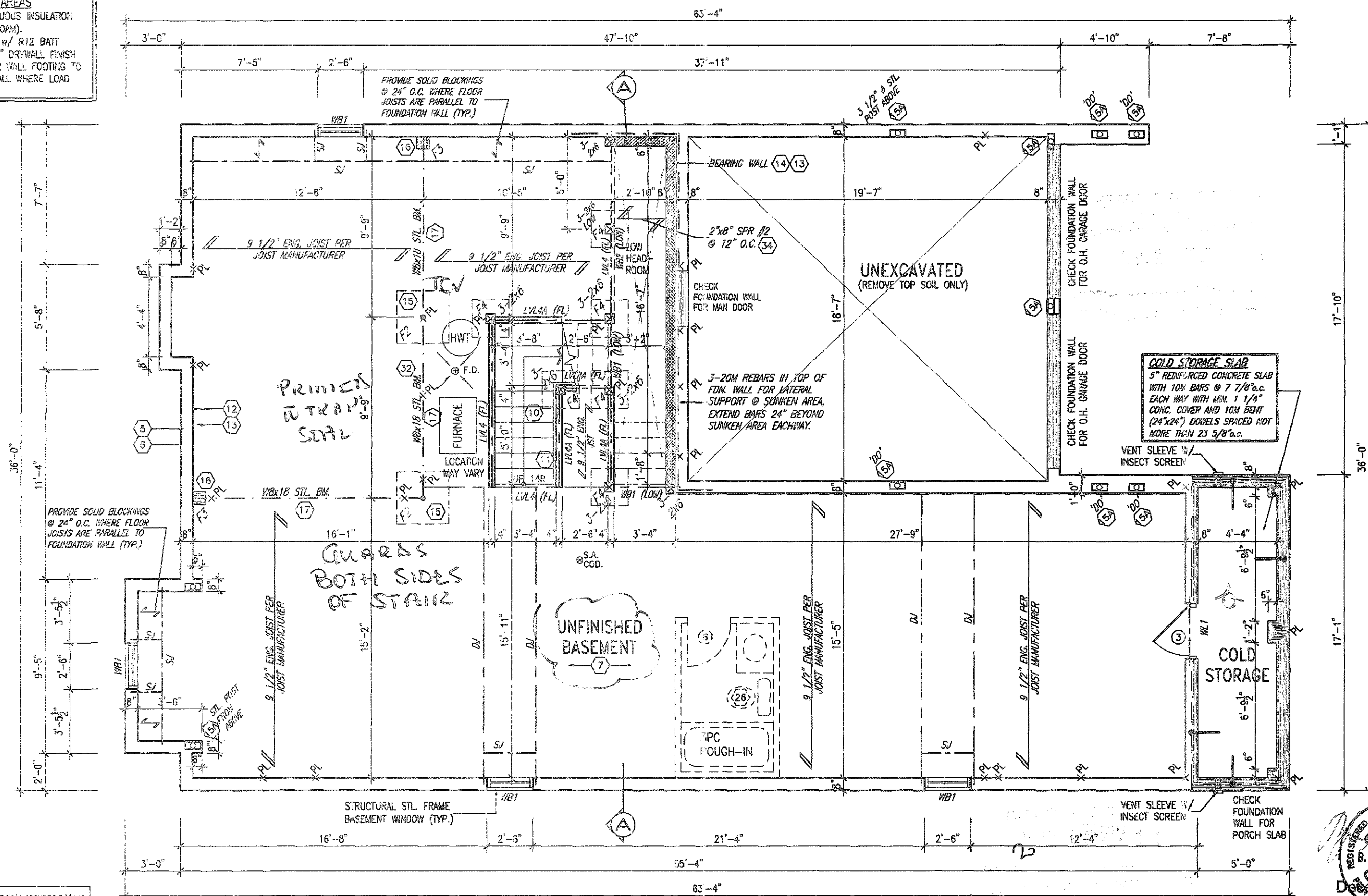




BASEMENT WALL INSULATION  
(TYP) (13)  
-3" (R20) CONTINUOUS BLANKET  
INSULATION. INSULATION  
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT  
STAIR/SUNKEN AREAS  
-2" (R10) CONTINUOUS INSULATION  
(RIGD OR SPRAY FOAM).  
-2"x4" @ 16"o.c. w/ R12 BATT  
INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO  
SUPPORT 2"x4" WALL WHERE LOAD  
BEARING.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site planning, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly called or located on site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

SECRET

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED  
DATE 08-19-2006 BY 60322 UCBAW/SJS

1

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
December 9, 2022

STRUDET INC.  
FOR STRUCTURE ONLY

STREET NO.  
FOR STRUCTURE ONLY

6

COMPLIANCE PACKAGE 'A1'

|    |             |   |                                                    |
|----|-------------|---|----------------------------------------------------|
| 18 |             | 9 |                                                    |
| 17 |             | 8 |                                                    |
| 16 |             | 7 |                                                    |
| 15 |             | 6 |                                                    |
| 14 |             | 5 | PEAR BOX BAY REVISED PER CLIENT DEC. 11/2010       |
| 13 |             | 4 | STAIRWAY WIDTH CORRECTED. AUG. 05/2010             |
| 12 |             | 3 | ISSUED FOR PERMIT. APR. 13/2010                    |
| 11 |             | 2 | UPDATED PER ENG & CLIENT COMMENTS MAR. 24/2010     |
| 10 |             | 1 | PRELIMINARY, ISSUED FOR CLIENT REVIEW MAR. 26/2010 |
| 9  | Preparation |   | Preparation                                        |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <p>The undersigned has reviewed and takes responsibility for this design and has the architect and seals the requirements set out in the Ontario Building Code to be a Designer.</p> <p>Registration Information</p> <p>Richard Vink <i>R. Vink</i> 2448</p> <p>name signature BC</p> <p>Registration Information</p> <p>W3 Design Inc. 4255</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.</p> |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|

**VA3  
DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.478  
va3design.com

|                                                                                                        |  |                                           |  |
|--------------------------------------------------------------------------------------------------------|--|-------------------------------------------|--|
|  <b>Greenpark</b> |  | <b>MOUNTAINASH</b><br>13.5m               |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                           |  | municipality<br><b>HAMILTON, ONTARIO</b>  |  |
| date<br><b>JAN. 2020</b>                                                                               |  | drawing no.<br><b>1901</b>                |  |
| drawn by<br><b>BD.BIN</b>                                                                              |  | sheet<br><b>BASEMENT PLAN - ELEV. '1'</b> |  |
| scaled by<br><b>3/16" = 1'-0"</b>                                                                      |  | file name<br><b>19314-MOUNTAINASH-08</b>  |  |

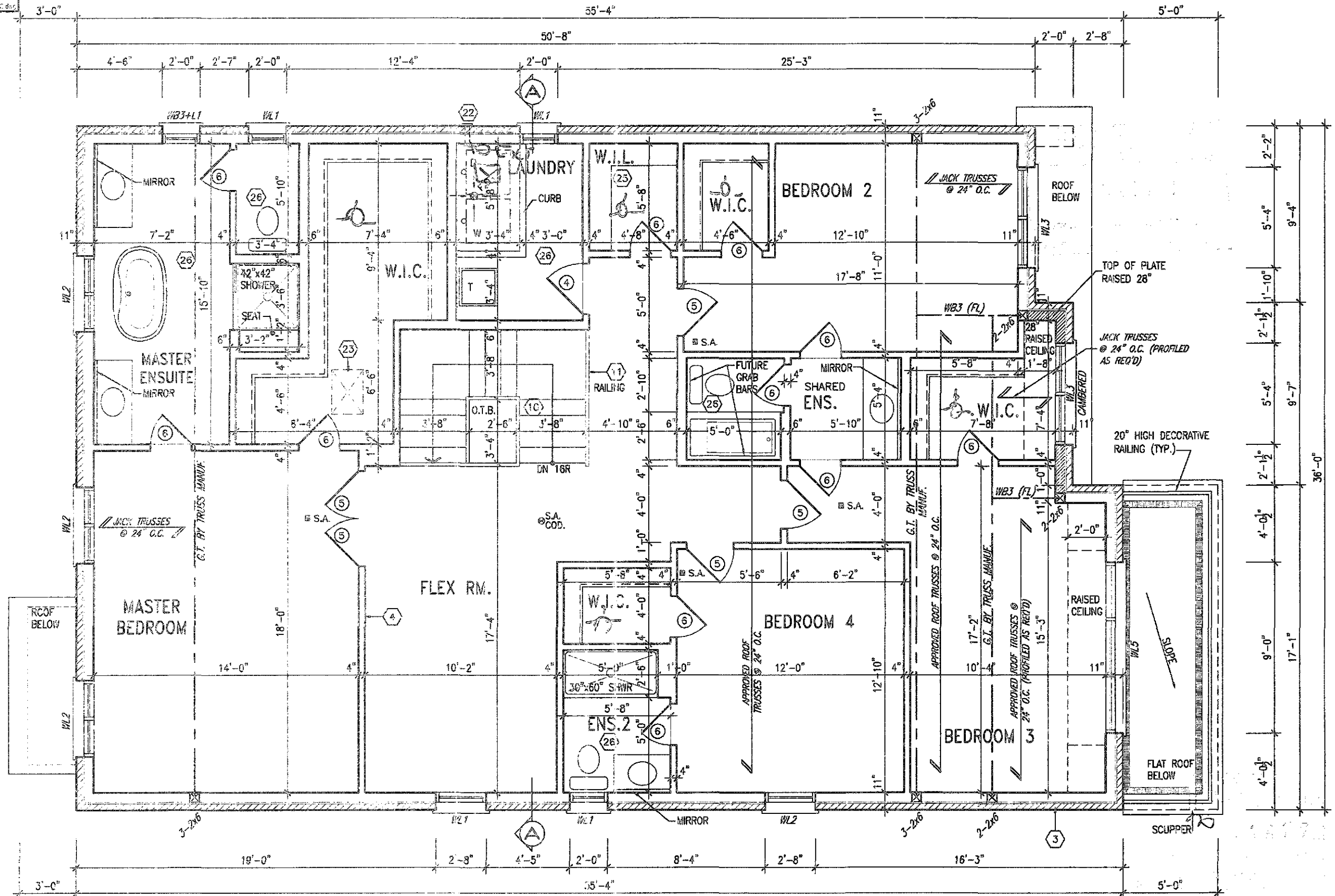
03 documents nonclassifications related documents and denies any the secret right concept of MAX DESPPH. Confidentiality of this property is clear as in red to clearly marked without MAX DESPPH's written permission.



3409 SF.

**GRAB BAR NOTE:**

**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHUB IN MAIN BATHROOM PER OBC DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.2.3.6.(7)(a) & 3.2.3.8.(3)(g). SHOWER: 3.2.3.13.(2)(g). BATHUB: 3.2.3.13.(4)(a). FREE STANDING BATHUB EXCLUDED. SEE DETAILS PROVIDED.



STRUDET INC.  
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It is the Engineer's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions to the contrary on agreement. The Engineer/Architect is not responsible in any way for examining or approving site planning plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Signature of B. Marinkovic  
Professional Engineer  
Ontario  
No. 24488

SECOND FLOOR PLAN - ELEV. '1'

|                |      |    |                                          |
|----------------|------|----|------------------------------------------|
| 18             |      | 9  |                                          |
| 17             |      | 8  |                                          |
| 16             |      | 7  |                                          |
| 15             |      | 6  |                                          |
| 14             |      | 5  | 1. REAR BAY REVISED PER CLIENT.          |
| 13             |      | 4  | 2. STAIRWAY WIDTH CORRECTED.             |
| 12             |      | 3  | 3. ISSUED FOR PERMIT.                    |
| 11             |      | 2  | 4. UPDATED PER ENG. & CLIENT COMMENTS.   |
| 10             |      | 1  | 5. PRELIMINARY ISSUED FOR CLIENT REVIEW. |
| no description | date | by | no description                           |

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Richard Vink  
signature  
24488  
BORN  
42658  
VIA Design Inc.  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

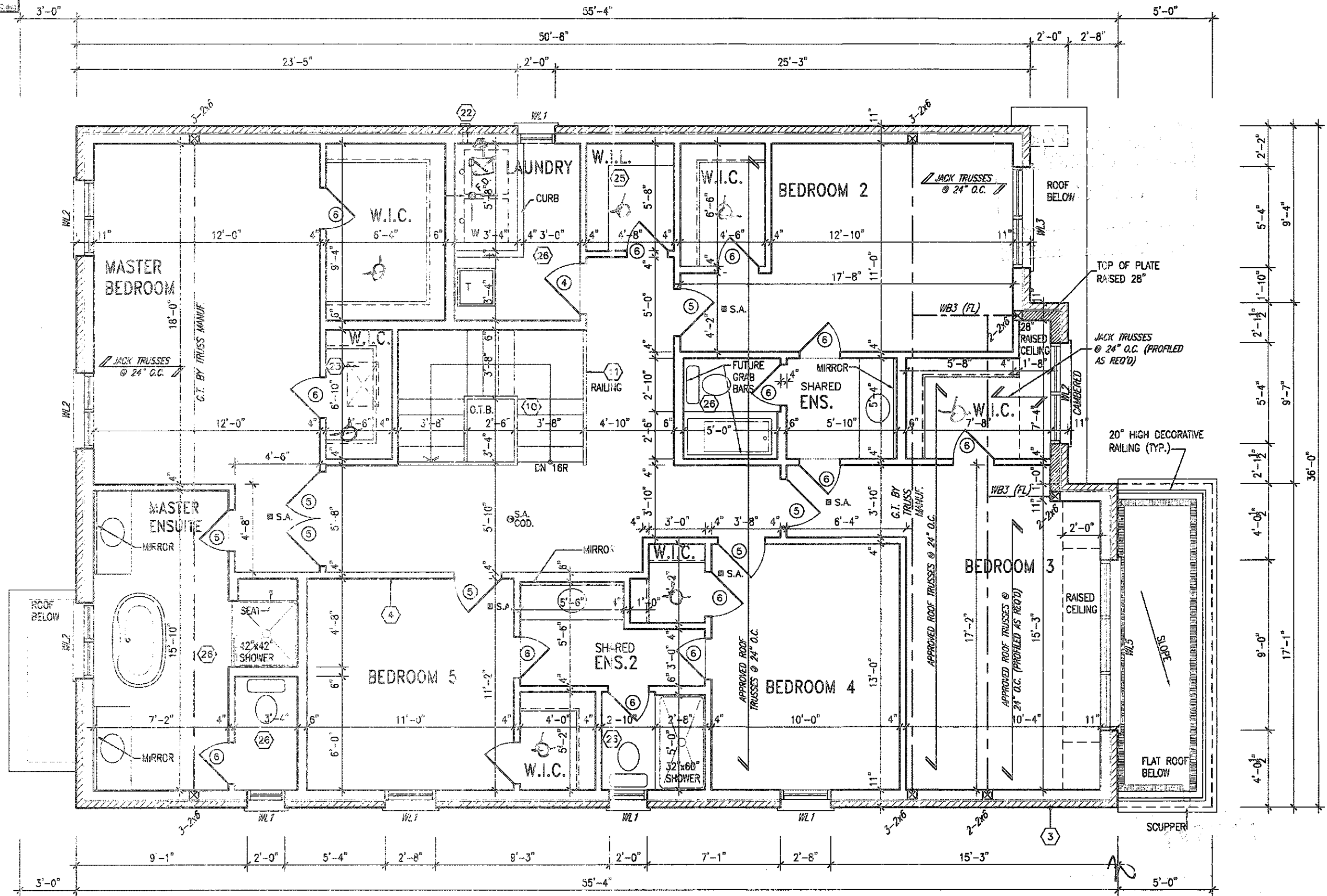
|                                              |                                          |                                    |
|----------------------------------------------|------------------------------------------|------------------------------------|
| project name<br><b>RUSSELL GARDENS PH. 3</b> | municipality<br><b>HAMILTON, ONTARIO</b> | project no.<br><b>19014</b>        |
| date<br><b>JAN 2020</b>                      | drawn by<br><b>BO.BIM</b>                | checked by<br><b>3/16" = 1'-0"</b> |
| SECOND FLOOR PLAN - ELEV. '1'                |                                          | drawing no.<br><b>A3</b>           |
| 19014-MOUNTAINASH-06                         |                                          |                                    |

**MOUNTAINASH 6**  
COMPLIANCE PACKAGE 'A1'

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3409 SF.

**GRAB BAR NOTE:**  
**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FUTURES LISTED: WATER CLOSET: 3.8.3.8.1(3)(a) & 2.8.3.3.1(3)(a) SHOWER: 3.8.3.13.2(2)(a) BATHTUB: 3.8.3.13.4(4)(a) FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.



STRUDET INC.  
FOR STRUCTURE ONLY

OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '1'

*Jan 3/21*  
**MOUNTAINASH 6**  
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (plotting) plans or existing drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

|             |  |      |    |     |                                        |            |    |
|-------------|--|------|----|-----|----------------------------------------|------------|----|
| 18          |  |      |    | 9   |                                        |            |    |
| 17          |  |      |    | 8   |                                        |            |    |
| 16          |  |      |    | 7   |                                        |            |    |
| 15          |  |      |    | 6   |                                        |            |    |
| 14          |  |      |    | 5   | REAR BOX BAY REVISED PER CLIENT.       | DEC. 11/20 | GW |
| 13          |  |      |    | 4   | STAIRWAY WIDTH CORRECTED.              | AUG. 05/20 | GW |
| 12          |  |      |    | 3   | ISSUED FOR PERMIT.                     | APR 15/20  | GW |
| 11          |  |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS      | MAR 24/20  | GW |
| 10          |  |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 20/20 | GW |
| Description |  | date | by | no. | description                            | date       | by |

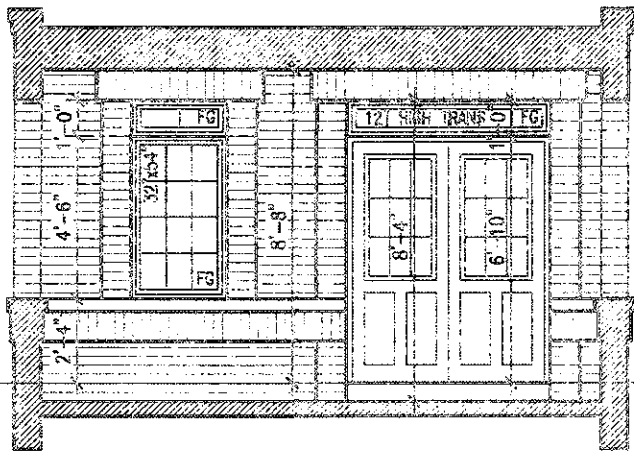
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Richard Vink 24485  
signature  
VA3 Design Inc. 42658  
registration information  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are property of the Designer and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

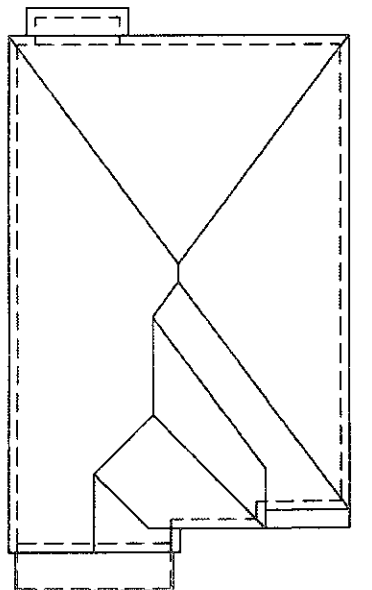
|                                              |                                          |
|----------------------------------------------|------------------------------------------|
|                                              | <b>MOUNTAINASH 6</b><br>13.5m            |
| project name<br><b>RUSSELL GARDENS PH. 3</b> | municipality<br><b>HAMILTON, ONTARIO</b> |
| date<br><b>JAN 2020</b>                      | checked by<br><b>BD.BM</b>               |
| code<br><b>3/16" = 1'-0"</b>                 | scale                                    |
| drawing no.<br><b>A4</b>                     |                                          |

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3409 SF.



PORTICO INTERIOR  
ELEVATION P1



ROOF PLAN-1

ASPHALT SHINGLES (TYP.)

BRICK DECORATIVE  
ELEMENT (6x4"x10")

12" RAISED CEILING

BRICK SOLDIER ON  
BRICK STACK (TYP.)

CONTIN. PRECAST CONC.  
SILL OVER BRICK  
SOLDIER BAND (TYP.)

FACE BRICK (TYP.)

PRECAST SILL ON  
BRICK ROWLOCK (TYP.)

20" HIGH DECORATIVE  
RAILING (TYP.)

PREFIN. METAL  
COPING ON 4"  
PRECAST BAND

CONTINUOUS PRECAST  
BAND ON BRICK  
SOLDIER (TYP.)

RAILING AS GRADE REQ'D.

POURED CONC. PORCH  
SLAB AND DOOR SILL

POURED CONC. FOUNDATION  
WALLS AND FOOTINGS (TYP.)

VALLEY FLASHING  
(TYP.)

MID-POINT MAIN ROOF

28" RAISED CEILING

BRICK SOLDIER ARCH ON  
BRICK STACK

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER & VENTED  
SOFFIT (TYP.)

1"x6" ALUM. CLAD  
FRIEZE BD. (TYP.)

PREFIN. MTL. FLASHING, W/  
CAULKING TO MATCH (TYP.)

BRICK SOLDIER (TYP.)

U/S OF SOFFIT

8'-0"x7'-0"  
RECESSED O/H  
GARAGE DOOR  
GD-2A

8'-0"x7'-0"  
RECESSED O/H  
GARAGE DOOR  
GD-2A

STEPPED FOOTING (30)

FRONT ELEVATION - ELEV. '1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)  
PRECAST CONCRETE STEPS  
W/ MASONRY INSERTS WHERE  
GRADE REQUIRES.

MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

It is the responsibility of the applicant to ensure that all plans submitted for approval comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for evaluating or approving any plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

PROJECT: MOUNTAINASH 6  
ARCHITECT: VAS DESIGN  
DATE: JAN 2020

EXTERIOR RAILINGS:  
3'-8" HIGH RAILING IF LANDING IS MORE  
THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN LANDING  
IS LESS THAN 5'-11" ABOVE ADJACENT  
FINISHED GRADE.

| no. | description | date | by | no. | description                            | date       | by |
|-----|-------------|------|----|-----|----------------------------------------|------------|----|
| 18  |             |      |    | 9   |                                        |            |    |
| 17  |             |      |    | 8   |                                        |            |    |
| 16  |             |      |    | 7   |                                        |            |    |
| 15  |             |      |    | 6   |                                        |            |    |
| 14  |             |      |    | 5   | POUR BOX BAY REVISED PER CLIENT.       | DEC. 11/20 | GV |
| 13  |             |      |    | 4   | STAIRWAY WIDTH CORRECTED.              | AUG. 05/20 | GV |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | APR 13/20  | GV |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 24/20  | GV |
| 10  |             |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 28/20 | GV |
| no. | description | date | by | no. | description                            | date       | by |

The undersigned has reviewed and takes responsibility for this design and into the jurisdiction and is aware of the requirements set out in the Ontario Building Code to be a designer.

Richard Vink 24488  
signature  
42658

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are representative of what was intended by the designer which must be followed at the completion of the work. Drawings are not to be copied.

VA3  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.830.2255 f 416.830.4782  
vo3design.com

Greenpark.

project name  
RUSSELL GARDENS PH. 3  
date  
JAN 2020  
drawn by  
BD, EMI  
checked by  
3/18" = 1'-0"

HAMILTON, ONTARIO

MOUNTAINASH 6  
13.5m

FRONT ELEVATION - ELEV. '1'

19014-MOUNTAINASH-08

project no.  
19014  
drawing no.  
A5

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3409 SF.

PART LEFT SIDE ELEVATION - ELEV '1' (5 BED)



LEFT SIDE ELEVATION - ELEV '1'

ALLOWABLE GLAZED OPENINGS  
WALL AREA  
LIMITING DISTANCE  
GLAZING ALLOWED  
GLAZING PROVIDED  
GLAZING PROVIDED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT.  
30"x24" BASEMENT WINDOWS  
30"x24" BASEMENT WINDOWS

=1194.75 SQ. FT. (INCLUDES GRADE)  
=83.63 SQ. FT.  
=75.49 SQ. FT. (GLASS AREA ONLY) - 4 BED  
=81.18 SQ. FT. (GLASS AREA ONLY) - 5 BED

=78.49 SQ. FT. (GLASS AREA ONLY) - 4 BED  
=83.30 SQ. FT. (GLASS AREA ONLY) - 5 BED

MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

The undersigned hereby certifies that the plans submitted for approval are true and correct copies of the original plans as submitted to the undersigned and that the undersigned is a duly qualified and licensed professional person in the Province of Ontario and is duly registered with the Association of Professional Engineers and Architects of Ontario.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

DATE: 2020-01-14  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
APPROVED BY: [Signature]

| no. | description | date | by | no. | description                            | date       | by |
|-----|-------------|------|----|-----|----------------------------------------|------------|----|
| 18  |             |      |    | 9   |                                        |            |    |
| 17  |             |      |    | 8   |                                        |            |    |
| 16  |             |      |    | 7   |                                        |            |    |
| 15  |             |      |    | 6   |                                        |            |    |
| 14  |             |      |    | 5   | REAR BOX BAY REVISED PER CLIENT.       | DEC. 11/20 | GV |
| 13  |             |      |    | 4   | STAIRWAY WIDTH CORRECTED.              | AUG. 05/20 | GV |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | APR. 13/20 | GV |
| 11  |             |      |    | 2   | UPDATED PER ENG. & CLIENT COMMENTS.    | MAR. 24/20 | GV |
| 10  |             |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 28/20 | GV |

This undersigned has prepared and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 2448E  
signature  
VA3 Design Inc. 4265E  
registration information

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vo3design.com

**Greenpark.**

project name  
**RUSSELL GARDENS PH. 3**

date  
**JAN 2020**

drawn by  
**BD.BIM**

checked by  
**3/16" = 1'-0"**

manipulated  
**HAMILTON, ONTARIO**

project no.  
**19014**

drawing no.  
**A6**

**MOUNTAINASH 6**  
13.5m

**LEFT SIDE ELEVATION - ELEV '1' STD & OPT. 5 BED**

19014-MOUNTAINASH-08

2

1012

**MOUNTAINASH 6**  
13.5m

The logo for VA3 DESIGN, featuring the letters 'VA3' in a large, stylized, textured font, with the word 'DESIGN' in a smaller, bold, sans-serif font below it.

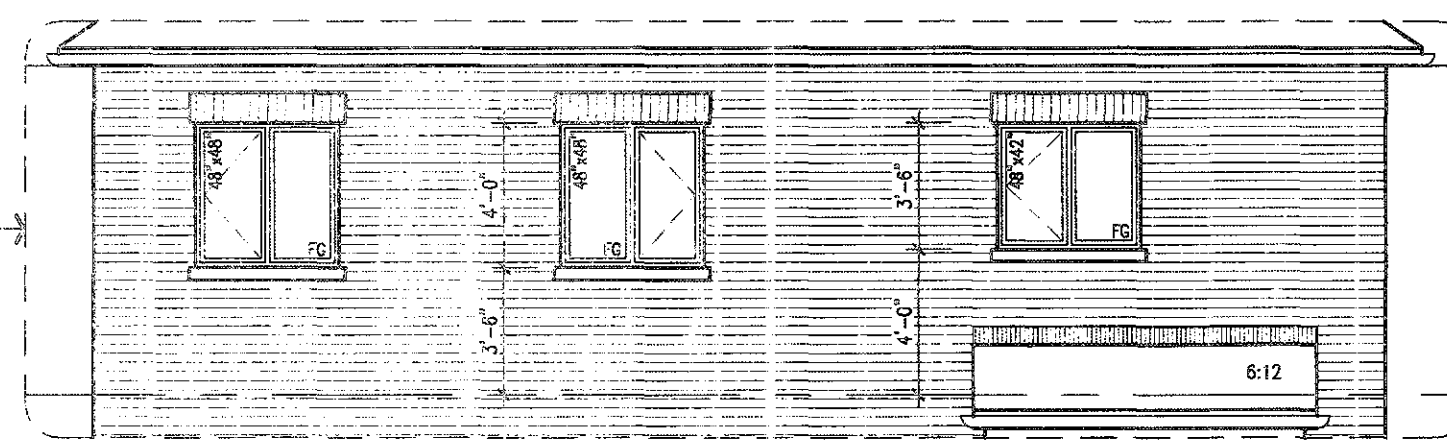
project name  
**RUSSELL GARDENS PH. 3**

19014-MOUNTAINASH-06

drawn by **BD.BIM** checked by **-** scale **3/16" = 1'-0"**

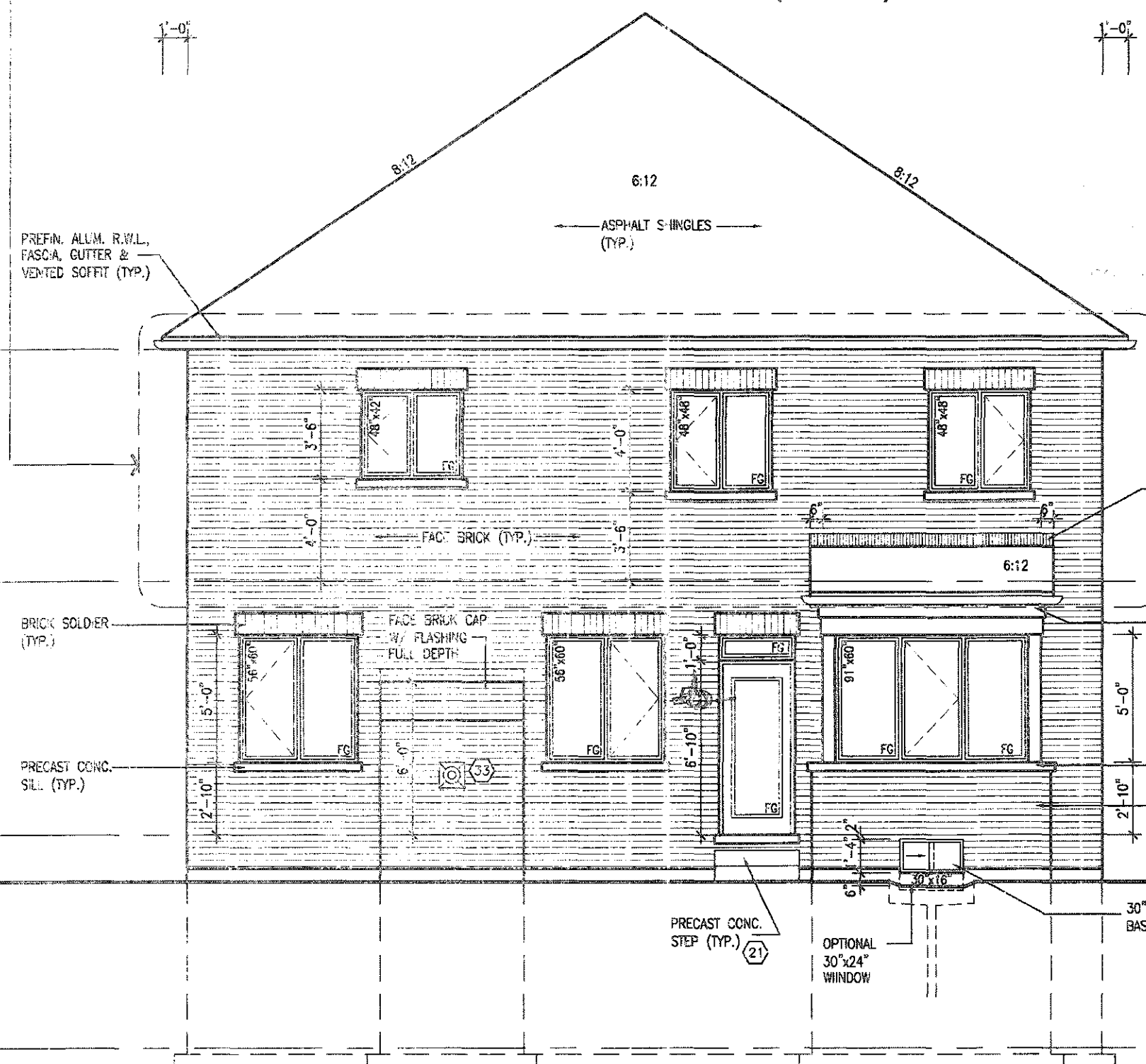
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|                                                                                                                                                                                                                                                                                                               |           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| The undersigned has advised of a total responsibility for this design and has the qualifications and costs the requirements set out in the Building Code as a Designer.                                                                                                                                       |           |
| Last known information:                                                                                                                                                                                                                                                                                       |           |
| Richard Vink                                                                                                                                                                                                                                                                                                  | 2648      |
| name                                                                                                                                                                                                                                                                                                          | signature |
| signature information:                                                                                                                                                                                                                                                                                        | 80        |
| VA3 Design Inc.                                                                                                                                                                                                                                                                                               | 4255      |
| Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied. |           |



3409 SF.

PART REAR ELEVATION - ELEV '1' (5 BED)



REAR ELEVATION - ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for permitting or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

BRUCE C. WILSON, ARCHITECT  
REGISTERED ARCHITECT  
HAMILTON, ONTARIO  
DATE: 2020  
BY: [Signature]

|    |             |      |                                       |
|----|-------------|------|---------------------------------------|
| 18 |             | 9    |                                       |
| 17 |             | 8    |                                       |
| 16 |             | 7    |                                       |
| 15 |             | 6    |                                       |
| 14 |             | 5    | REAR DOOR BAY REVISED PER CLIENT      |
| 13 |             | 4    | STAIRWAY WIDTH CORRECTED              |
| 12 |             | 3    | ISSUED FOR PERMIT                     |
| 11 |             | 2    | UPDATED PER ENG & CLIENT COMMENTS     |
| 10 |             | 1    | PRELIMINARY, ISSUED FOR CLIENT REVIEW |
| no | description | date | by                                    |

The undersigned has obtained a license responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
e-Notification Information:  
Richard Vink 24486  
same registration information:  
VAB Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the designer which must be returned at the completion of the work. Drawings are not to be copied.

**VAB DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

|                                                     |  |                                   |  |
|-----------------------------------------------------|--|-----------------------------------|--|
| <b>Greenpark.</b>                                   |  | <b>MOUNTAINASH 6</b><br>13.5m     |  |
| project name<br>RUSSELL GARDENS PH. 3               |  | project no.<br>19014              |  |
| date<br>JAN 2020                                    |  | location<br>HAMILTON, ONTARIO     |  |
| drawn by<br>BD.BIM                                  |  | checked by<br>3/16" = 1'-0"       |  |
| scale                                               |  | drawing no.<br>A8                 |  |
| title<br>REAR ELEVATION - ELEV '1' STD & OPT. 5 BED |  | file name<br>19014-MOUNTAINASH-06 |  |


  
 B. MARINKOVIC  
 REGISTERED PROFESSIONAL ENGINEER  
 PROVINCE OF ONTARIO  
 December 9, 2020  
 STRUDET INC.  
 FOR STRUCTURE ONLY

# MOUNTAINASH 6

## COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

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3409 SF.

**BASEMENT WALL INSULATION**  
(TYP) (13)  
-6" (R20) CONTINUOUS BLANKET INSULATION, INSULATION UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT STAIR/SUNKEN AREAS**  
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).  
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

**NOTE:**  
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

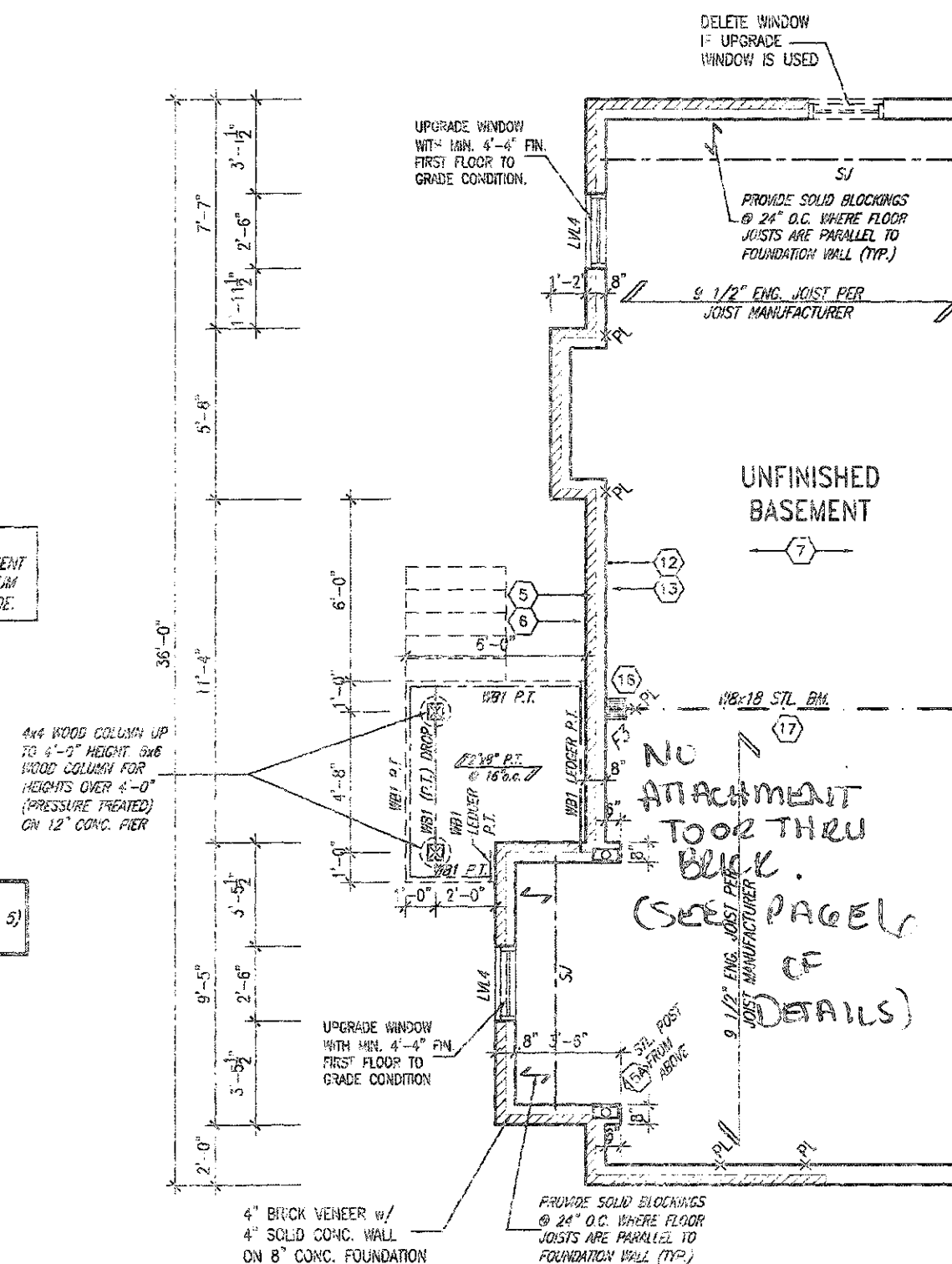
**VENUEER CUT**  
WHEN VENUEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**WOOD DECK DETAILS**  
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

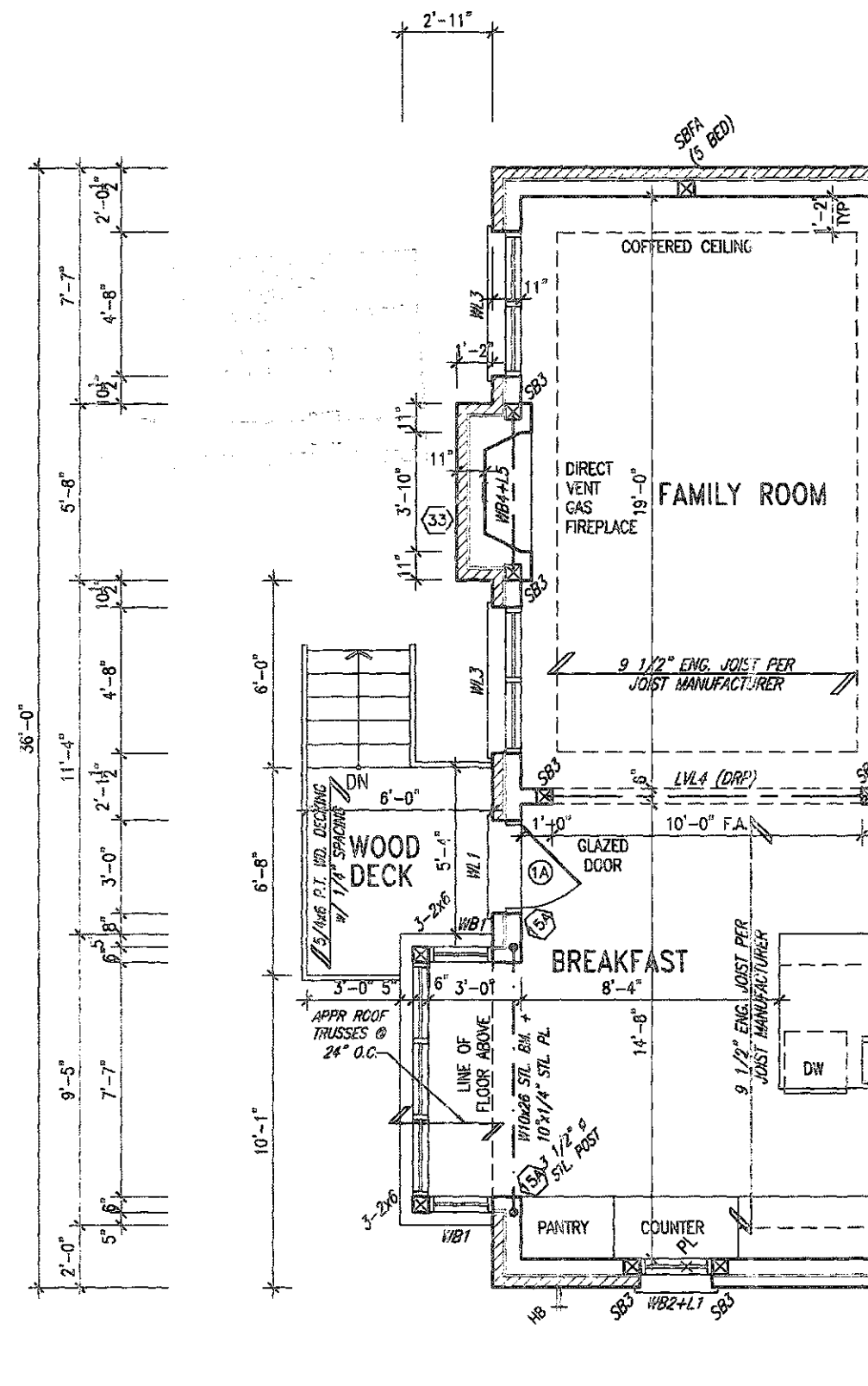
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Guidelines and all applicable regulations and requirements including zoning provisions and all other provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving any (existing) plans or working drawings submitted to any zoning or building code or permit authority or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

DESIGNER'S SEAL AND SIGNATURE  
DATE: 2020-01-14  
PROJECT NO: 19014-MOUNTAINASH-08



PARTIAL BASEMENT PLAN  
DECK CONDITION



PARTIAL GROUND FLOOR PLAN  
DECK CONDITION

*John Jan 3/21*



STRUDET INC.  
FOR STRUCTURE ONLY

# MOUNTAINASH 6 COMPLIANCE PACKAGE 'A1'

|    |  |   |                                       |            |    |
|----|--|---|---------------------------------------|------------|----|
| 18 |  | 3 |                                       |            |    |
| 17 |  | 8 |                                       |            |    |
| 16 |  | 7 |                                       |            |    |
| 15 |  | 6 |                                       |            |    |
| 14 |  | 5 | REAR BOX BAY REVISED PER CLIENT       | DEC. 11/20 | GW |
| 13 |  | 4 | STAIRWAY WIDTH CORRECTED              | AUG. 05/20 | GW |
| 12 |  | 3 | ISSUED FOR PERMIT                     | APR 13/20  | GW |
| 11 |  | 2 | UPDATED PER ENG & CLIENT COMMENTS     | MAR 24/20  | GW |
| 10 |  | 1 | PRELIMINARY, ISSUED FOR CLIENT REVIEW | JAN. 29/20 | GW |
| 9  |  |   |                                       |            |    |
| 8  |  |   |                                       |            |    |
| 7  |  |   |                                       |            |    |
| 6  |  |   |                                       |            |    |
| 5  |  |   |                                       |            |    |
| 4  |  |   |                                       |            |    |
| 3  |  |   |                                       |            |    |
| 2  |  |   |                                       |            |    |
| 1  |  |   |                                       |            |    |

The undersigned has prepared and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to use a Designer.  
qualification information:  
Richard Vink 24488  
signature  
VA3 Design Inc. 42658  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

|              |                                                        |            |                   |             |       |
|--------------|--------------------------------------------------------|------------|-------------------|-------------|-------|
| project name | RUSSELL GARDENS PH. 3                                  | city       | HAMILTON, ONTARIO | project no. | 19014 |
| date         | JAN 2020                                               | checked by | BD.BHM            | drawing no. | A10   |
| scale        | 3/16" = 1'-0"                                          |            |                   |             |       |
| notes        | PARTIAL PLANS - DECK CONDITION<br>19014-MOUNTAINASH-08 |            |                   |             |       |

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BRICK SOLDIER  
(T/P.)

Architectural drawing of the exterior elevation of a building. The drawing shows a front porch with a railing, a door, and several windows. The drawing includes dimensions and labels for materials and features.

Labels and Dimensions:

- FACE BRICK CAP
- W/ FLASHING
- FG - FULL DEPTH
- 56"x60"
- 91"x60"
- 30"x30"
- 2'-6"
- 2'-10"
- 5'-0"
- 6'-0"
- 30"
- 33"
- 2'-5"
- 1'-0"
- 2'-10"
- 5'-0"

Hand-drawn sketch of a building elevation. The drawing shows a series of vertical lines representing structural elements. Handwritten notes include:

- Top left: "TO" (partially visible)
- Left side: "WINDOWS", "IN.", "R TO"
- Center: "COLUMNS", "SB-7."
- Right side: "UP", "OF", "4'", "GR"

FIN. GR.  
JAN 3/21  
BASEMENT WINDOWS  
WAS L. WITH MARS

4x4 WOOD COLUMN UP TO  
4'-0" HEIGHT. 6x6 WOOD  
COLUMN FOR HEIGHTS OVER  
4'-0" (PRESSURE TREATED)  
ON 12" CONC. PIER

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

|                                                                                                                                                                                                                                                                                                               |           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| The undersigned has accepted full design responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.                                                                                                                             |           |
| qualification information                                                                                                                                                                                                                                                                                     |           |
| Richard Vink                                                                                                                                                                                                                                                                                                  | 2448      |
| name                                                                                                                                                                                                                                                                                                          | signature |
| qualification information                                                                                                                                                                                                                                                                                     |           |
| VA3 Design Inc.                                                                                                                                                                                                                                                                                               | 4263      |
| Contractor must verify all dimensions on the job and report any discrepancy to the design team. If proceeding with the work, all dimensions and materials must be stamped in series and the property of the Designer which must be stamped at the completion of the work. Drawings are not to be photocopied. |           |

**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
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va3design.com

project name  
**RUSSELL GARDENS PH. 3**

|          |            |               |
|----------|------------|---------------|
| date     | JAN 2020   |               |
| drawn by | checked by | scale         |
| BD,BHM   | -          | 3/16" = 1'-0" |

|             |       |
|-------------|-------|
| project no. | 19014 |
|-------------|-------|

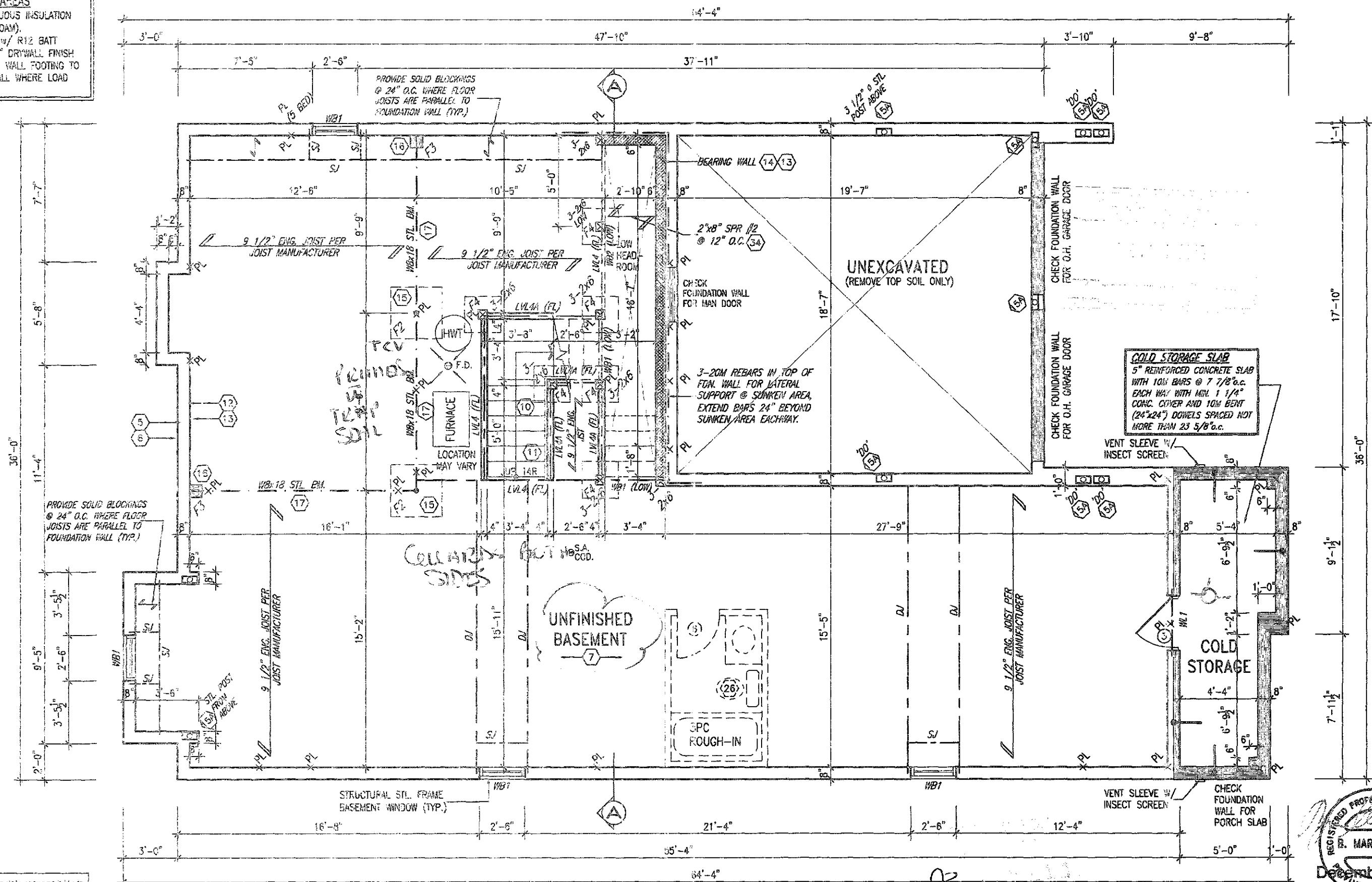
drawing no.

**A11**

**BASEMENT WALL INSULATION**  
(TYP) (13)  
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT STAIR/SUNKEN AREAS**  
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).  
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

3409 SF.



BASEMENT PLAN - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for granting or withholding approval of plans or for any drawings or specifications or for any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

APPROVED BY: [Signature]  
DATE: [Date]  
PROJECT: [Project Name]

| no. | description | date | by | no. | description                           | date       | by |
|-----|-------------|------|----|-----|---------------------------------------|------------|----|
| 18  |             |      |    | 9   |                                       |            |    |
| 17  |             |      |    | 8   |                                       |            |    |
| 16  |             |      |    | 7   |                                       |            |    |
| 15  |             |      |    | 6   |                                       |            |    |
| 14  |             |      |    | 5   | REAR EXH. BAY REVISED PER CLIENT      | DEC. 11/20 | GV |
| 13  |             |      |    | 4   | STAIRWAY WIDTH CORRECTED.             | AUG. 05/20 | GV |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT                     | APR. 13/20 | GV |
| 11  |             |      |    | 2   | UPDATED PER ENG. & CLIENT COMMENTS    | MAR. 24/20 | GV |
| 10  |             |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW | JAN. 26/20 | GV |

The undersigned has released and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information:  
Richard Vink 24488  
signature  
42638  
BCIN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
vasdesign.com

*Jan 3/20* **MOUNTAINASH 6**  
COMPLIANCE PACKAGE 'A1'

**Greenpark**

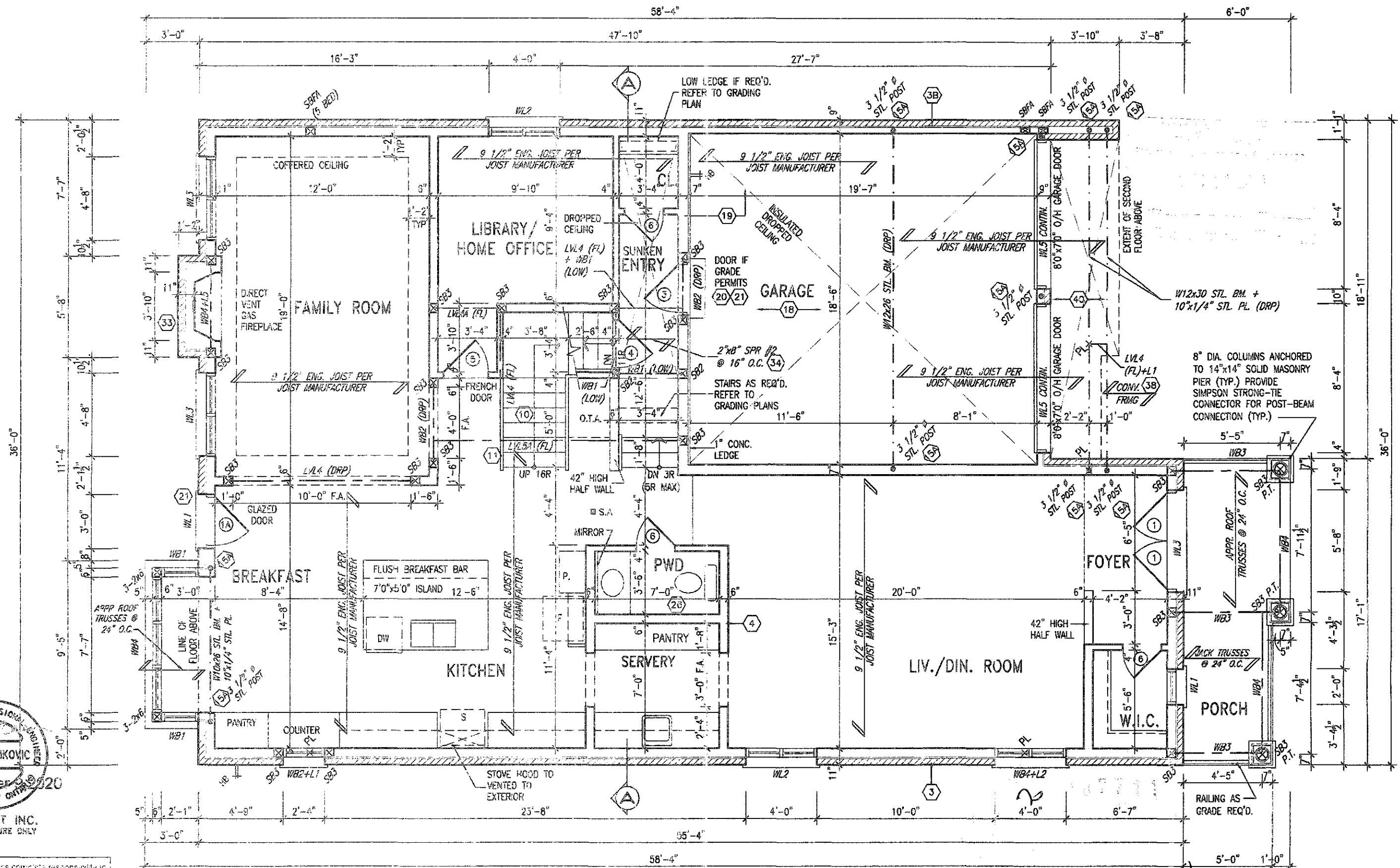
**MOUNTAINASH 6**  
13.5m

project name: **RUSSELL GARDENS PH. 3**  
location: **HAMILTON, ONTARIO**  
project no.: **19014**  
drawing no.: **A1a**

BASEMENT PLAN - ELEV. '2'

19014-MOUNTAINASH-06

3409 SF.



STRUDET INC.  
FOR STRUCTURE ONLY

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

GROUND FLOOR PLAN - ELEV. '2'

**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. 3 - TABLE 6.2.3.12.  
• KITCHEN EXHAUST: 3.0m  
• DRIVEWAY, PARKING SPACE, ROAD: 1.5m  
• SOLID FUEL APPLIANCE EXHAUST: 3.0m

*dm Jan 31/21*

# MOUNTAINASH 6 COMPLIANCE PACKAGE 'A1'

|    |   |                                      |            |    |  |
|----|---|--------------------------------------|------------|----|--|
| 18 | 9 |                                      |            |    |  |
| 17 | 8 |                                      |            |    |  |
| 16 | 7 |                                      |            |    |  |
| 15 | 6 |                                      |            |    |  |
| 14 | 5 | REAR BOP 2AY REVISED PER CLIENT      | DEC. 11/20 | GM |  |
| 13 | 4 | STAIRWAY WIDTH CORRECTED             | AUG. 05/20 | GM |  |
| 12 | 3 | ISSUED FOR PERMIT                    | APR. 13/20 | GM |  |
| 11 | 2 | REPORTED PER ENG. & CLIENT COMMENTS  | MAR. 24/20 | GM |  |
| 10 | 1 | PRELIMINARY ISSUED FOR CLIENT REVIEW | JAN. 26/20 | GM |  |
| 9  |   |                                      |            |    |  |
| 8  |   |                                      |            |    |  |
| 7  |   |                                      |            |    |  |
| 6  |   |                                      |            |    |  |
| 5  |   |                                      |            |    |  |
| 4  |   |                                      |            |    |  |
| 3  |   |                                      |            |    |  |
| 2  |   |                                      |            |    |  |
| 1  |   |                                      |            |    |  |

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

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255 Consumers Rd Suite 120  
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416.630.2255 f 416.630.4782  
va3design.com

**MOUNTAINASH 6**  
13.5m

project name  
**RUSSELL GARDENS PH. 3**

location  
**HAMILTON, ONTARIO**

date  
**JAN 2020**

drawn by  
**BD.EIM**

checked by  
**3/16" = 1'-0"**

scale

drawing no.  
**A2a**

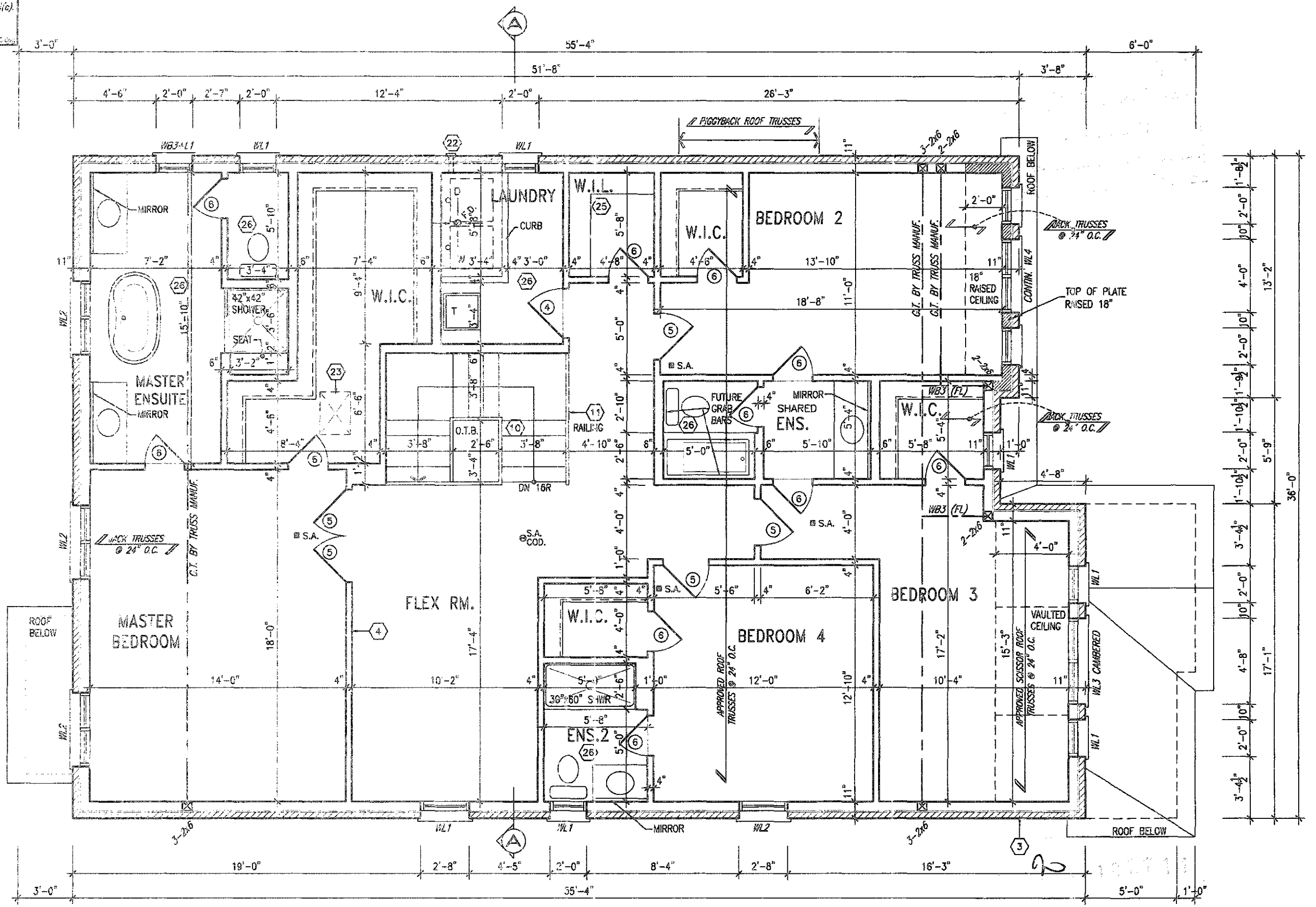
project no.  
**19014**

file name  
**19014-MOUNTAINASH-06**

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**GRAB BAR NOTE:**  
**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHING IN MAIN BATHROOM PER DET. DIV. B-9.3.2.3. REFER TO FOLLOWING SECTIONS FOR THE FEATURES LISTED: WATER CLOSET: 3.8.3.8.(2)(a) & 3.8.3.8.(3)(a); SHOWER: 3.8.3.13.(2)(a); BATHING: 3.8.3.13.(4)(a). FREE STANDING BATHING EXCLUDED. SEE DETAILS PROVIDED.

3409 SF.



REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
December 15, 2020  
PROVINCE OF ONTARIO  
STRUDET INC.  
FOR STRUCTURE ONLY

SECOND FLOOR PLAN - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving side-plotting plans or zoning drawings which are not part of the building code or zoning matter or that any notice can be properly published on its own.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Hamilton City Planning Department  
Architectural Design Guidelines  
Control Architect  
Date: 12/15/2020  
Signature: [Signature]

|    |  |   |                                       |
|----|--|---|---------------------------------------|
| 18 |  | 9 |                                       |
| 17 |  | 8 |                                       |
| 16 |  | 7 |                                       |
| 15 |  | 6 |                                       |
| 14 |  | 5 | FEAR BOX BAY REVISED PER CLIENT.      |
| 13 |  | 4 | STAIRWAY WIDTH CORRECTED.             |
| 12 |  | 3 | ISSUED FOR PERMIT.                    |
| 11 |  | 2 | UPDATED PER ENG & CLIENT COMMENTS.    |
| 10 |  | 1 | PRELIMINARY ISSUED FOR CLIENT REVIEW. |
| 9  |  |   |                                       |
| 8  |  |   |                                       |
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| 5  |  |   |                                       |
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| 3  |  |   |                                       |
| 2  |  |   |                                       |
| 1  |  |   |                                       |
| 0  |  |   |                                       |

Richard Vink  
signature  
24488  
42658  
V3 DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
v3design.com

VA3 DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
v3design.com

**Greenpark.**

project name  
RUSSELL GARDENS PH. 3

date  
JAN 2020

drawn by  
BD.BIM

checked by  
3/18" = 1'-0"

scale

project no.  
19014

city  
HAMILTON, ONTARIO

second floor plan - ELEV. '2'

file name  
19014-MOUNTAINASH-06

drawing no.  
A3a

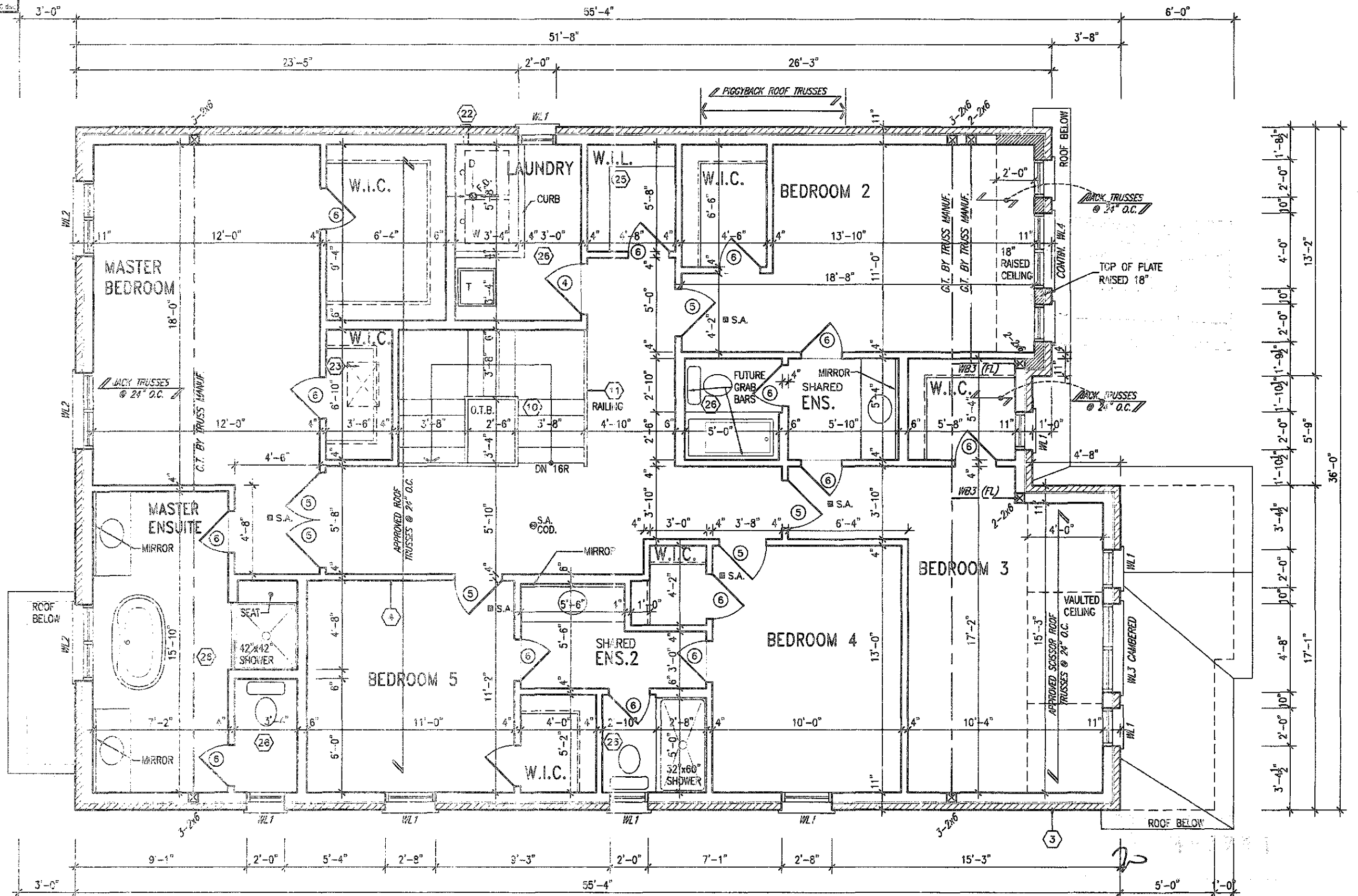
**MOUNTAINASH 6**  
13.5m

**MOUNTAINASH 6**  
COMPLIANCE PACKAGE 'A1'

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3409 SF.

**GRAB BAR NOTE:**  
**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER CBC DIV. 8-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FUTURES LISTED: WATER CLOSET: 3.8.3.6.(3)(a) & 3.8.3.6.(3)(c) SHOWER: 3.8.3.13.(2)(a); BATHTUB: 3.8.3.13.(4)(a); FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.



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OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for granting or approving site plan or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

|    |             |      |                                                     |
|----|-------------|------|-----------------------------------------------------|
| 18 |             | 9    |                                                     |
| 17 |             | 8    |                                                     |
| 16 |             | 7    |                                                     |
| 15 |             | 6    |                                                     |
| 14 |             | 5    | REAR BOX BAY REVISED PER CLIENT DEC. 11/20/GV       |
| 13 |             | 4    | STAIRWAY WIDTH CORRECTED AUG. 05/20/GV              |
| 12 |             | 3    | ISSUED FOR PERMIT APR. 13/20/GV                     |
| 11 |             | 2    | UPDATED PER ENG & CLIENT COMMENT'S MAR. 24/20/GV    |
| 10 |             | 1    | PRELIMINARY, ISSUED FOR CLIENT REVIEW JAN. 26/20/GV |
| 9  | description | date | by                                                  |

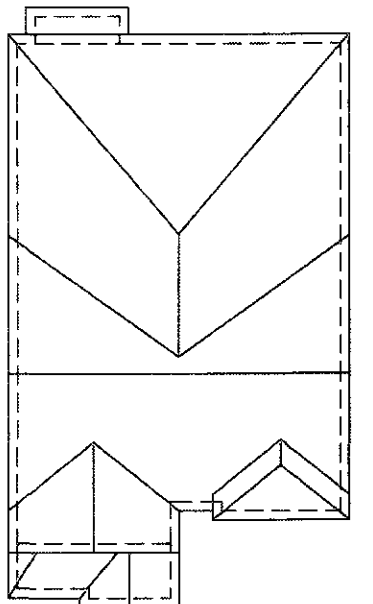
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Richard Vink 24488  
signature  
VA3 Design Inc. 42656  
signature  
Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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t 416.630.2255 f 416.630.4782  
va3design.com

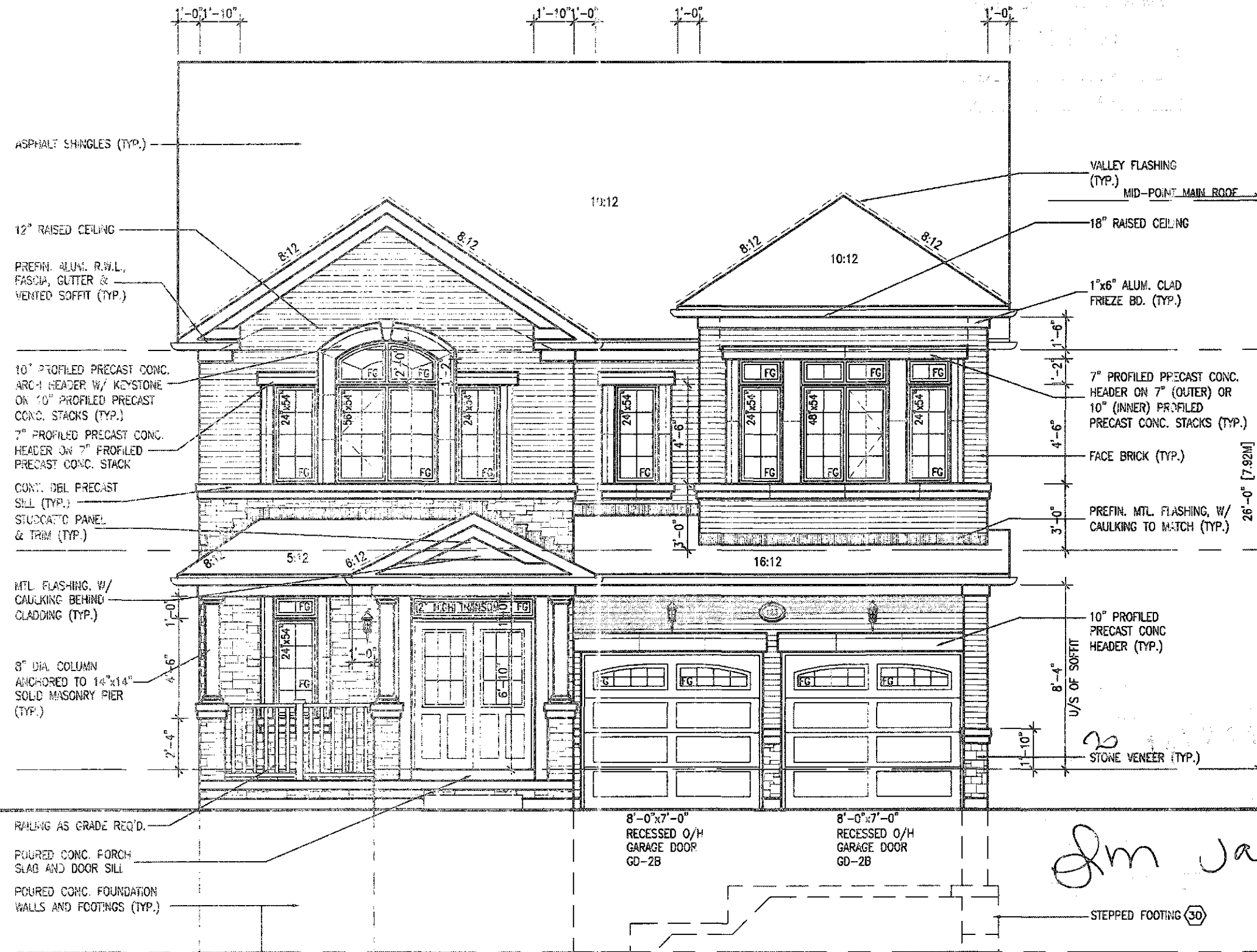
|                                              |  |                                    |  |
|----------------------------------------------|--|------------------------------------|--|
| <b>Greenpark.</b>                            |  | <b>MOUNTAINASH 6</b><br>13.5m      |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b> |  | project no.<br><b>19014</b>        |  |
| date<br><b>JAN 2020</b>                      |  | drawing no.<br><b>A4a</b>          |  |
| drawn by<br><b>BD.BIM</b>                    |  | checked by<br><b>3/16" = 1'-0"</b> |  |
| scale<br><b>3/16" = 1'-0"</b>                |  | drawing no.<br><b>A4a</b>          |  |

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3409 SF.



ROOF PLAN-2



FRONT ELEVATION - ELEV. '2'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)  
PRECAST CONCRETE STEPS  
W/ MASONRY INSERTS WHERE  
GRADE REQUIRES.

MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

EXTERIOR RAILINGS:  
3'-6" HIGH RAILING IF LANDING IS MORE  
THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN LANDING  
IS LESS THAN 5'-11" ABOVE ADJACENT  
FINISHED GRADE.

|    |  |   |                                        |
|----|--|---|----------------------------------------|
| 18 |  | 9 |                                        |
| 17 |  | 8 |                                        |
| 16 |  | 7 |                                        |
| 15 |  | 6 |                                        |
| 14 |  | 5 | REAR BOX BAY REVISED PER CLIENT.       |
| 13 |  | 4 | STAIRWAY WIDTH CORRECTED.              |
| 12 |  | 3 | ISSUED FOR PERMIT.                     |
| 11 |  | 2 | UPDATED PER ENG & CLIENT COMMENTS.     |
| 10 |  | 1 | PRELIMINARY, ISSUED FOR CLIENT REVIEW. |
| 9  |  |   |                                        |
| 8  |  |   |                                        |
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| 6  |  |   |                                        |
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| 2  |  |   |                                        |
| 1  |  |   |                                        |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.

Richard Vink 24488  
signature  
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are the property of the Designer and must be returned to the Designer upon completion of the work. Drawings are not to be scaled.

VA3  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

Greenpark.

project name  
RUSSELL GARDENS PH. 3

location  
HAMILTON, ONTARIO

MOUNTAINASH 6  
13.5m

project no.  
19014

FRONT ELEVATION - ELEV. '2'

drawing no.  
19014-MOUNTAINASH-06

A5a

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Technical drawing of a 12' x 6' double door assembly. The drawing shows the door layout with dimensions: overall width 12'-0", overall height 6'-0", and panel dimensions 3'-6" x 4'-0" and 3'-0" x 4'-0". The panels are labeled 20' x 42" and 30' x 48".

|                                  |                                          |
|----------------------------------|------------------------------------------|
| <u>ALLOWABLE GLAZED OPENINGS</u> |                                          |
| WALL AREA                        | =1194.75 SQ. FT.                         |
| LIMITING DISTANCE                | 1.2 M (7%)                               |
| GLAZING ALLOWED                  | =83.63 SQ. FT.                           |
| GLAZING PROVIDED                 | =75.49 SQ. FT. (GLASS AREA ONLY) - 4 BED |
| GLAZING PROVIDED                 | =81.18 SQ. FT. (GLASS AREA ONLY) - 5 BED |

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

|                          |                                         |
|--------------------------|-----------------------------------------|
| GLAZING PROVIDED W/ OPT. |                                         |
| 30"x24" BASEMENT WINDOWS | =78.49 SQ. FT. (GLASS AREA ONLY)- 4 BED |
| 30"x24" BASEMENT WINDOWS | =83.30 SQ. FT. (GLASS AREA ONLY)- 5 BED |

2m Jan 3/24  
 MOJIN

**MOUNTAINASH 6**  
**COMPLIANCE PACKAGE 'A1'**

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

|    |             |      |    |    |                                        |              |
|----|-------------|------|----|----|----------------------------------------|--------------|
| 18 |             |      |    | 9  |                                        |              |
| 17 |             |      |    | 8  |                                        |              |
| 16 |             |      |    | 7  |                                        |              |
| 15 |             |      |    | 6  |                                        |              |
| 14 |             |      |    | 5  | REAR BOX BAY REVISED PER CLIENT        | DEC. 11/20 6 |
| 13 |             |      |    | 4  | STAIRWAY WIDTH CORRECTED.              | AUG. 05/20 6 |
| 12 |             |      |    | 3  | ISSUED FOR PERMIT.                     | APR 15/20 3  |
| 11 |             |      |    | 2  | UPDATED PER ENG & CLIENT COMMENTS      | MAR 24/20 0  |
| 10 |             |      |    | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | Jan. 28/20 6 |
| 9  | description | date | by | 10 | description                            | date         |

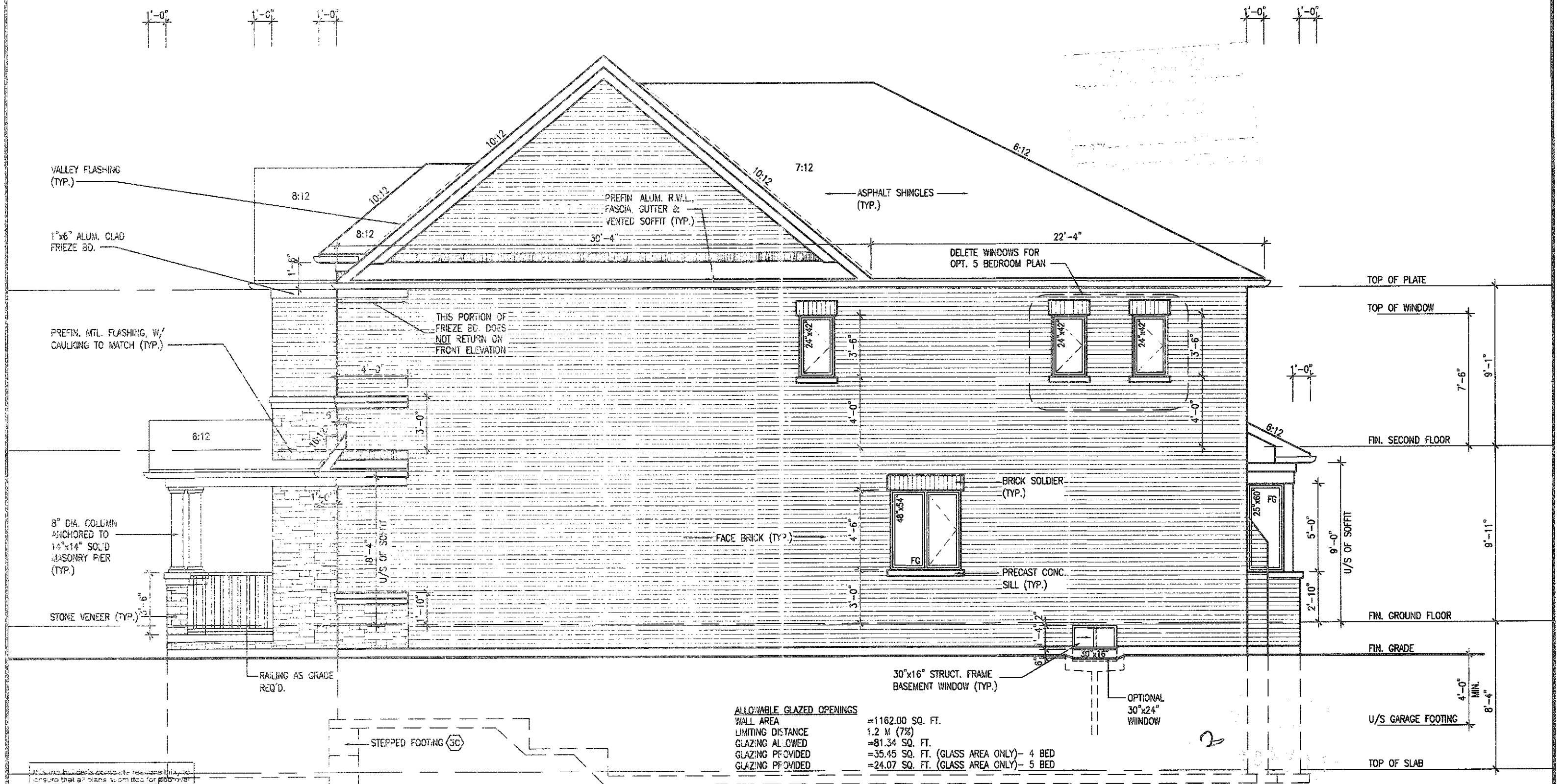
|                           |               |     |
|---------------------------|---------------|-----|
| qualification information |               |     |
| Richard Vink              | <i>R Vink</i> | 244 |
| name                      | signature     | B   |
| registration information  |               |     |

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Payments are not to be sought.

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t 416.630.2255 f 416.630.478  
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3409 SF.



RIGHT SIDE ELEVATION -  
ELEV '2' STD & OPT. 5 BED

|                           |                                          |
|---------------------------|------------------------------------------|
| ALLOWABLE GLAZED OPENINGS |                                          |
| WALL AREA                 | =1162.00 SQ. FT.                         |
| LIMITING DISTANCE         | 1.2 M (7%)                               |
| GLAZING ALLOWED           | =81.34 SQ. FT.                           |
| GLAZING PROVIDED          | =35.45 SQ. FT. (GLASS AREA ONLY) - 4 BED |
| GLAZING PROVIDED          | =24.07 SQ. FT. (GLASS AREA ONLY) - 5 BED |

|                                        |                                          |
|----------------------------------------|------------------------------------------|
| WITH OPTIONAL 30"x24" BASEMENT WINDOWS |                                          |
| GLAZING PROVIDED W/ OPT.               |                                          |
| 30"x24" BASEMENT WINDOWS               | =36.51 SQ. FT. (GLASS AREA ONLY) - 4 BED |
| 30"x24" BASEMENT WINDOWS               | =25.13 SQ. FT. (GLASS AREA ONLY) - 5 BED |

**MOUNTAINASH 6**  
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for granting or approving site planning plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or based on it.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Hamilton, Ontario  
19014-MOUNTAINASH-06

|    |  |   |                                      |               |  |
|----|--|---|--------------------------------------|---------------|--|
| 18 |  | 9 |                                      |               |  |
| 17 |  | 8 |                                      |               |  |
| 16 |  | 7 |                                      |               |  |
| 15 |  | 6 |                                      |               |  |
| 14 |  | 5 | REAR BOX BAY REVISED PER CLIENT      | DEC. 11/20 GW |  |
| 13 |  | 4 | STAIRWAY WIDTH CORRECTED             | AUG. 05/20 GW |  |
| 12 |  | 3 | ISSUED FOR PERMIT                    | APR 13/20 GW  |  |
| 11 |  | 2 | UPDATED PER ENG & CLIENT COMMENTS    | MAR 24/20 GW  |  |
| 10 |  | 1 | PRELIMINARY ISSUED FOR CLIENT REVIEW | JAN. 29/20 GW |  |
| 9  |  |   |                                      |               |  |
| 8  |  |   |                                      |               |  |
| 7  |  |   |                                      |               |  |
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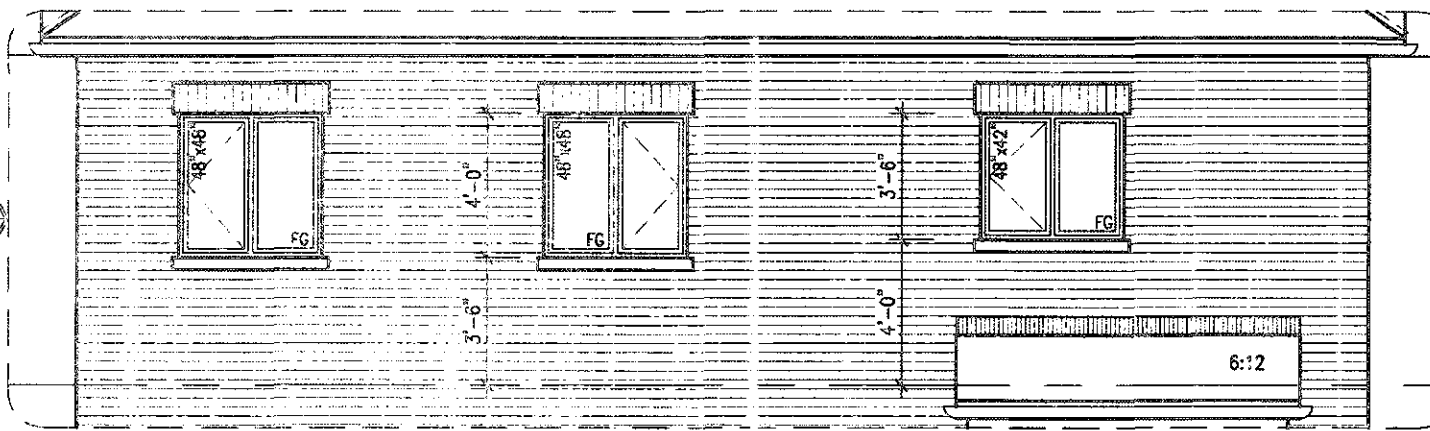
The undersigned has released and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 26488  
signature  
Vink  
registration information  
VA3 Design Inc. 42858  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are the property of the Designer and the property of the Designer which must be stored at the completion of the work. Drawings are not to be scaled.

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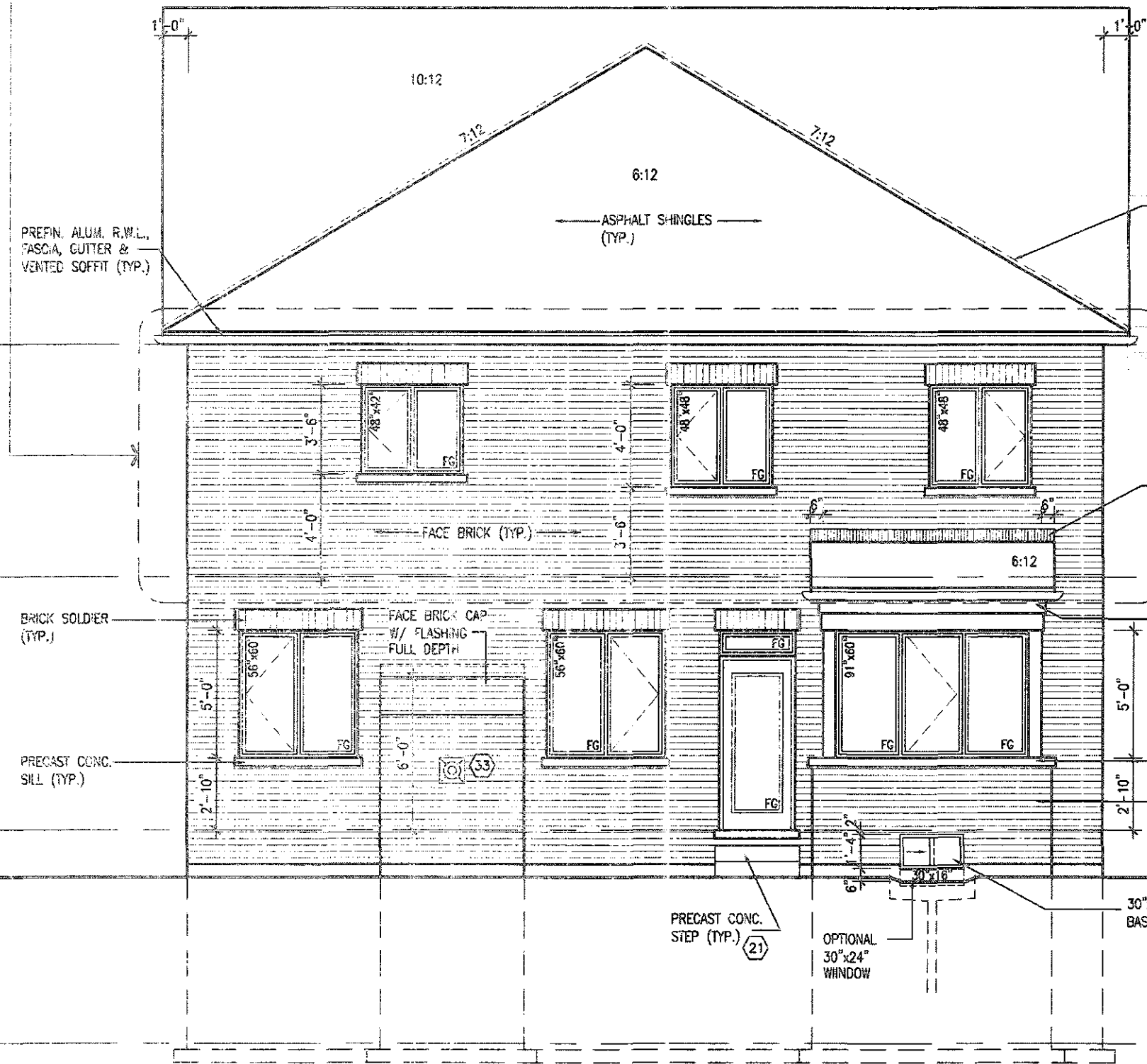
|                                                  |                                            |                             |
|--------------------------------------------------|--------------------------------------------|-----------------------------|
| project name<br><b>RUSSELL GARDENS PH. 3</b>     | municipality<br><b>HAMILTON, ONTARIO</b>   | project no.<br><b>19014</b> |
| date<br><b>JAN 2020</b>                          | drawing no.<br><b>19014-MOUNTAINASH-06</b> | drawing no.<br><b>A7a</b>   |
| drawn by<br><b>BD.BM</b>                         | checked by<br><b>3/16" = 1'-0"</b>         |                             |
| RIGHT SIDE ELEVATION - ELEV '2' STD & OPT. 5 BED |                                            |                             |
| 19014-MOUNTAINASH-06                             |                                            |                             |

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3409 SF.



PART REAR ELEVATION - ELEV '2' (5 BED)



REAR ELEVATION - ELEV. '2'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Architectural Design Guidelines approved by the City of Hamilton.

|    |  |   |  |  |  |
|----|--|---|--|--|--|
| 18 |  | 9 |  |  |  |
| 17 |  | 8 |  |  |  |
| 16 |  | 7 |  |  |  |
| 15 |  | 6 |  |  |  |
| 14 |  | 5 |  |  |  |
| 13 |  | 4 |  |  |  |
| 12 |  | 3 |  |  |  |
| 11 |  | 2 |  |  |  |
| 10 |  | 1 |  |  |  |
| 9  |  |   |  |  |  |
| 8  |  |   |  |  |  |
| 7  |  |   |  |  |  |
| 6  |  |   |  |  |  |
| 5  |  |   |  |  |  |
| 4  |  |   |  |  |  |
| 3  |  |   |  |  |  |
| 2  |  |   |  |  |  |
| 1  |  |   |  |  |  |

The undersigned has prepared and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

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t 416.830.2255 f 416.830.4782  
va3design.com

**Greenpark.**

**MOUNTAINASH 6**  
13.5m

**MOUNTAINASH 6**  
19014

Project name  
**RUSSELL GARDENS PH. 3**

Location  
**HAMILTON, ONTARIO**

date  
**JAN 2020**

drawn by  
**BD.EIM**

checked by  
**3/16" = 1'-0"**

scale  
**3/16" = 1'-0"**

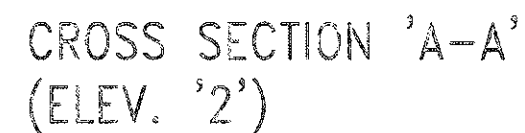
PEAR ELEVATION - ELEV '2' STD & OPT. 5 BED

19014-MOUNTAINASH-06

**A8a**

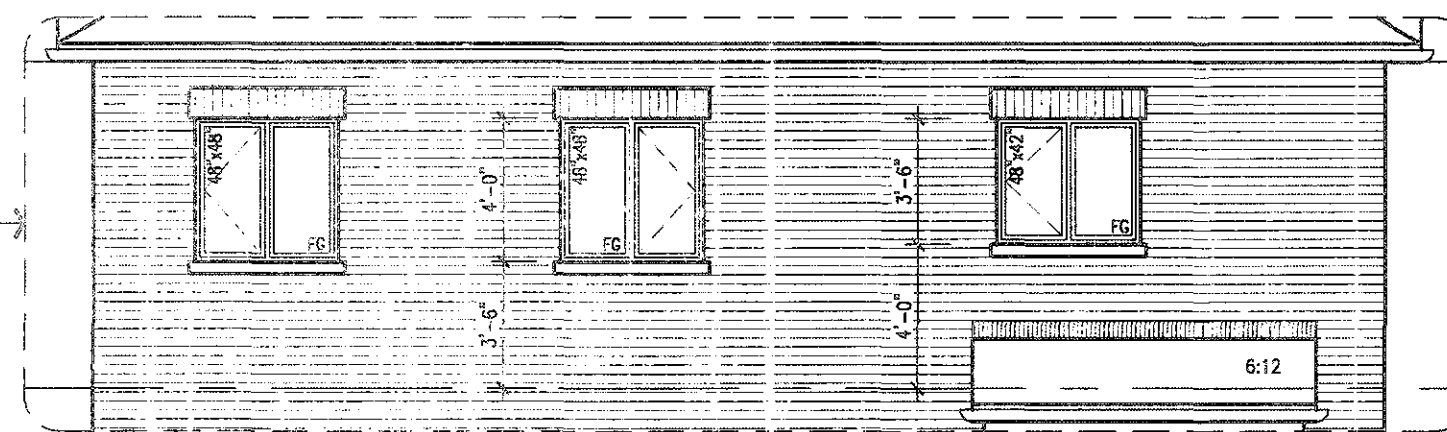
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REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO  
12020  
STRUDET INC.  
FOR STRUCTURE ONLY

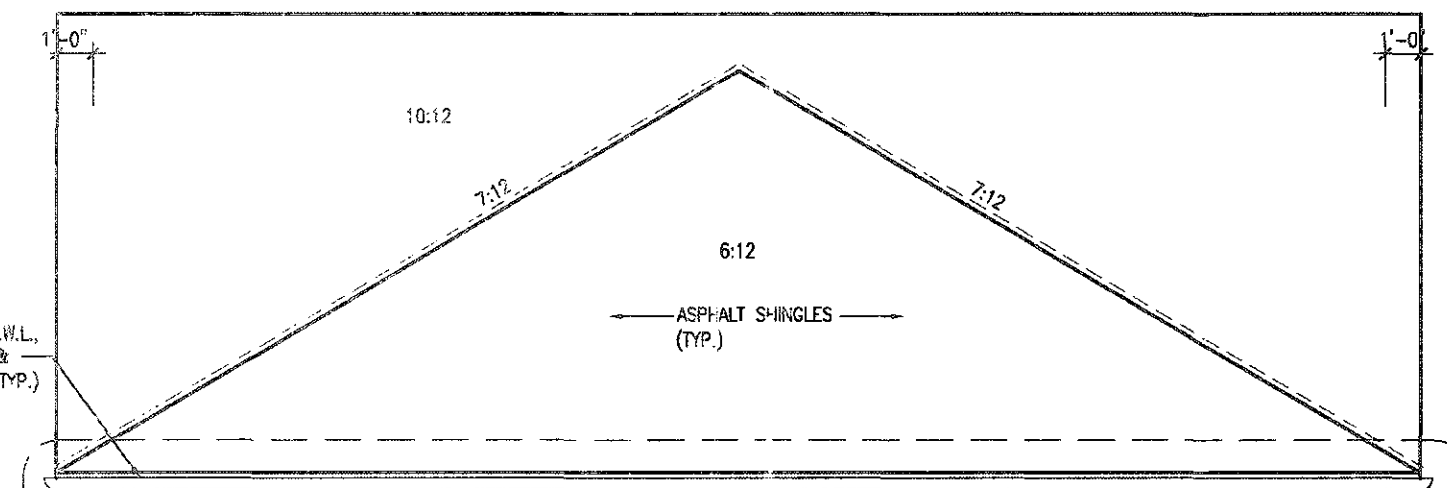


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMMILTON

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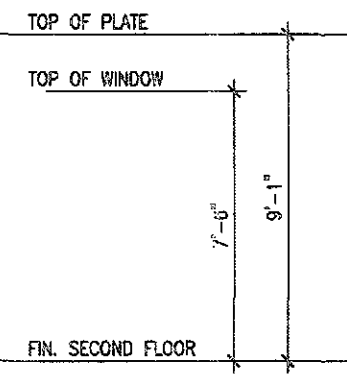


PART REAR ELEVATION - ELEV '2' (5 BED)

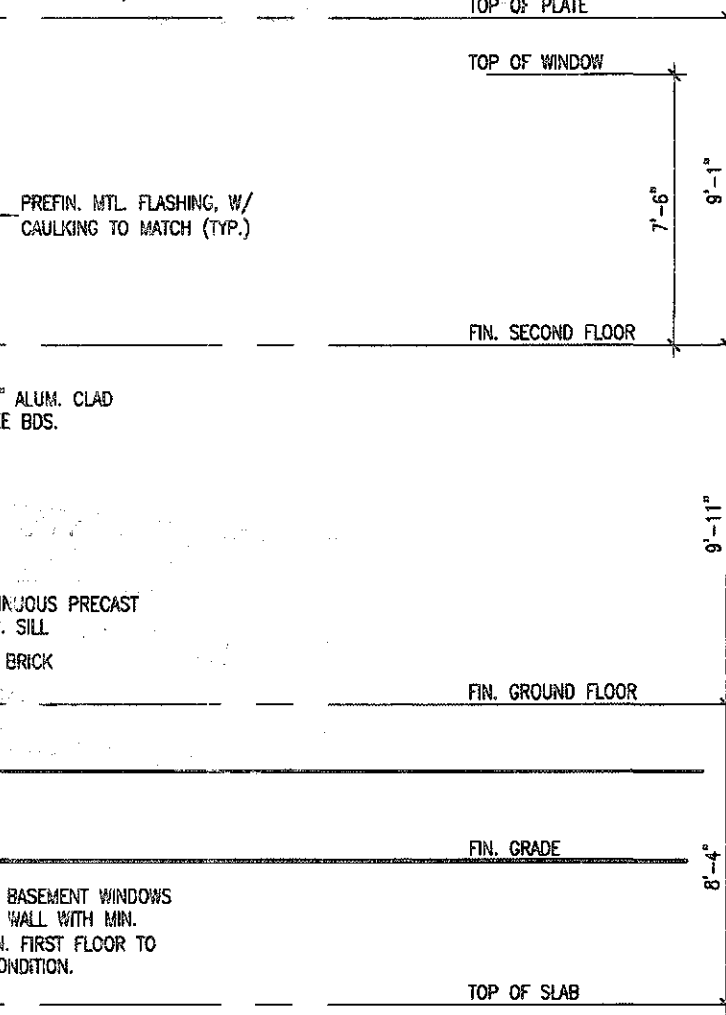


PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

ASPHALT SHINGLES  
(TYP.)



3409 SF.



**EXTERIOR RAILINGS:**  
3'-6" HIGH RAILING IF LANDING IS MORE  
THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN LANDING  
IS LESS THAN 5'-11" ABOVE ADJACENT  
FINISHED GRADE.

BRICK SOLDIER  
(TYP.)

PRECAST CONC.  
SILL (TYP.)

UPGRADE BASEMENT WINDOWS  
ON REAR WALL WITH MIN.  
4'-4" FIN. FIRST FLOOR TO  
GRADE CONDITION.

FACE BRICK CAP  
W/ FLASHING  
FULL DEPTH

6'-0"

PREFIN. MTL. FLASHING, W/  
CAULKING TO MATCH (TYP.)

6"x8" ALUM. CLAD  
FRIEZE BDS.

CONTINUOUS PRECAST  
CONC. SILL  
FACE BRICK

UPGRADE BASEMENT WINDOWS  
ON REAR WALL WITH MIN.  
4'-4" FIN. FIRST FLOOR TO  
GRADE CONDITION.

REAR ELEVATION '2' -  
DECK CONDITION

4x4 WOOD COLUMN UP TO  
4'-0" HEIGHT, 6x6 WOOD  
COLUMN FOR HEIGHTS OVER  
4'-0" (PRESSURE TREATED)  
ON 12" CONC. PIER

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Council  
Architect is not responsible in any way for  
drawing or approving the drawing, plan, or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
plans can be properly built or located on the lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
HAMILTON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

|    |             |      |                                       |            |             |
|----|-------------|------|---------------------------------------|------------|-------------|
| 12 |             | 9    |                                       |            |             |
| 11 |             | 8    |                                       |            |             |
| 10 |             | 7    |                                       |            |             |
| 9  |             | 6    |                                       |            |             |
| 8  |             | 5    | REAR RISE BAY REVISED PER CLIENT.     | DEC. 11/20 | GW          |
| 7  |             | 4    | STAIRWAY WIDTH CORRECTED.             | AUG. 05/20 | GW          |
| 6  |             | 3    | ISSUED FOR PERMIT                     | APR. 13/20 | GW          |
| 5  |             | 2    | UPDATED PER ENG. & CLIENT COMMENTS    | MAR. 24/20 | GW          |
| 4  |             | 1    | PRELIMINARY, ISSUED FOR CLIENT REVIEW | JAN. 28/20 | GW          |
| 3  |             |      |                                       |            |             |
| 2  |             |      |                                       |            |             |
| 1  |             |      |                                       |            |             |
| no | description | date | by                                    | no         | description |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Registrar.

Richard Vink 24488  
signature  
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

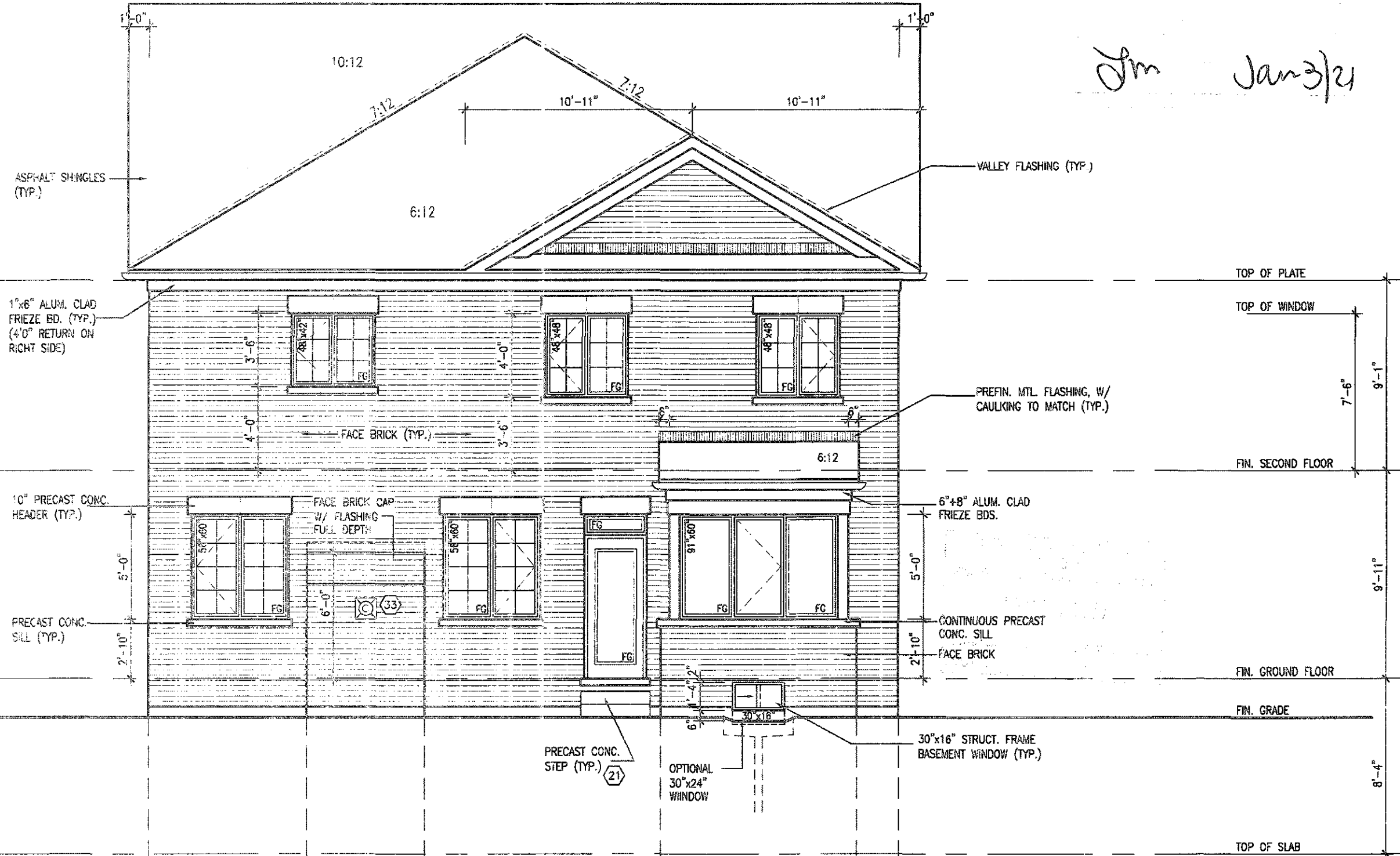
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t 416.630.2255 f 416.630.4782  
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|                                              |                                          |                               |                                                            |
|----------------------------------------------|------------------------------------------|-------------------------------|------------------------------------------------------------|
|                                              |                                          | <b>MOUNTAINASH 6</b><br>13.5m |                                                            |
| project name<br><b>RUSSELL GARDENS PH. 3</b> | municipality<br><b>HAMILTON, ONTARIO</b> | project no.<br><b>19014</b>   | drawing no.<br><b>A11a</b>                                 |
| date<br><b>JAN 2020</b>                      | checked by<br>BD.BIM                     | scale<br><b>3/16" = 1'-0"</b> | title<br><b>REAR ELEV '2' &amp; OPT. 5 BED- DECK COND.</b> |
| 19014-MOUNTAINASH-06                         |                                          |                               |                                                            |

3409 SF.

2 1577 11

Jm Jan 3/21



UPGRADED REAR ELEVATION - ELEV. '2'  
(4 BEDROOM)

MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Signature of Architect  
Date: 1/3/21

|                 |      |    |                                      |            |    |
|-----------------|------|----|--------------------------------------|------------|----|
| 18              |      | 9  |                                      |            |    |
| 17              |      | 8  |                                      |            |    |
| 16              |      | 7  |                                      |            |    |
| 15              |      | 6  |                                      |            |    |
| 14              |      | 5  | REAR BOX BAY REVISED PER CLIENT      | DEC. 11/20 | GW |
| 13              |      | 4  | STAIRWAY WIDTH CORRECTED             | AUG. 05/20 | GW |
| 12              |      | 3  | ISSUED FOR PERMIT                    | APR. 13/20 | GW |
| 11              |      | 2  | UPGRADED PER ENG & CLIENT COMMENTS   | MAR. 24/20 | GW |
| 10              |      | 1  | PRELIMINARY ISSUED FOR CLIENT REVIEW | JAN. 28/20 | GW |
| no. description | date | by | no. description                      | date       | by |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and areas the requirements set out in the Ontario Building Code to be a Designer.  
Qualification information  
Richard Vink 24488  
signature  
name  
registration information  
V.A.S. Design Inc. 42668  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are representations of contract and the property of the Designer which must be shown at the completion of the work. Drawings are not to be copied.

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|                                              |  |                                                        |  |
|----------------------------------------------|--|--------------------------------------------------------|--|
| <b>Greenpark.</b>                            |  | <b>MOUNTAINASH 6</b><br>13.5m                          |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b> |  | project no.<br><b>19014</b>                            |  |
| date<br><b>JAN 2020</b>                      |  | drawing no.<br><b>19014-MOUNTAINASH-08</b>             |  |
| drawn by<br><b>BO.BIM</b>                    |  | checked by<br><b>3/16" = 1'-0"</b>                     |  |
| date<br><b>JAN 2020</b>                      |  | date<br><b>JAN 2020</b>                                |  |
| location<br><b>HAMILTON, ONTARIO</b>         |  | description<br><b>UPGRADED REAR ELEV '2' - (4 BED)</b> |  |
| file name<br><b>19014-MOUNTAINASH-08</b>     |  | drawing no.<br><b>A12a</b>                             |  |

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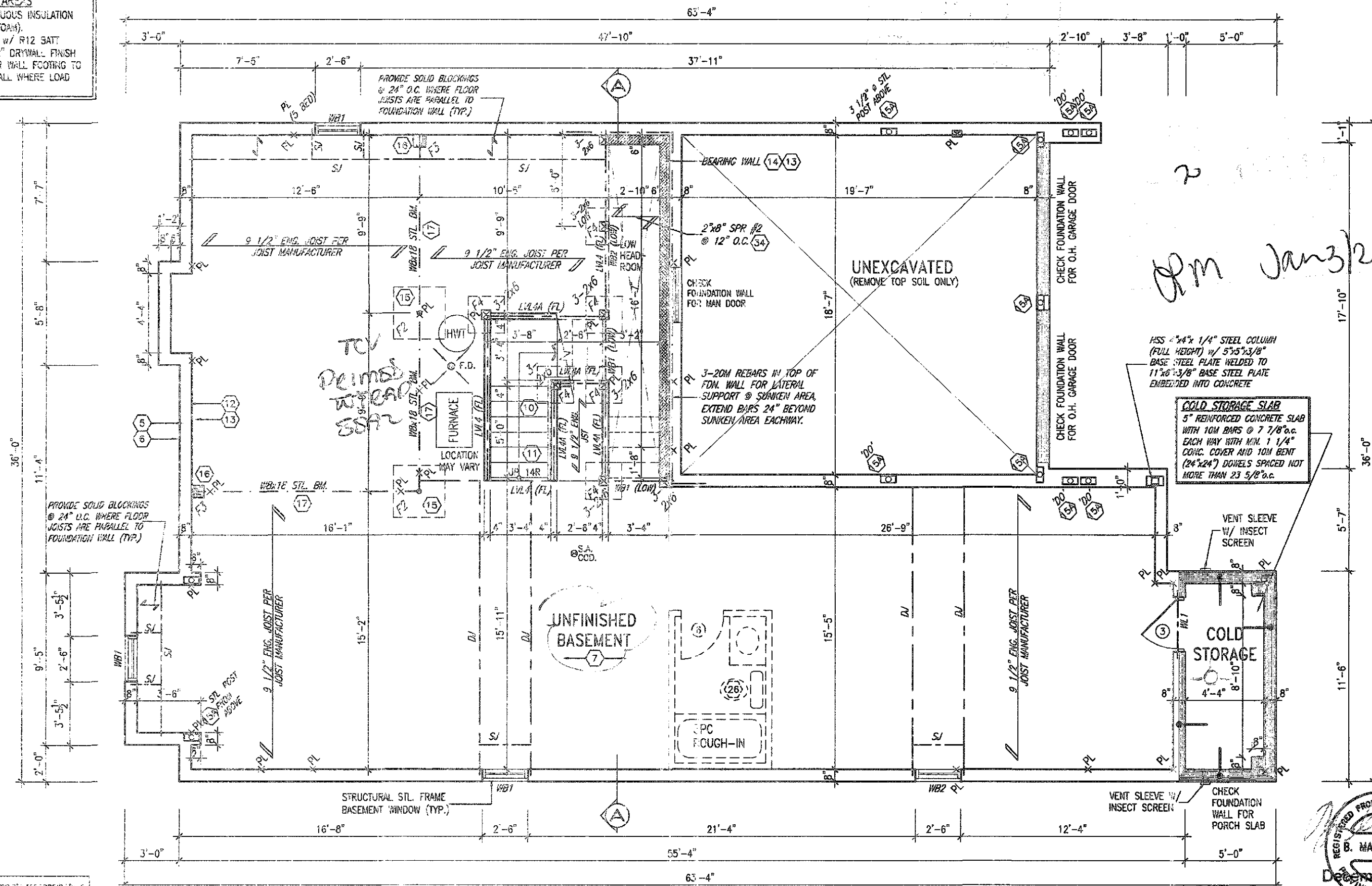
# BASEMENT WALL INSULATION

(TYP) (13)  
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

# BASEMENT INSULATION AT STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).  
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

3409 SF.



BASEMENT PLAN - ELEV. '3'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Architect's Seal and Stamp: B. MARINKOVIC, Registered Professional Engineer, December 19, 2020.

| no. | description | date | by | no. | description                            | date       | by |
|-----|-------------|------|----|-----|----------------------------------------|------------|----|
| 12  |             |      |    | 9   |                                        |            |    |
| 11  |             |      |    | 8   |                                        |            |    |
| 10  |             |      |    | 7   |                                        |            |    |
| 9   |             |      |    | 6   |                                        |            |    |
| 8   |             |      |    | 5   | REAR BOX BAY REVISED PER CLIENT.       | DEC. 11/20 | GM |
| 7   |             |      |    | 4   | STAIRWAY WIDTH CORRECTED.              | AUG. 05/20 | GM |
| 6   |             |      |    | 3   | ISSUED FOR PERMIT.                     | APR 13/20  | GM |
| 5   |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS      | MAR 24/20  | GM |
| 4   |             |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | MAY 29/20  | GM |

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

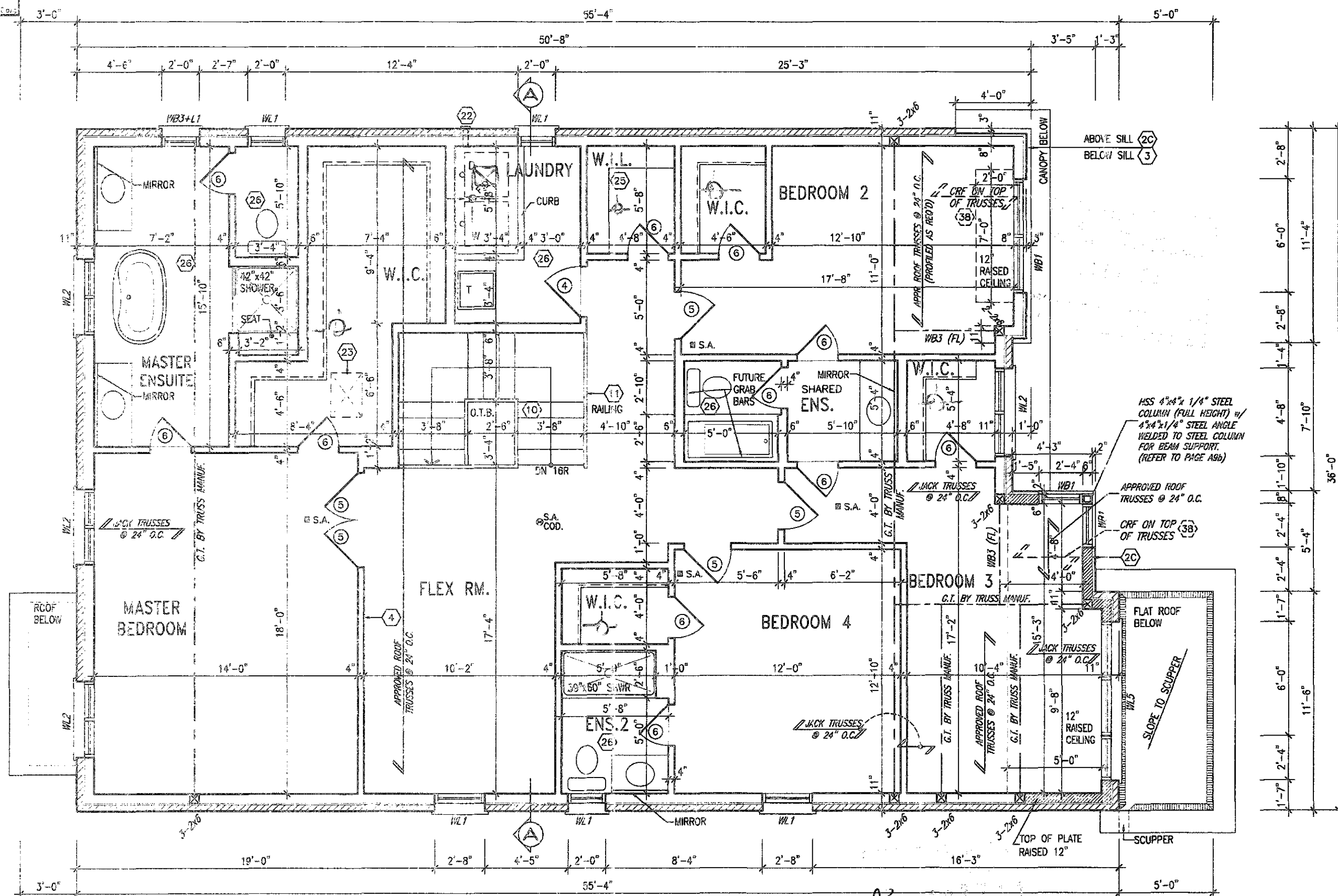
**MOUNTAINASH 6**  
13.5m

project name: **RUSSELL GARDENS PH. 3**  
city: **HAMILTON, ONTARIO**  
drawing no.: **19014**  
drawing title: **BASEMENT PLAN - ELEV. '3'**  
drawing date: **19014-MOUNTAINASH-06**  
drawing scale: **1/16" = 1'-0"**

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GRAB BAR NOTE:  
STUD WALL REINFORCEMENT FOR FUTURE  
GRAB BARS IN MAIN BATHROOM  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED  
ADJACENT TO WATER CLOSETS AND SHOWER OR  
BATHUB IN MAIN BATHROOM PER DEC. DIM. B-9.5.2.3.  
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES  
LISTED: WATER CLOSET 3.0.3.8.13(a) & 3.0.3.8.13(c).  
SHOWER 3.0.3.13.2(g); BATHUB 3.0.3.13.4(e).  
FREE STANDING BATHUB EXCLUDED. SEE DETAILS  
PROVIDED.



REGISTERED PROFESSIONAL ARCHITECT  
D. MARINKOVIC  
December 2020  
OFFICE OF CIVIL SERVICE  
STRUDET INC.  
FOR STRUCTURE ONLY

It is the builder's ultimate responsibility to ensure that all plans submitted for approval fully comply with the Architectural Control Ordinance and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for obtaining or approving site planning plans or engineering drawings and related to any zoning or building code or permit. It is the responsibility of the owner to ensure that any house is properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
HAMILTON

SECOND FLOOR PLAN - ELEV. '3'

Jim Jarzeka MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

|    |            |      |    |                                        |              |
|----|------------|------|----|----------------------------------------|--------------|
| 18 |            |      | 9  |                                        |              |
| 17 |            |      | 8  |                                        |              |
| 16 |            |      | 7  |                                        |              |
| 15 |            |      | 6  |                                        |              |
| 14 |            |      | 5  | PEAR BOX RAY REVISED PER CLIENT.       | DEC. 17/2010 |
| 13 |            |      | 4  | STAIRWAY WIDTH CORRECTED.              | AUG. 05/2010 |
| 12 |            |      | 3  | ISSUED FOR PERMIT.                     | APR 13/2010  |
| 11 |            |      | 2  | UPDATED PER ENG & CLIENT COMMENTS      | MAR 24/2010  |
| 10 |            |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN. 28/2010 |
| 9  | Issued for | only | by | Issued for                             | date         |

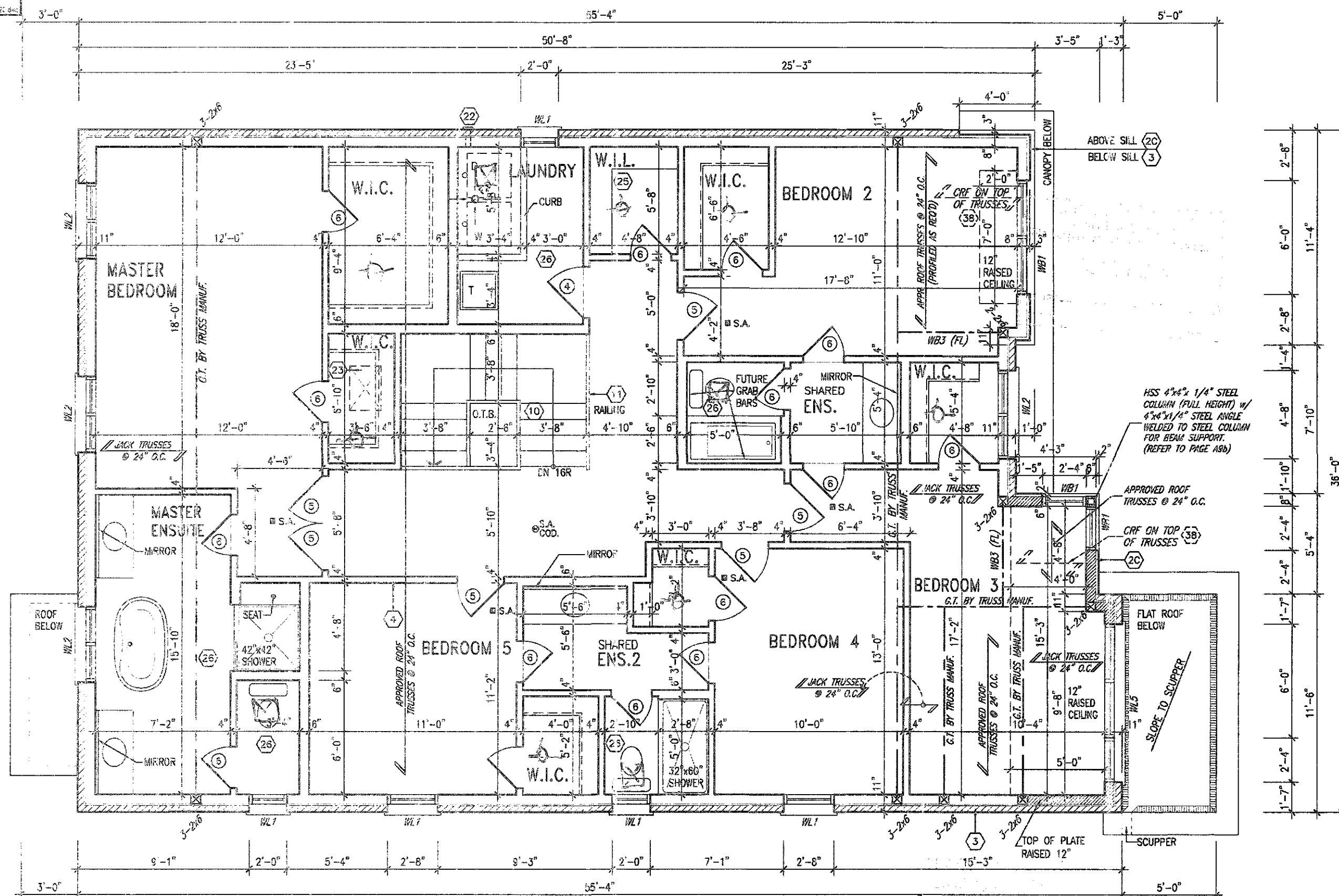
|                                                                                                                                                                                                                                                                                                                                       |                      |             |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|-------------|
| <p>The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Design Briefing Note to be a Designer.</p>                                                                                                                                               |                      |             |
| <p>Qualification information</p>                                                                                                                                                                                                                                                                                                      |                      |             |
| <p>Richard Vink</p>                                                                                                                                                                                                                                                                                                                   | <p><i>R Vink</i></p> | <p>2448</p> |
| <p>name</p>                                                                                                                                                                                                                                                                                                                           | <p>signature</p>     | <p>BC</p>   |
| <p>registration information</p>                                                                                                                                                                                                                                                                                                       |                      |             |
| <p>V43 Design Inc.</p>                                                                                                                                                                                                                                                                                                                |                      | <p>4263</p> |
| <p>Co-designer must verify all conditions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the project. It is not to be used for any other purpose.</p> |                      |             |

**VA3  
DESIGN**  
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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.477  
va3design.com

|                                                                                                         |  |                                            |  |
|---------------------------------------------------------------------------------------------------------|--|--------------------------------------------|--|
|  <b>Greenpark.</b> |  | <b>MOUNTAINASH 6</b><br>13.5m              |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                            |  | municipality<br><b>HAMILTON, ONTARIO</b>   |  |
| date<br><b>JAN 2020</b>                                                                                 |  | project no.<br><b>19014</b>                |  |
| drawn by<br><b>BD.EM</b>                                                                                |  | drawing no.<br><b>19014-MOUNTAINASH-06</b> |  |
| checked by<br><b>-</b>                                                                                  |  | scale<br><b>3/16" = 1'-0"</b>              |  |
| title<br><b>SECOND FLOOR PLAN - ELEV. '3'</b>                                                           |  | file name<br><b>19014-MOUNTAINASH-06</b>   |  |
| 062 - H:\WORK\GREENPARK\19014-MOUNTAINASH\19014-MOUNTAINASH-06.dwg - Plot 11/2020 - 11:45 AM            |  |                                            |  |

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**GRAB BAR NOTE:**  
**STUD WALL REINFORCEMENT FOR FUTURE**  
**GRAB BARS IN MAIN BATHROOM**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED  
ADJACENT TO WATER CLOSETS AND SHOWER OR  
BATHUBS IN MAIN BATHROOM PER CBC DIV. 2-9.2.3.  
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES  
LISTED: WATER CLOSET: 3.8.3.3.(3)(a) & 3.8.3.3.(3)(c)  
SHOWER: 3.8.3.3.(2)(g); BATHUB: 3.8.3.3.(4)(a);  
FREE STANDING BATHUB EXCLUDED. SEE DETAILS  
PROVIDED. 20-17-17-23-24



Qm Jan 3/4 MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

|                 |  |  |      |    |                                       |                 |
|-----------------|--|--|------|----|---------------------------------------|-----------------|
| 18              |  |  |      | 9  |                                       |                 |
| 17              |  |  |      | 8  |                                       |                 |
| 16              |  |  |      | 7  |                                       |                 |
| 15              |  |  |      | 6  |                                       |                 |
| 14              |  |  |      | 5  | REAR BOX BAY REVISED PER CLIENT.      | DEC. 11/2016 OK |
| 13              |  |  |      | 4  | STAIRWAY WIDTH CORRECTED.             | AUG. 05/2016 OK |
| 12              |  |  |      | 3  | ISSUED FOR PERMIT.                    | APR. 13/2016 OK |
| 11              |  |  |      | 2  | UPDATED PER ENG & CLIENT COMMENTS     | MAR. 24/2016 OK |
| 10              |  |  |      | 1  | PRELIMINARY ISSUED FOR CLIENT REVIEW. | JAN. 28/2016 OK |
| no. description |  |  | date | by | no. description                       | date            |

|                                                                                                                                                                                                                                                                                                             |           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| The undersigned has assumed the full responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                                             |           |
| Qualification information:                                                                                                                                                                                                                                                                                  |           |
| Richard Vink                                                                                                                                                                                                                                                                                                | 244       |
| name                                                                                                                                                                                                                                                                                                        | signature |
| Qualification information:                                                                                                                                                                                                                                                                                  |           |
| MA3 Design Inc.                                                                                                                                                                                                                                                                                             | 428       |
| Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the presence of the Designer which must be shown at the completion of the work. Drawings are not to be altered. |           |



**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com



project name  
**RUSSELL GARDENS PH. 3**

|          |            |               |  |
|----------|------------|---------------|--|
| date     | JAN 2020   |               |  |
| drawn by | checked by | scale         |  |
| BO.BOM   | -          | 3/16" = 1'-0" |  |

CRJ - 3 (ARC0271080V0) 201310014 G21 UNITS: CHILES: 44' MOUNTAINS: 1° 00' 4" - 1° 10' 45" - 36 deg - 17 - Dec 11 2020 - 11:45 A

**MOUNTAINASH 6**  
13.5m

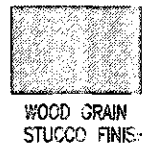
**HAMILTON, ONTARIO**

OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '3'

file name: 19014-MOUNTAINASH-06 A4b

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3409 SF.



VALLEY FLASHING (TYP.)

12" RAISED CEILING

PREFIN. ALUM. RAIL, FASCIA, CUTTER & VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD (TYP.)

10" PRECAST CONC. HEADER (TYP.)

FACE BRICK (TYP.)

CONT. PRECAST SILL (TYP.)

WOOD GRAIN STUCCO FINISH TRIM (TYP.)

MTL. FLASHING, W/ CAULKING BEHIND CLADDING (TYP.)

16"x16" MASONRY PIER W/ 8"x8" W/ WOOD GRAIN STUCCO FINISH TRIM WRAPPED COLUMN (TYP.)

POURED CONC. PORCH SLAB AND DOOR SILL

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

ASPHALT SHINGLES (TYP.)

12" RAISED CEILING

MID-POINT MAIN ROOF  
PREFIN. METAL COPING ON 6" STUCCO TRIM (TYP.)

APPLIED STUCCO FINISH W/ DECORATIVE REVEALS (TYP.)

WOOD GRAIN STUCCO FINISH TRIM (TYP.)

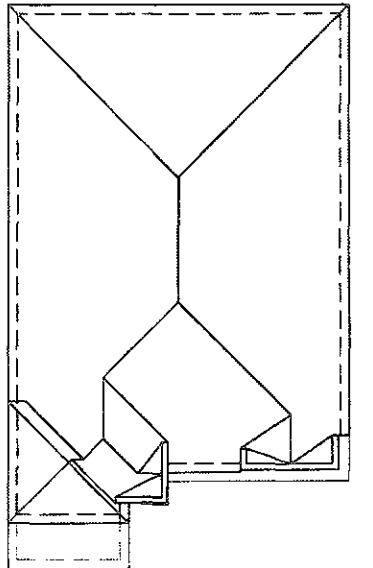
10" PRECAST CONC. HEADER (TYP.)

CONTEMPORARY STONE PATTERN (TYP.)

8'-0"x7'-0" RECESSED O/H GARAGE DOOR

8'-0"x7'-0" RECESSED O/H GARAGE DOOR

STEPPED FOOTING (30)



ROOF PLAN-3

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

U/S GARAGE FOOTING

TOP OF SLAB

FRONT ELEVATION - ELEV. '3'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)  
PRECAST CONCRETE STEPS  
W/ MASONRY INSERTS WHERE  
GRADE REQUIRES.

# MOUNTAINASH 6 COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

EXTERIOR RAILINGS:  
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

| no | description | date | by | no | description                          | date       | by |
|----|-------------|------|----|----|--------------------------------------|------------|----|
| 18 |             |      |    | 9  |                                      |            |    |
| 17 |             |      |    | 8  |                                      |            |    |
| 16 |             |      |    | 7  |                                      |            |    |
| 15 |             |      |    | 6  |                                      |            |    |
| 14 |             |      |    | 5  | REAR BOX WAY REVISED PER CLIENT      | DEC. 11/20 | GW |
| 13 |             |      |    | 4  | STAIRWAY WIDTH CORRECTED             | AUG. 05/20 | GW |
| 12 |             |      |    | 3  | ISSUED FOR PERMIT                    | APR. 13/20 | GW |
| 11 |             |      |    | 2  | UPDATED PER ENG. & CLIENT COMMENTS   | MAR. 24/20 | GW |
| 10 |             |      |    | 1  | PRELIMINARY ISSUED FOR CLIENT REVIEW | JAN. 28/20 | GW |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink 24488  
signature  
42656

Contractor must comply with all Codes on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

**Greenpark**

|                                                     |                                      |                               |
|-----------------------------------------------------|--------------------------------------|-------------------------------|
| project name<br><b>RUSSELL GARDENS PH. 3</b>        | location<br><b>HAMILTON, ONTARIO</b> | project no.<br><b>19014</b>   |
| date<br><b>JAN 2020</b>                             | checked by<br><b>BD.BM</b>           | scale<br><b>3/16" = 1'-0"</b> |
| drawing title<br><b>FRONT ELEVATION - ELEV. '3'</b> |                                      | drawing no.<br><b>A5b</b>     |

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3409 SF.

VALLEY FLASHING  
(TYP.)  
PREFIN. METAL COPING ON  
6" STUCCO TRIM (TYP.)  
APPLIED STUCCO FINISH W/  
DECORATIVE REVEALS (TYP.)  
1"x6" ALUM. CLAD  
FRIEZE SD.

ALUM. CLAD TRIM (TYP.)

WOOD GRAIN STUCCO  
FINISH TRIM (TYP.)

15"x15" MASONRY  
PIER #/ 8"x8"  
W/ WOOD GRAIN  
STUCCO FINISH  
TRIM WRAPPED  
COLUMN (TYP.)

CONTEMPORARY STONE  
PATTERN (TYP.)

RAILING AS GRADE  
REQ'D.

STEPPED  
FOOTING

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

6:12

ASPHALT SHINGLES  
(TYP.)

DELETE WINDOWS FOR  
OPT. 5 BEDROOM PLAN

BRICK SOLDIER  
(TYP.)

PRECAST CONC.  
SILL (TYP.)

FACE BRICK (TYP.)

30"x16" STRUCT. FRAME  
BASEMENT WINDOW (TYP.)

OPTIONAL  
30"x24"  
WINDOW

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

U/S GARAGE FOOTING

TOP OF SLAB

ALLOWABLE GLAZED OPENINGS  
WALL AREA =1162.00 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED =81.34 SQ. FT.  
GLAZING PROVIDED =59.41 SQ. FT. (GLASS AREA ONLY) - 4 BED  
GLAZING PROVIDED =48.03 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT. =60.47 SQ. FT. (GLASS AREA ONLY) - 4 BED  
30"x24" BASEMENT WINDOWS =49.09 SQ. FT. (GLASS AREA ONLY) - 5 BED

RIGHT SIDE ELEVATION -  
ELEV '3' STD & OPT. 5 BED

MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

|    |          |      |                                        |            |           |
|----|----------|------|----------------------------------------|------------|-----------|
| 18 |          | 9    |                                        |            |           |
| 17 |          | 8    |                                        |            |           |
| 16 |          | 7    |                                        |            |           |
| 15 |          | 6    |                                        |            |           |
| 14 |          | 5    | REAR BAY REVIS PER CLIENT.             | DEC. 11/20 | GW        |
| 13 |          | 4    | STAIRWAY WIDTH CORRECTED.              | AUG. 05/20 | GW        |
| 12 |          | 3    | ISSUED FOR PERMIT.                     | APR. 13/20 | GW        |
| 11 |          | 2    | UPDATED PER ENG & CLIENT COMMENTS      | MAR. 24/20 | GW        |
| 10 |          | 1    | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 26/20 | GW        |
| 9  | designer | date | by                                     | no.        | reception |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and skills to meet the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink 24488  
signature  
no. registration information  
VA3 Design Inc. 42658

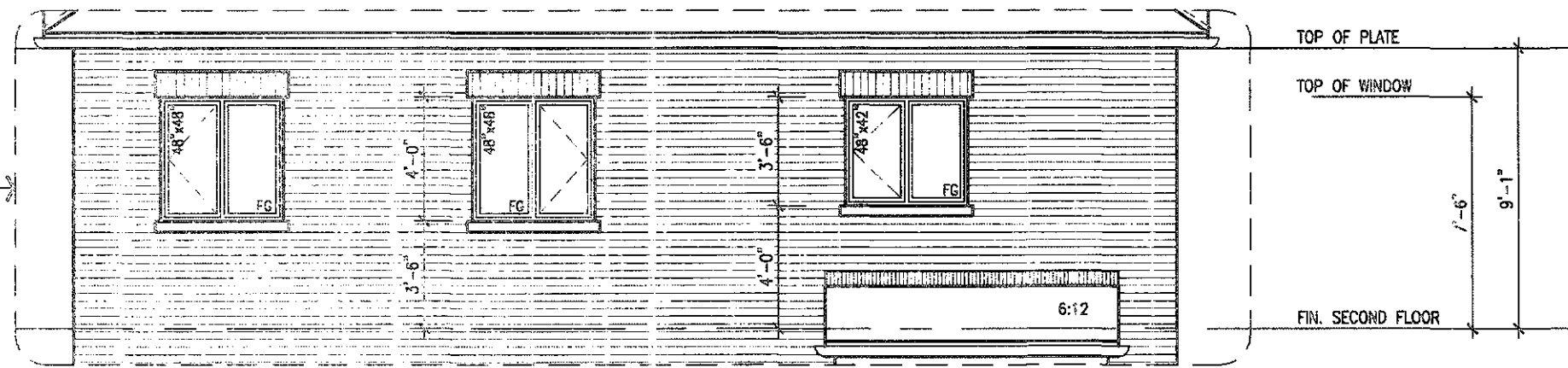
Contractor must carry all drawings on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned to the Designer and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

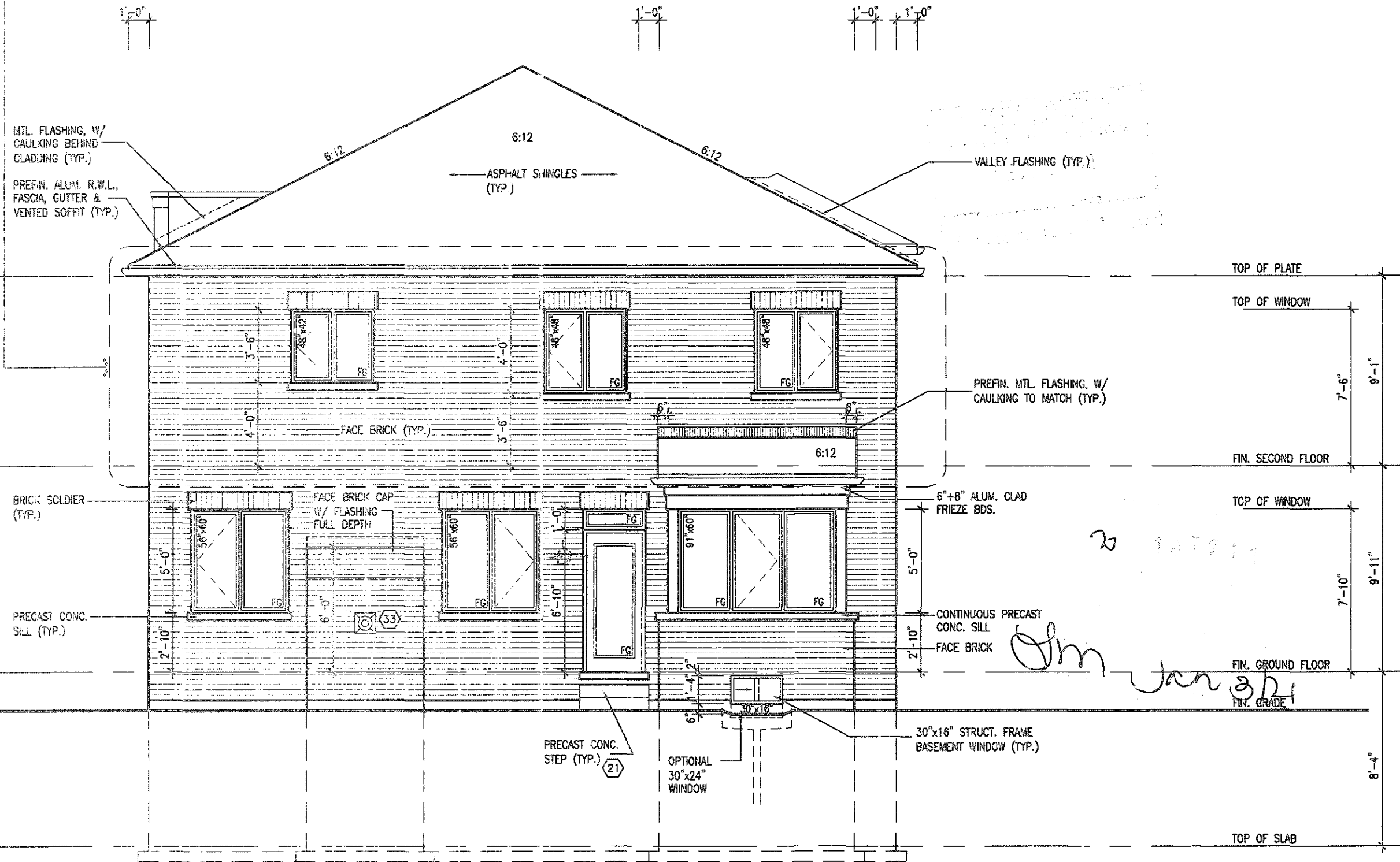
|                                                  |                                      |                                    |                                      |
|--------------------------------------------------|--------------------------------------|------------------------------------|--------------------------------------|
| <b>Greenpark.</b>                                |                                      | <b>MOUNTAINASH 6</b><br>13.5m      |                                      |
| project name<br><b>RUSSELL GARDENS PH. 3</b>     | location<br><b>HAMILTON, ONTARIO</b> | project no.<br><b>19014</b>        | drawing no.<br><b>A7b</b>            |
| date<br><b>JAN 2020</b>                          | designed by<br><b>BD, BIM</b>        | checked by<br><b>3/16" = 1'-0"</b> | scale<br><b>18014-MOUNTAINASH-06</b> |
| RIGHT SIDE ELEVATION - ELEV '3' STD & OPT. 5 BED |                                      |                                    |                                      |

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3409 SF.



PART REAR ELEVATION - ELEV '3' (5 BED)



REAR ELEVATION - ELEV. '3'

# MOUNTAINASH 6

COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Project Name: MOUNTAINASH 6  
Project No: 19014  
Drawing No: A8b

| no. | description | date | by | no. | description                           | date       | by |
|-----|-------------|------|----|-----|---------------------------------------|------------|----|
| 18  |             |      |    | 9   |                                       |            |    |
| 17  |             |      |    | 8   |                                       |            |    |
| 16  |             |      |    | 7   |                                       |            |    |
| 15  |             |      |    | 6   |                                       |            |    |
| 14  |             |      |    | 5   | REAR BOX BAY REVISED PER CLIENT       | DEC. 11/20 | GW |
| 13  |             |      |    | 4   | STAIRWAY WIDTH CORRECTED              | AUG. 05/20 | GW |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT                     | APR. 13/20 | GW |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENT'S    | MAR. 24/20 | GW |
| 10  |             |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW | JAN. 28/20 | GW |

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink  
signature  
24488  
BCN  
42656

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer shall not be returned at the expiration of the work. Drawings are not to be copied.

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

**Greenpark**

Project Name: RUSSELL GARDENS PH. 3  
Municipality: HAMILTON, ONTARIO  
Date: JAN 2020  
Drawn by: BU.BIM  
Checked by: 3/16" = 1'-0"

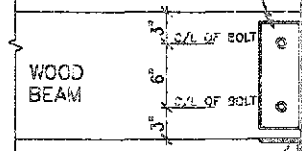
**MOUNTAINASH 6**  
13.5m  
Project No: 19014  
Drawing No: A8b

FEAR ELEVATION - ELEV '3' STD & OPT. 5 BED  
19014-MOUNTAINASH-06

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3409 SF.

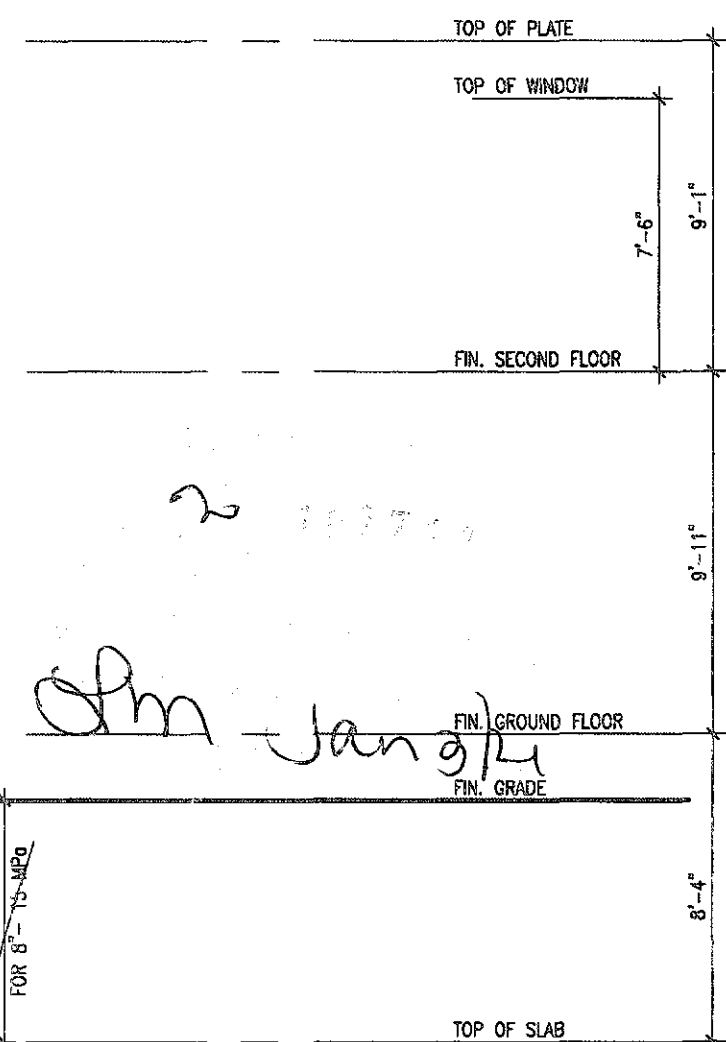
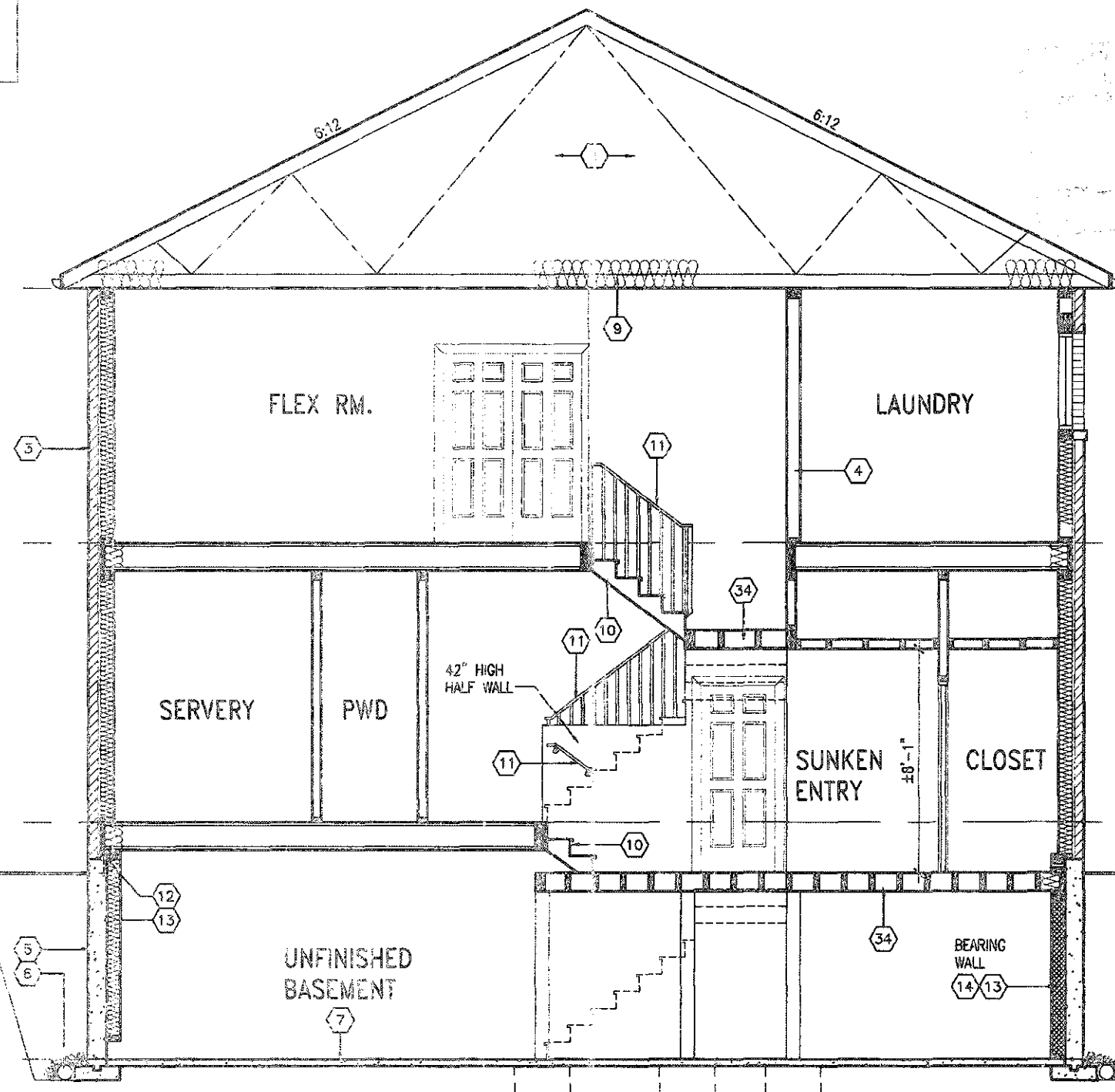
10" HIGH x 1/4" STEEL  
ANGLE WELDED TO  
STEEL COLUMN. BEAM  
BOLTED TO PLATE WITH  
2-1/2" DIA. BOLTS.



HSS 4"x4"x 1/4" STEEL  
COLUMN (FULL HEIGHT)

4"x4"x 1/4" STEEL  
ANGLE WELDED TO  
STEEL COLUMN FOR  
BEAM SUPPORT

ELEV.  
WOOD LINTEL AT STEEL COLUMN  
SCALE: NOT TO SCALE



CROSS SECTION 'A-A'  
(ELEV. '3')

MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

It is the engineer's complete responsibility to ensure that all designs submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Engineer/Architect is not responsible in any way for approving or disapproving site (plotting) plans or working drawings in reference to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

|    |             |      |    |                                        |               |
|----|-------------|------|----|----------------------------------------|---------------|
| 18 |             |      | 9  |                                        |               |
| 17 |             |      | 8  |                                        |               |
| 16 |             |      | 7  |                                        |               |
| 15 |             |      | 6  |                                        |               |
| 14 |             |      | 5  | REAR DOOR BAY REVISED PER CLIENT.      | DEC. 11/20 GW |
| 13 |             |      | 4  | STAIRWAY WIDTH CORRECTED.              | AUG. 05/20 GW |
| 12 |             |      | 3  | ISSUED FOR PERMIT.                     | APR 13/20 GW  |
| 11 |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS      | MAR 24/20 GW  |
| 10 |             |      | 1  | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 25/20 GW |
| 9  | description | date | by | description                            | date          |

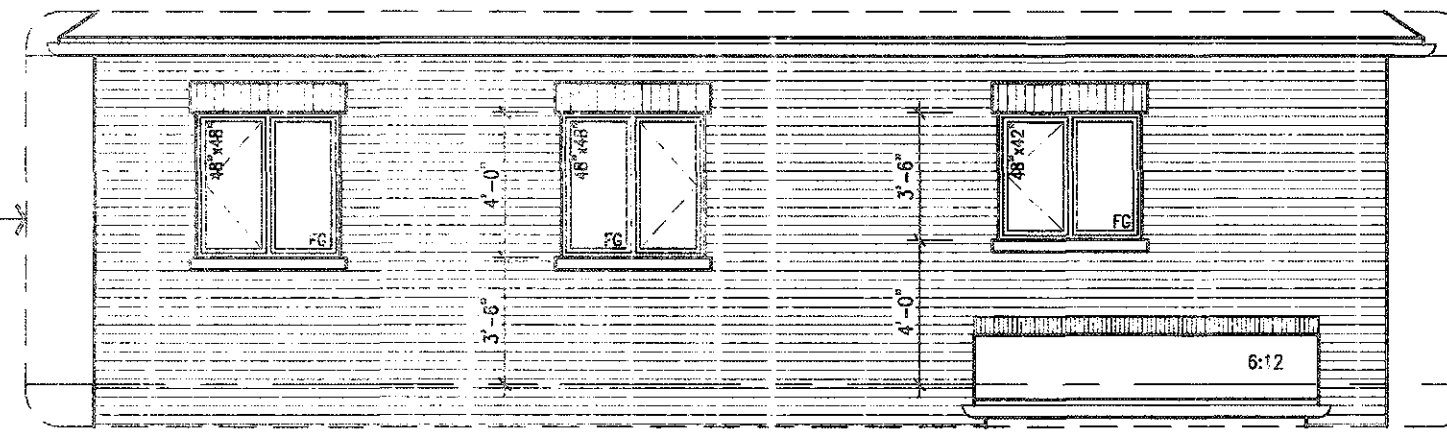
The undersigned has prepared and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Richard Vink  
signature  
24488  
VA3 Design Inc.  
42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH. 3  
date  
JAN 2020  
checked by  
3/16" = 1'-0"  
drawn by  
82.BIM  
CITY OF HAMILTON, 1070 KENNEDY RD, HAMILTON, ONTARIO L8N 3K1  
MOUNTAINASH 6-1504-MEM-08.dwg - P1 - Jan 11, 2020 - 11:46 AM

**MOUNTAINASH 6**  
13.5m  
project no.  
19014  
drawing no.  
A9b  
19014-MOUNTAINASH-06

3409 SF.



PART REAR ELEVATION - ELEV '3' (5 BED)



REAR ELEVATION '3' - DECK CONDITION

**EXTERIOR RAILINGS:**  
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

I, the undersigned, accept responsibility to ensure that all plans submitted for approval fully comply with the Agriculture, Guidelines and applicable regulations and requirements including zoning provisions and any provisions in the subject's agreement. The Control Authority is not responsible in any way for examining or approving any plans or zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

| no. | description | date | by | no. | description                            | date         | by |
|-----|-------------|------|----|-----|----------------------------------------|--------------|----|
| 18  |             |      |    | 9   |                                        |              |    |
| 17  |             |      |    | 8   |                                        |              |    |
| 16  |             |      |    | 7   |                                        |              |    |
| 15  |             |      |    | 6   |                                        |              |    |
| 14  |             |      |    | 5   | REAR BOX BAY REVISED PER CLIENT.       | DEC. 11/2018 |    |
| 13  |             |      |    | 4   | STAIRWAY WIDTH CORRECTED.              | AUG. 05/2019 |    |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | APR 13/2019  |    |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 24/2019  |    |
| 10  |             |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 28/2019 |    |

The undersigned has retained and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Richard Vink 24488  
signature  
42658

VA3 DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vc3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

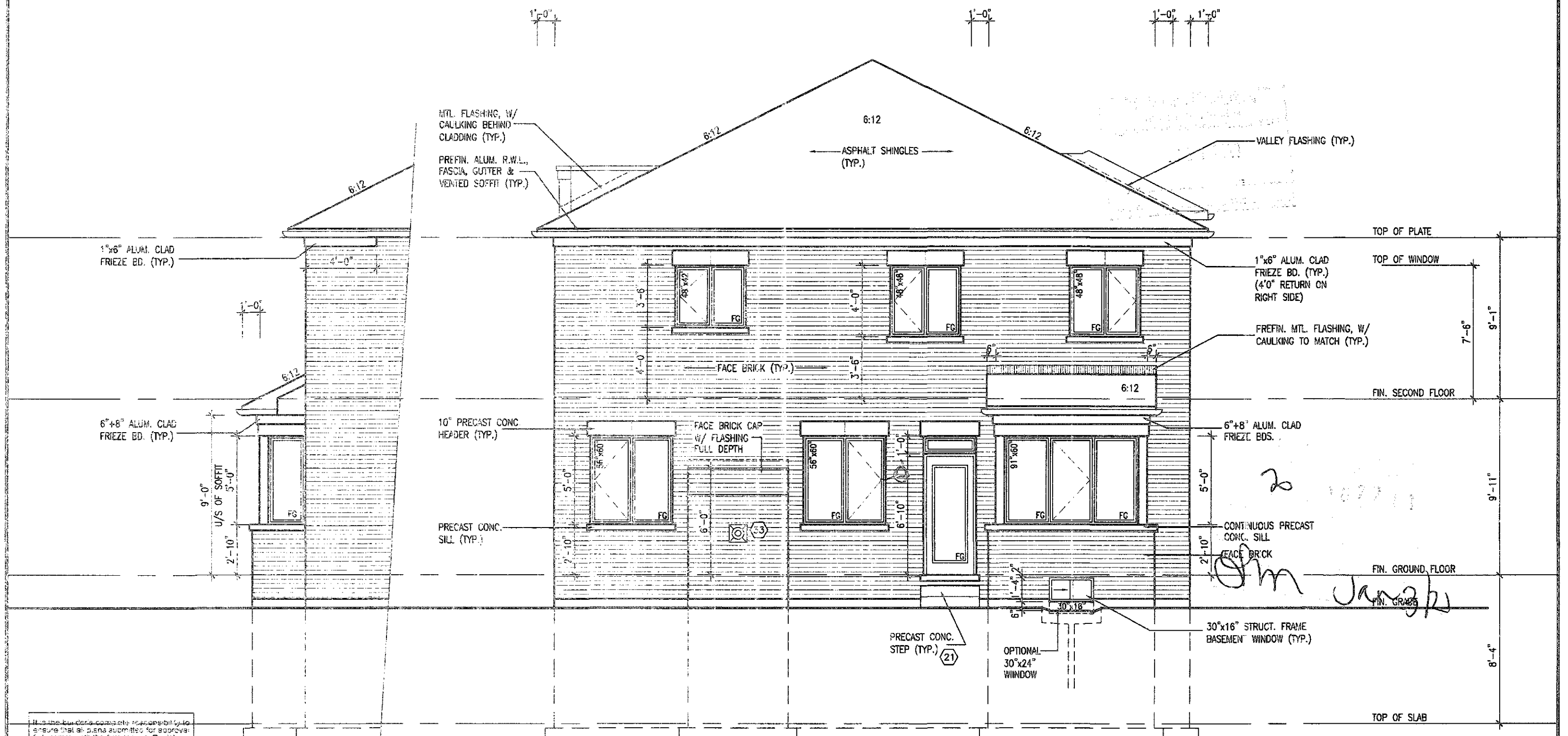
**VA3 DESIGN**  
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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vc3design.com

|                                                                  |  |                                          |  |
|------------------------------------------------------------------|--|------------------------------------------|--|
| <b>Greenpark</b>                                                 |  | <b>MOUNTAINASH 6</b><br>13.5m            |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                     |  | municipality<br><b>HAMILTON, ONTARIO</b> |  |
| date<br><b>JAN 2020</b>                                          |  | project no.<br><b>19014</b>              |  |
| drawn by<br><b>BD.BM</b>                                         |  | drawing no.<br><b>A11b</b>               |  |
| checked by<br><b>-</b>                                           |  | scale<br><b>3/16" = 1'-0"</b>            |  |
| description<br><b>REAR ELEV '3' &amp; OPT. 5 BED- DECK COND.</b> |  | file name<br><b>19014-MOUNTAINASH-06</b> |  |

CR: - MOUNTAINASH (19014) 2019-01-20 11:45 AM  
C:\Users\VA3\Documents\19014-MOUNTAINASH-06.dwg - 11:45 AM

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3409 SF.



PARTIAL SIDE  
ELEV. 3

UPGRADED REAR ELEVATION - ELEV. '3'  
(4 BEDROOMS)

**MOUNTAINASH 6**  
**COMPLIANCE PACKAGE 'A1'**

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3409 SF.



PARTIAL SIDE  
ELEV. 3

UPGRADED REAR ELEVATION - ELEV. '3'  
(5 BEDROOMS) (FOR LOTS 334 & 340)

MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

1. The undersigned hereby certifies that the undersigned is a duly qualified professional person and is duly registered with the appropriate regulatory body and is duly qualified to prepare and certify these plans.

|    |  |   |                                      |              |  |
|----|--|---|--------------------------------------|--------------|--|
| 18 |  | 9 |                                      |              |  |
| 17 |  | 8 |                                      |              |  |
| 16 |  | 7 |                                      |              |  |
| 15 |  | 6 | REAR BOX RAY REVISED PER CITY        | DEC 04/20 GR |  |
| 14 |  | 5 | REAR BOX RAY REVISED PER CLIENT      | DEC 11/20 GR |  |
| 13 |  | 4 | STAIRWAY WIDTH CORRECTED             | AUG 05/20 GR |  |
| 12 |  | 3 | ISSUED FOR PERMIT                    | APR 13/20 GR |  |
| 11 |  | 2 | UPGRADED PER ENG & CLIENT COMMENTS   | MAR 24/20 GR |  |
| 10 |  | 1 | PRELIMINARY ISSUED FOR CLIENT REVIEW | JAN 28/20 GR |  |
| 9  |  |   |                                      |              |  |
| 8  |  |   |                                      |              |  |
| 7  |  |   |                                      |              |  |
| 6  |  |   |                                      |              |  |
| 5  |  |   |                                      |              |  |
| 4  |  |   |                                      |              |  |
| 3  |  |   |                                      |              |  |
| 2  |  |   |                                      |              |  |
| 1  |  |   |                                      |              |  |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink  
signature  
24488  
42658

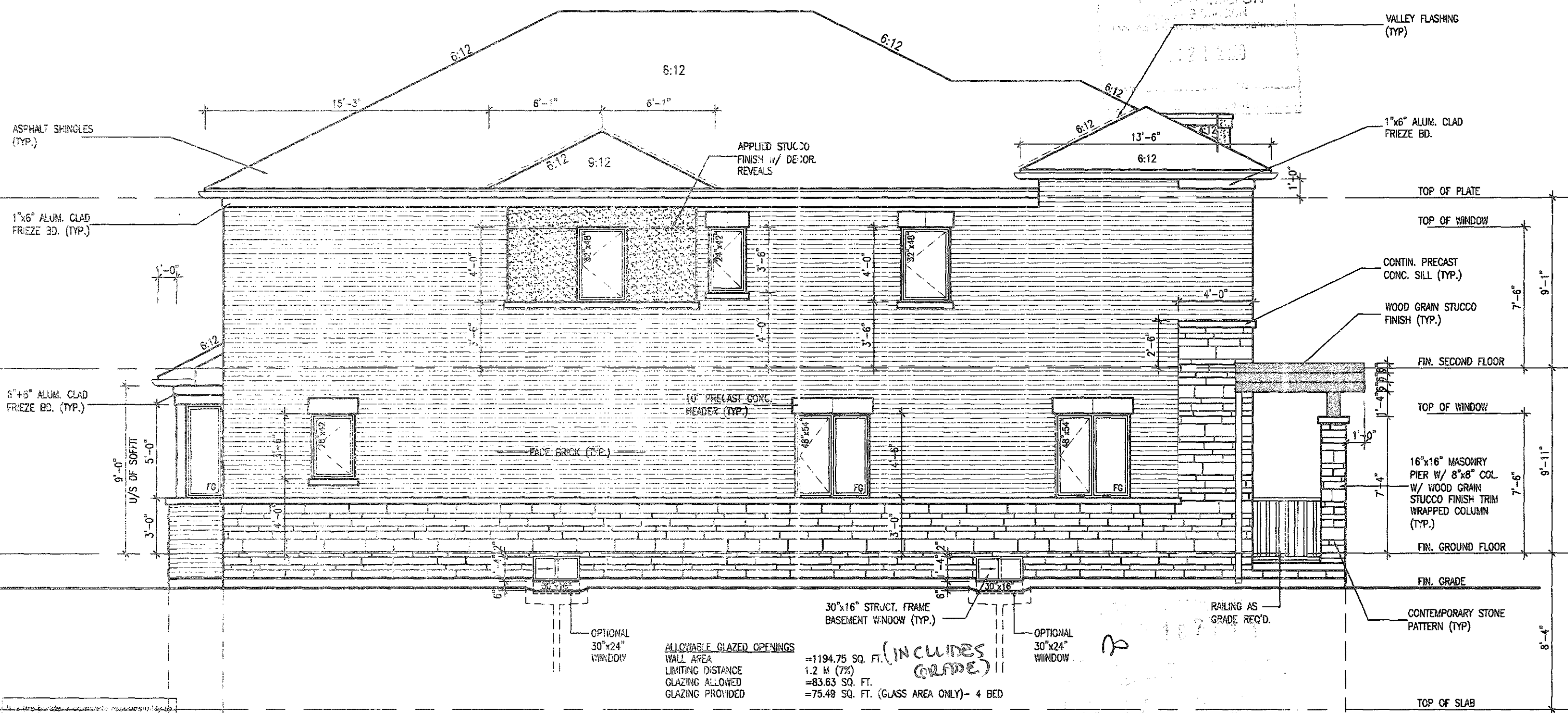
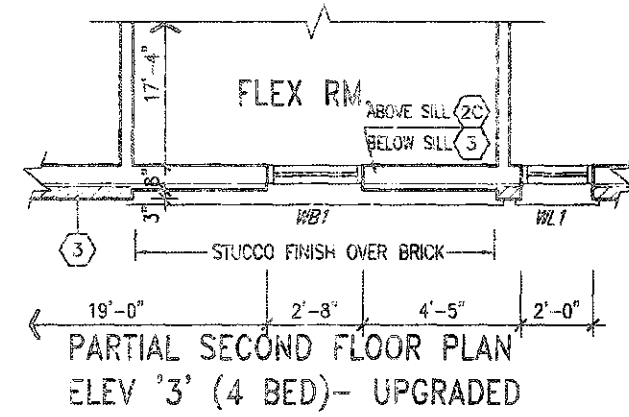
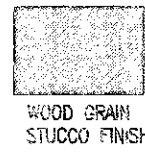
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|                                              |  |                                            |  |
|----------------------------------------------|--|--------------------------------------------|--|
| <b>Greenpark.</b>                            |  | <b>MOUNTAINASH 6</b><br>13.5m              |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b> |  | project no.<br><b>19014</b>                |  |
| date<br><b>JAN 2020</b>                      |  | drawing no.<br><b>19014-MOUNTAINASH-06</b> |  |
| drawn by<br><b>BD, BIM</b>                   |  | checked by<br><b>3/16" = 1'-0"</b>         |  |
| scale<br><b>3/16" = 1'-0"</b>                |  | date<br><b>11/20/20</b>                    |  |

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3409 SF.



ALLOWABLE GLAZED OPENINGS  
WALL AREA = 1194.75 SQ. FT. (INCLUDES GRADE)  
LIMITING DISTANCE = 1.2 M (7%)  
GLAZING ALLOWED = 83.63 SQ. FT.  
GLAZING PROVIDED = 75.48 SQ. FT. (GLASS AREA ONLY) - 4 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 78.49 SQ. FT. (GLASS AREA ONLY) - 4 BED

UPGRADED LEFT SIDE ELEVATION  
ELEV '3' (4 BED)  
(FOR LOT 152)

These plans were submitted for approval to the City of Hamilton and are subject to the City's Building Code and all applicable regulations and requirements. The Contractor is responsible for ensuring compliance with all applicable regulations and requirements. The City of Hamilton is not responsible for any errors or omissions in these plans.

This is to certify that these plans comply with the applicable Building Code and all applicable regulations and requirements. The City of Hamilton is not responsible for any errors or omissions in these plans.

Project Name: MOUNTAINASH 6  
Address: 19014 MOUNTAINASH DR, HAMILTON, ONTARIO  
Project No: 19014  
Drawing No: A13b

| no. | description                              | date        | by |
|-----|------------------------------------------|-------------|----|
| 10  | 1. PRELIMINARY, ISSUED FOR CLIENT REVIEW | JAN 23/2019 | GM |
| 11  | 2. UPGRADED PER ENG & CLIENT COMMENTS    | MAR 24/2019 | GM |
| 12  | 3. ISSUED FOR PERMIT                     | APR 13/2019 | GM |
| 13  | 4. SHARROW WIDTH CORRECTED               | AUG 05/2019 | GM |
| 14  | 5. REAR BOX BAY REVISED PER CLIENT       | DEC 11/2019 | GM |

The undersigned has assumed all design responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Richard Vink  
signature  
24488  
42658  
Contractor must carry all drawings on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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**MOUNTAINASH 6**  
13.5m

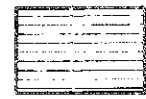
Project Name: RUSSELL GARDENS PH. 3  
Location: HAMILTON, ONTARIO  
Date: JAN 2020  
Drawn by: BO.BH  
Checked by: 3/16" = 1'-0"

UPGRADED LEFT SIDE ELEVATION - ELEV '3' (4 BED)  
19014-MOUNTAINASH-08  
A13b

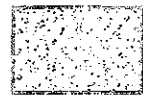
3409 SF.



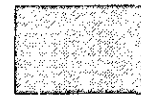
CONTEMPORARY  
STONE PATTERN



MAIN BRICK



STUCCO W/  
REVEALS



WOOD GRAIN  
STUCCO FINISH

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

ASPHALT SHINGLES  
(TYP.)

VALLEY FLASHING (TYP.)

1"x6" ALUM. CLAD  
FRIEZE BD. (TYP.)  
(3'-0" RETURN ON  
RIGHT SIDE)

PREFIN. MTL. FLASHING W/  
CAULKING TO MATCH (TYP.)

10" PRECAST CONC.  
HEADER (TYP.)

6"x8" ALUM. CLAD  
FRIEZE BDS.

EXTERIOR RAILINGS:  
3'-6" HIGH RAILING IF LANDING IS MORE  
THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN LANDING  
IS LESS THAN 5'-11" ABOVE ADJACENT  
FINISHED GRADE.

PRECAST CONC.  
SILL (TYP.)

CONTINUOUS PRECAST  
CONC. SILL  
CONTEMPORARY STONE  
PATTERN (TYP.)

UPGRADE BASEMENT WINDOWS  
ON REAR WALL WITH MIN.  
4'-4" FIN. FIRST FLOOR TO  
GRADE CONDITION.

UPGRADE BASEMENT WINDOWS  
ON REAR WALL WITH MIN.  
4'-4" FIN. FIRST FLOOR TO  
GRADE CONDITION.

UPGRADED REAR ELEVATION '3'-  
DECK CONDITION (4 BED)  
(FOR LOT 152)

4x4 WOOD COLUMN UP TO  
4'-0" HEIGHT, 6x6 WOOD  
COLUMN FOR HEIGHTS OVER  
4'-0" (PRESSURE TREATED)  
ON 12" CONC. PIER

MOUNTAINASH 6  
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

|    |             |      |                                                    |
|----|-------------|------|----------------------------------------------------|
| 18 |             | 9    |                                                    |
| 17 |             | 8    |                                                    |
| 16 |             | 7    |                                                    |
| 15 |             | 6    |                                                    |
| 14 |             | 5    | REAR BOX WAY REVISED PER CLIENT DEC. 11/20 SW      |
| 13 |             | 4    | STAIRWAY WIDTH CORRECTED AUG. 05/20 SW             |
| 12 |             | 3    | ISSUED FOR PERMIT APR. 15/20 SW                    |
| 11 |             | 2    | UPGRADED PER ENG & CLIENT COMMENTS MAR. 24/20 SW   |
| 10 |             | 1    | PRELIMINARY ISSUED FOR CLIENT REVIEW JAN. 23/20 SW |
| no | description | date | by                                                 |

|                                                                         |       |
|-------------------------------------------------------------------------|-------|
| Richard Vink                                                            | 24488 |
| signature                                                               |       |
| name                                                                    |       |
| registration information                                                |       |
| VAS Design Inc.                                                         | 42658 |
| Contractor must verify all dimensions on the job and report any         |       |
| discrepancies to the Designer before proceeding with the work. All      |       |
| drawings and specifications are instruments of service and the property |       |
| of the Designer and must be returned at the completion of the work.     |       |
| Drawings are not to be copied.                                          |       |

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|                                       |                               |
|---------------------------------------|-------------------------------|
| <b>Greenpark.</b>                     | <b>MOUNTAINASH 6</b><br>13.5m |
| project name<br>RUSSELL GARDENS PH. 3 | location<br>HAMILTON, ONTARIO |
| date<br>JAN 2020                      | project no.<br>19014          |
| drawn by<br>BD.BIM                    | drawing no.<br>A14b           |
| checked by<br>3/16" = 1'-0"           |                               |
| scale                                 |                               |
| notes                                 |                               |
| 19014-MOUNTAINASH-06                  |                               |

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