

HURONTARIO STREET (HIGHWAY 10)

DOUGALL AVENUE

--- STORM CONNECTION

--- SANITARY CONNECTION

W- WATER CONNECTION

H- HYDRO CONNECTION

□ DOUBLE CATCH BASIN

□ CATCH BASIN

⊕ HYDRANT

⊕ VALVE AND CHAMBER

△ ENTRANCE DOOR LOCATION

▲ GARAGE DOOR LOCATION

⊛ ENGINEERED FILL LOT

● SANITARY MANHOLE

○ STORM MANHOLE

MAIL COMMUNITY MAILBOX

○ DOWNSPOUT LOCATION

→ SWALE DIRECTION

● STREET LIGHT

▲ TRANSFORMER

⊞ CABLE TV PEDESTAL

■ BELL PEDESTAL

FG BELL/ROG. FLUSH TO GRADE

H HYDRO METER

⊕ GAS METER

⊞ AIR-CONDITIONING UNIT

SP SUMP PUMP

F.F.L.R. FINISHED FLOOR ELEVATION

T/WALL TOP OF FOUNDATION WALL

F.SLAB FIN. BASEMENT FLOOR SLAB

U/FTG. UNDERSIDE FOOTING ELEVATION

100.00 PROPOSED 3:1 SLOPE

SW 100.00 PROPOSED GRADE

100.00 PROPOSED SWALE GRADE

NORTH

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code matters or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW

2019.06.25 APPROVAL

APPROVED

DATE: JUN 25, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

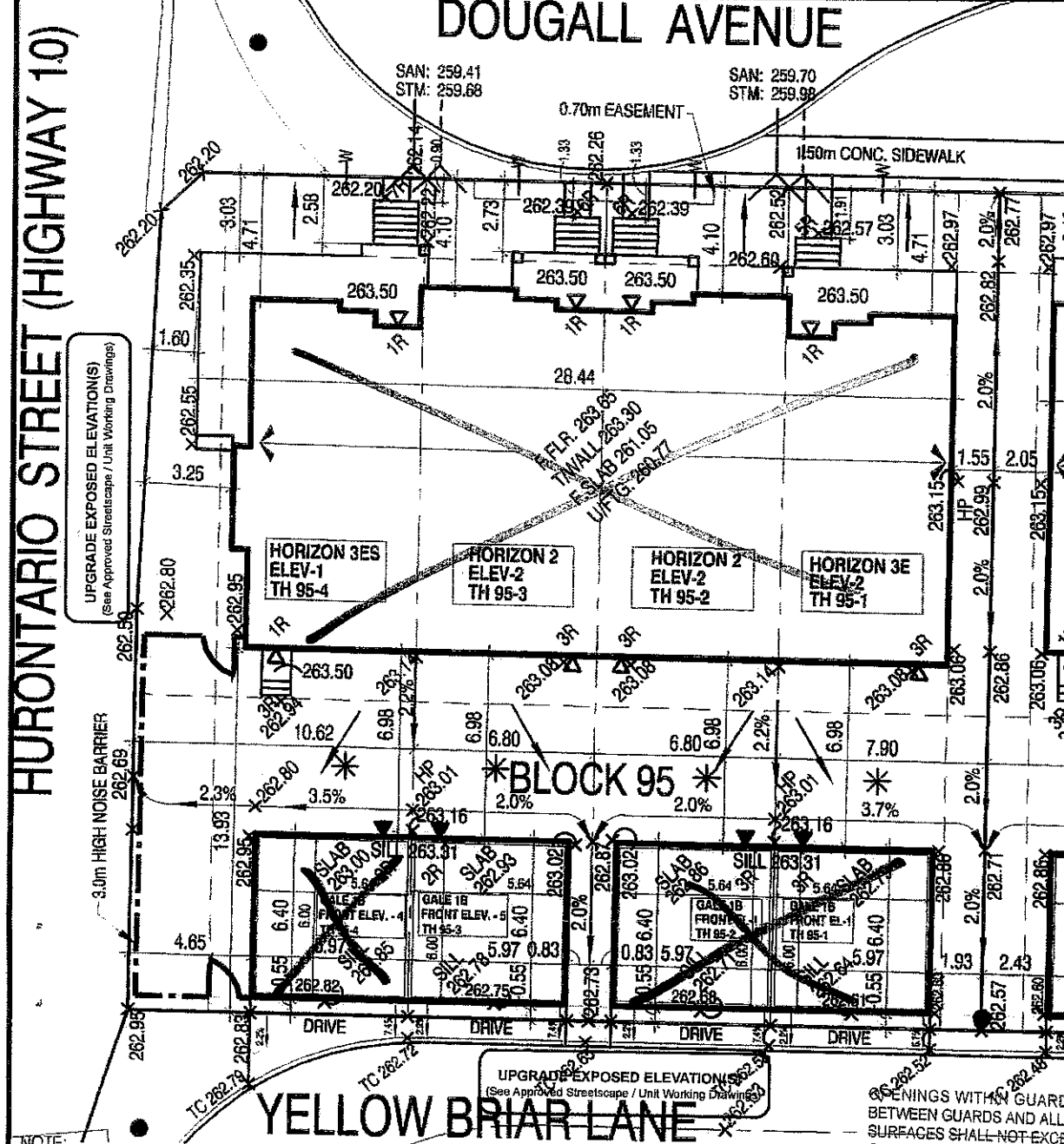
APPROVED

For construction as per the Ontario Building Code

Town of Caledon Building Department

Initial J.S. SAEEL

Date June 29/19



NOTE: ACOUSTIC FENCE/SWALE INTERFACE TO BE REVIEWED BY THE ACOUSTIC ENGINEER. SWALE CANNOT BE DRAINED TO HWY 10.

NOTE: THE AS-CONSTRUCTED STORM AND SANITARY CONNECTION INVERTS HAVE BEEN PROVIDED BY CON-DRAIN GROUP

NOTE: ANY ENGINEERED FILL LOTS NOTED ARE ESTIMATED AND FOR REFERENCE ONLY AND THE ENGINEERED FILL CERTIFICATE PROVIDED BY THE PROJECT GEOTECHNICAL CONSULTANT WILL GOVERN

NOTE: IT IS THE BUILDER'S RESPONSIBILITY TO CONFIRM IN THE FIELD THAT ALL SANITARY AND STORM LATERALS ELEVATIONS ARE ACCEPTABLE PRIOR TO POURING FOOTINGS

UPGRADE EXPOSED ELEVATIONS (See Approved Streetscape / Unit Working Drawings)

OPENINGS WITHIN GUARDS AND SPACES BETWEEN GUARDS AND ALL FINISHED SURFACES SHALL NOT EXCEED 100 MM. GUARDS SHALL BE DESIGNED TO NOT FACILITATE CLIMBING

DSEL

David Schaeffer Engineering Ltd.

LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS. THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS OF THE BUILDING DIMENSIONS AND/OR CONFORMITY TO ANY APPLICABLE ZONING BY-LAWS.

Registered Plan No. 43M-2071

Lot No(s) Block 95

Date JUNE / 20 / 2019

9	JUNE 24, 2019	REMOVED TO/BC ELEVATIONS & RE-ISSUED FOR PERMIT
8	JUNE 20, 2019	ADJUSTED DRIVEWAY SLOPES & RE-ISSUED FOR PERMIT
7	JUNE 12, 2019	REV. AS PER ENGINEER'S COMMENTS & RE-ISSUED FOR PERMIT
6	MAY 29, 2019	ISSUED FOR PERMIT
5	APR. 16, 2019	ISSUED TO CLIENT FOR REVIEW.
4	MAR. 28, 2019	ISSUED TO CLIENT FOR REVIEW.
3	MAR. 27, 2019	ISSUED TO CLIENT FOR REVIEW.
2	DEC. 16, 2018	UPDATED & ISSUED FOR REVIEW
1	DEC. 3, 2018	ISSUED FOR ENGINEERS GRADING REVIEW.

Greenpark

SCALE 1:250

5m 0m 5m 10m

LAMBERTS LANE HOME CORP. PH-2

PROJ. No. 18-18

MUNICIPAL ADDRESS

LOT No. BLK. 95

BILD

Waller Butler

NAME

21031

BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code:

jardin design group inc. 27763

FIRM NAME

BCIN

jardin

DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.co

REG. PLAN

PLAN OF SUBDIVISION OF PART OF LOTS 21 AND 22 CONCESSION 1 EAST OF HURONTARIO STREET REGIONAL MUNICIPALITY OF PEEB (GEOGRAPHIC TOWNSHIP OF CHESLEY) TOWN OF CALEDON REGISTERED PLAN 43M-

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON-SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS FOR CONSTRUCTION WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.