

3125 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16" SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa, NATIVE SOIL **90 KPa, ENGINEERED FILL SOIL**
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)
L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

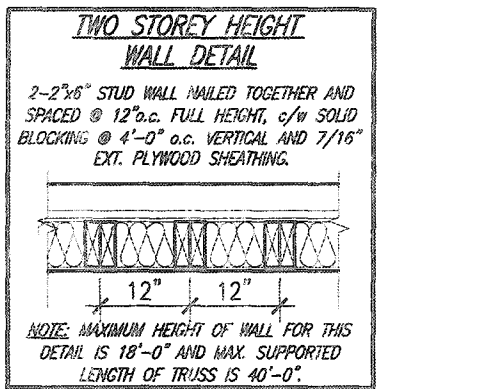
DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-0"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	8'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-6"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" - 7'-0".
2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

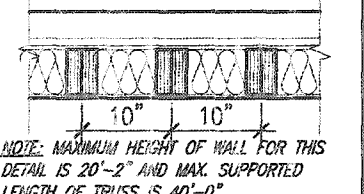


THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

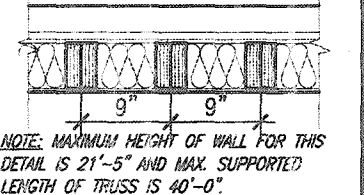
USE SB-12 COMPLIANCE PACKAGE (A1):			
COMPONENT	A1	Notes:	
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls	
Minimum RSI (R) value			
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY	
Minimum RSI (R) value			
Exposed Floor	5.46 (R31)	BATT or SPRAY	
Minimum RSI (R) value			
Walls Above Grade	3.87 (R22)	6" R22 BATT	
Minimum RSI (R) value			
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.	
Minimum RSI (R) value			
Edge of Below Grade Slab < 800mm below grade	1.76 (R10)	RIGID INSUL	
Minimum RSI (R) value			
Windows & Sliding glass Doors	0.28		
Maximum U-value			
Skylights	0.49		
Maximum U-value			
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS	
Hot Water Heater Minimum EF	0.8	NATURAL GAS	
HRV Minimum Efficiency	75%	-	
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information		

ci - Denotes Continuous Insulation without framing interruption.

TWO STOREY HEIGHT WALL DETAIL
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



TWO STOREY HEIGHT WALL DETAIL
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 12 ELEVATION 1		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	788.75 S.F.	134.75 S.F.	17.08 %
LEFT SIDE	1107.31 S.F.	202.41 S.F.	18.28 %
RIGHT SIDE	1059.33 S.F.	35.33 S.F.	3.34 %
REAR	769.42 S.F.	164.61 S.F.	21.39 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3724.81 S.F.	537.10 S.F.	14.42 %
TOTAL SQ. M.	346.04 S.M.	49.90 S.M.	14.42 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 12 ELEVATION 2		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	793.22 S.F.	127.69 S.F.	16.10 %
LEFT SIDE	1076.50 S.F.	210.99 S.F.	19.60 %
RIGHT SIDE	1058.60 S.F.	35.33 S.F.	3.34 %
REAR	768.25 S.F.	164.61 S.F.	21.43 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3696.57 S.F.	538.62 S.F.	14.57 %
TOTAL SQ. M.	343.42 S.M.	50.04 S.M.	14.57 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 12 ELEVATION 3		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	776.25 S.F.	165.03 S.F.	21.26 %
LEFT SIDE	1064.60 S.F.	228.97 S.F.	21.51 %
RIGHT SIDE	1058.60 S.F.	35.33 S.F.	3.34 %
REAR	768.25 S.F.	164.61 S.F.	21.43 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3667.70 S.F.	593.94 S.F.	16.19 %
TOTAL SQ. M.	340.74 S.M.	55.18 S.M.	16.19 %

AREA CALCULATIONS		ELEV '1'
GROUND FLOOR AREA	1381 SF	
SECOND FLOOR AREA	1735 SF	
TOTAL FLOOR AREA	3116 SF	(289.49 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	9 SF	
ADD TOTAL OPEN AREAS	+9 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	3125 SF	(290.32 m2)
GROUND FLOOR COVERAGE	1388 SF	
GARAGE COVERAGE/AREA	390 SF	
PORCH COVERAGE/AREA	78 SF	
COVERAGE W/ PORCH	1856 SF	(172.43 m2)
COVERAGE W/O PORCH	1778 SF	(165.18 m2)

AREA CALCULATIONS		ELEV '2'
GROUND FLOOR AREA	1390 SF	
SECOND FLOOR AREA	1744 SF	
TOTAL FLOOR AREA	3134 SF	(291.16 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	9 SF	
ADD TOTAL OPEN AREAS	+9 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	3143 SF	(292.0 m2)
GROUND FLOOR COVERAGE	1397 SF	
GARAGE COVERAGE/AREA	390 SF	
PORCH COVERAGE/AREA	78 SF	
COVERAGE W/ PORCH	1865 SF	(173.26 m2)
COVERAGE W/O PORCH	1787 SF	(160.01 m2)

AREA CALCULATIONS		ELEV '3'
GROUND FLOOR AREA	1381 SF	
SECOND FLOOR AREA	1735 SF	
TOTAL FLOOR AREA	3116 SF	(289.49 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	9 SF	
ADD TOTAL OPEN AREAS	+9 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	3125 SF	(290.32 m2)
GROUND FLOOR COVERAGE	1388 SF	
GARAGE COVERAGE/AREA	390 SF	
PORCH COVERAGE/AREA	45 SF	
COVERAGE W/ PORCH	1823 SF	(169.36 m2)
COVERAGE W/O PORCH	1778 SF	(165.18 m2)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

CITY OF HAMILTON
Building Division
Permit No. 187713
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

STRUDET INC. REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APRIL 08, 2020
PROVINCE OF ONTARIO
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 03 2020
FOR STRUCTURE ONLY

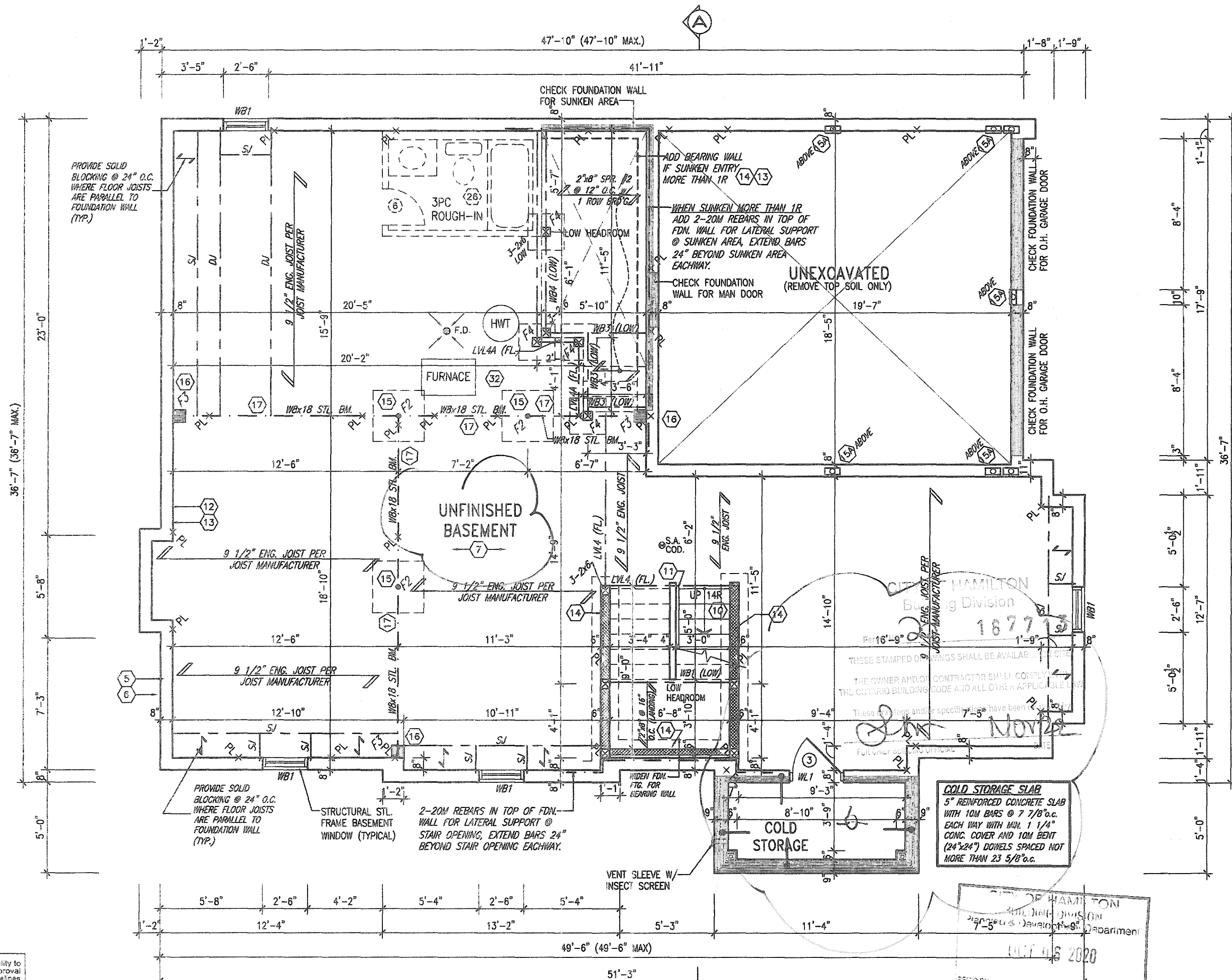
MOUNTAINASH 12 COMPLIANCE PACKAGE 'A1'

VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 416.630.2255 f 416.630.4782 va3design.com		Greenpark. project name RUSSELL GARDENS PH. 3 municipality HAMILTON project no. 19014		MOUNTAINASH 12 13.5m drawing no. AO	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink 24488 name registration information VA3 Design Inc. 42658		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.		GENERAL NOTES & CHARTS date JANUARY 2020 drawn by DB checked by 3/16" = 1'-0" scale 19014-MOUNTAINASH-12 date Apr 8 2020 - 9:15 AM	
3 ISSUED FOR PERMIT. APR 09/20 GW 2 UPDATED PER END & CLIENT COMMENTS. APR 05/20 GW 1 PRELIMINARY. ISSUED FOR CLIENT REVIEW. JAN 29/20 GW		no. description date by no. description date by			



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3125 SF.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE SEP 21, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



BASEMENT PLAN - ELEV. 2

18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT	APR 08/20	G
11				2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20	G
10				1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 23/20	G
no.	description	date	by	no.	description	date	b

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 244

name signature

registration information

VA3 Design Inc. 426

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

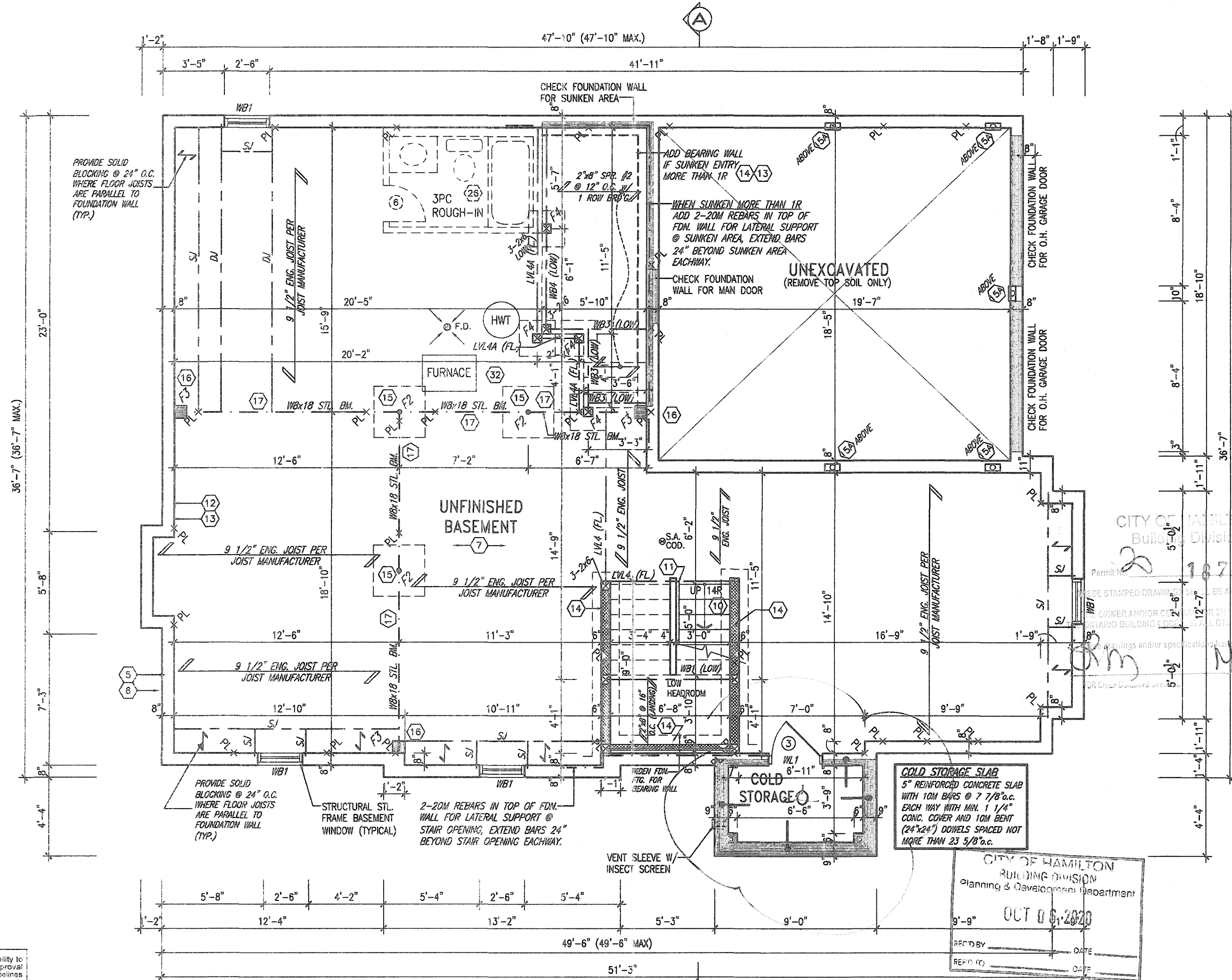
VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



project name RUSSELL GARDENS PH. 3	municipality HAMILTON	project no. 19014
date JANUARY 2020	drawing no.	
drawn by D8	checked by 3/16" = 1'-0"	scale 19014-MOUNTAINASH-12
drawing no.		A1a

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3125 SF.



BASEMENT PLAN - ELEV. 3

MOUNTAINASH 12

COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: SEP 11 2004

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Design Guidelines only and bears no further
professional responsibility.

18				9				The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17				8					
16				7				qualification information	
15				6				Richard Vink	244
14				5				<i>R Vink</i>	
13				4				signature	
12				3				VA3 Design Inc.	428
11				2	ISSUED FOR PERMIT	APR 08/20	GW		
10				1	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20	GW		
9				1	PRELIMINARY, ISSUED FR CLIENT REVIEW.	JAN 23/20	GW		
8	description	date	by	no	description	date	by		

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.		MOUNTAINASH 12 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON	
		project no. 19014	
date JANUARY 2020		BASEMENT PLAN - ELEV. 3	
drawn by DB		checked by -	
scale 3/16" = 1'-0"		file name 19014-MOUNTAINASH-12	
DB (MOUNTAINASH) - C:\Users\chad\Desktop\19014-GREENPARK\12\19014-MOUNTAINASH-12.dwg - Plot - Dec 8 2020 - 9:45 AM			

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER ORC DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST	3.0m
• DRIVEWAY, PARKING SPACE, ROAD	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

REV. 11-14-2012



Permit No. 48571

THESE STAMPED DRAWINGS SHALL BE AVAILABLE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS.

These drawings and/or specifications have been reviewed by _____

ON FOR CREDIT PURPOSES OFFICIAL

Department

1'-9"

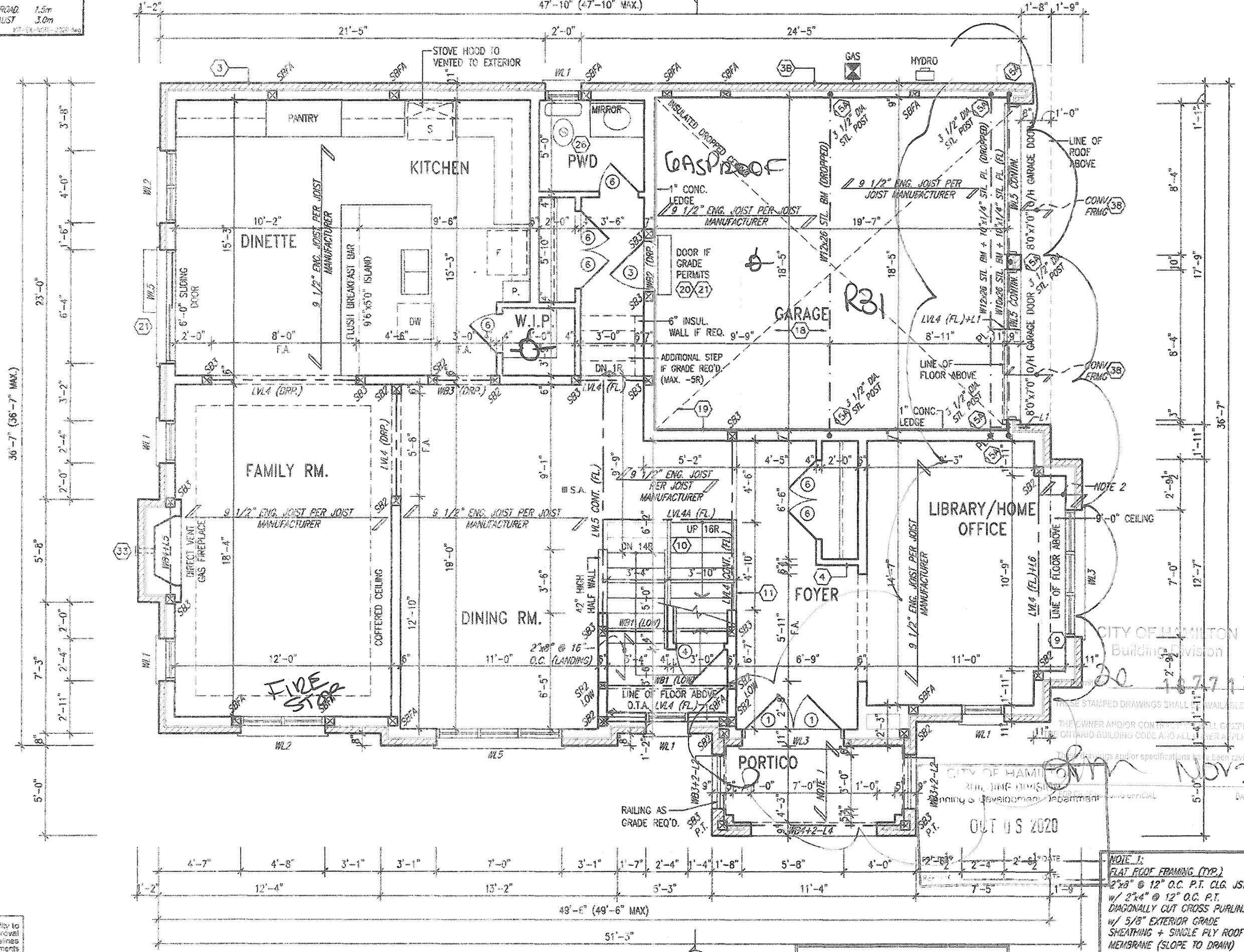


MOUNTAINASH 12
COMPLIANCE PACKAGE 'A1'

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3125 SF.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. 9 - TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m



GROUND FLOOR PLAN - ELEV. 2

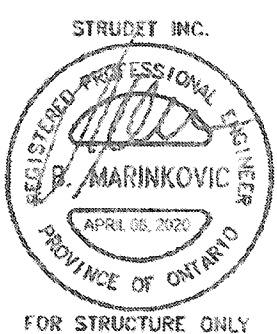
NOTE 2: FLAT ROOF OVER LIVING SPACE
2"x4" @ 12" O/C DIAGONALLY CUT CROSS PURLINS ON SINGLE PLY WATERPROOFING MEMBRANE ON 5/8" EXTERIOR GRADE SHEATHING ON 2"x4" CROSS PURLINS (CUT DIAGONALLY) @ 12" O/C ON 2"x8" JOISTS @ 12" O/C. W/ BATT INSULATION (RSI 5.40 R31)

NOTE 1: FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T. DIAGONALLY CUT CROSS PURLINS w/ 5/8" EXTERIOR GRADE SHEATHING + SINGLE PLY ROOF MEMBRANE (SLOPE TO DRAIN)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 23, 2020
This stamp certifies compliance with the applicable Architectural Design Guidelines (where applicable).



no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT	APR 08/20	SW
11				2	UPDATED PER ENG & CLIENT COMMENTS	APR 06/20	SW
10				1	PRELIMINARY, ISSUED FR CLIENT REVIEW	JAN 28/20	SW

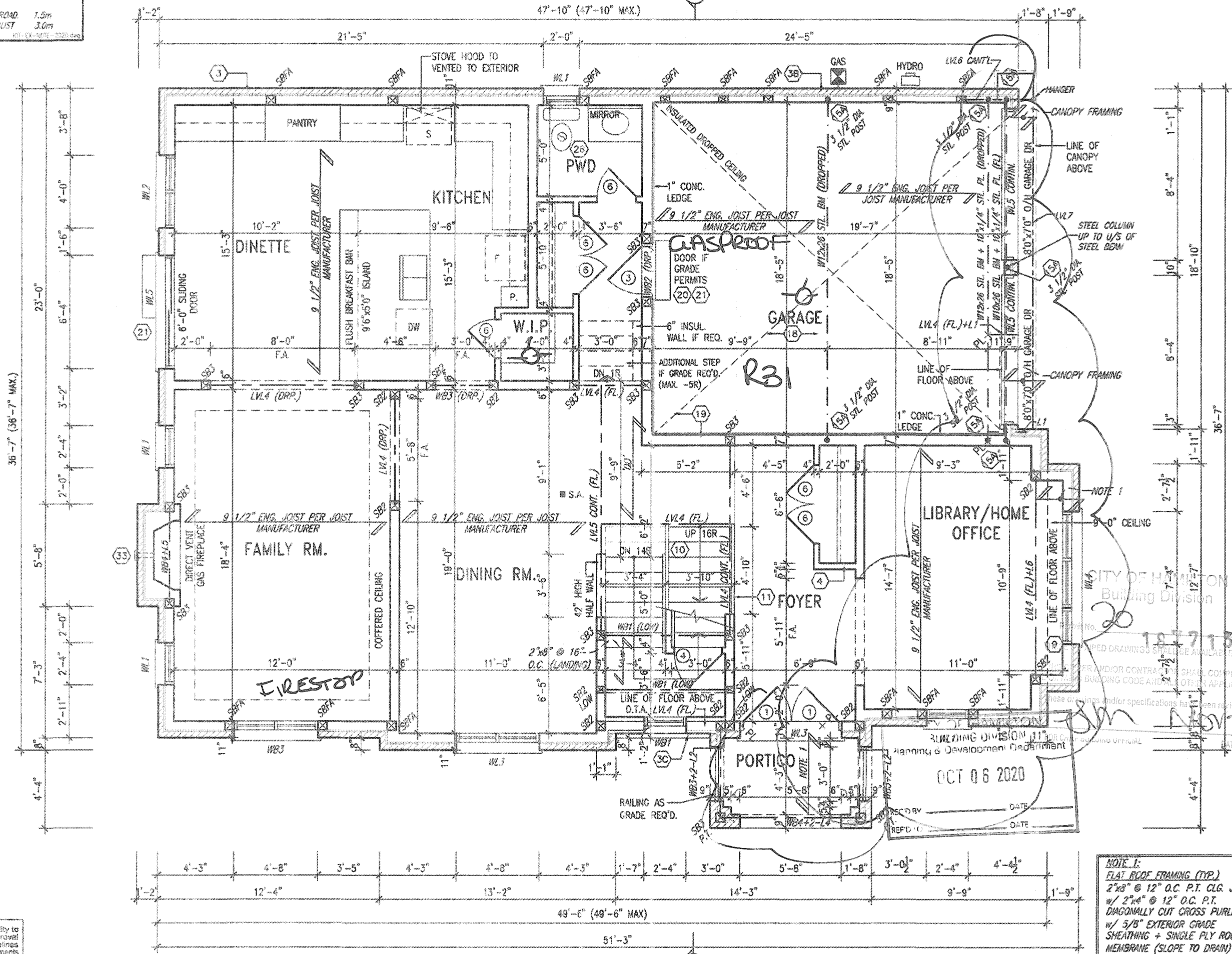
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink
name
signature
24488
42658
VAS Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are the property of the Designer and shall be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R6
416.630.2255 / 416.630.4762
vas3design.com

Greenpark.	MOUNTAINASH 12 13.5m
Project name RUSSELL GARDENS PH. 3	City HAMILTON
Date JANUARY 2020	Scale 3/16" = 1'-0"
Drawn by DB	Checked by 3/16" = 1'-0"
Drawing no. 19014-MOUNTAINASH-12	
Drawing no. A2a	

3125 SF.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m



GROUND FLOOR PLAN - ELEV. 3

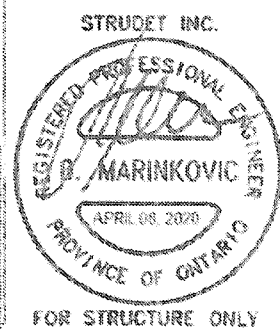
MOUNTAINASH 12 COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 21, 2020

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a guarantee of any kind or warranty of any kind.



18		9			
17		8			
16		7			
15		6			
14		5			
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12		3	ISSUED FOR PERMIT	APR 08/20	SW
11		2	UPDATED PER ENG & CLIENT COMMENTS	APR 06/20	SW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN 28/20	SW
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7					
6					
5					
4					
3					
2					
1					
0					

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
DESIGN
name
registration information
VAS Design Inc.
42653
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

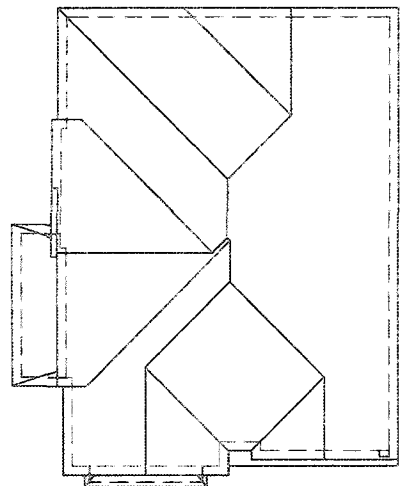
VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R6
T 416.630.2255 F 416.630.4782
vasdesign.com

Greenpark.		MOUNTAINASH 12 13.5m	
Project name RUSSELL GARDENS PH. 3	Municipality HAMILTON	Project no. 19014	
Date JANUARY 2020	Checked by 3/16" = 1'-0"	Scale 19014-MOUNTAINASH-12	Drawing no. A2b

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHUB IN MAIN BATHROOM PER OBC DIV. 8-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.3.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GS-NOTF-2010.dwg



ROOF PLAN 1



VAULTED CEILING -
(INT. SLOPE 5:12)

28" ARCHED FIXED
GLASS TRANSOM

7" PRECAST CONC.—
ARCHED HEADER ON
PRECAST CONC.
SURROUND

ASPHALT SHINGLES
(TYP.)

8" DIA. COLUMN ANCHORED
TO 14"x14" SOLID MASONRY
PIER (TYP.).

RAILING AS—
GRADE REQ'D.

POURED CONC. PORCH
SLAB

30"x16" STRUCT. FRAME -
BASEMENT WINDOW (TYP.)

POURED CONC. FOUNDATION-
WALLS AND FOOTINGS (TYP.)

FRONT ELEVATION 1

—ASPHALT SHINGLES
(TYP.)

MID-POINT OF MAIN ROOF

VALLEY FLASHING

—PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

—1" x 6" ALUM.
FRIEZE BD.

—7" PRECAST CONC.
HEADER & SURROUND

—FACE BRICK (TYP.)

—DOUBLE PRECAST CONC.
SILL (TYP.)

—PREFIN. MTL FLASHING, W/
CAULKING TO MATCH (TYP.)

—10" PRECAST CONC. HEADER

Permit No. 20 187713

CONTINUOUS PRECAST
CONC. SILL (TYP.)

STONE VENEER (TYP.)

OR CNEC BUILDING OFFICIAL _____ DATE _____

U/S

—STEPPED CONC.

FOOTING TOP OF

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND ASSESSMENT

APPROVED BY:
DATE: SEP 21, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further contractual responsibility.

W	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
W	qualification information	
W	Richard Vink	244
W	name	signature
W	registration information	
W	VAS Design Inc.	428
W	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Dimensions are not to be scaled.	

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t 416.630.2255 f 416.630.476
va3design.com

	Greenpark	
Project name RUSSELL GARDENS PH. 3	Municipality HAMILTON	
Date JANUARY 2020	Front Elevation FRONT EL	
Drawn by -	Checked by -	Scale 3/16" = 1'-0"
MIDWINTER - C:\Users\ghenr\Desktop\18014-666PARK UNITEL 18014-MIDWINTER-12		

MOUNTAINASH 12 13.5m	
project no. 19014	
ION - ELEV. 1 file name 014-MOUNTAINASH-12 dated - Apr 8 2020 -- 9:15 AM	drawing no. A4

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$$\begin{array}{ccccc} \begin{array}{c} \text{1'}-0'' \\ \text{1'}-0'' \\ \text{1'}-0'' \end{array} & & \begin{array}{c} \text{1'}-0'' \\ \text{1'}-0'' \end{array} & & \begin{array}{c} \text{1'}-0'' \\ \text{1'}-0'' \end{array} \end{array}$$

MID-POINT OF MAIN ROOF

VAULTED CEILING (+14")
(INT. SLOPE 5:12)

TOP OF PLATE

TOP OF WINDOW

9-6

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

U/S GARAGE FOOTING

STEPPED-SPONGE FOOTING

TOP OF SLAB

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 06 2020

REC'D BY _____ DATE _____
REC'D BY _____ DATE _____

Greenpark.

MOUNTAINASH 12
13.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON	19014
date	drawing no.	
JANUARY 2020	FRONT ELEVATION - ELEV. 2	

A4a

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter; or that any house can be properly built or located on its lot.

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: SEP 22 2000

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Design Guidelines only and bears no further
professional responsibility.

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12				3	ISSUED FOR PERMIT.	APR 03/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	APR 05/20	GW
10				1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 23/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information		
Richard Vink	<i>R. Vink</i>	24488
name	signature	BCIN
registration information		
VA3 Design Inc.		42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		

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255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark.		MOUNTAINASH 12 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON	
date JANUARY 2020		project no. 19014	
drawn by DB		checked by -	
scale 3/16" = 1'-0"		file name 19014-MOUNTAINASH-12	
drawing no. A4a		drawing no. A4a	

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CONTEMPORARY STONE PATTERN

MAIN BRICK

WOOD GRAIN STUCCO FINISH

STUCCO w/ REVEALS

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3125 SF.



FLANKAGE ELEVATION 1

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

MOUNTAINASH 12
COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL DESIGN, REVIEW
AND APPROVAL
APPROVED BY _____
DATE: APR 23, 2020
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18			9						
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13			4						
12			3	ISSUED FOR PERMIT	APR 08/20	GW			
11			2	UPDATED PER ENG & CLIENT COMMENTS.	APR 05/20	GW			
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 23/20	GW			
no.	description	date	by	no.	description	date	by		

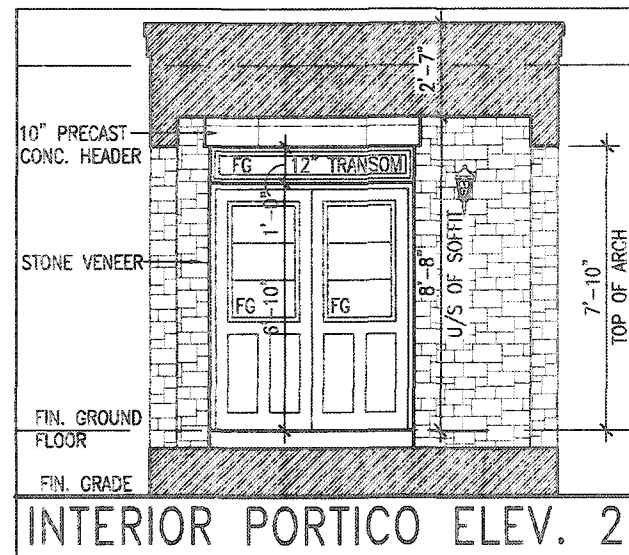
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCN
name
registration information
VA3 Design Inc.
42658
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va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON
date
JANUARY 2020
checked by
scale
3/16" = 1'-0"
drawing no.
19014-MOUNTAINASH-12

MOUNTAINASH 12
13.5m
project no.
19014
drawing no.
A5
FLANKAGE ELEVATION - ELEV. 1
19014-MOUNTAINASH-12.dwg - Wed - Apr 8, 2020 - 9:15 AM

3125 SF.



INTERIOR PORTICO ELEV. 2

BRICK SOLDIER ARCH AND KEYSTONE ON 12"x12" STONE IMPOST ON BRICK STACK



ASPHALT SHINGLES (TYP.)

VALLEY FLASHING

VAULTED CEILING (+14") (INT. SLOPE 5:12)

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP.)

PRECAST CONC. SILL ON BRICK ROWLOCK (TYP.)

FIN. SECOND FLOOR

SCUPPER

10" BRICK SOLDIER ON 4" BRICK STACK

TOP OF TRANSOM

TOP OF WINDOW

OF HAMILTON

CONTINUOUS PRECAST CONC. SILL (TYP.)

FIN. GROUND FLOOR

STONE VENEER (TYP.)

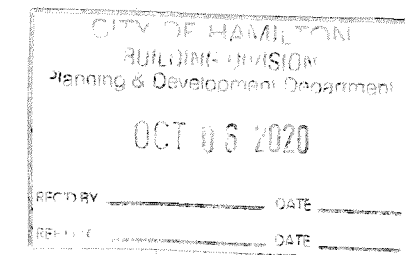
FIN. GRADE

POURED CONC. PORCH SLAB AND DOOR SILL

DATE

TOP OF SLAB

FLANKAGE ELEVATION 2



MOUNTAINASH 12

COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 21 2020
This stamp certifies compliance with the applicable Design Guidelines only and carries no further professional responsibility.

18			9						
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12			3	ISSUED FOR PERMIT	APR 08/20	GW			
11			2	UPDATED PER ENG & CLIENT COMMENTS	APR 06/20	GW			
10			1	PRELIMINARY, ISSUED FR CLIENT REVIEW	JAN 23/20	GW			
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink
signature
BCN
24488
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 416.630.4782
vasdesign.com

Greenpark

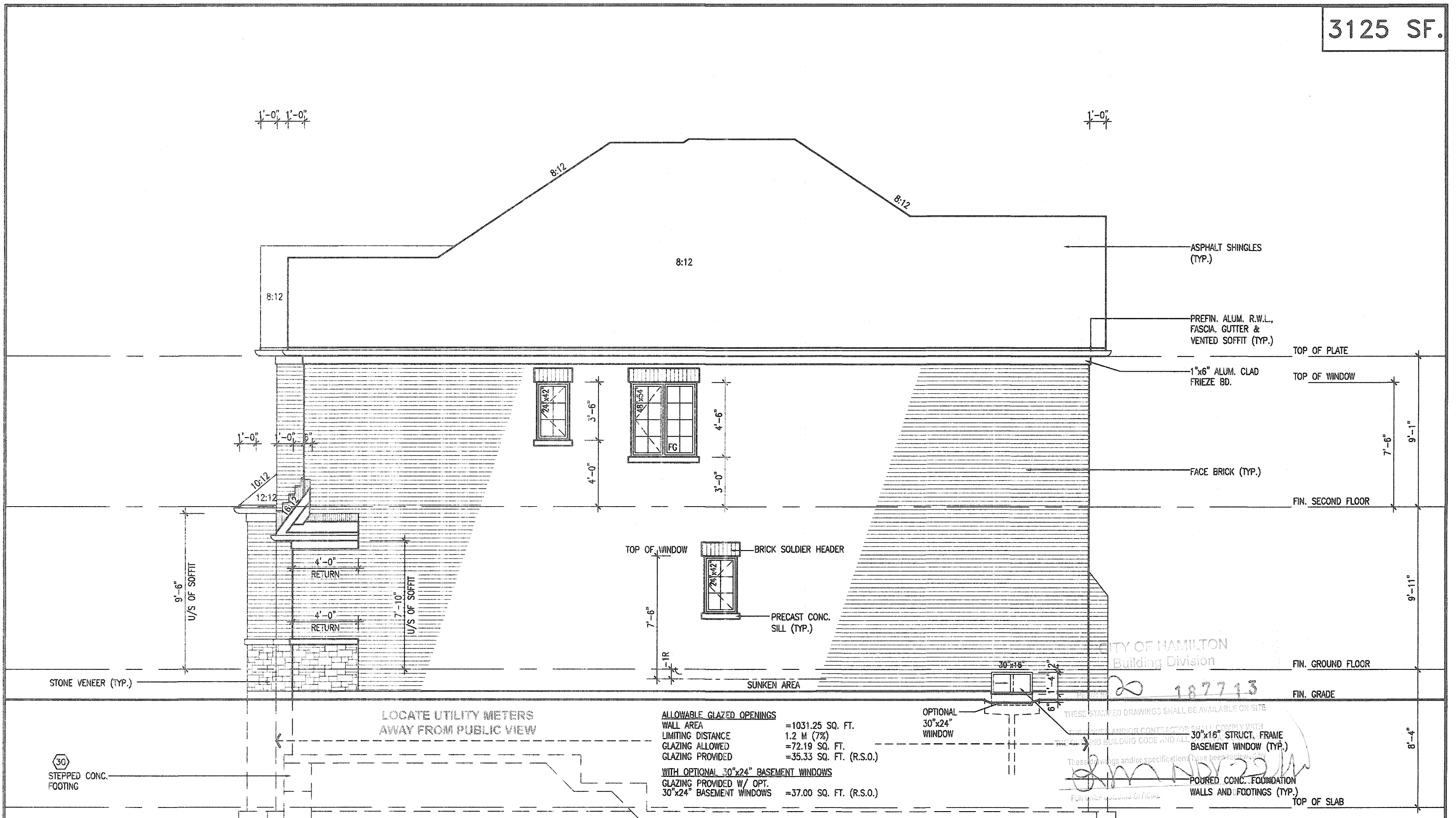
MOUNTAINASH 12
13.5m
project no. 19014

project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON

date
JANUARY 2020
drawn by
DB
checked by
3/16" = 1'-0"
scale
19014-MOUNTAINASH-12
file name
A5a

drawing no.
A5a

3125 SF.



RIGHT SIDE ELEVATION 1

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

MOUNTAINASH 12
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: SEP 21 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18		9			
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12		3	ISSUED FOR PERMIT.	APR 09/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20	GW
10		1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 23/20	GW
9	description	date	by	no.	description

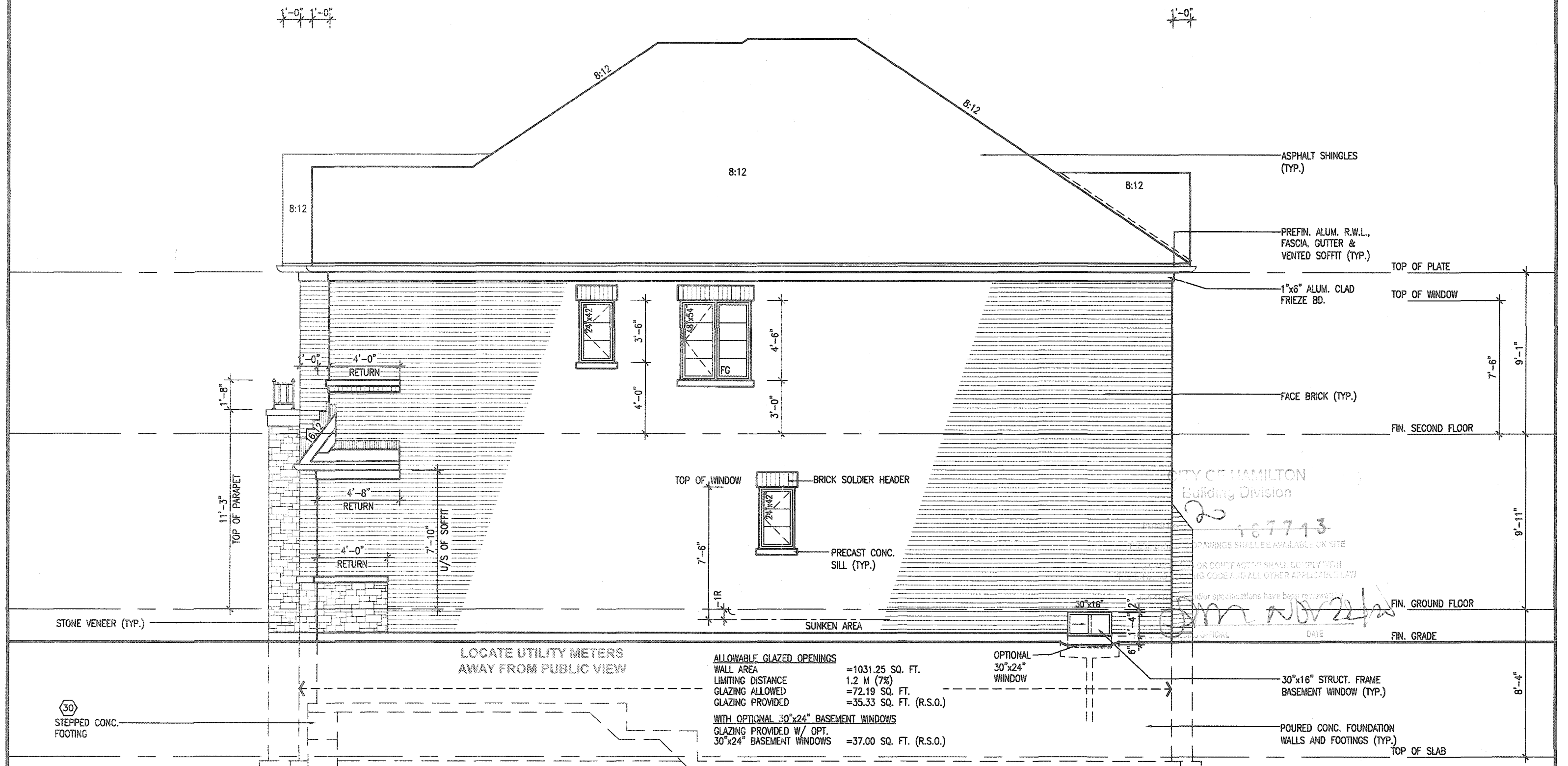
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCN
name registration information
VA3 Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON
date
JANUARY 2020
checked by
scale
3/16" = 1'-0"
file name
19014-MOUNTAINASH-12
drawing no.
A6

MOUNTAINASH 12
13.5m
project no.
19014
drawing no.
A6

3125 SF.



RIGHT SIDE ELEVATION 2

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 06 2020

RECORDY _____ DATE _____
REF _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____

DATE: SEP 21, 2020

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Design Guidelines only and bears no further
professional responsibility.

18			9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	2448
17			8					80
16			7				qualification information	
15			6				Richard Vink	2448
14			5				name	80
13			4				registration information	4265
12			3	ISSUED FOR PERMIT.	APR 05/20	GW		
11			2	UPDATED PER ENG & CLIENT COMMENTS.	APR 05/20	GW		
10			1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 23/20	GW		
9	no. description	date	by	no. description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

W	The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink <i>R Vink</i> 2448 name <i>signature</i> 80 registration information VAS Design Inc. 4263
W	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.
W	
V	

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DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark™		MOUNTAINASH 12 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON	
data JANUARY 2020		drawing no. 19014	
screen by DB		right side elevation - elev. 2	
checked by -		scale 3/16" = 1'-0"	
file name 19014-MOUNTAINASH-12		A6a	
C:\Users\chad\Desktop\19014-GREENPARK\UNITES\19014-MOUNTAINASH-12.dwg - Wed - Dec 8 2020 - 9:15 AM			

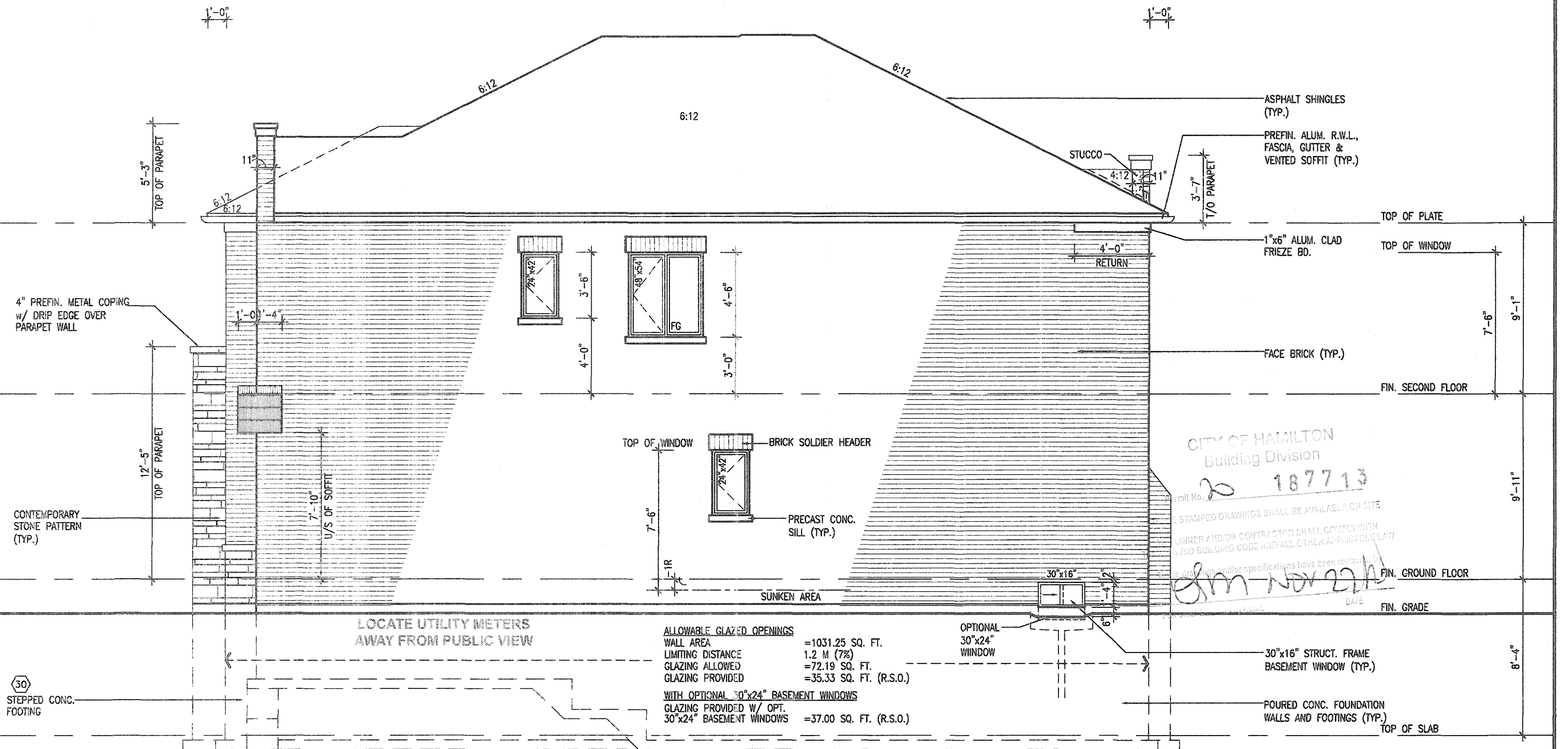
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CONTEMPORARY STONE PATTERN

MAIN BRICK

WOOD GRAIN STUCCO FINISH

STUCCO w/ REVEALS



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC'D BY _____ DATE _____
REC'D TO _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: SEP 21 2006

This stamp certifies compliance with the applicable
Design Guidelines only and does not further
professional responsibility.

[illegible]

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark™		MOUNTAINASH 12 13.5m
project name RUSSELL GARDENS PH. 3	municipality HAMILTON	project no. 19014
RIGHT SIDE ELEVATION - ELEV. 3		
data JANUARY 2020	checked by DB	scale 3/16" = 1'-0"
drawing no. A6b		file name 19014-MOUNTAINASH-12
user: mozammel - C:\Users\mozammel\OneDrive\19014-GREENPARK\UNITS\19014-MOUNTAINASH-12.dwg - Mon - Jul 6 2020 - 10:15 AM		

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Architectural elevation drawing of the front of a house. The drawing shows a gabled roof with a 11'-11" width and an 8:12 pitch. The front facade features a central entrance with a 6'-0" sliding door and a 12" transom window. To the left of the door is a 48" x 72" window, and to the right is a 48" x 72" window. The roofline is marked with 11'-11" and 8:12. The front facade is marked with 11'-11" and 8:12. The drawing includes various annotations such as "FACE BRICK CAP W/ FLASHING FULL DEPTH", "6'-0" SLIDING DOOR", "12" TRANSOM", "48" x 72", and "FG". A section cut symbol (21) is shown at the bottom left.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC'D BY _____ DATE _____
REC'D TO _____ DATE _____

 Greenpark™		MOUNTAINASH 12 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON	
project no. 19014		drawing no. A7	
date JANUARY 2020		REAR ELEVATION – ELEV. 1	
drawn by DBF		the names 19014-MOUNTAINASH-12	
checked by -		scale 3/16" = 1'-0"	
path C:\Users\kahnol\Desktop\19014- GREENPARK UNITS\19014-MOUNTAINASH-12.dwg – Wed – Apr 8 2020 – 9:15 AM			

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: SEP. 21, 2010

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Design Guidelines only and bears no further
affiliation or responsibility.

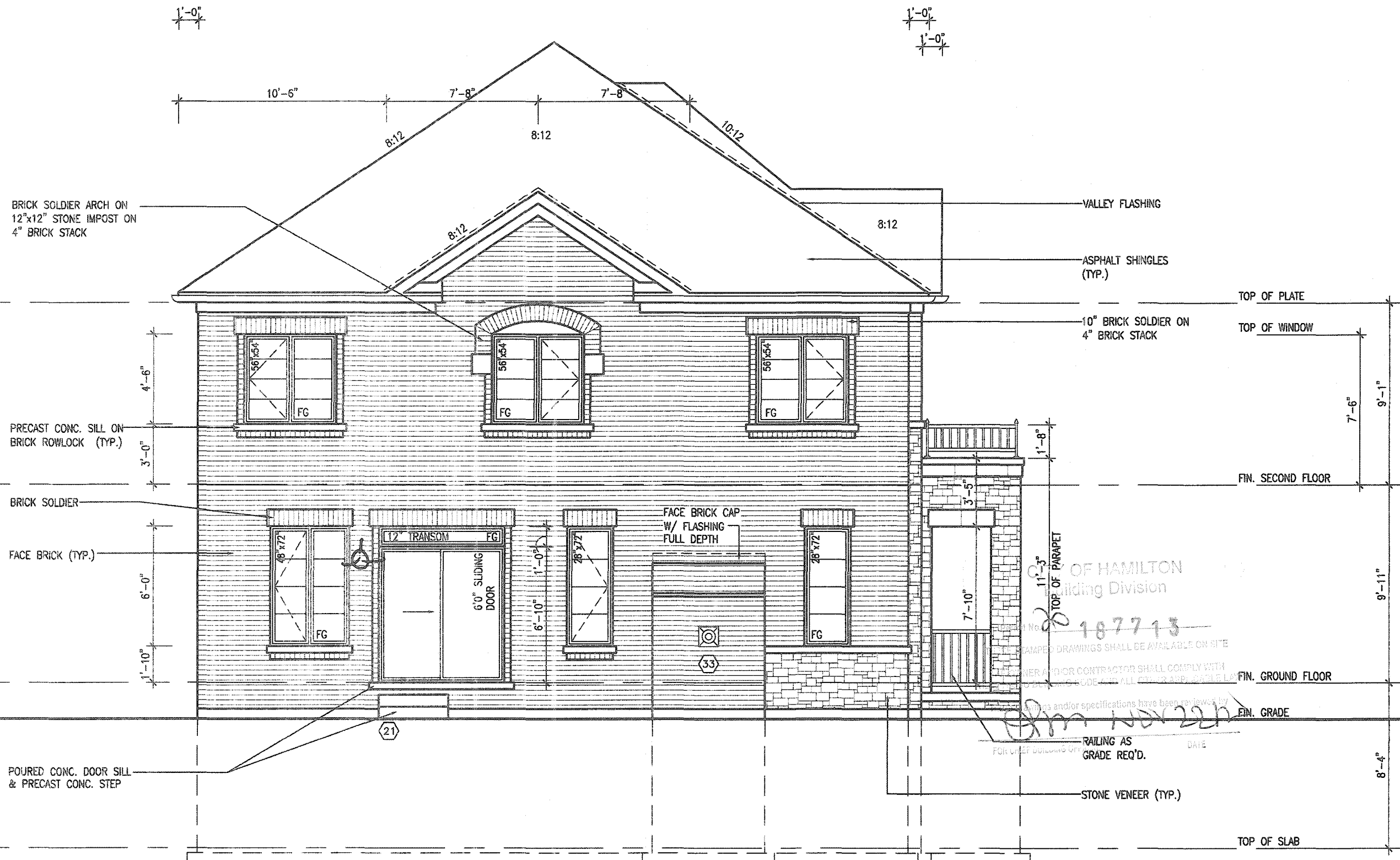
18	-	-	-	9	-	-	-
17	-	-	-	8	-	-	-
16	-	-	-	7	-	-	-
15	-	-	-	6	-	-	-
14	-	-	-	5	-	-	-
13	-	-	-	4	-	-	-
12	-	-	-	3	ISSUED FOR PERMIT.	APR 08/20	GW
11	-	-	-	2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20	GW
10	-	-	-	1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 23/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has specifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink <i>R Vink</i> 24488 name signature BCIN registration information VAS Design Inc. 42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

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t 416.630.2255 f 416.630.4782
va3design.com

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3125 SF.

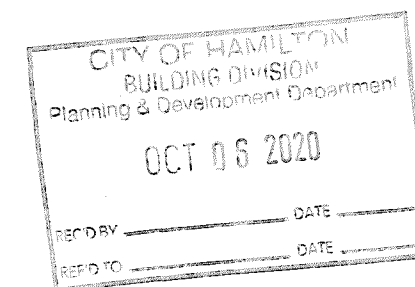


REAR ELEVATION 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: *SEP 24, 2020*
This stamp certifies compliance with the applicable Design Guidelines only and does not further architect's responsibility.



MOUNTAINASH 12

COMPLIANCE PACKAGE 'A1'

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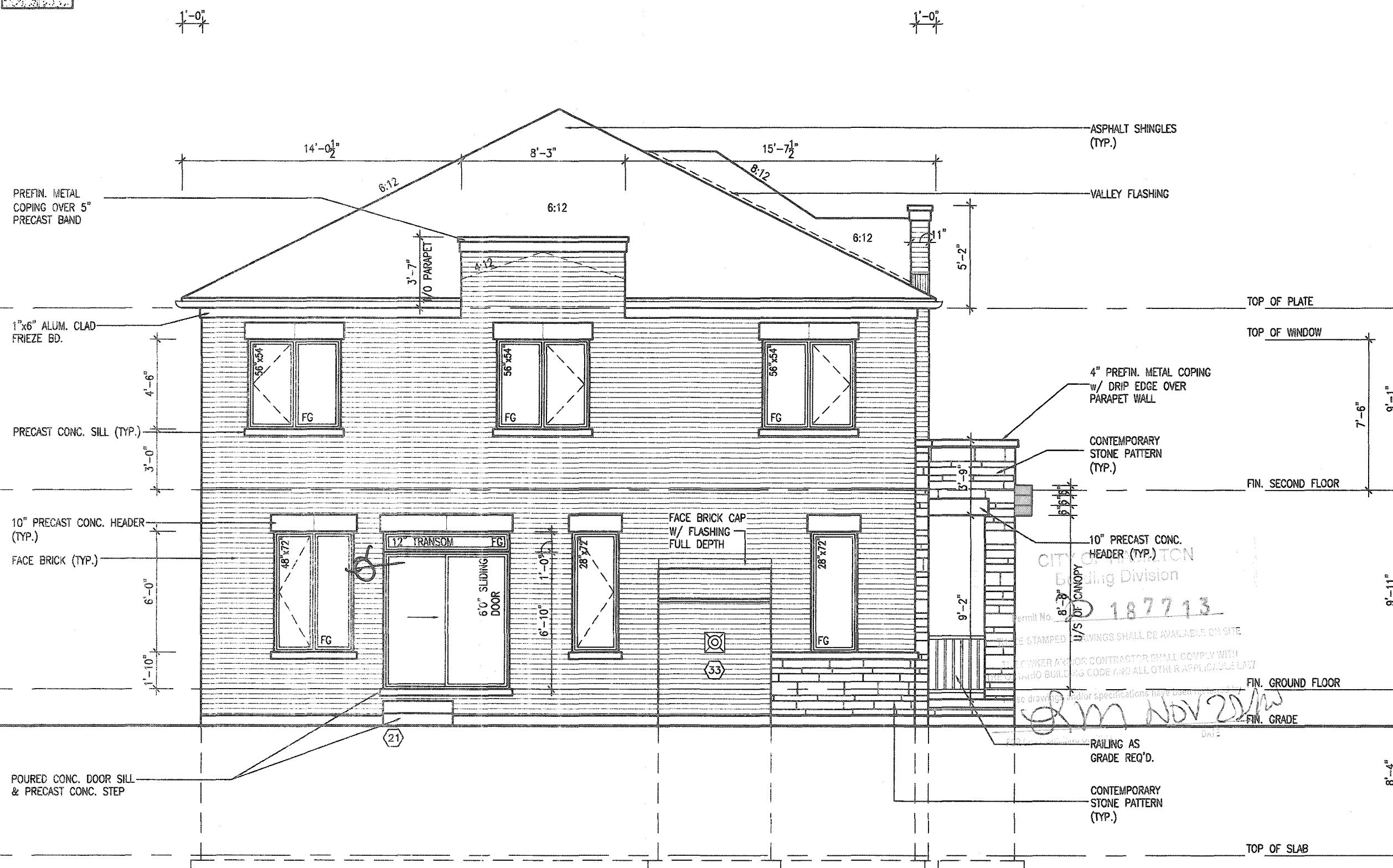
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CONTEMPORARY
STONE PATTERN

MAIN BRICK

WOOD GRAIN
STUCCO FINISH

STUCCO W/
REVEALS



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
RECEIVED _____ DATE _____
BY _____ DATE _____

MOUNTAINASH 12
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____

DATE: SEP 21 2020

This stamp certifies compliance with the sign-offable Design Guidelines only and bears no further professional responsibility.

18			9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8						qualification information
16			7						
15			6						Richard Vink 2448
14			5						same signature BCI
13			4						registration information
12			3	ISSUED FOR PERMIT	APR 08/20	GW			VA3 Design Inc.
11			2	UPDATED PER ENG & CLIENT COMMENTS.	APR 03/20	GW			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10			1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 28/20	GW			
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink	244
name	8
signature	
registration information	
VA3 Design Inc.	426

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va3design.com

 **Greenpark.**

Project name **RUSSELL GARDENS PH. 3** Manager **HAMILTON**

Date **15 JANUARY 2020** REAR ELEV

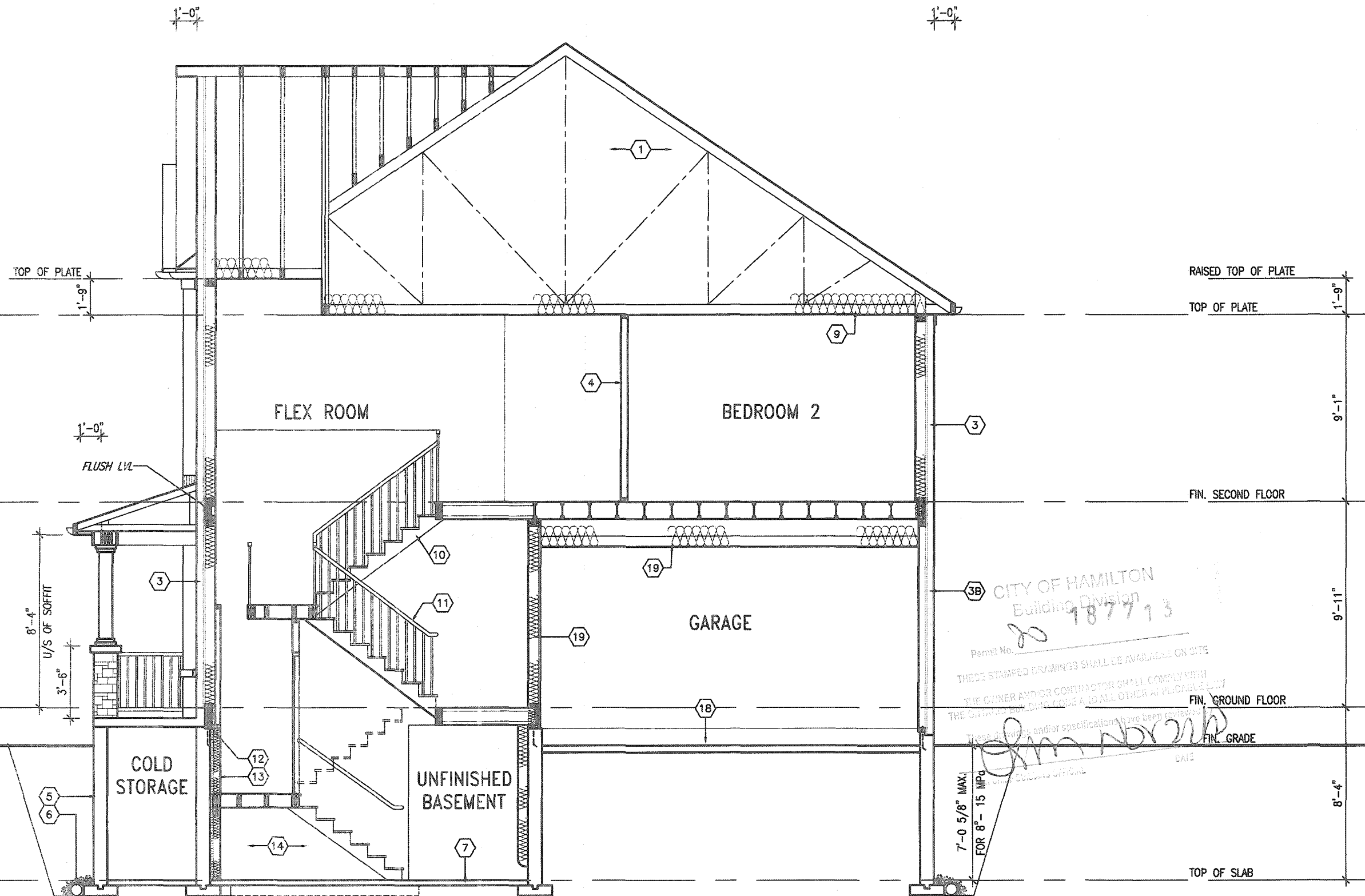
Drawn by **MB** checked by **-** scale **3/16" = 1'-0"**

PLANT MATERIAL - C:\Users\stefan\Desktop\150114-GREENPARK\UNITS\150114-150114-NASH-12.dwg

MOUNTAINASH 12		project no.	
13.5m		19014	
ATION - ELEV. 3		drawing no.	
file name		A7b	
19014-MOUNTAINASH-12			
Mon - Jul 6 2020 - 10:15 AM			

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3125 SF.



SECTION A-A - ELEVATION 1

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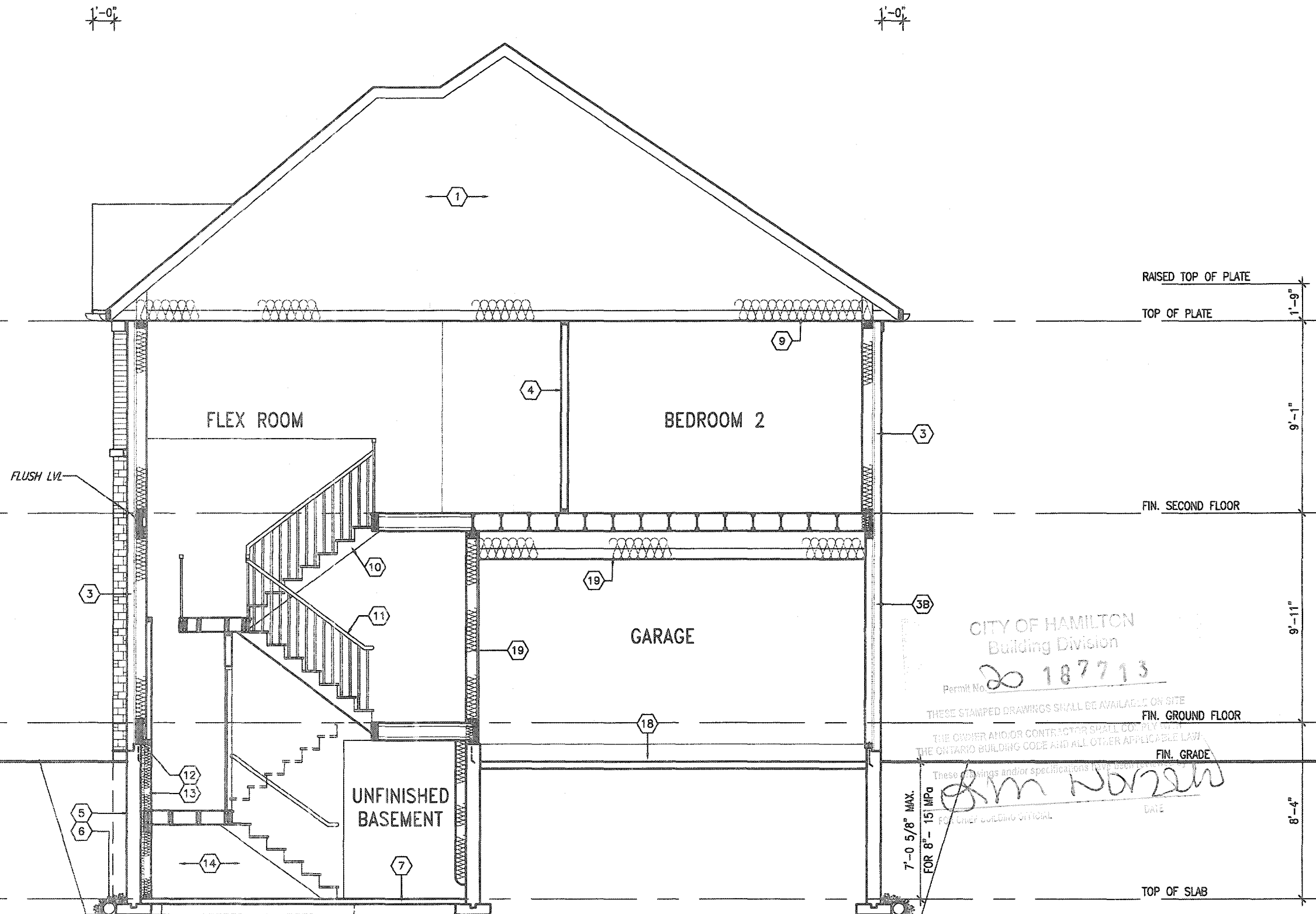
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
RECEIVED _____ DATE _____
REF TO _____ DATE _____

MOUNTAINASH 12
COMPLIANCE PACKAGE 'A1'

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink 24488 signature BCON registration information VA3 Design Inc. 42658	VA3 DESIGN 255 Torontons Rd Suite 120 Toronto ON M2J 1R4 (416.630.2255 / 416.630.4782 va3design.com	Greenpark. project name RUSSELL GARDENS PH. 3 municipality HAMILTON project no. 19014	CROSS SECTION A-A - ELEV. 1 19014-MOUNTAINASH-12 date JANUARY 2020 checked by - scale 3/16" = 1'-0" file name 19014-MOUNTAINASH-12.dwg issued - Apr 8 2020 - 9:15 AM	drawing no. A8			
17		8											
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14		5											
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12		3	ISSUED FOR PERMIT.	APR 09/20	GW	Contractor must verify all dimensions on the job end report any discrepancy to the Engineer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	date JANUARY 2020	checked by -	scale 3/16" = 1'-0"	CROSS SECTION A-A - ELEV. 1	file name 19014-MOUNTAINASH-12	issued - Apr 8 2020 - 9:15 AM	drawing no. A8
11		2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20	GW								
10		1	PRELIMINARY ISSUED FR CLIENT REVIEW.	JAN 23/20	GW								
no.	description	date	by	no.	description								

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3125 SF.

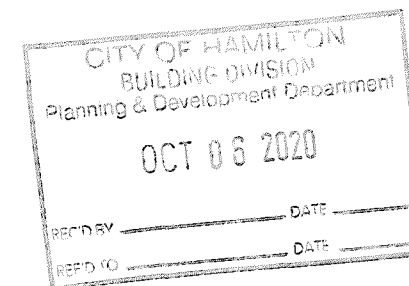


SECTION A-A - ELEVATION 2



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

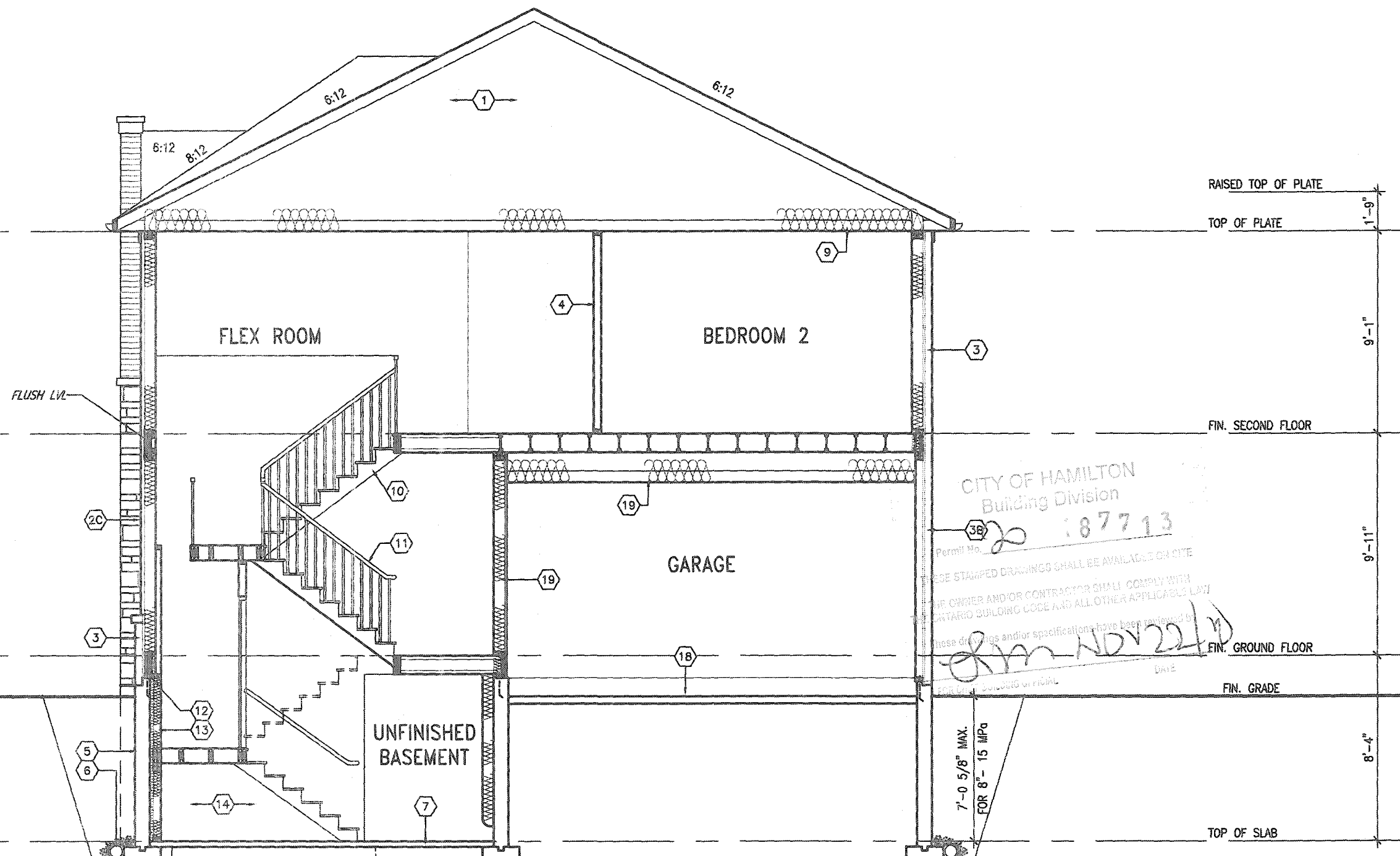
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.



MOUNTAINASH 12

COMPLIANCE PACKAGE 'A1'

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink <i>R Vink</i> 24486 BCN signature name registration information VAS Design Inc. 42658	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com	VAS DESIGN	Greenpark.	MOUNTAINASH 12 13.5m	project name RUSSELL GARDENS PH. 3	municipality HAMILTON	project no. 19014	drawing no. A8a
17			8											
16			7											
15			6											
14			5											
13			4											
12			3	ISSUED FOR PERMIT.	APR 08/20	GW								
11			2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20	GW								
10			1	PRELIMINARY, ISSUED FR CLIENT REVIEW.	JAN 23/20	GW								
no.	description	date	by	no.	description	date	by							

$$1' - 0''$$


STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

APRIL 08, 2020

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 03 2020
RECEIVED _____ DATE _____
REPO TO _____ DATE _____

MOUNTAINASH 12
COMPLIANCE PACKAGE 'A1'

[illegible]

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BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

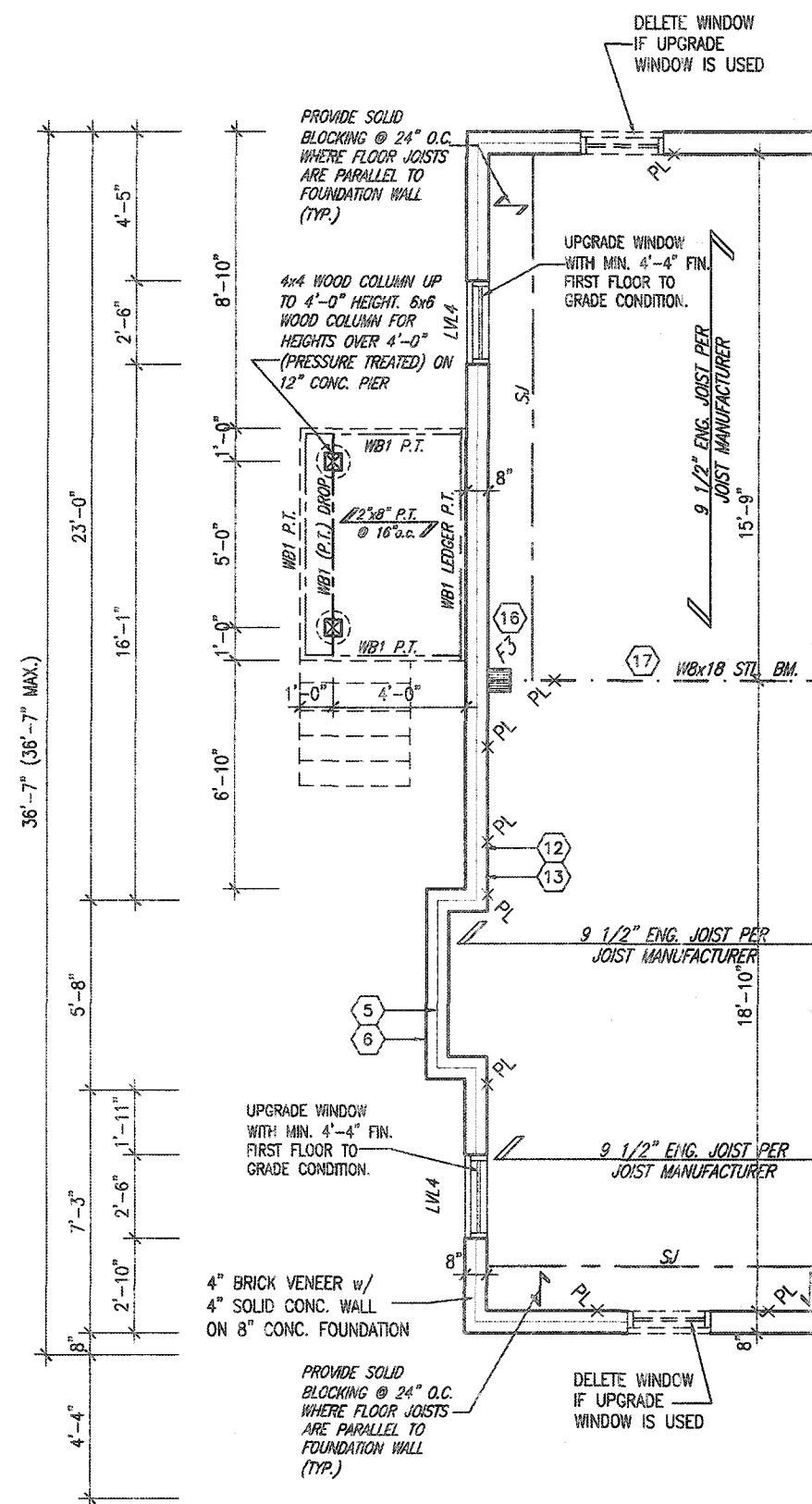
REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

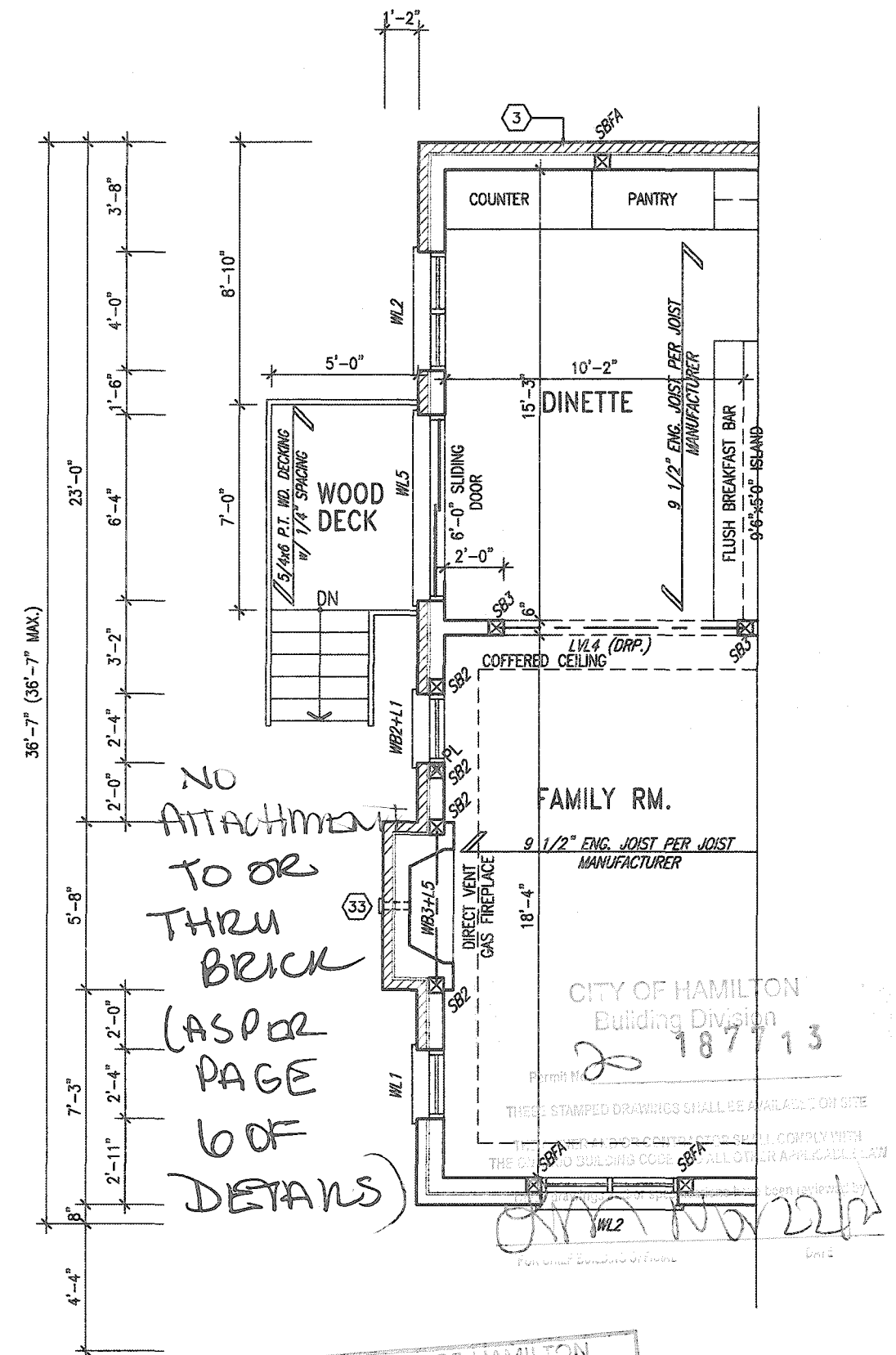
PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL WOOD DECK INFORMATION.



PARTIAL BASEMENT PLAN
DECK CONDITION



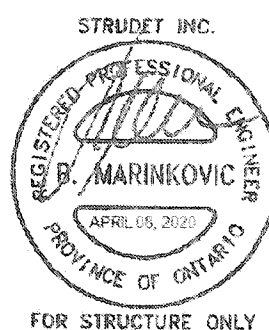
PARTIAL GROUND FLOOR PLAN
DECK CONDITION

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JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 21 2020
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



18				9			
17				8			
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13				4			
12				3	ISSUED FOR PERMIT	APR 09/20	G
11				2	UPDATED PER ENG & CLIENT COMMENTS.	APR 05/20	G
10				1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 23/20	G
inv. description				date	by	inv. description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink *P. Vink* 244

name signature

registration information

V33 Design Inc. 428

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the proper use of drawings and specifications must be returned at the completion of the project. Drawings are to be kept on file.

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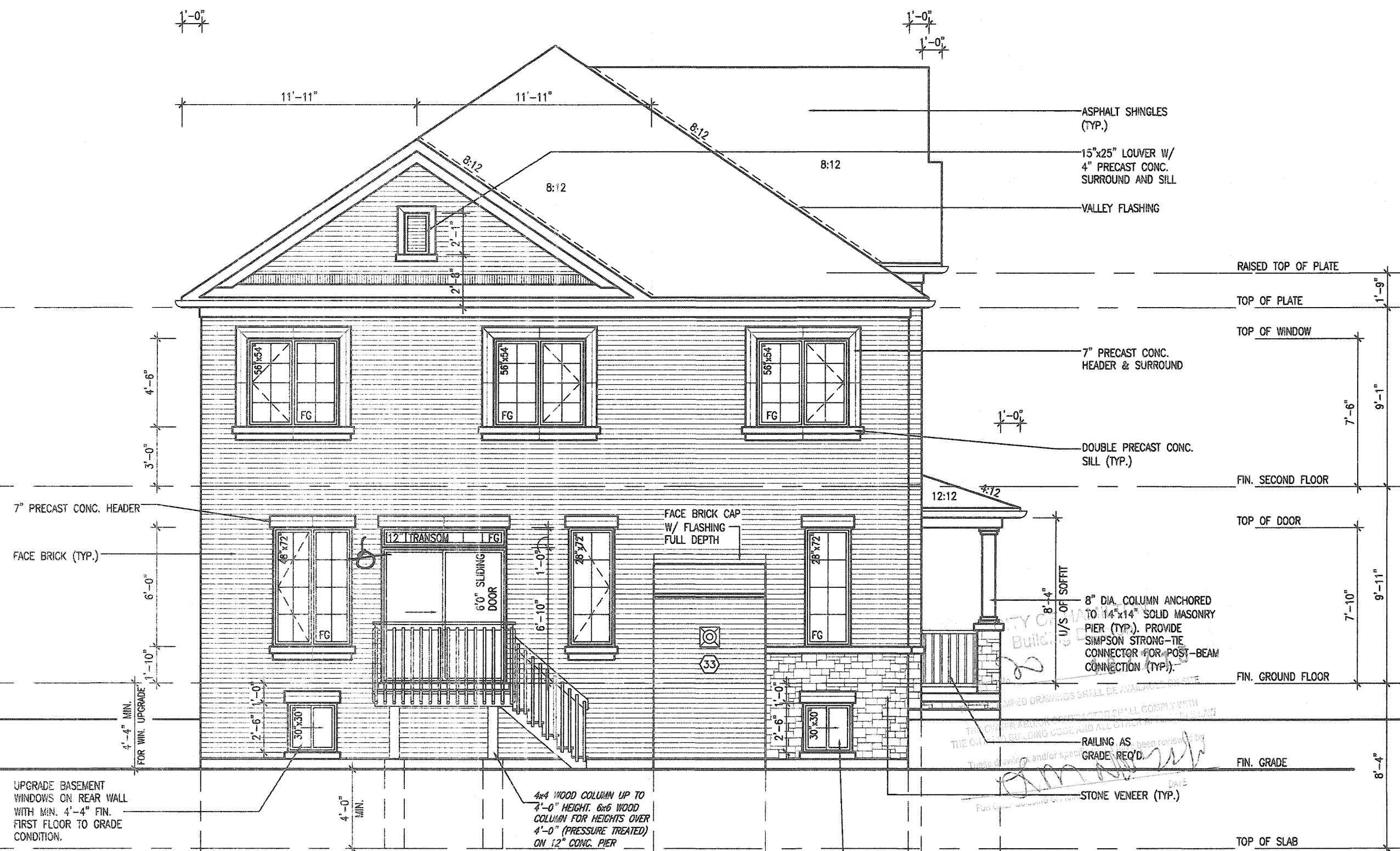
Greenpark.

MOUNTAINASH 12
13.5m

project name	RUSSELL GARDENS PH. 3		municipality	HAMILTON	project no.	19014	
date	JANUARY 2020					drawing no.	A9
PARTIAL PLANS - DECK CONDITION							
drawn by	checked by	scale	title name				
DB		3/16" = 1'-0"	19014-MOUNTAINASH-12				

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3125 SF.



REAR ELEVATION '1'-
DECK CONDITION

UPGRADE BASEMENT
WINDOWS ON REAR WALL
WITH MIN. 4'-4" FIN.
FIRST FLOOR TO GRADE
CONDITION.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
RECEIVED BY: _____ DATE: _____
RECD TO: _____ DATE: _____

MOUNTAINASH 12 COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: _____
This stamp certifies compliance with the applicable Design Guidelines, only and does not further professional responsibility.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	APR 03/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	APR 05/20	GW
10				1	PRELIMINARY, ISSUED FR CLIENT REVIEW.	JAN 23/20	GW

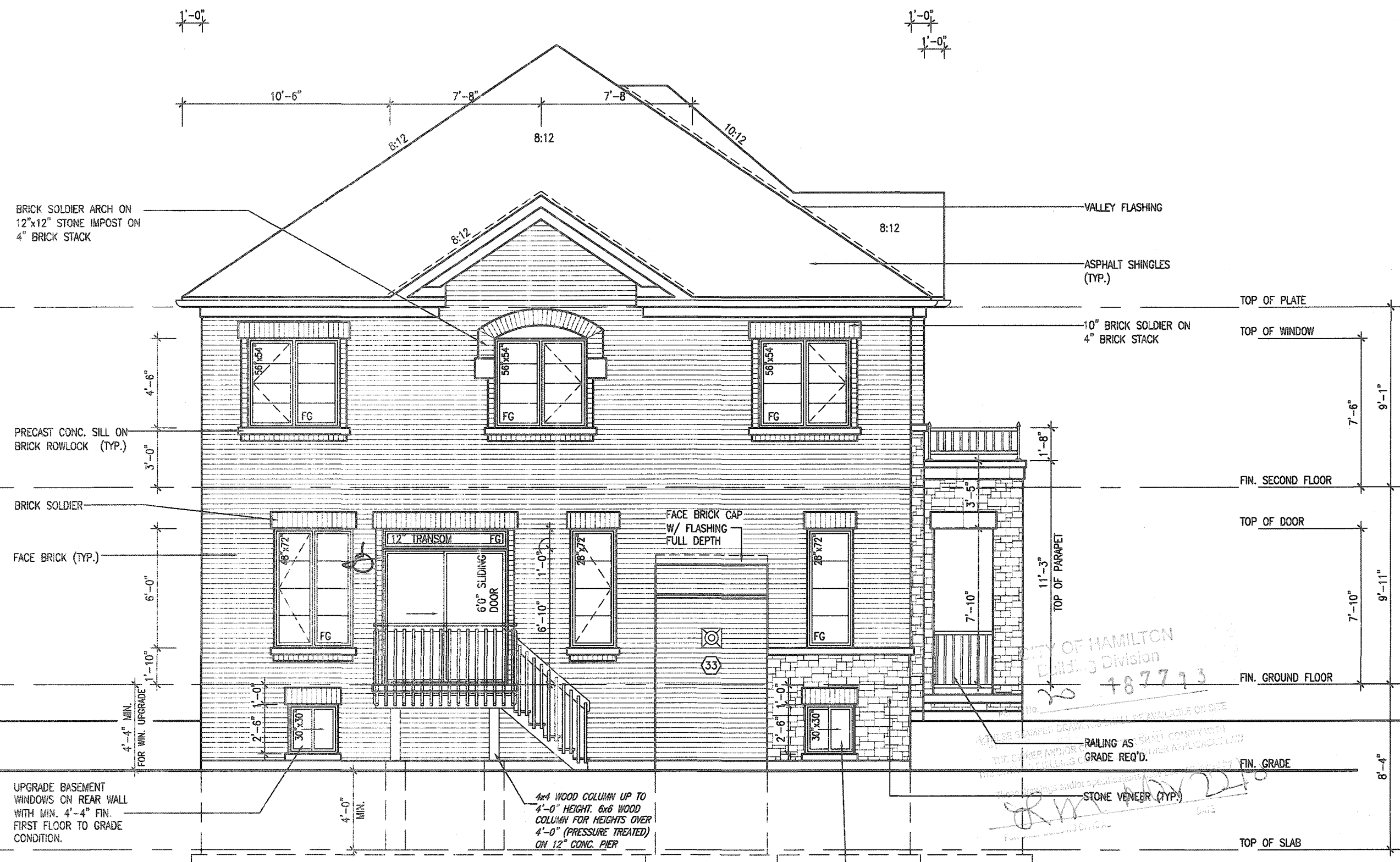
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
BCIN
extra registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON
date
JANUARY 2020
checked by
scale
3/16" = 1'-0"
drawing no.
18014-MOUNTAINASH-12
REVISED: 18014-MOUNTAINASH-12.dwg - Wed - Apr 8 2020 - 9:15 AM

MOUNTAINASH 12
13.5m
project no.
19014
drawing no.
A10

3125 SF.



REAR ELEVATION '2'-
DECK CONDITION

UPGRADE BASEMENT
WINDOWS ON REAR WALL
WITH MIN. 4'-4" FIN.
FIRST FLOOR TO GRADE
CONDITION. CITY OF

MIN. 4'-4" FIN.
FLOOR TO GRADE
ITION.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 06 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

MOFF

DATE
MOUNTAINASH 12
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE SEP 21, 2020

The writer certifies compliance with the applicable
Design Guidelines and bears no further
professional responsibility.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink *R Vink* 244

name	signature
registration information	
VA3 Design Inc.	428

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com


Greenpark.

project name
RUSSELL GARDENS PH. 3

date _____ RE _____

drawn by DE checked by DE scale 100

4444F MDZAMMFI - C:\Users\chraf\Desktop\19014-GREENPARK\UNITS

MOUNTAINASH 12
13.5m

project no.
19014

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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HECK CONDITION

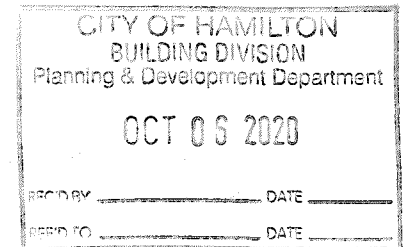
file name

114 MOUNTAINASH 12

A10a

014-MOUNTAINASH-12 A T O U

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$$\frac{1}{2} - 0$$


 Greenpark.		MOUNTAINASH 12 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON	
project no. 19014		project no. 19014	
date JANUARY 2020		REAR ELEV. 3 - DECK CONDITION	
drawn by DB		checked by 3/16" = 1'-0"	
title DB		lib name 19014-MOUNTAINASH-12	
A10b		drawing no.	

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