**SIDE ELEVATIONS**  
**LAMBERTS LANE - PHASE 2**  
**TOWN OF CALEDON**

**MODEL** ---  
**SCALE** 3/16" = 1'-0"  
**PROJ. No.** 18-18 **DWG. No.** 4A

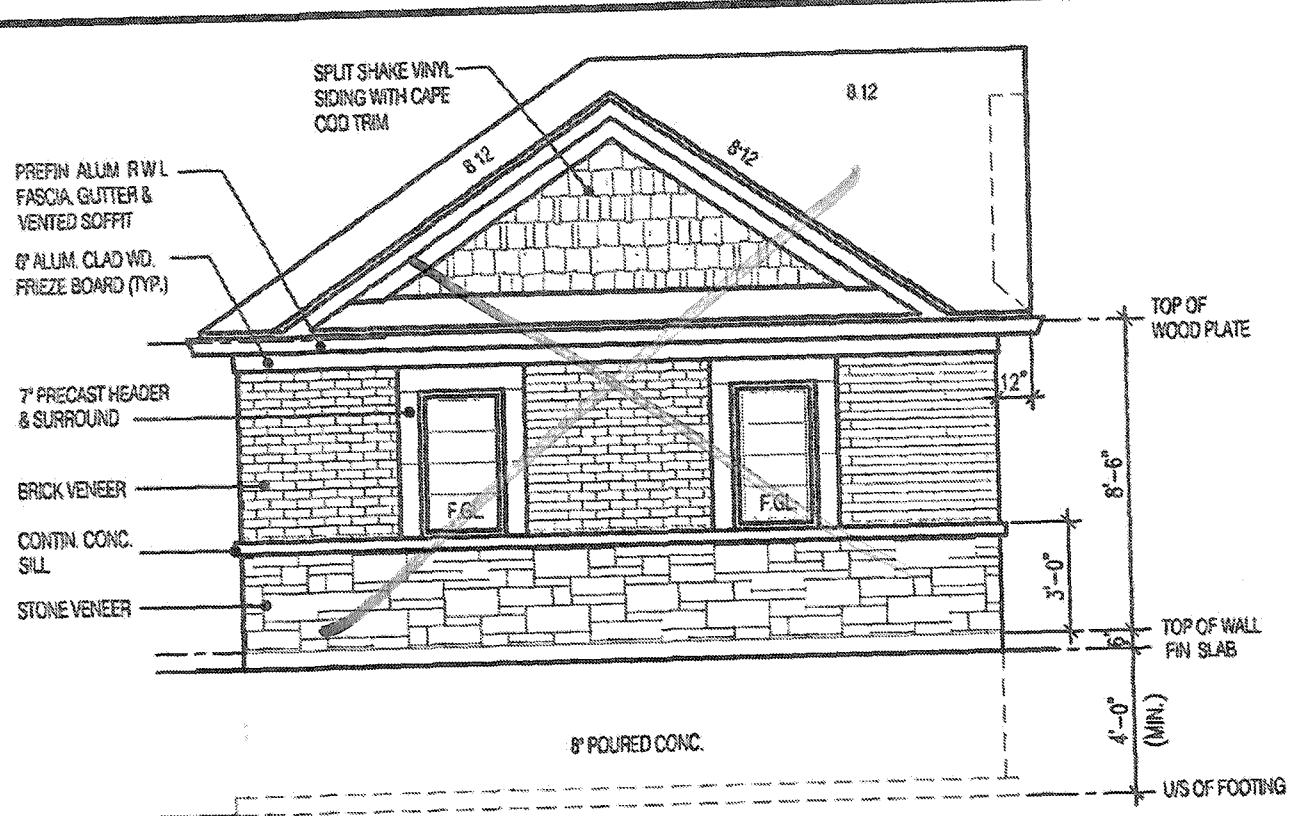
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**JOHN G. WILLIAMS LTD., ARCHITECT**  
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
 APPROVED BY: [Signature]  
 DATE: MAY 29, 2019  
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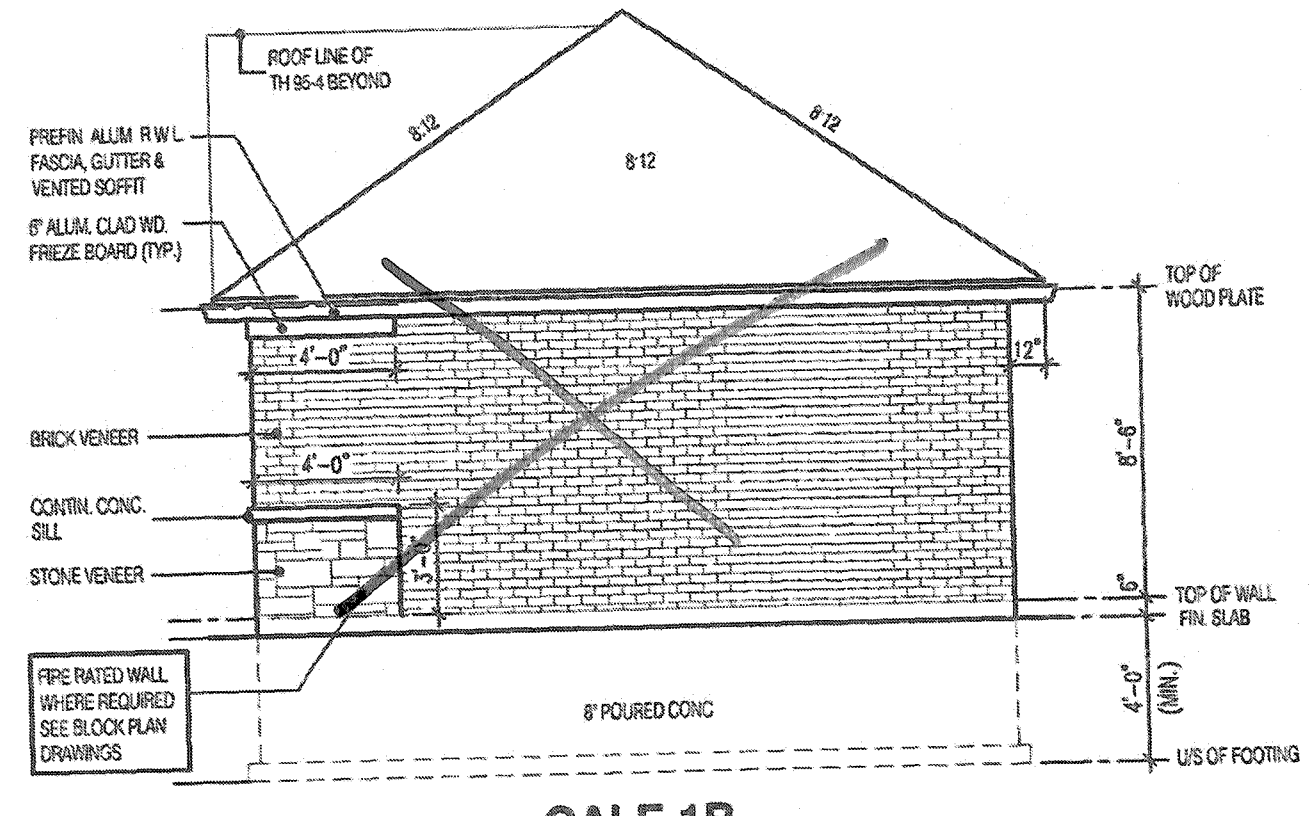
**RECEIVED**  
 AUG 15 2019  
 TOWN OF CALEDON  
 BUILDING SECTION  
 FILE NO.

**FEB 06 2019**

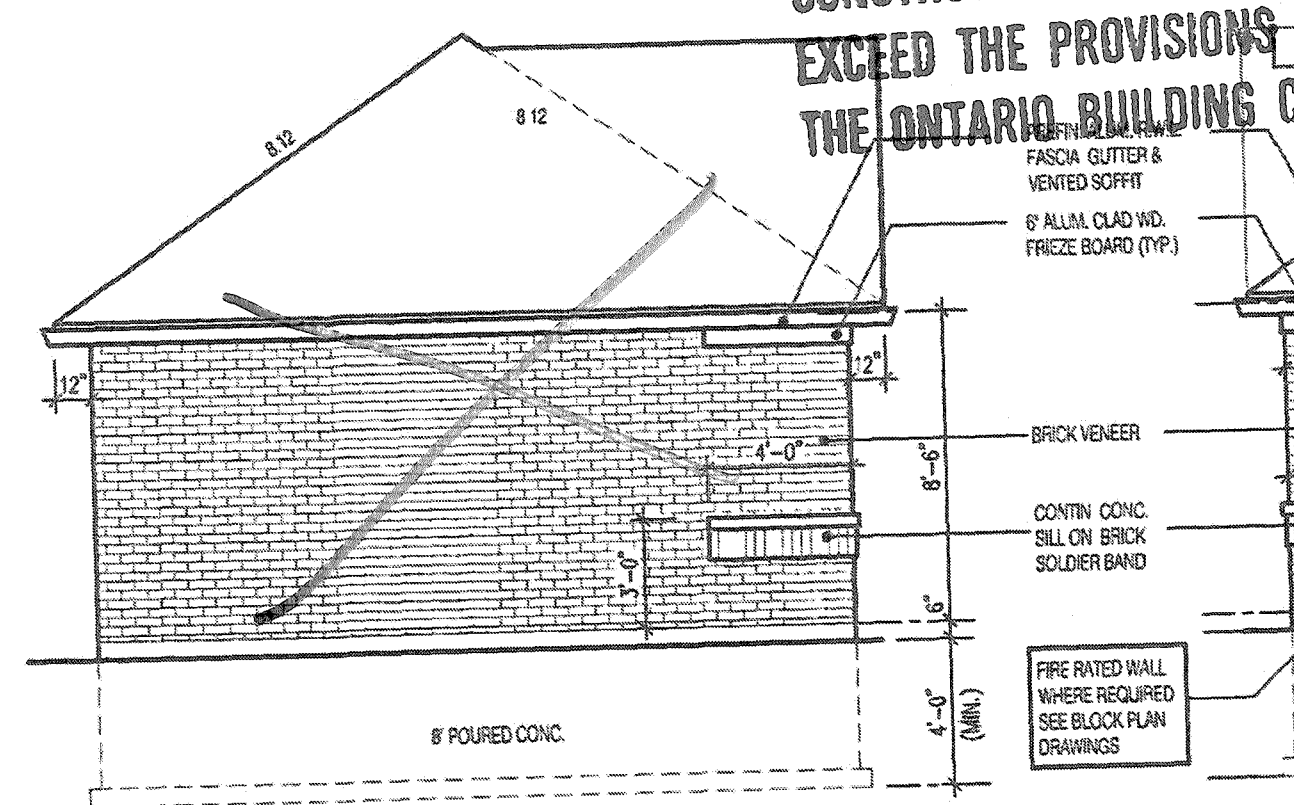


**GALE 1B**  
**SIDE ELEV. - 4**  
**TH 95-4**

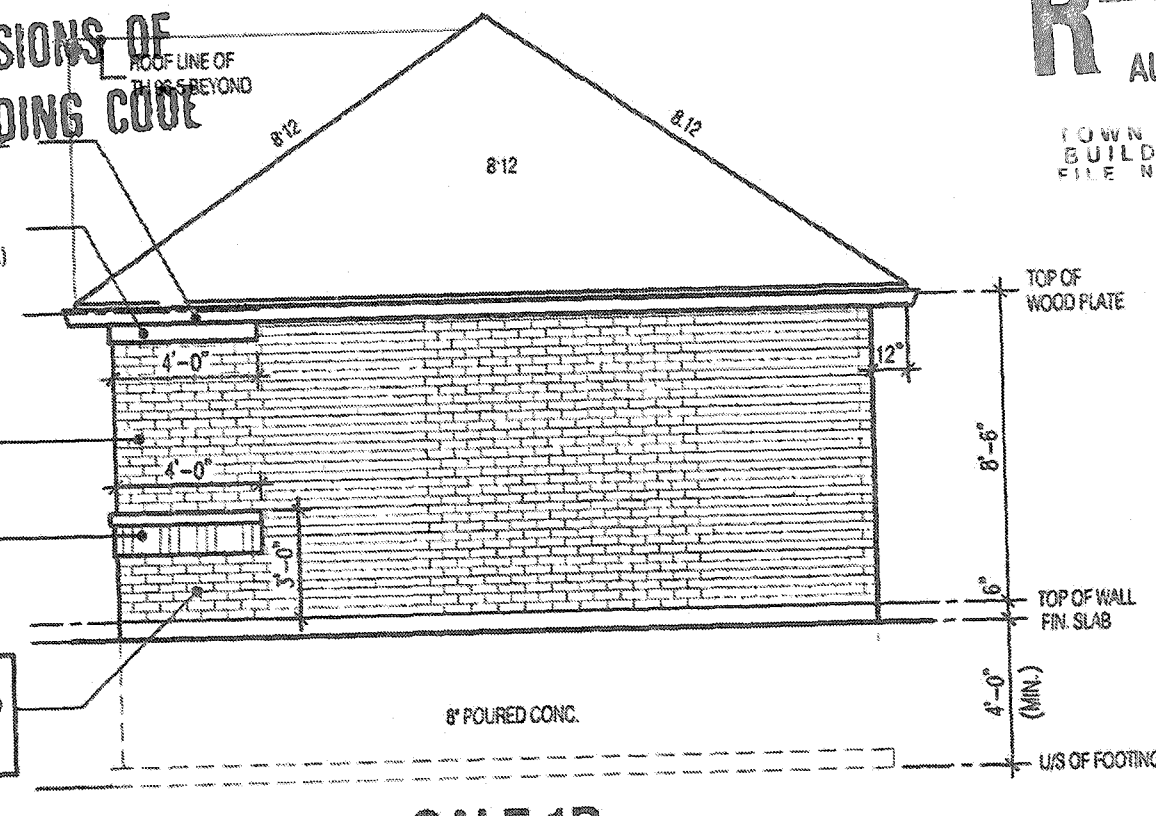
**THIS STRUCTURE MUST BE CONSTRUCTED TO MEET OR EXCEED THE PROVISIONS OF THE ONTARIO BUILDING CODE**



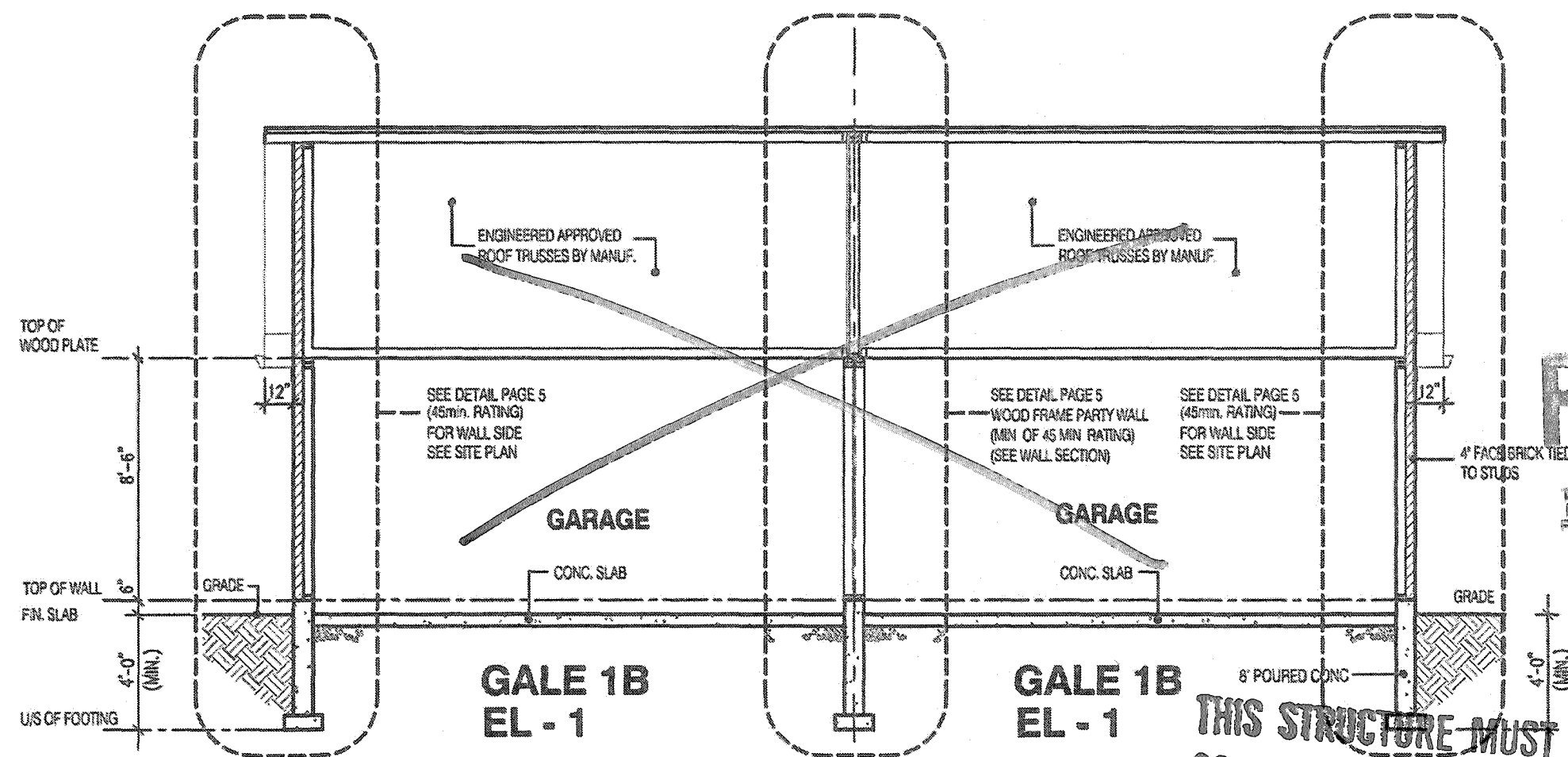
**GALE 1B**  
**SIDE ELEV. - 5**  
**TH 95-3**



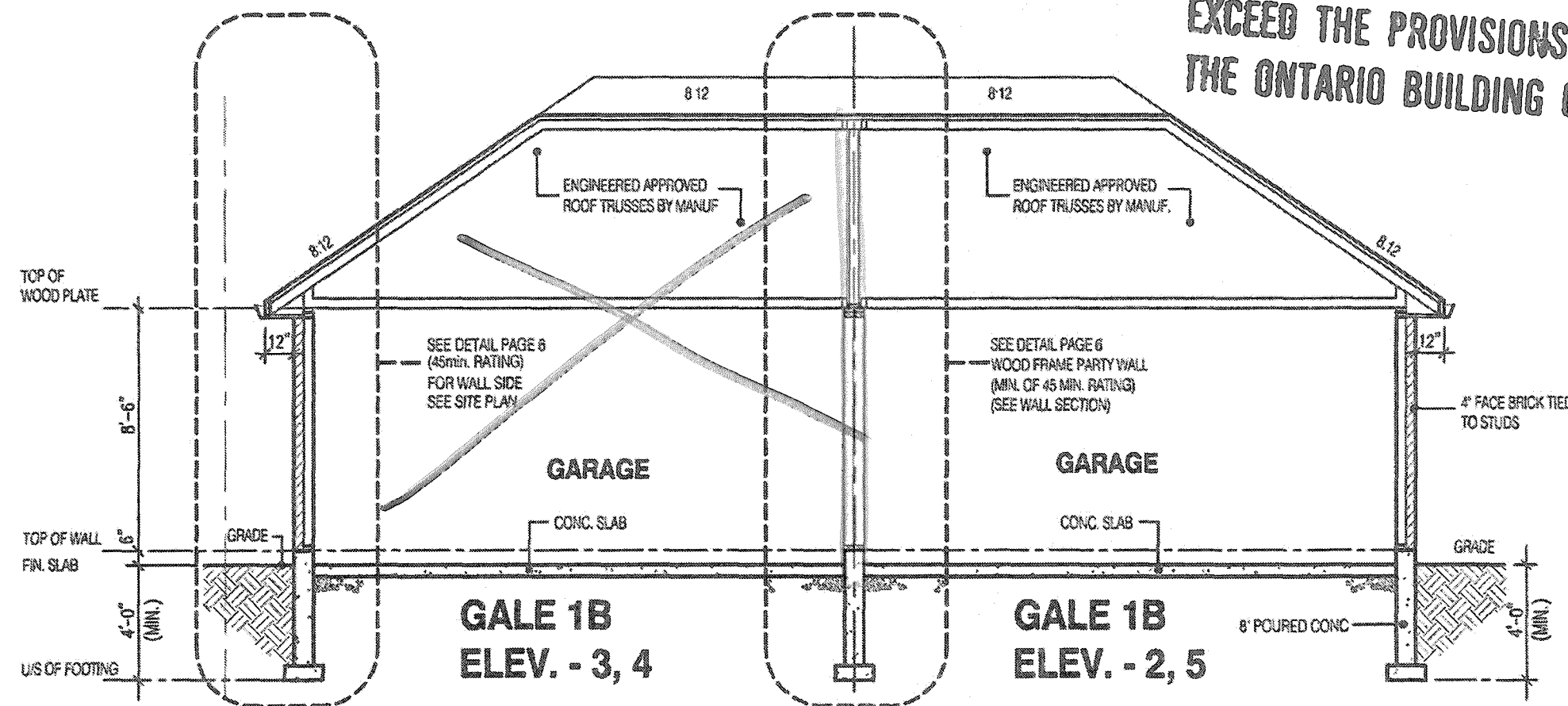
**GALE 1B**  
**SIDE ELEV. - 3**  
**TH 96-5**



**GALE 1B**  
**SIDE ELEV. - 2**  
**TH 96-4**



SECTION A-A



SECTION A-A

O.REG. 332/12

**GARAGE**  
**GALE 1B**  
**BLOCK 95**  
**BLOCK 96**  
**ELEVATION 1**

**RECEIVED**  
AUG 15 2019  
TOWN OF CALEDON  
BUILDING SECTION  
FILE NO.

**THIS STRUCTURE MUST BE  
CONSTRUCTED TO MEET OR  
EXCEED THE PROVISIONS OF  
THE ONTARIO BUILDING CODE**

STRUDET INC.



FOR STRUCTURE ONLY

FEB 06 2019

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.  
AS CONSTRUCTED DIMENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
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| 2   |               |                            |
| 1   | DEC. 13, 2018 | ISSUED FOR BUILDING PERMIT |
| No. | DATE:         | WORK DESCRIPTION:          |

**jardin**  
**DESIGN GROUP INC**  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 1.2.4 of the building code.

Jardin design group inc. 27763  
FIRM NAME BCIN

**SECTION**  
**LAMBERTS LANE - PHASE 2**  
**TOWN OF CALEDON**

**BILD**  
MODEL ---  
SCALE 3/16" = 1'-0"  
PROJ. No. 18-18 DWG No. 5

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#### ROOF CONSTRUCTION

210 LB. (10.25kg/m<sup>2</sup>) ASPHALT SHINGLES, 3/8" (9.5 mm)  
PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD  
TRUSSES @ 24" (600 mm) o.c. MAX., 2"x4" (38x89 mm) TRUSS  
BRACING @ 6'-0" (1830 mm) o.c. AT BOTTOM CHORD, PREFIN.  
ALUM. FASCIA, VENTED SOFFIT, EAVESTROUGH, & RWL.

#### BRICK VENEER EXTERIOR WALL CONSTRUCTION (2"x4")

(45min. RATING)  
4" (90MM) FACE BRICK, 7/8"x7"x0.03" (22 X 180 X 0.76 mm)  
GALV. METAL TIES @ 16" (400 mm) o.c. HORIZONTAL 24" (600  
mm) o.c. VERTICAL, 1" (25 mm) AIR SPACE, APPROVED  
SHEATHING PAPER ON 3/8" (9.5 mm) EXT. GRADE SHEATHING  
ON 2"x4" (38 X 89 mm) STUDS @ 16" (400 mm) o.c.  
(MAX. HGT. - 9'-10" (3000 mm)) WITH APPROVED DIAGONAL  
WALL BRACING, 1/2" (13 mm) TYPE "X" GYPSUM BOARD. ALL  
JOINTS TO BE TAPED AND SEALED. ALL EDGES TO BE  
SUPPORTED. FASTENER TYPES AND SPACING SHALL  
CONFORM TO CSA-A82.31-M.  
PROVIDE WEEP HOLES @ 32" (800 mm) o.c. BOTTOM COURSE  
AND OVER ALL OPENINGS. PROVIDE BASE WALL FLASHING  
UP MIN. 6" (150 mm) BEHIND BUILDING PAPER.

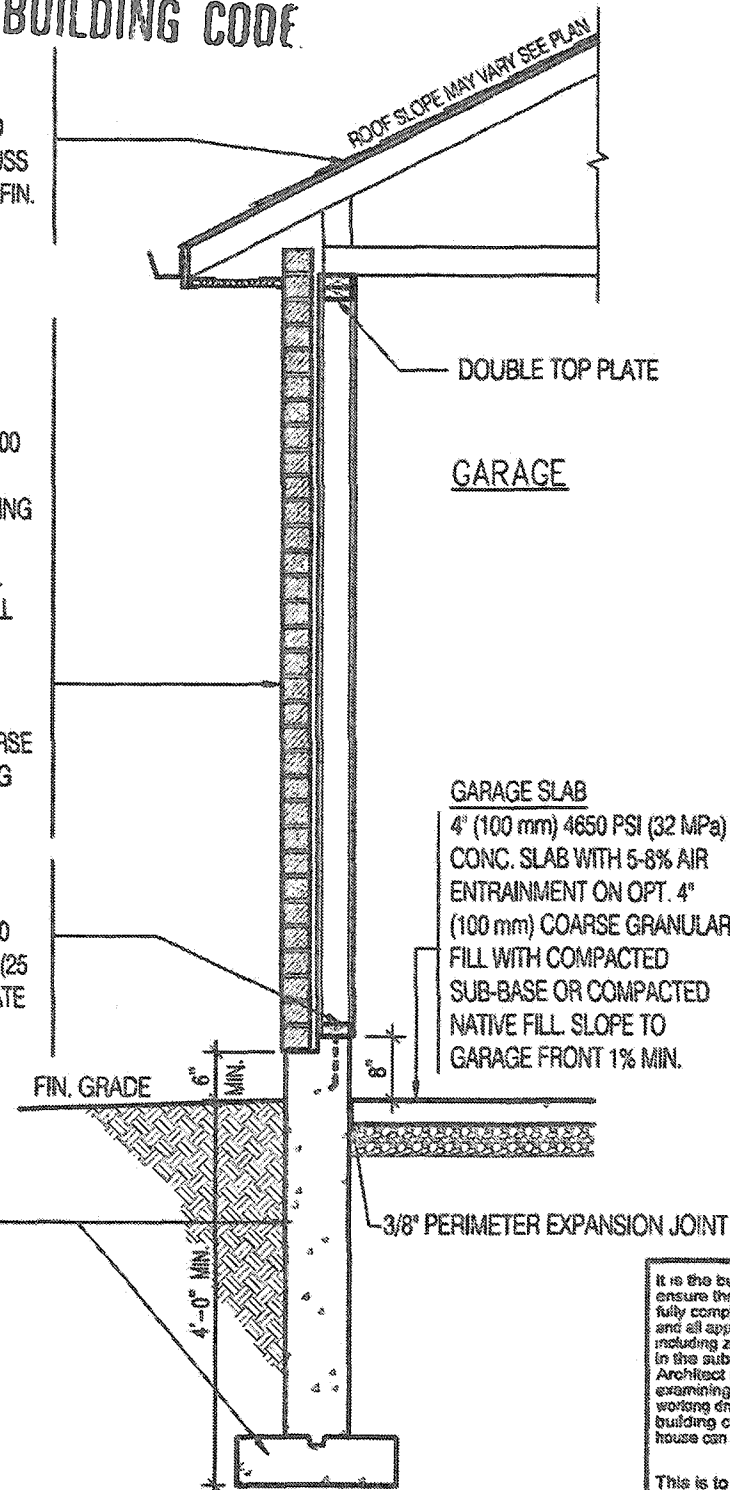
#### SILL PLATE

2" X 4" (38 mm X 89 mm) SILL PLATE WITH 1/2" (13 mm) DIA.  
ANCHOR BOLTS 8" (200 mm) LONG, EMBEDDED MIN. 4" (100  
mm) INTO CONC. @ 7'-10" (2400 mm) o.c. CAULKING OR 1" (25  
mm) MIN. MINERAL WOOL OR POLY GASKET BETWEEN PLATE  
AND TOP OF FNDTN. WALL. USE MORTAR TO LEVEL SILL  
PLATE WHEN REQUIRED.

#### FOUNDATION WALL/ FOOTING: OBC 9.15.3 & 9.15.4

8" (200 mm) POURED CONC. FNDTN. WALL 2200 PSI  
(15 MPa). FOR STRIP FOOTING SIZES, SEE CHART  
ON BASEMENT PLAN PAGE OF BLOCK PLAN  
DRAWINGS.

### EXTERIOR WALL SECTION (45min. RATING)



#### PARTY WALL CONSTRUCTION (2"x4") (45min. RATING)

OBC WALL TYPE W131  
TWO ROWS 2"x4" (38mmX89mm) WOOD STUDS EACH  
SPACED 16" O.C. ON SEPERATE 2"x4" (38mmX89mm)  
SILL PLATES SET 1" APART.  
1/2" TYPE "X" GYPSUM BOARD ON EACH SIDE.  
ALL JOINTS TO BE TAPED AND SEALED. ALL EDGES  
TO BE SUPPORTED. FASTENER TYPES AND SPACING  
SHALL CONFORM TO CSA-A82.31-M.

#### SILL PLATE

SEPERATE 2" X 4" (38 mm X 89 mm) SET APART 1" SILL PLATE  
WITH 1/2" (13 mm) DIA. ANCHOR BOLTS 8" (200 mm) LONG,  
EMBEDDED MIN. 4" (100 mm) INTO CONC. @ 7'-10" (2400 mm)  
o.c. CAULKING OR 1" (25 mm) MIN. MINERAL WOOL OR POLY  
GASKET BETWEEN PLATE AND TOP OF FNDTN. WALL. USE  
MORTAR TO LEVEL SILL PLATE WHEN REQUIRED.

#### GARAGE SLAB

4" (100 mm) 4650 PSI (32 MPa) CONC. SLAB WITH 5-8% AIR  
ENTRAINMENT ON OPT. 4" (100 mm) COARSE GRANULAR  
FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE  
FILL. SLOPE TO GARAGE FRONT 1% MIN.

#### 3/8" PERIMETER EXPANSION JOINT

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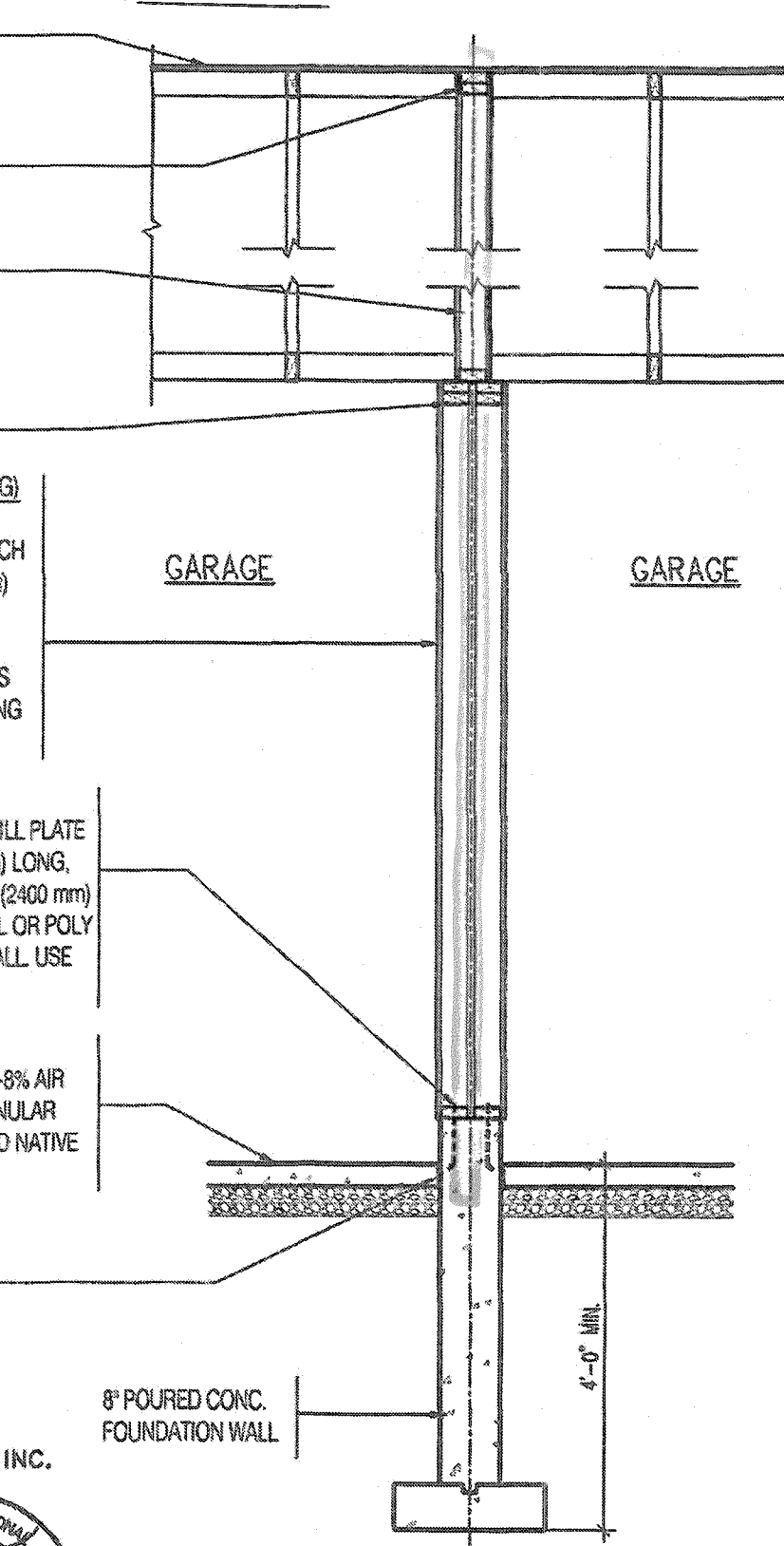
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CALEDON.

STRUDET INC.



FOR STRUCTURE ONLY

TOWN OF CALEDON  
BUILDING SECTION  
FILE NO.



### PARTY WALL SECTION

FEB 06 2019

O.REG. 332/12

**GARAGE**

**GALE 1B**

**BLOCK 95**

**BLOCK 96**

**ELEVATION 2,3,4 & 5**

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NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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3.2.4 of the building code

Jardin design group inc. 27763  
FIRM NAME BCIN

**WALL SECTION**

LAMBERTS LANE - PHASE 2  
TOWN OF CALEDON

|           |        |
|-----------|--------|
| MODEL     | ---    |
| SCALE     | N.T.S. |
| PROJ. No. | 18-18  |
| DWG. No.  | 6A     |

