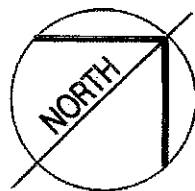


HURONTARIO STREET (HIGHWAY 10)

- STORM CONNECTION
--- SANITARY CONNECTION
--- WATER CONNECTION
--- HYDRO CONNECTION
--- DOUBLE CATCH BASIN
--- CATCH BASIN
--- HYDRANT
--- VALVE AND CHAMBER
- △ ENTRANCE DOOR LOCATION
▲ GARAGE DOOR LOCATION
● ENGINEERED FILL LOT
● SANITARY MANHOLE
○ STORM MANHOLE
MAIL COMMUNITY MAILBOX
○ DOWNSPOUT LOCATION
--- SWALE DIRECTION
- STREET LIGHT
▲ TRANSFORMER
□ CABLE TV PEDESTAL
■ BELL PEDESTAL
FG BELL/ROG. FLUSH TO GRADE
H HYDRO METER
G GAS METER
X AIR-CONDITIONING UNIT
- SP SUMP PUMP
F.FLR. FIN. FLOOR ELEVATION
T.WALL TOP OF FOUNDATION WALL
F.SLAB FIN. BASEMENT FLOOR SLAB
UFTG. UNDERSIDE FOOTING ELEVATION
100.00 PROPOSED 3:1 SLOPE
SW PROPOSED GRADE
X100.00 PROPOSED SWALE GRADE



DOUGALL AVENUE

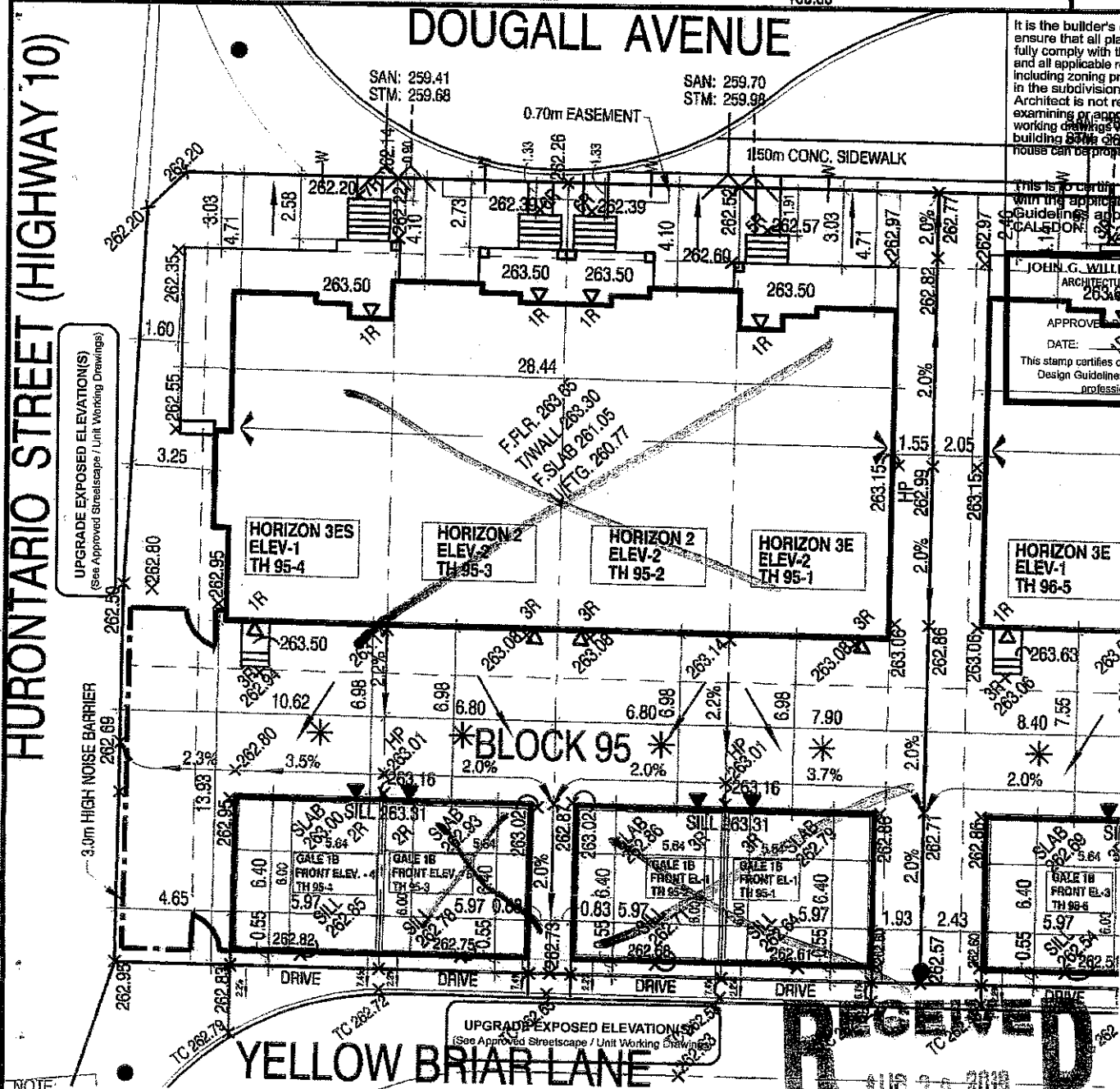
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Caledon.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
2019 APPROVAL

APPROVED: [Signature]
DATE: JUN 25, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



NOTE: ACOUSTIC FENCE/SWALE INTERFACE TO BE REVIEWED BY THE ACOUSTIC ENGINEER. SWALE CANNOT BE DRAINED TO HWY 10.

NOTE: THE AS-CONSTRUCTED STORM AND SANITARY CONNECTION INVERTS HAVE BEEN PROVIDED BY CON-DRAIN GROUP INC. FOR CONSTRUCTION OF THE PROJECT.

NOTE: ANY ENGINEERED FILL LOTS NOTED ARE ESTIMATED AND FOR REFERENCE ONLY. THE ENGINEERED FILL CERTIFICATE PROVIDED BY THE PROJECT GEOTECHNICAL CONSULTANT WILL GOVERN.

NOTE: IT IS THE BUILDER'S RESPONSIBILITY TO CONFIRM IN THE FIELD THAT ALL SANITARY AND STORM LATERALS ELEVATIONS ARE ACCEPTABLE PRIOR TO POURING FOOTINGS.

DSEL
david schaeffer engineering ltd.

LOT GRADING REVIEW

WE CERTIFY THAT THE PROPOSED GRADES AT THE LOT CORNERS ARE CORRECT, AND THAT THE LOT GRADING OF THE SUBJECT LOT IS IN CONFORMITY TO THE APPROVED SUBDIVISION GRADING PLANS AND TOWN STANDARDS. THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS OF THE BUILDING DIMENSIONS AND/OR CONFORMITY TO ANY APPLICABLE ZONING BY-LAWS.

Registered Plan No. 43M-2071

Lot No(s) Block 95

Date: JUNE / 20 / 2019

REVISIONS:	DATE	DESCRIPTION
1	DEC. 3, 2018	ISSUED FOR ENGINEERS GRADING REVIEW.
2	DEC. 16, 2018	UPDATED & ISSUED FOR REVIEW
3	MAR. 27, 2019	ISSUED TO CLIENT FOR REVIEW.
4	MAR. 28, 2019	ISSUED TO CLIENT FOR REVIEW.
5	APR. 16, 2019	ISSUED TO CLIENT FOR REVIEW.
6	MAY 29, 2019	ISSUED FOR PERMIT
7	JUNE 12, 2019	REV. AS PER ENGINEER'S COMMENTS & RE-ISSUED FOR PERMIT
8	JUNE 20, 2019	ADJUSTED DRIVEWAY SLOPES & RE-ISSUED FOR PERMIT

Greenpark

SCALE 1:250

5m 0m 5m 10m

LAMBERTS LANE HOME CORP. PH-2

PROJ. No. 18-18 MUNICIPAL ADDRESS

LOT No. BLK. 95

REG. PLAN

PLAN OF SUBDIVISION OF PART OF LOTS 21 AND 22 CONCESSION 1 EAST OF HURONTARIO STREET REGIONAL MUNICIPALITY OF YEELE, AGOAGWIK TOWNSHIP OF CHINGWAGWAG TOWN OF CALEDON REGISTERED PLAN 43M-

BILD

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRIKING OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING INFORMATION BEFORE PROCEEDING WITH WORK.

Walter Botter
NAME
SIGNATURE

27031 BCIN

Jardin design group inc. 27763 BCIN

FIRM NAME

jardin
DESIGN GROUP INC.

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EMAIL: info@jardindesign.ca

APPLICANT COPY

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AUG 23 2019