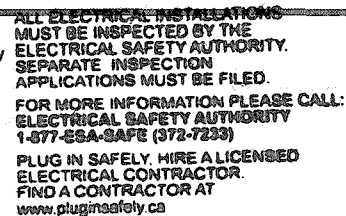


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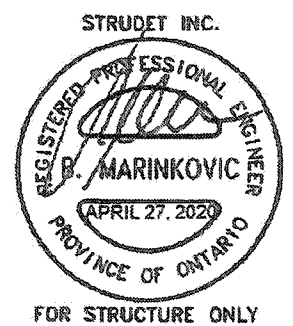
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Kenn Smith Dec 14, 2020  
FOR CHIEF BUILDING OFFICIAL DATE



**COLD STORAGE SLAB**  
5" REINFORCED CONCRETE SLAB  
WITH 10M BARS @ 7 7/8" o.c.  
EACH WAY WITH MIN. 1 1/4"  
CONC. COVER AND 10M BENT  
(24"x24") DOWELS SPACED NOT  
MORE THAN 23 5/8" o.c.

|                                                                                                         |  |                                              |  |
|---------------------------------------------------------------------------------------------------------|--|----------------------------------------------|--|
|  <b>Greenpark.</b> |  | <b>MOUNTAINASH 2</b><br>13.5m                |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                            |  | municipality<br><b>HAMILTON, ON.</b>         |  |
| date<br><b>JANUARY 2020</b>                                                                             |  | project no.<br><b>19014</b>                  |  |
| drawn by<br><b>NS</b>                                                                                   |  | checked by<br><b>-</b>                       |  |
| scale<br><b>3/16" = 1'-0"</b>                                                                           |  | title name<br><b>BASEMENT PLAN - ELEV. 1</b> |  |
| drawing no.<br><b>19014-MOUNTAINASH-02</b>                                                              |  | <b>A1</b>                                    |  |

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Ken Smith Dec 14, 2020  
FOR CHIEF BUILDING OFFICIAL DATE

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BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

**COLD STORAGE SLAB**  
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CONC. COVER AND 10M BENT  
(24"x24") DOWELS SPACED NOT  
MORE THAN 23 5/8" o.c.

STRUDET INC.

FOR STRUCTURE ONLY

**BASEMENT WALL INSULATION**  
(TYP) 13  
-6" (R20) CONTINUOUS BLANKET  
INSULATION. INSULATION  
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT**  
**STAIR/SUNKEN AREAS**  
-2" (R10) CONTINUOUS INSULATION  
(RIGID OR SPRAY FOAM).  
-2"x4" @ 16"o.c. w/ R12 BATT  
INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO  
SUPPORT 2"x4" WALL WHERE LOAD  
BEARING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: SEP 21 2020  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

BASEMENT PLAN - ELEV. 2

# MOUNTAINASH 2

## COMPLIANCE PACKAGE 'A1'

|     |             |      |    |     |                                        |           |                                                                                                                                                                                    |
|-----|-------------|------|----|-----|----------------------------------------|-----------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 18  |             |      |    | 9   | -                                      | -         | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |
| 17  |             |      |    | 8   | -                                      | -         |                                                                                                                                                                                    |
| 16  |             |      |    | 7   | -                                      | -         | qualification information                                                                                                                                                          |
| 15  |             |      |    | 6   | -                                      | -         | Richard Vink <i>R Vink</i> 24488                                                                                                                                                   |
| 14  |             |      |    | 5   | -                                      | -         | signature                                                                                                                                                                          |
| 13  |             |      |    | 4   | -                                      | -         | BOH 42658                                                                                                                                                                          |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | APR 08/20 | registration information                                                                                                                                                           |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 | VA3 Design Inc.                                                                                                                                                                    |
| 10  |             |      |    | 1   | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 |                                                                                                                                                                                    |
| no. | description | date | by | no. | description                            | date      | by                                                                                                                                                                                 |

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.



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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark™**

project name  
**RUSSELL GARDENS PH. 3**

date  
**JANUARY 2020**

drawn by  
**IMS**

checked by  
**-**

scale  
**3/16" = 1'-0"**

file name  
**19014-MOUNTAINASH-02**

INS: MFZAMMEL - C: Misseri, L: chad, D: kashif, 19014- GREENPARK CLIENTS, 19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM

**MOUNTAINASH 2**  
13.5m

project no.  
**19014**

municipality  
**HAMILTON, ON.**

drawing no.  
**A1a**

**BASEMENT PLAN - ELEV. 2**

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These drawings and/or specifications have been reviewed by  
*Kenn Smith* Dec 14, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

**COLD STORAGE SLAB**  
5" REINFORCED CONCRETE SLAB  
WITH 10M BARS @ 7 7/8" o.c.  
EACH WAY WITH MIN. 1 1/4"  
CONC. COVER AND 10M BENT  
(24"x24") DOWELS SPACED NOT  
MORE THAN 23 5/8" o.c.

COLD  
STORAGE

FOR STRUCTURE ONLY

|                                         |             |
|-----------------------------------------|-------------|
| <b>MOUNTAINASH 2</b>                    |             |
| 13.5m                                   |             |
| project no.<br><b>19014</b>             |             |
| <b>PLAN - ELEV. 3</b>                   | drawing no. |
| file name<br><b>9014-MOUNTAINASH-02</b> | <b>A1b</b>  |

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**OUTDOOR AIR INTAKE SEPARATION**  
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC, DIV. B- TABLE 6.2.3.12.  
• KITCHEN EXHAUST 3.0m  
• DRIVEWAY, PARKING SPACE, ROAD 1.5m  
• SOLID FUEL APPLIANCE EXHAUST 3.0m  
KIT-EX-NOTE-2020-ENG



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2848 SF.

CITY OF HAMILTON  
Building Division

Permit No. 20-187720

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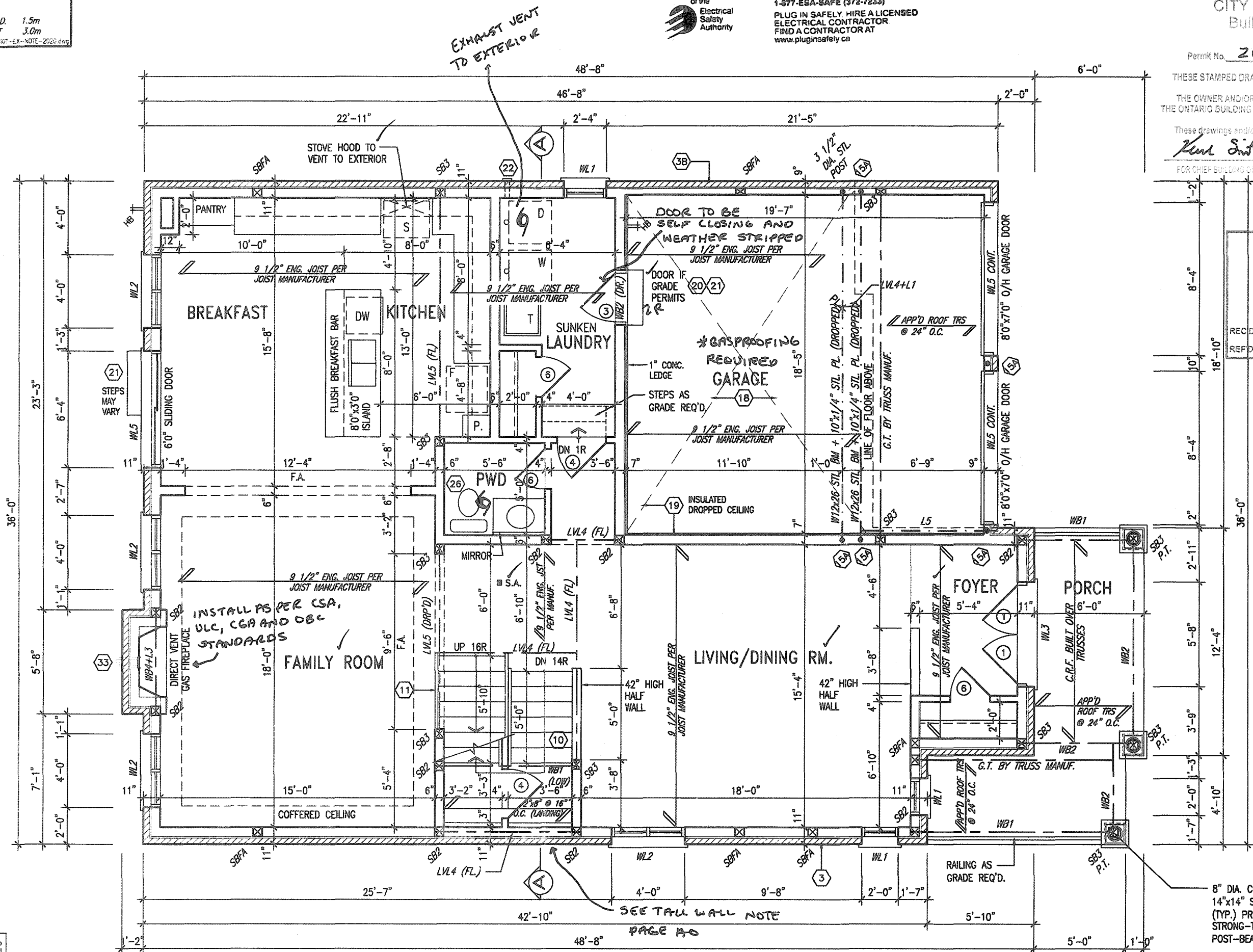
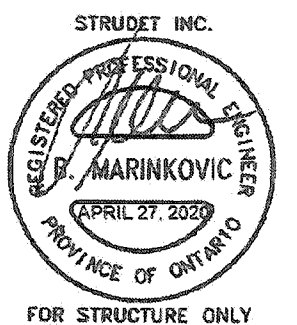
These drawings and/or specifications have been reviewed by

*Paul Swati* Dec 14, 2020  
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_



## GROUND FLOOR PLAN - ELEV. 1

FIRE BLOCKING REQUIRED FOR CONCEALED SPACES  
SUCH AS COFFERED CEILINGS, BULKHEADS AND LARGE  
ROOF SPACES

## MOUNTAINASH 2 COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY *[Signature]*  
DATE SEP 22, 2020  
This stamp certifies compliance with the applicable Design Guidelines and does not constitute a professional responsibility.

|     |             |  |      |    |                                        |             |           |      |    |                                                                                                                                                                                                                                                                                                               |       |
|-----|-------------|--|------|----|----------------------------------------|-------------|-----------|------|----|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| 18  |             |  |      | 9  |                                        |             |           |      |    | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                                            |       |
| 17  |             |  |      | 8  |                                        |             |           |      |    | qualification information                                                                                                                                                                                                                                                                                     |       |
| 16  |             |  |      | 7  |                                        |             |           |      |    | Richard Vink                                                                                                                                                                                                                                                                                                  | 24488 |
| 15  |             |  |      | 6  |                                        |             |           |      |    |                                                                                                                                                                                                                          |       |
| 14  |             |  |      | 5  |                                        |             |           |      |    | signature                                                                                                                                                                                                                                                                                                     | BCE   |
| 13  |             |  |      | 4  |                                        |             |           |      |    | name                                                                                                                                                                                                                                                                                                          |       |
| 12  |             |  |      | 3  | ISSUED FOR PERMIT.                     |             | APR 08/20 | GW   |    | registration information                                                                                                                                                                                                                                                                                      | 42658 |
| 11  |             |  |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     |             | MAR 16/20 | GW   |    | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied. |       |
| 10  |             |  |      | 1  | PRELIMINARY, ISSUED FOR CLIENT REVIEW. |             | JAN 30/20 | GW   |    |                                                                                                                                                                                                                                                                                                               |       |
| no. | description |  | date | by | no.                                    | description |           | date | by |                                                                                                                                                                                                                                                                                                               |       |

**VA3  
DESIGN**

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

project name  
RUSSELL GARDENS PH. 3

date JANUARY 2020  
checked by NS  
scale 3/16" = 1'-0"  
drawn by  
JAWAF MOZAMMEL - C:\Users\jmozam\Desktop\19014-MOUNTAINASH\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM

GROUND FLOOR PLAN - ELEV. 1

19014-MOUNTAINASH-02

drawing no.  
**A2**

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ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.  
• KITCHEN EXHAUST 3.0m  
• DRIVEWAY, PARKING SPACE, ROAD 1.5m  
• SOLID FUEL APPLIANCE EXHAUST 3.0m  
KIT-EX-NOTE-2020.dwg



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Building Division

Permit No. 20-187720

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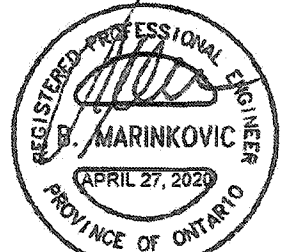
FOR CHIEF BUILDING OFFICIAL DATE

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BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

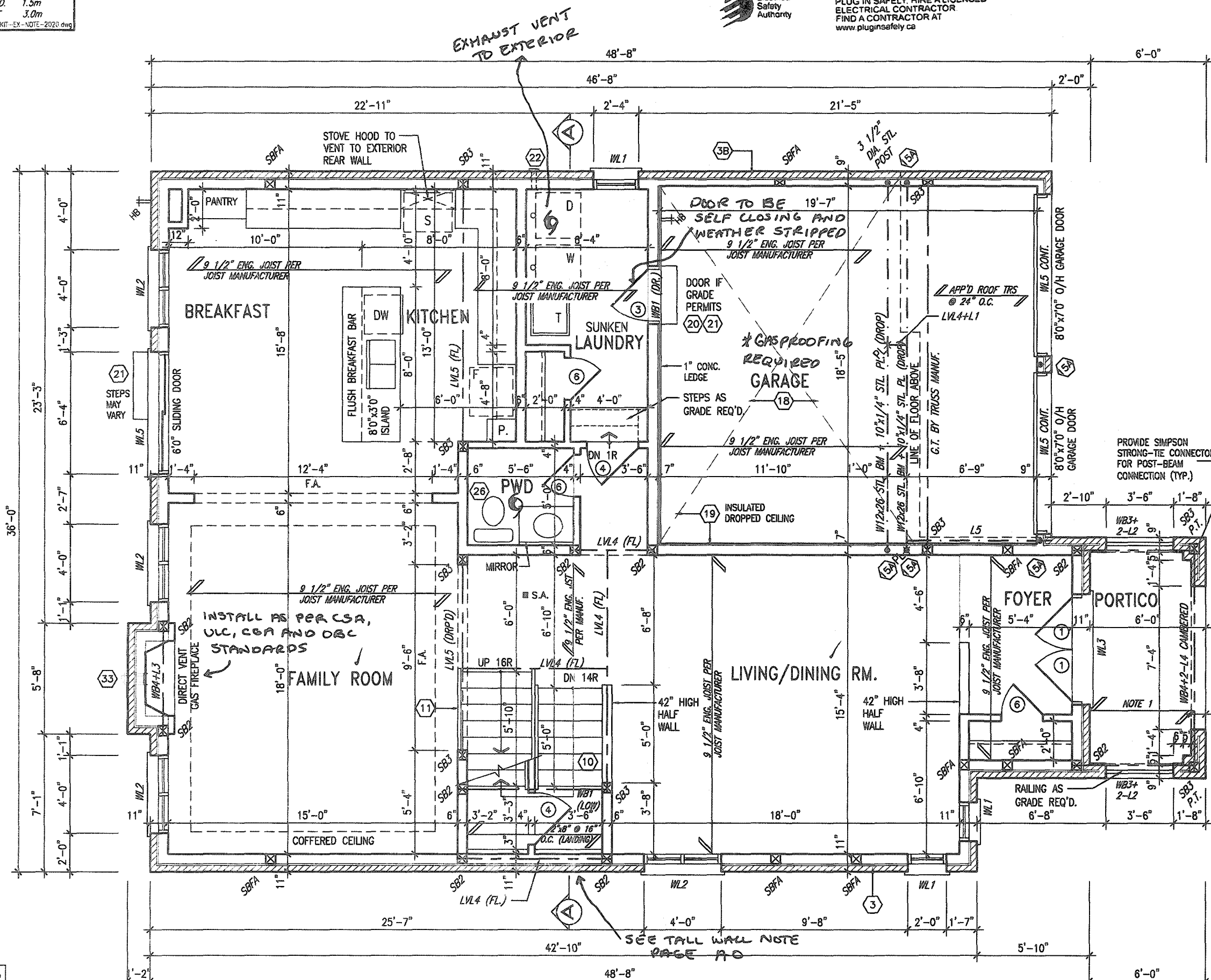
RECD BY DATE  
REFD TO DATE

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**NOTE 1:**  
FLAT ROOF FRAMING (TYP.)  
2"x8" @ 12" O.C. P.T. CLG. JST.  
w/ 2"x4" @ 12" O.C. P.T.  
DIAGONALLY CUT CROSS PURLINS  
w/ 5/8" EXTERIOR GRADE  
SHEATHING + SINGLE PLY ROOF  
MEMBRANE (SLOPE TO DRAIN)



**GROUND FLOOR PLAN - ELEV. 2**  
FIRE BLOCKING REQUIRED FOR CONCEALED SPACES  
SUCH AS COFFERED CEILINGS, BULKHEADS AND  
LARGE ROOF SPACES

**MOUNTAINASH 2**  
COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: SEP 27, 2020  
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|     |             |      |                                        |           |             |
|-----|-------------|------|----------------------------------------|-----------|-------------|
| 18  |             | 9    |                                        |           |             |
| 17  |             | 8    |                                        |           |             |
| 16  |             | 7    |                                        |           |             |
| 15  |             | 6    |                                        |           |             |
| 14  |             | 5    |                                        |           |             |
| 13  |             | 4    |                                        |           |             |
| 12  |             | 3    | ISSUED FOR PERMIT.                     | APR 08/20 | GW          |
| 11  |             | 2    | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 | GW          |
| 10  |             | 1    | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 | GW          |
| no. | description | date | by                                     | no.       | description |

|                                                                                                                                                                                                                                                                                                               |             |      |    |     |             |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|------|----|-----|-------------|
| The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                                            |             |      |    |     |             |
| qualification information                                                                                                                                                                                                                                                                                     |             |      |    |     |             |
| Richard Vink 24488                                                                                                                                                                                                                                                                                            |             |      |    |     |             |
| name registration information                                                                                                                                                                                                                                                                                 |             |      |    |     |             |
| VAS Design Inc. 42658                                                                                                                                                                                                                                                                                         |             |      |    |     |             |
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| no.                                                                                                                                                                                                                                                                                                           | description | date | by | no. | description |

**VAS3**  
DESIGN

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Toronto ON M2J 1R4  
416.630.2255 416.630.4782  
vas3design.com

**Greenpark**

project name  
RUSSELL GARDENS PH. 3

municipality  
HAMILTON, ON.

**MOUNTAINASH 2**  
13.5m

project no.  
19014

date  
JANUARY 2020

drawn by  
NS

checked by  
3/16" = 1'-0"

GROUND FLOOR PLAN - ELEV. 2

file name  
19014-MOUNTAINASH-02

drawing no.  
A2a

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ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A  
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION  
PER OBC, DIV. B- TABLE 6.2.3.12.

|                                  |      |
|----------------------------------|------|
| • KITCHEN EXHAUST.               | 3.0m |
| • DRIVEWAY, PARKING SPACE, ROAD. | 1.5m |
| • SOLID FUEL APPLIANCE EXHAUST   | 3.0m |

KIT - EX - NOTE - 2020.dwg

**Electrical Contractor  
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SEPARATE INSPECTION  
APPLICATIONS MUST BE FILED.**

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2848 SF.

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Building Division

Permit No. 20-187720

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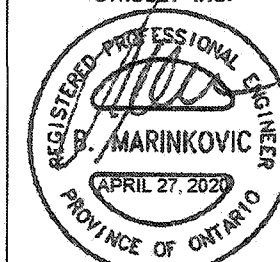
Kenn Smith Dec 14, 2020  
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

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w/ 2"x4" @ 12" O.C. P.T.  
DIAGONALLY CUT CROSS PURLINE  
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MEMBRANE (SLOPE TO DRAIN)

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
2001-2002

APPROVED BY: 

This stamp certifies compliance with the applicable Design Guidelines only and there is no further professional responsibility.

GROUND FLOOR PLAN - ELEV. 3

# MOUNTAINASH 2

## COMPLIANCE PACKAGE 'A1'

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FOR CHIEF BUILDING OFFICIAL DATE

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ARCHITECTURAL CONTROL REVIEW  
S&D APPROVAL  
APPROVED BY [Signature]  
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# MOUNTAINASH 2

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 FOR CHIEF BUILDING OFFICIAL DATE

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Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
APRIL 27, 2020  
PROVINCE OF ONTARIO

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SECOND FLOOR PLAN (4 BEDROOM) - ELEV. 2

# MOUNTAINASH 2

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# VA3

## DESIGN

**255 Consumers Rd Suite 120**  
**Toronto ON M2J 1R4**  
**t 416.630.2255 f 416.630.478**  
**va3design.com**

# Greenpark.

project name  
**RUSSELL GARDENS PH. 3**

date  
JANUARY 2020

JANU  
EVENING

checked by                      scale                       
- 3/16" = 1'-0"

SECOND FLOOR PLAN (4 BEDROOM) - ELEV. 2

**HAMILTON, ON.**

**MOUNTAINASH 2**  
13.5m

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A3d

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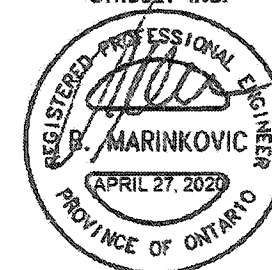
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Planning & Development Department

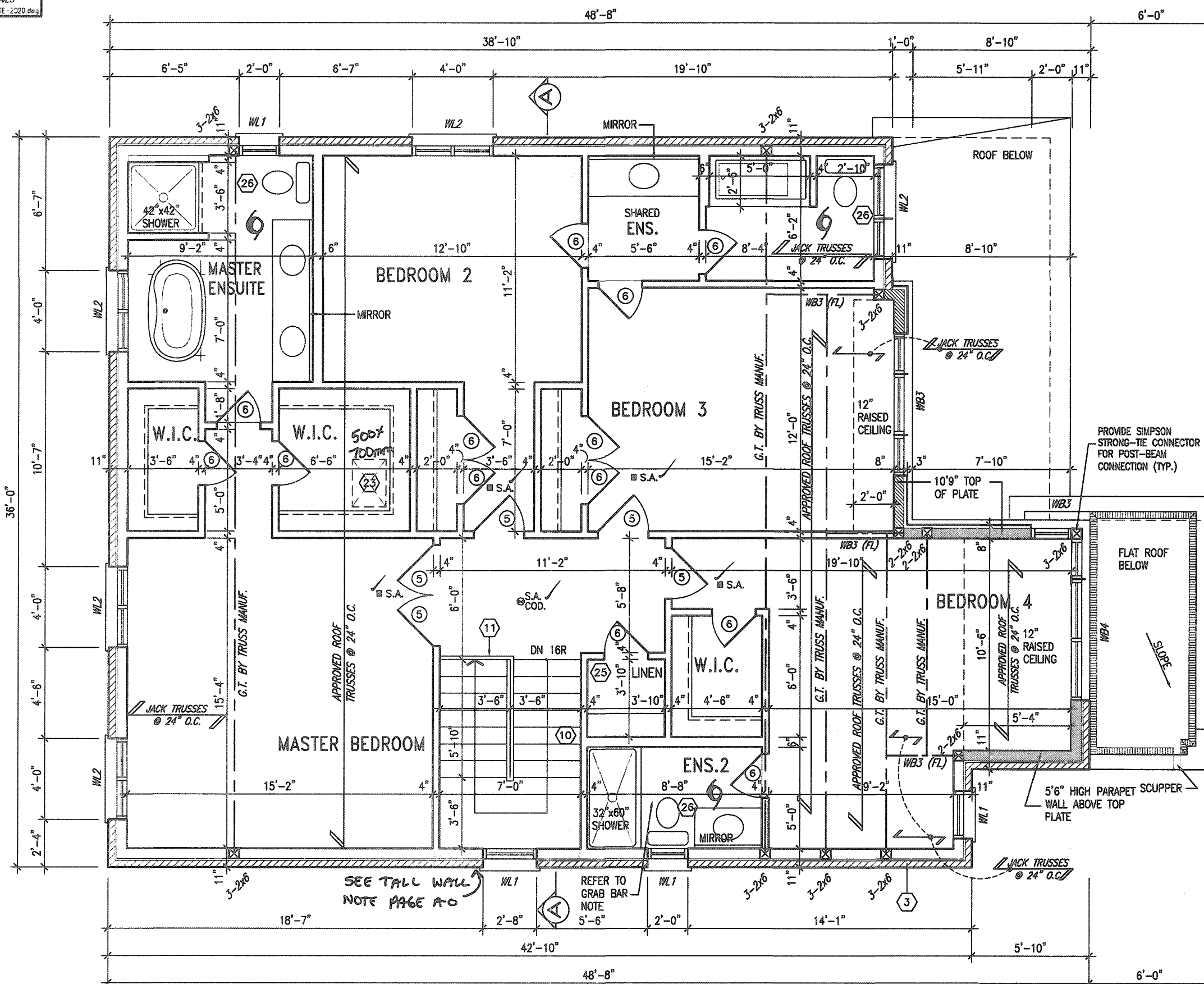
NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

STRUDET INC



FOR STRUCTURE ONLY



SECOND FLOOR PLAN (4 BEDROOM) – ELEV. 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY \_\_\_\_\_  
DATE SEP 21 2026  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

|                          |           |
|--------------------------|-----------|
| Richard Vink             | 244       |
| name                     | signature |
| registration information |           |
| VAS Design Inc.          | 428       |

# VA3

## DESIGN

**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com



project name  
**RUSSELL GARDENS PH. 3**

date **JANUARY 2020**  
 drawn by **NS** checked by **-** scale **3/16" = 1'-0"**

AMNMF MOZAMMEL - C:\Users\amnmf\OneDrive\19014-GREENPARK\UNITS\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 -- 3:37 PM

**MOUNTAINASH 2**  
13.5m

**HAMILTON, ON.**

project no.  
19014

SECOND FLOOR PLAN (4 BEDROOM) - ELEV. 3

file name  
19014-MOUNTAINASH-02

drawing no.

A3b

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**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATH/TUB IN MAIN BATHROOM PER OBC, DIV. 8-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATH/TUB 3.8.3.13.(4)(e). FREE STANDING BATH/TUB EXCLUDED. SEE DETAILS PROVIDED.

CB -N2016 -2020 DASH

Registration  
of the  
Electrical  
Safety  
Authority

**ALL ELECTRICAL INSTALLATIONS  
MUST BE INSPECTED BY THE  
ELECTRICAL SAFETY AUTHORITY.  
SEPARATE INSPECTION  
APPLICATIONS MUST BE FILED.**

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ELECTRICAL SAFETY AUTHORITY  
1-877-ESA-SAFE (372-7233)**

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ELECTRICAL CONTRACTOR  
FIND A CONTRACTOR AT  
[www.pluginsafely.ca](http://www.pluginsafely.ca)**

CITY OF HAMILTON  
Building Division

Permit No. 20-187720

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by \_\_\_\_\_

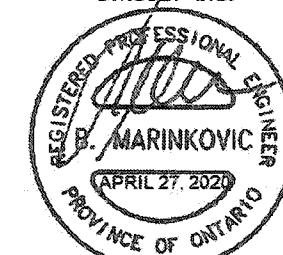
Kenn Smith Dec 14, 2020

**CITY OF HAMILTON**  
**BUILDING DIVISION**  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

STRUDET INC.



FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND CORRECTION

APPROVED BY: 

DATE: SEP 23 2020  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) – ELEV. 1

# MOUNTAINASH 2

## COMPLIANCE PACKAGE 'A1'

|     |             |  |      |    |                                        |             |      |    |                                                                                                                                                                                                                            |
|-----|-------------|--|------|----|----------------------------------------|-------------|------|----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 18  |             |  |      | 9  |                                        |             |      |    | The undersigned hereby certifies that he/she is a duly licensed Professional Engineer in the State of Ontario and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |
| 17  |             |  |      | 8  |                                        |             |      |    |                                                                                                                                                                                                                            |
| 16  |             |  |      | 7  |                                        |             |      |    | qualification information                                                                                                                                                                                                  |
| 15  |             |  |      | 6  |                                        |             |      |    | Richard Vink  24488                                                                                                                   |
| 14  |             |  |      | 5  |                                        |             |      |    | name                                                                                                                                                                                                                       |
| 13  |             |  |      | 4  |                                        |             |      |    | signature                                                                                                                                                                                                                  |
| 12  |             |  |      | 3  | ISSUED FOR PERMIT.                     | APR 08/20   | GW   |    | VA3 Design Inc. 42658                                                                                                                                                                                                      |
| 11  |             |  |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20   | GW   |    |                                                                                                                                                                                                                            |
| 10  |             |  |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20   | GW   |    |                                                                                                                                                                                                                            |
| no. | description |  | date | by | no                                     | description | date | by |                                                                                                                                                                                                                            |

VA3  
DESIGN

**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com


**Greenpark.**

project name  
**RUSSELL GARDENS PH. 3**

|          |              |               |
|----------|--------------|---------------|
| date     | JANUARY 2020 |               |
| drawn by | checked by   | scale         |
| NS       | -            | 3/16" = 1'-0" |

**MOUNTAINASH 2**  
13.5m

municipality  
HAMILTON, ON.

project no.  
19014

OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) - ELEV. 1

file name  
19014-MOUNTAINASH-02

drawing no.  
A4

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**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. 8-9.2.3.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c); SHOWER 3.8.3.13.(2)(g); BATHTUB 3.8.3.13.(4)(g). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

**ALL ELECTRICAL INSTALLATIONS  
MUST BE INSPECTED BY THE  
ELECTRICAL SAFETY AUTHORITY.  
SEPARATE INSPECTION  
APPLICATIONS MUST BE FILED.**

**FOR MORE INFORMATION PLEASE CALL:  
ELECTRICAL SAFETY AUTHORITY  
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CITY OF HAMILTON  
Building Division

Permit No. 20-187720

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

*Kenn Smith* Dec 14, 2020

FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

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JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: SEP 21 2020

This stamp certifies compliance with the applicable  
Design Guidelines only and does not further  
professional responsibility.

OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) – ELEV. 2

# MOUNTAINASH 2

## COMPLIANCE PACKAGE 'A1'

|     |             |      |                                        |           |             |                                                                                                                                                                                                                                                                                                               |    |
|-----|-------------|------|----------------------------------------|-----------|-------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| 18  |             | 9    |                                        |           |             | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                                            |    |
| 17  |             | 8    |                                        |           |             |                                                                                                                                                                                                                                                                                                               |    |
| 16  |             | 7    |                                        |           |             | qualification information                                                                                                                                                                                                                                                                                     |    |
| 15  |             | 6    |                                        |           |             | Richard Vink <i>R Vink</i> 24488<br>signature                                                                                                                                                                                                                                                                 |    |
| 14  |             | 5    |                                        |           |             | name                                                                                                                                                                                                                                                                                                          |    |
| 13  |             | 4    |                                        |           |             | registration information                                                                                                                                                                                                                                                                                      |    |
| 12  |             | 3    | ISSUED FOR PERMIT.                     | APR 08/20 | GW          | VA3 Design Inc. 42658                                                                                                                                                                                                                                                                                         |    |
| 11  |             | 2    | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 | GW          | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. |    |
| 10  |             | 1    | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 | GW          |                                                                                                                                                                                                                                                                                                               |    |
| no. | description | date | by                                     | no.       | description | date                                                                                                                                                                                                                                                                                                          | by |



255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com



**Greenpark.**

**MOUNTAINASH 2**  
13.5m

|                                                                                                  |                       |               |                                                  |               |             |             |
|--------------------------------------------------------------------------------------------------|-----------------------|---------------|--------------------------------------------------|---------------|-------------|-------------|
| project name                                                                                     | RUSSELL GARDENS PH. 3 |               | municipality                                     | HAMILTON, ON. | project no. | 19014       |
| date                                                                                             | JANUARY 2020          |               | OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) - ELEV. 2 |               |             | drawing no. |
| drawn by                                                                                         | checked by            | scale         |                                                  |               |             |             |
| NS                                                                                               |                       | 3/16" = 1'-0" |                                                  |               |             |             |
| J:\HMF MOZAMMEL - C:\Users\Moham\Documents\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM |                       |               | 19014-MOUNTAINASH-02                             |               | A4a         |             |

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**STUD WALL REINFORCEMENT FOR FUTURE /  
GRAB BARS IN MAIN BATHROOM**

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ADJACENT TO WATER CLOSETS AND SHOWER OR  
BATHTUB IN MAIN BATHROOM PER CBC, DIV. B-9.5.2.3.  
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES  
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).  
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).  
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS  
PROVIDED.

CB-NOTE -2020 dng

Electrical Contractor  
Registration Agency  
of the  
Electrical  
Safety  
Authority

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ELECTRICAL SAFETY AUTHORITY.  
SEPARATE INSPECTION  
APPLICATIONS MUST BE FILED.**

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1-877-ESA-SAFE (372-7233)**

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ELECTRICAL CONTRACTOR.  
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2848 SF.

CITY OF HAMILTON  
Building Division

Permit No. 20-187720

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Kenn Smith Dec 14, 2020

**CITY OF HAMILTON**  
**BUILDING DIVISION**  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
 RECD TO \_\_\_\_\_ DATE \_\_\_\_\_

STRUDET INC.

FOR STRUCTURE ONLY

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: SEP 23 2020

This stamp certifies compliance with the applicable  
Design Guidelines only and does not further  
represent any responsibility.

OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) – ELEV. 3

# MOUNTAINASH 2

## COMPLIANCE PACKAGE 'A1'

|     |             |      |    |     |                                        |           |
|-----|-------------|------|----|-----|----------------------------------------|-----------|
| 18  |             |      |    | 9   |                                        |           |
| 17  |             |      |    | 8   |                                        |           |
| 16  |             |      |    | 7   |                                        |           |
| 15  |             |      |    | 6   |                                        |           |
| 14  |             |      |    | 5   |                                        |           |
| 13  |             |      |    | 4   |                                        |           |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | APR 08/20 |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 |
| 10  |             |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN 30/20 |
| no. | description | date | by | no. | description                            | date      |

|                                                                                                                                                                                                                                                                                    |                      |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|
| <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer</p>                                                                                           |                      |
| <p>qualification information</p>                                                                                                                                                                                                                                                   | <p><i>R Vink</i></p> |
| <p>Richard Vink</p>                                                                                                                                                                                                                                                                | <p>2441</p>          |
| <p>name</p>                                                                                                                                                                                                                                                                        | <p>8</p>             |
| <p>registration information</p>                                                                                                                                                                                                                                                    | <p>signature</p>     |
| <p>VA3 Design Inc.</p>                                                                                                                                                                                                                                                             | <p>4262</p>          |
| <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are submitted at service and the work of the Designer which must be returned at the completion of the project.</p> |                      |
| <p>Drawings are not to be signed</p>                                                                                                                                                                                                                                               |                      |

VA3  
DESIGN

**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.478  
va3design.com

# Greenpark

project name  
**RUSSELL GARDENS PH. 3**

|          |              |               |   |
|----------|--------------|---------------|---|
| date     | JANUARY 2020 |               | 0 |
| drawn by | checked by   | scale         |   |
| NS       | -            | 3/16" = 1'-0" |   |

**MOUNTAINASH 2**  
13.5m

municipality  
HAMILTON, ON.

project no.  
19014

OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) - ELEV. 3

|                      |
|----------------------|
| file name            |
| 10014-MOUNTAINASH-02 |

A4b

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2848 SF.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 15 2020  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division

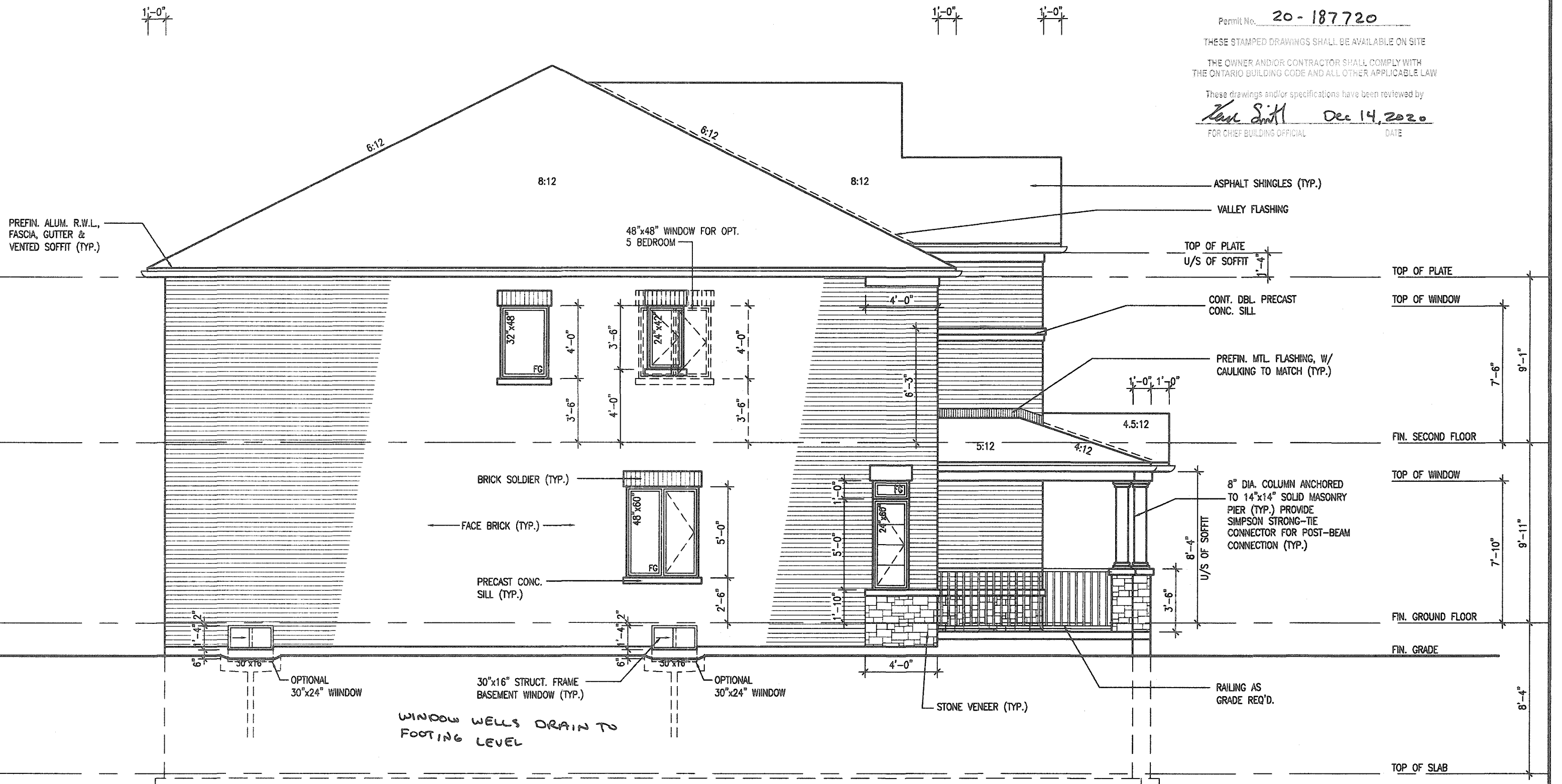
Permit No. 20-187720

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

*Karl Smith* Dec 14, 2020  
FOR CHIEF BUILDING OFFICIAL DATE



LEFT SIDE ELEVATION '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: SEP 22, 2020  
This stamp certifies compliance with the applicable Design Guidelines and does not constitute a warranty of any kind.

ALLOWABLE GLAZED OPENINGS 1017.27  
WALL AREA = 892 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED 71.21 = 82.44 SQ. FT.  
GLAZING PROVIDED = 47.47 SQ. FT. (OPT. 5 BEDRM. 54.87 SQ. FT.)(GLASS AREA ONLY)  
WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 50.47 SQ. FT. (OPT. 5 BEDRM. 57.87 SQ. FT.)(GLASS AREA ONLY)

|     |             |      |    |                                        |              |
|-----|-------------|------|----|----------------------------------------|--------------|
| 18  |             |      | 9  |                                        |              |
| 17  |             |      | 8  |                                        |              |
| 16  |             |      | 7  |                                        |              |
| 15  |             |      | 6  |                                        |              |
| 14  |             |      | 5  |                                        |              |
| 13  |             |      | 4  |                                        |              |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                     | APR 08/20 GW |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 GW |
| 10  |             |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 GW |
| no. | description | date | by | no.                                    | description  |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
name registration information  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

project name  
RUSSELL GARDENS PH. 3

municipality  
HAMILTON, ON.

**MOUNTAINASH 2**  
13.5m

project no.  
19014

date  
JANUARY 2020  
drawn by  
NS  
checked by  
-  
scale  
3/16" = 1'-0"  
LEFT SIDE ELEVATION '1'  
file name  
19014-MOUNTAINASH-02  
drawing no.  
**A6**

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CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 15 2020  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

Permit No. 20-187720

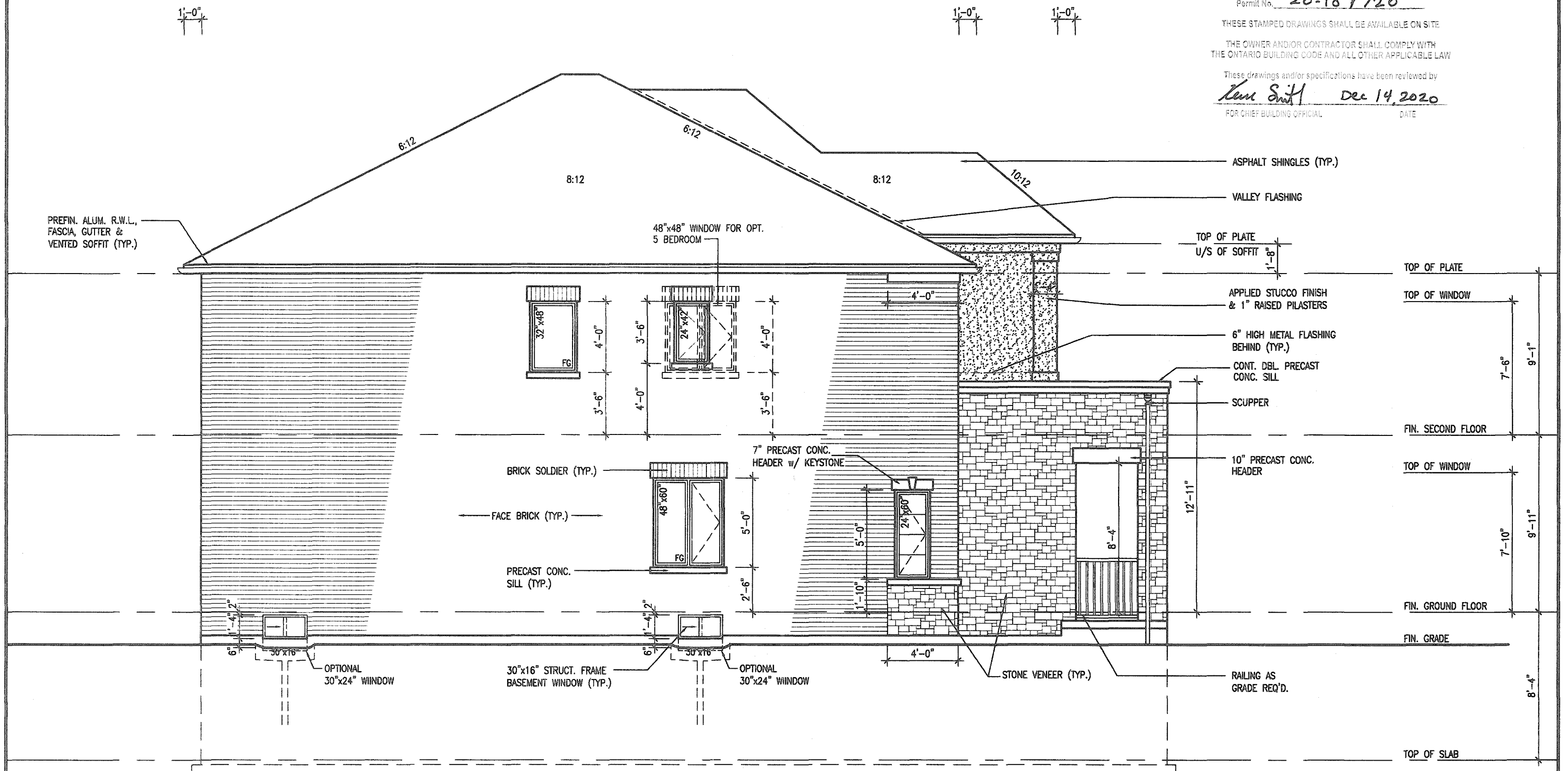
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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

*Kenn Smith* Dec 14, 2020

FOR CHIEF BUILDING OFFICIAL DATE



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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: SEP 21 2001

This stamp certifies compliance with the applicable  
Design Guidelines, only and does not further  
confer any responsibility.

ALLOWABLE GLAZED OPENINGS 1017.27  
WALL AREA =892 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED 71.21 ✓ 62.44 SQ. FT.  
GLAZING PROVIDED =47.47 SQ. FT. (OPT. 5 BEDRM. 54.87 SQ. FT.)(GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT.  
30"x24" BASEMENT WINDOWS =50.47 SQ. FT. (OPT. 5 BEDRM. 57.87 SQ. FT.)(GLASS AREA ONLY)

| 18  |             |      | 9  | .                                     | -           | .    | The undersigned has reviewed and takes responsibility for this design and lists the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |
|-----|-------------|------|----|---------------------------------------|-------------|------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 17  |             |      | 8  | .                                     | -           | .    | qualification information                                                                                                                                                            |
| 16  |             |      | 7  | .                                     | -           | .    |                                                                                                                                                                                      |
| 15  |             |      | 6  | .                                     | -           | .    | Richard Vink 2448                                                                                                                                                                    |
| 14  |             |      | 5  | .                                     | -           | .    | nemo signature BC                                                                                                                                                                    |
| 13  |             |      | 4  | .                                     | -           | .    | registration information 4263                                                                                                                                                        |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                    | APR 08/20   | GW   |                                                                                                                                                                                      |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.    | MAR 16/20   | GW   |                                                                                                                                                                                      |
| 10  |             |      | 1  | PRELIMINARY ISSUED FOR CLIENT REVIEW. | JAN 30/20   | GW   |                                                                                                                                                                                      |
| no. | description | date | by | no.                                   | description | date | by                                                                                                                                                                                   |

**VA3  
DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.478  
[va3design.com](http://va3design.com)

 **Greenpark.**

**MOUNTAINASH 2**  
13.5m

|                                                                                                                     |                        |                                      |                                          |                             |             |
|---------------------------------------------------------------------------------------------------------------------|------------------------|--------------------------------------|------------------------------------------|-----------------------------|-------------|
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                                        |                        | municipality<br><b>HAMILTON, ON.</b> |                                          | project no.<br><b>19014</b> |             |
| date<br><b>JANUARY 2020</b>                                                                                         |                        | LEFT SIDE ELEVATION '2'              |                                          |                             | drawing no. |
| drawn by<br><b>NS</b>                                                                                               | checked by<br><b>-</b> | scale<br><b>3/16" = 1'-0"</b>        | file name<br><b>19014-MOUNTAINASH-02</b> |                             | <b>A6a</b>  |
| A6aF01 MOZAMEL - C:\Users\lucan\Documents\19014 - GREENPARK\19014-MOUNTAINASH-02.dwg - Wrote - Apr 8 2020 - 3:37 PM |                        |                                      |                                          |                             |             |

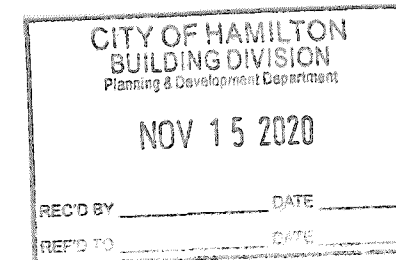
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CONTEMPORARY  
STONE PATTERN

MAIN BRICK

WOOD GRAIN  
STUCCO FINISH

STUCCO W/  
REVEALS



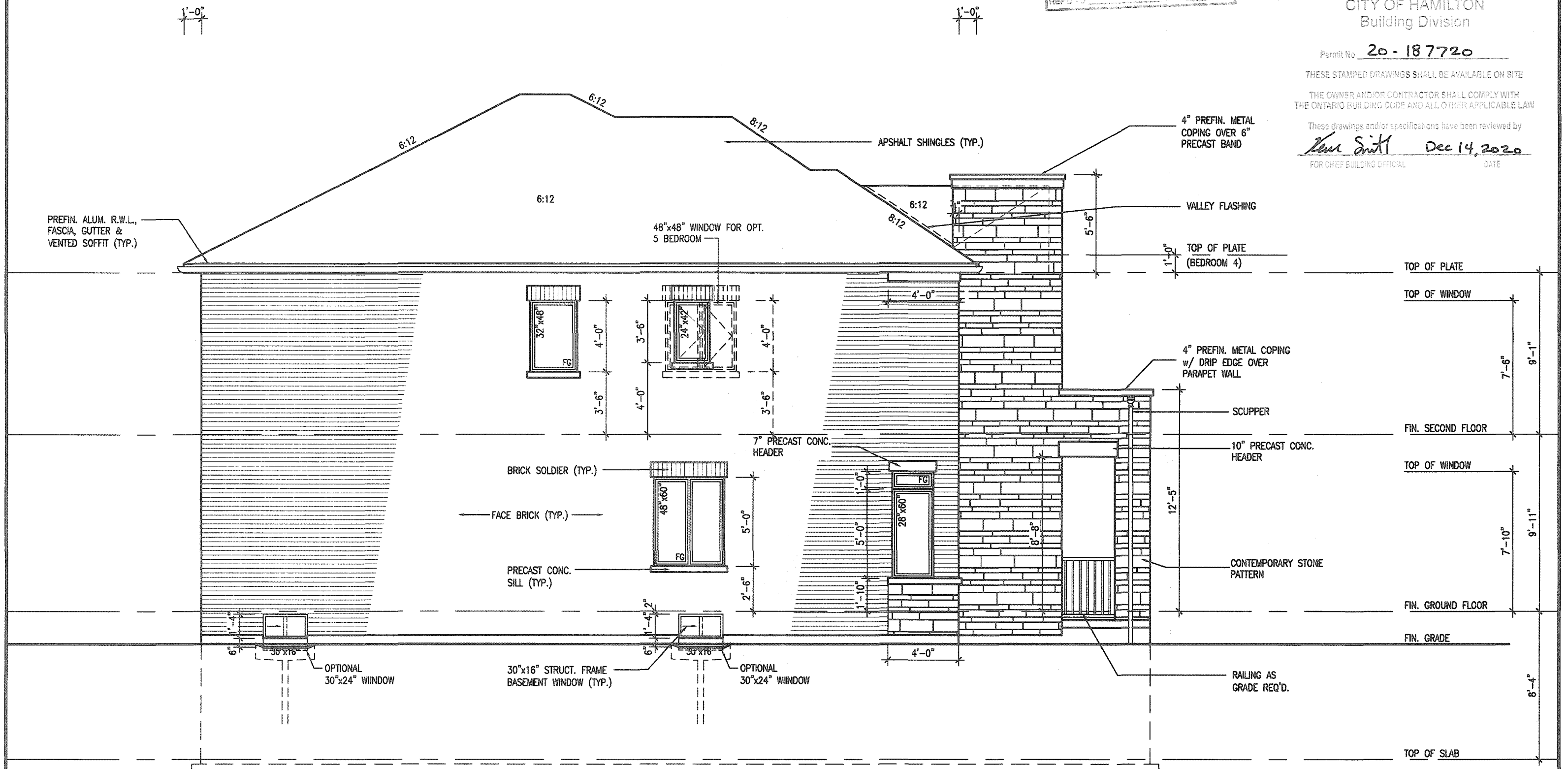
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Building Division

Permit No. 20-187720

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
Karl Smith Dec 14, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE



LEFT SIDE ELEVATION '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: 252-21-2020

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

ALLOWABLE GLAZED OPENINGS 1017.27

WALL AREA = 802 SQ. FT.

LIMITING DISTANCE 1.2 M (7%)

GLAZING ALLOWED 71.21 = 62.44 SQ. FT.

GLAZING PROVIDED = 47.47 SQ. FT. (OPT. 5 BEDRM. 54.87 SQ. FT.)(GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 50.47 SQ. FT. (OPT. 5 BEDRM. 57.87 SQ. FT.)(GLASS AREA ONLY)

|                                                                                                                                                                                                                            |                                                                                       |          |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|----------|
| <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> |                                                                                       |          |
| <p>Richard Vink</p>                                                                                                                                                                                                        |  | 244      |
| <p>name</p>                                                                                                                                                                                                                | <p>signature</p>                                                                      | <p>B</p> |
| <p>registration information</p> <p>VA3 Design Inc.</p>                                                                                                                                                                     |                                                                                       | 426      |



**VA3**  
**DESIGN**

**255 Consumers Rd Suite 120**  
**Toronto ON M2J 1R4**  
**t 416.630.2255 f 416.630.478**  
**va3design.com**

 **Greenpark.**

**MOUNTAINASH 2**  
13.5m

project name  
**RUSSELL GARDENS PH. 3**

municipality  
HAMILTON, ON.

Project no.  
9014

date  
JANUARY 2020

LEFT SIDE ELEVATION '3'

உதாரணம் ௩.

drawn by NS checked by - scale 3/16" = 1'-0"

file name  
19014-MOUNTAINASH-02

AHNAF MOZAMMEL - C:\Users\ahnaf\Desktop\19014-GREENPARK\UNITS\19014-MOUNTAINASH-02.dwg - Thu - Jul 2 2020 - 10:41 AM

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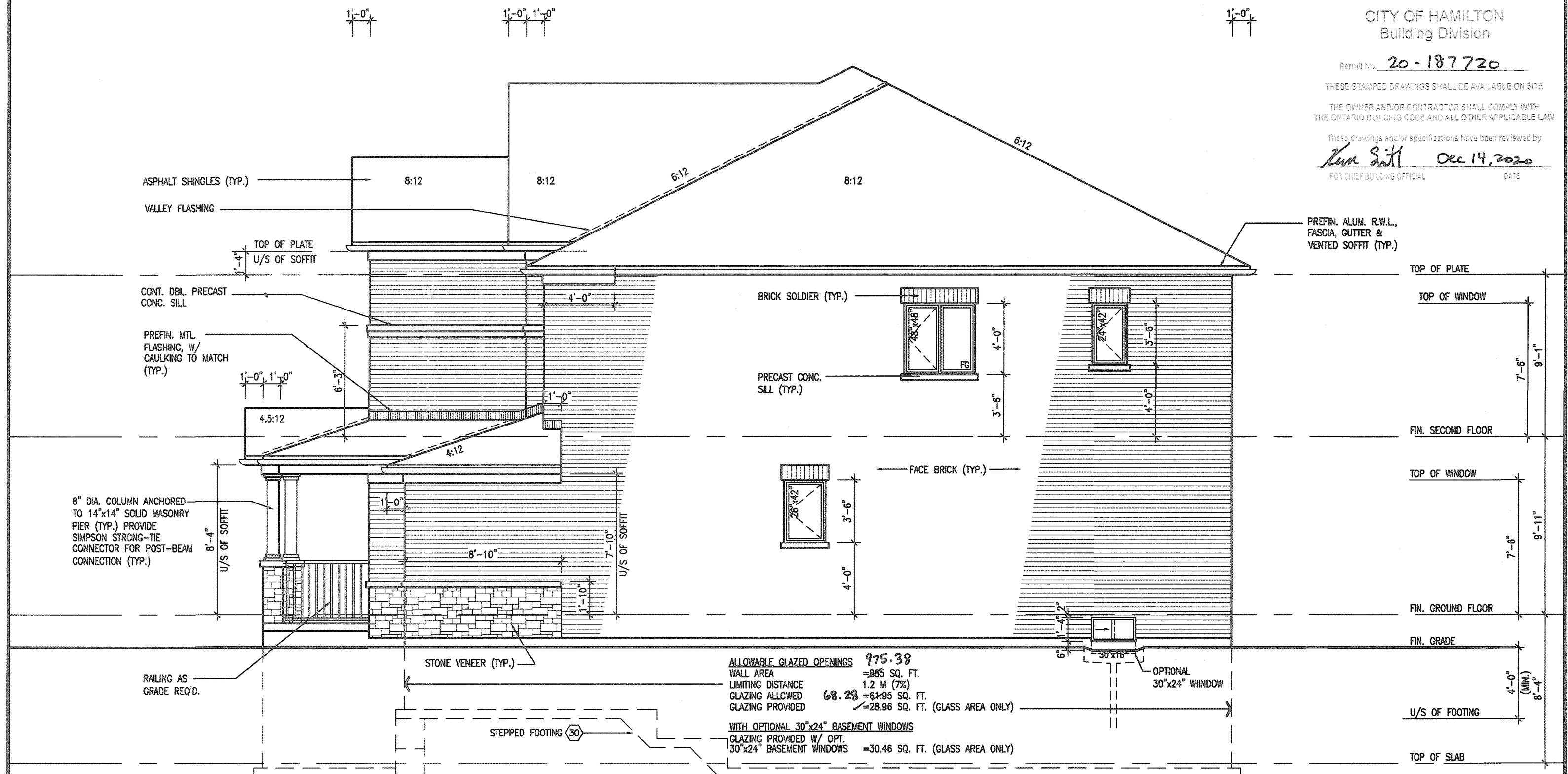
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Kenn Smith* Dec 14, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE



WINDOW WELLS DRAWN TO FOOTING  
LEVEL

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY \_\_\_\_\_  
DATE SEP 26 2020

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Design Guidelines only and bears no further  
practical or legal responsibility.

ALLOWABLE GLAZED OPENINGS **975.38**

|                   |              |                                   |
|-------------------|--------------|-----------------------------------|
| WALL AREA         | =            | 865 SQ. FT.                       |
| LIMITING DISTANCE |              | 1.2 M (7%)                        |
| GLAZING ALLOWED   | <b>68.28</b> | = 61.95 SQ. FT.                   |
| GLAZING PROVIDED  | ✓            | = 28.96 SQ. FT. (GLASS AREA ONLY) |

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

|                                                   |   |                                 |
|---------------------------------------------------|---|---------------------------------|
| GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS | = | 30.46 SQ. FT. (GLASS AREA ONLY) |
|---------------------------------------------------|---|---------------------------------|

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p><b>Richard Vink</b> <span style="float: right;">2443</span></p> <p>name <span style="margin-left: 100px;">signature</span> <span style="float: right;">B</span></p> <p>registration information</p> <p><b>VAS Design Inc.</b> <span style="float: right;">4263</span></p> |  |
| <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the report of the Designer which must be returned at the completion of the work.</p> <p>Drawings are not to be sealed.</p>                                                                                                                                                                               |  |

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va3design.com

**MOUNTAINASH 2**  
13.5m

project name  
**RUSSELL GARDENS PH. 3**

municipality  
**HAMILTON, ON.**

Project no.  
0014

date  
JANUARY 2020

RIGHT SIDE ELEVATION '1'

drawn by NS checked by - scale  $3/16" = 1'-0"$

file name  
19014-MOUNTAINASH-02

drawing no.  
A7

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2848 SF.

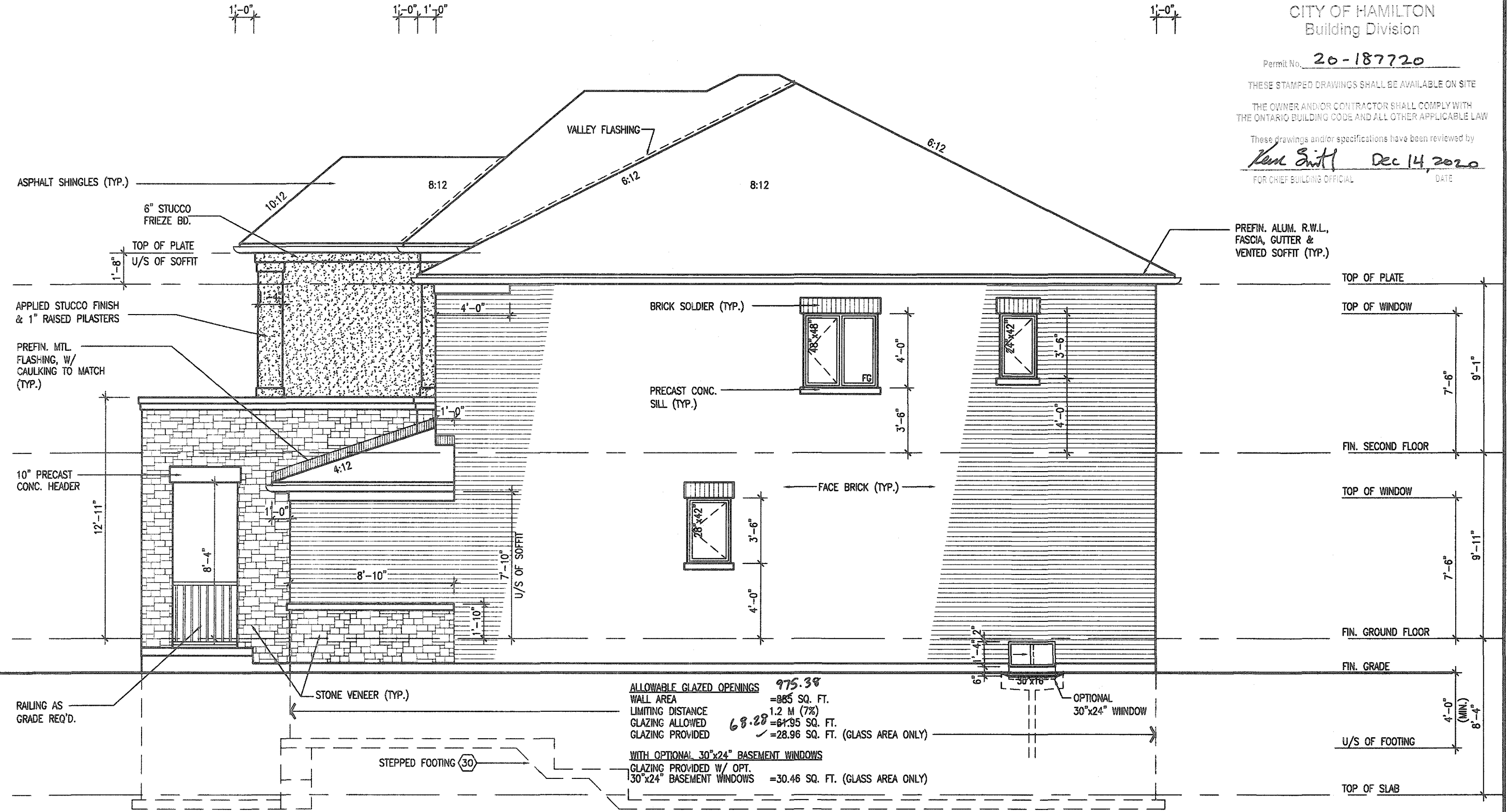
CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 15 2020  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division

Permit No. **20-187720**

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Kem Smith* **Dec 14, 2020**  
FOR CHIEF BUILDING OFFICIAL DATE



RIGHT SIDE ELEVATION '2'

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: **SEP 21, 2020**  
This stamp certifies compliance with the applicable Design Guidelines only and does not confer professional responsibility.

|     |             |      |    |                                        |              |
|-----|-------------|------|----|----------------------------------------|--------------|
| 18  |             |      | 9  |                                        |              |
| 17  |             |      | 8  |                                        |              |
| 16  |             |      | 7  |                                        |              |
| 15  |             |      | 6  |                                        |              |
| 14  |             |      | 5  |                                        |              |
| 13  |             |      | 4  |                                        |              |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                     | APR 08/20 GW |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 GW |
| 10  |             |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 GW |
| no. | description | date | by | no.                                    | description  |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
name registration information  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com



**MOUNTAINASH 2**  
13.5m

project name  
**RUSSELL GARDENS PH. 3**

date  
**JANUARY 2020**

drawn by  
**NS**

checked by  
**3/16" = 1'-0"**

scale  
**3/16" = 1'-0"**

project no.  
**19014**

municipality  
**HAMILTON, ON.**

RIGHT SIDE ELEVATION '2'

file name  
**19014-MOUNTAINASH-02**

drawing no.  
**A7a**

2848 SF.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

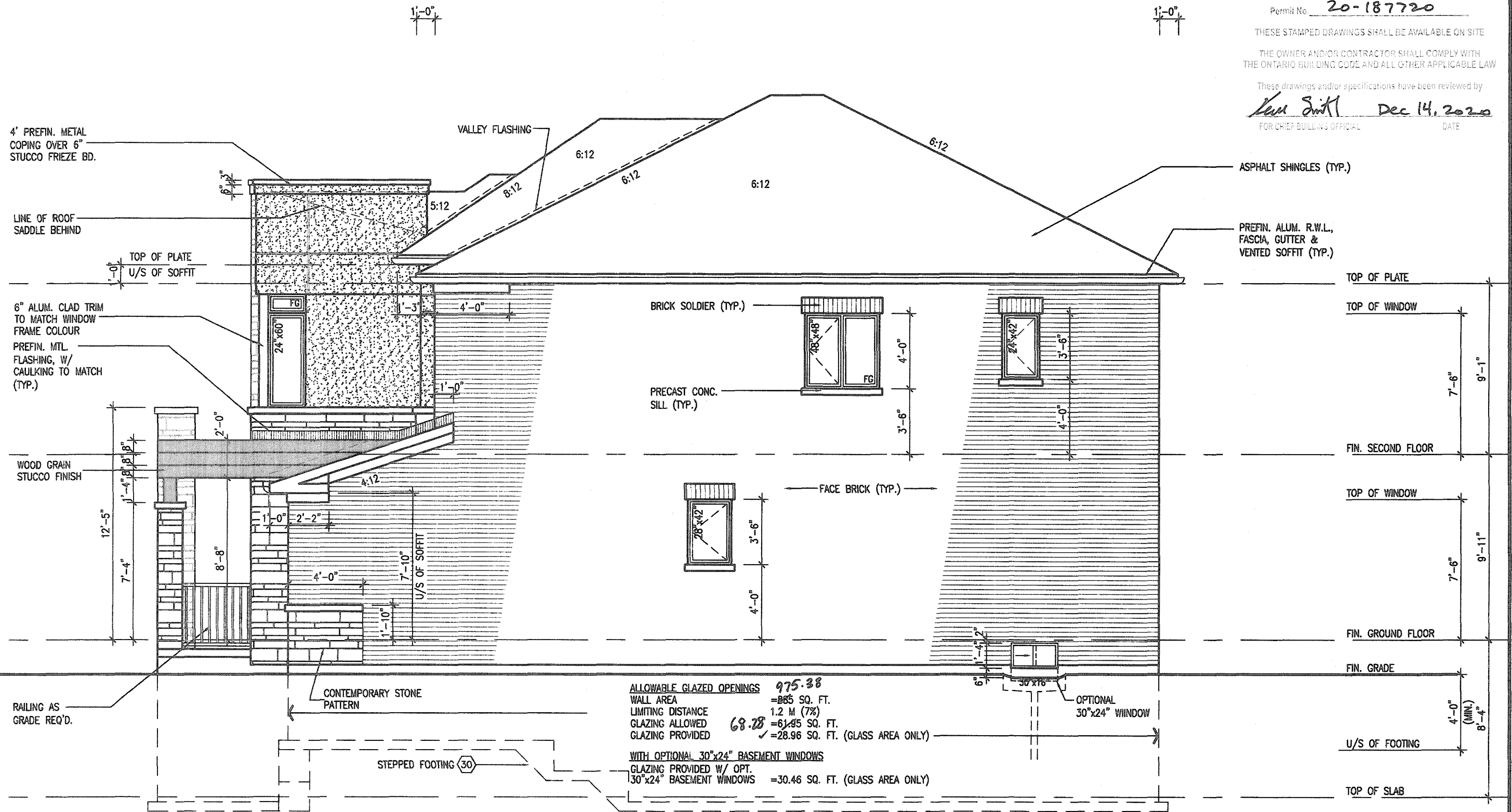
NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division

Permit No. 20-187720

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
*Kim Smith* Dec 14, 2020  
FOR CHIEF BUILDING OFFICIAL DATE



RIGHT SIDE ELEVATION '3'

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# MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY \_\_\_\_\_  
DATE: SEP 22, 2020  
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|     |             |      |    |                                        |             |      |    |
|-----|-------------|------|----|----------------------------------------|-------------|------|----|
| 18  |             |      | 9  |                                        |             |      |    |
| 17  |             |      | 8  |                                        |             |      |    |
| 16  |             |      | 7  |                                        |             |      |    |
| 15  |             |      | 6  |                                        |             |      |    |
| 14  |             |      | 5  |                                        |             |      |    |
| 13  |             |      | 4  |                                        |             |      |    |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                     | APR 08/20   | GW   |    |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20   | GW   |    |
| 10  |             |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20   | GW   |    |
| no. | description | date | by | no.                                    | description | date | by |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
name registration information  
V&S Design Inc. 42658  
signature  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**V&S DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vo3design.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH. 3  
drawn by  
JANUARY 2020  
checked by  
NS  
scale  
3/16" = 1'-0"  
date  
15014-MOUNTAINASH-02.dwg - Mon - Jul 6 2020 - 9:49 AM

**MOUNTAINASH 2**  
13.5m  
project no.  
19014  
drawing no.  
A7b  
RIGHT SIDE ELEVATION '3'

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

Permit No. 20-187720

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These drawings and/or specifications have been reviewed by  
Kenn Smith Dec 14, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY \_\_\_\_\_  
DATE SEP 21 2020

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professional responsibility.

| 18  |             |      |    | 9   | -                                      | -            | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                                            |
|-----|-------------|------|----|-----|----------------------------------------|--------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 17  |             |      |    | 8   | -                                      | -            |                                                                                                                                                                                                                                                                                                               |
| 16  |             |      |    | 7   | -                                      | -            | qualification information                                                                                                                                                                                                                                                                                     |
| 15  |             |      |    | 6   | -                                      | -            | Richard Vink 2448                                                                                                                                                                                                                                                                                             |
| 14  |             |      |    | 5   | -                                      | -            | name signature B07                                                                                                                                                                                                                                                                                            |
| 13  |             |      |    | 4   | -                                      | -            | registration information VA3 Design Inc. 42655                                                                                                                                                                                                                                                                |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | APR 08/20 GW |                                                                                                                                                                                                                                                                                                               |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 GW | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied. |
| 10  |             |      |    | 1   | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 GW |                                                                                                                                                                                                                                                                                                               |
| no. | description | date | by | no. | description                            | date         | by                                                                                                                                                                                                                                                                                                            |

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t 416.630.2255 f 416.630.478  
va3design.com

|                                                                                                                       |  |                                          |  |
|-----------------------------------------------------------------------------------------------------------------------|--|------------------------------------------|--|
|  <b>Greenpark.</b>               |  | <b>MOUNTAINASH 2</b><br>13.5m            |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                                          |  | municipality<br><b>HAMILTON, ON.</b>     |  |
| date<br><b>JANUARY 2020</b>                                                                                           |  | project no.<br><b>19014</b>              |  |
| drawn by<br>-                                                                                                         |  | drawing no.<br><b>A8</b>                 |  |
| checked by<br>-                                                                                                       |  | title<br><b>REAR ELEVATION "1"</b>       |  |
| scale<br><b>3/16" = 1'-0"</b>                                                                                         |  | file name<br><b>19014-MOUNTAINASH-02</b> |  |
| P:\NF\MOZAMMEL - C:\Users\lenora\Desktop\19014-CRETY\PARK\UNITS\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM |  |                                          |  |

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Planning & Development Department  
NOV 15 2020  
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REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division

Permit No. 20-187720

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These drawings and/or specifications have been reviewed by  
*Kenn Smith* Dec 14, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE



REAR ELEVATION '2'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL APPROVAL REVIEW  
AND APPROVAL

APPROVED BY 

DATE: SEP 21, 2020

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| 18 |             |      |    | 9  |                                        |           |    | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                             |
|----|-------------|------|----|----|----------------------------------------|-----------|----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 17 |             |      |    | 8  |                                        |           |    |                                                                                                                                                                                                                                                                                |
| 16 |             |      |    | 7  |                                        |           |    | qualification information                                                                                                                                                                                                                                                      |
| 15 |             |      |    | 6  |                                        |           |    | Richard Vink 2440                                                                                                                                                                                                                                                              |
| 14 |             |      |    | 5  |                                        |           |    | name signature B                                                                                                                                                                                                                                                               |
| 13 |             |      |    | 4  |                                        |           |    | registration information VA3 Design Inc. 426                                                                                                                                                                                                                                   |
| 12 |             |      |    | 3  | ISSUED FOR PERMIT.                     | APR 08/20 | GW |                                                                                                                                                                                                                                                                                |
| 11 |             |      |    | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 | GW | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. |
| 10 |             |      |    | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 | GW |                                                                                                                                                                                                                                                                                |
| no | description | date | hw | no | description                            | date      | hw |                                                                                                                                                                                                                                                                                |

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.478  
[va3design.com](http://va3design.com)

# Greenpark.

**MOUNTAINASH 2**  
13.5m

|                                              |                                          |                               |
|----------------------------------------------|------------------------------------------|-------------------------------|
| project name<br><b>RUSSELL GARDENS PH. 3</b> | city<br><b>HAMILTON, ON.</b>             | project no.<br><b>19014</b>   |
| date<br><b>JANUARY 2020</b>                  | drawing no.<br><b>REAR ELEVATION '2'</b> | drawing no.<br><b>A8a</b>     |
| drawn by<br><b>MS</b>                        | checked by<br><b>-</b>                   | scale<br><b>3/16" = 1'-0"</b> |
| title name<br><b>19014-MOUNTAINASH-02</b>    |                                          |                               |

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BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

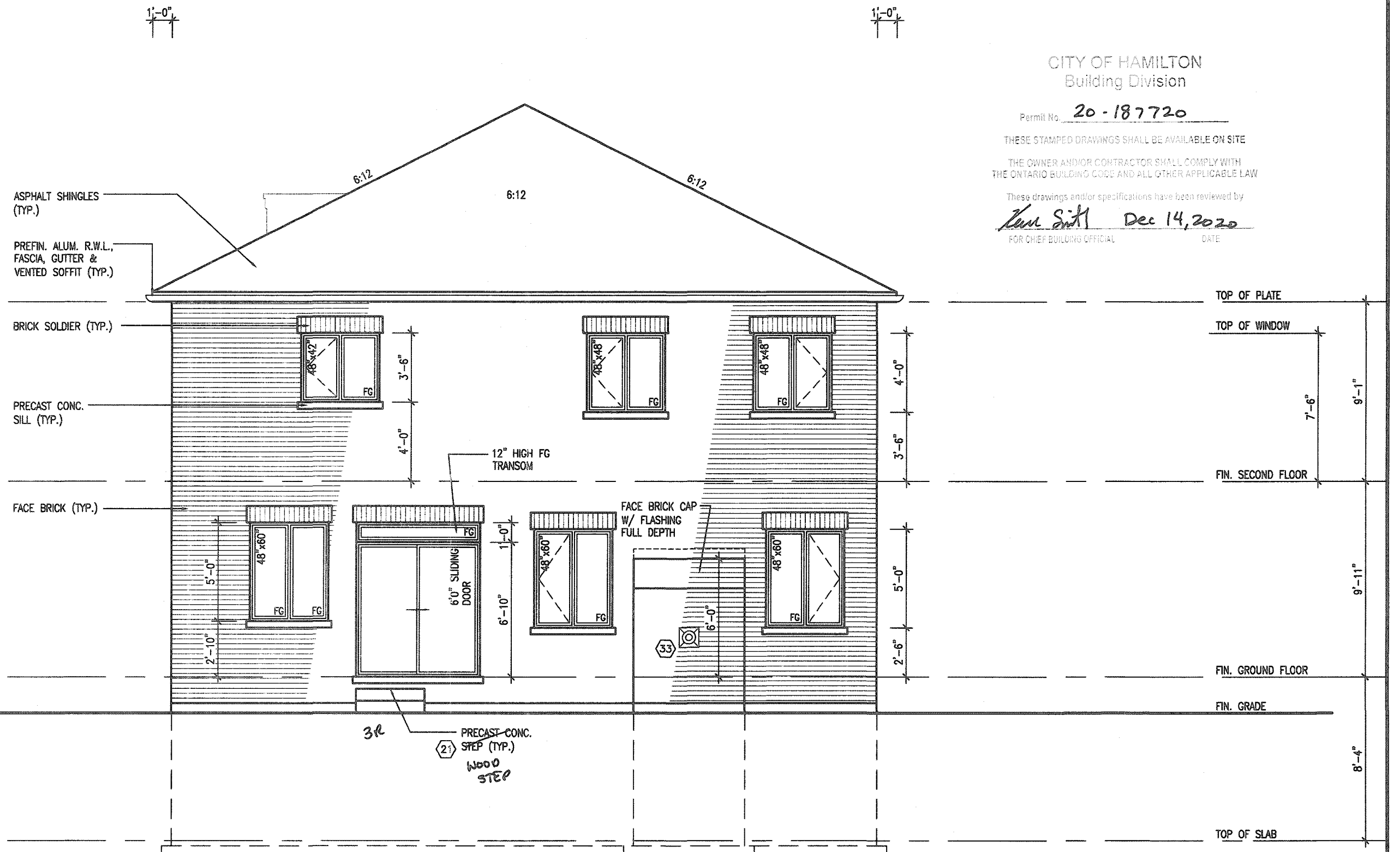
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REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

Permit No. 20-187720

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Kenn Smith Dec 14, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE



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JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY   
DATE SEP 21 2020

This document complies with the applicable  
Design Guidelines only and bears no further  
responsibility

|     |             |      |    |                                        |              |                                                                                                                                                                                    |
|-----|-------------|------|----|----------------------------------------|--------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 18  |             |      | 9  |                                        |              | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |
| 17  |             |      | 8  |                                        |              |                                                                                                                                                                                    |
| 16  |             |      | 7  |                                        |              | qualification information                                                                                                                                                          |
| 15  |             |      | 6  |                                        |              | Richard Vink 24488                                                                                                                                                                 |
| 14  |             |      | 5  |                                        |              | name signature BCIN                                                                                                                                                                |
| 13  |             |      | 4  |                                        |              | registration information<br>VAS Design Inc. 42658                                                                                                                                  |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                     | APR 08/20 GW |                                                                                                                                                                                    |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 GW |                                                                                                                                                                                    |
| 10  |             |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 GW |                                                                                                                                                                                    |
| no. | description | date | by | no.                                    | description  | date by                                                                                                                                                                            |

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|                                                                                                                 |  |                                                                |  |
|-----------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------|--|
|  <b>Greenpark.</b>         |  | <b>MOUNTAINASH 2</b><br>13.5m                                  |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                                    |  | municipality<br><b>HAMILTON, ON.</b>                           |  |
| date<br><b>JANUARY 2020</b>                                                                                     |  | project no.<br><b>19014</b>                                    |  |
| drawing no.<br><b>A8b</b>                                                                                       |  | REAR ELEVATION '3'<br>(to name)<br><b>19014-MOUNTAINASH-02</b> |  |
| drawn by<br><b>NS</b>                                                                                           |  |                                                                |  |
| checked by<br><b>-</b>                                                                                          |  |                                                                |  |
| scale<br><b>3/16" = 1'-0"</b>                                                                                   |  |                                                                |  |
| ANNAF MOZAMMEL - C:\Users\anna\OneDrive\19014-MOUNTAINASH\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM |  |                                                                |  |

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Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

Permit No. 20-187720

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Kenn Smith* Dec 14, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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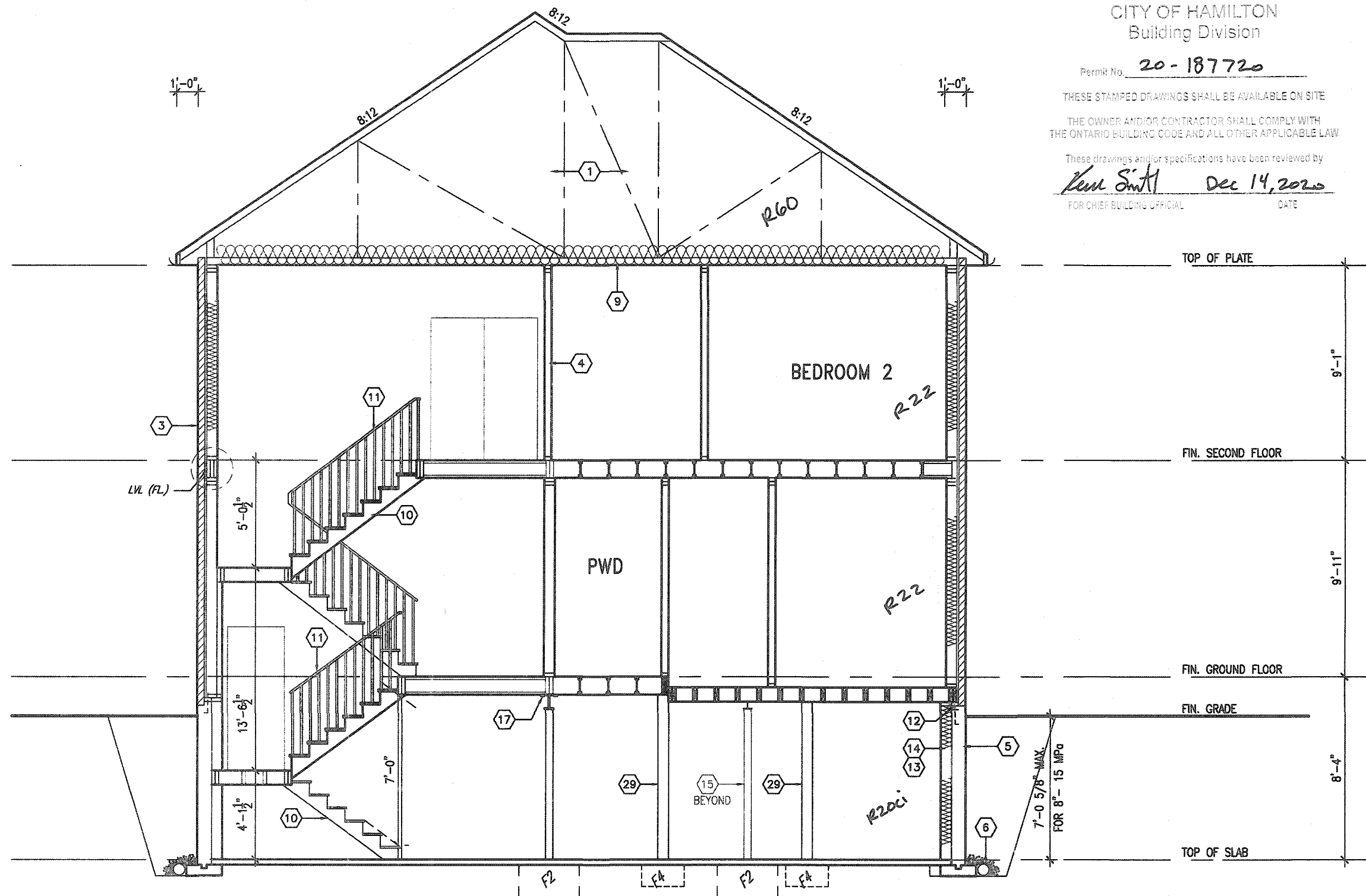
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BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

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 FOR CHIEF BUILDING OFFICIAL DATE



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# MOUNTAINASH 2

## COMPLIANCE PACKAGE 'A1'

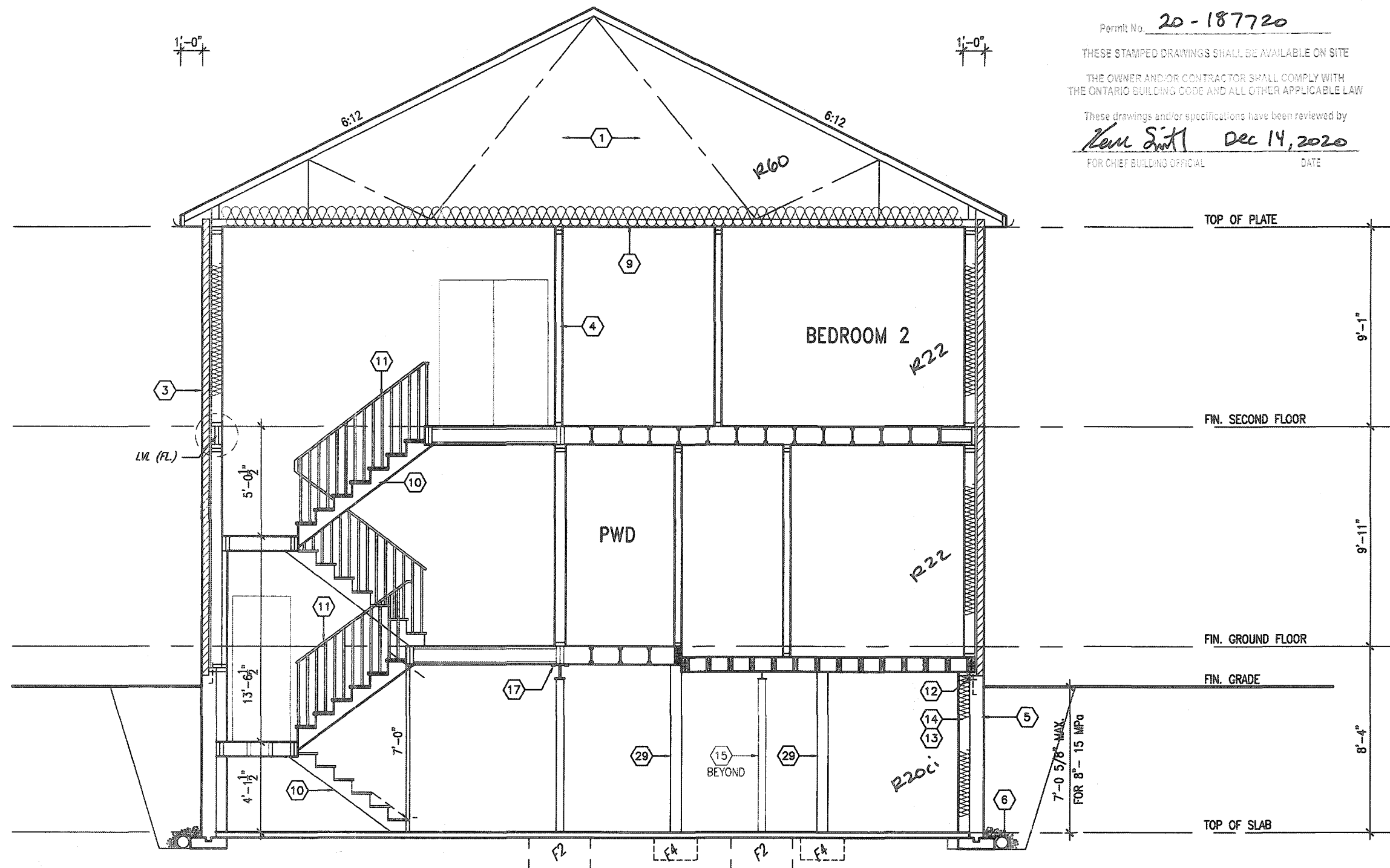
[illegible]

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Permit No. 20-187720

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 FOR CHIEF BUILDING OFFICIAL DATE



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| 18  |             |      |    | 9   | -                                      | -         | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |       |  |
|-----|-------------|------|----|-----|----------------------------------------|-----------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|--|
| 17  |             |      |    | 8   | -                                      | -         | qualification information                                                                                                                                                          |       |  |
| 16  |             |      |    | 7   | -                                      | -         | Richard Vink                                                                                                                                                                       | 24485 |  |
| 15  |             |      |    | 6   | -                                      | -         | name                                                                                                                                                                               | BCH   |  |
| 14  |             |      |    | 5   | -                                      | -         | signature                                                                                                                                                                          |       |  |
| 13  |             |      |    | 4   | -                                      | -         | registration information                                                                                                                                                           |       |  |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | APR 08/20 | VAS Design Inc.                                                                                                                                                                    | 42655 |  |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 |                                                                                                                                                                                    |       |  |
| 10  |             |      |    | 1   | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 |                                                                                                                                                                                    |       |  |
| no. | description | date | by | no. | description                            | date      | by                                                                                                                                                                                 |       |  |

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**MOUNTAINASH 2**  
13.5m

|                                              |                                      |                               |
|----------------------------------------------|--------------------------------------|-------------------------------|
| project name<br><b>RUSSELL GARDENS PH. 3</b> | municipality<br><b>HAMILTON, ON.</b> | project no.<br><b>19014</b>   |
| date<br><b>JANUARY 2020</b>                  | SECTION A-A ELEVATION '3'            |                               |
| drawn by<br><b>NS</b>                        | checked by<br><b>-</b>               | scale<br><b>3/16" = 1'-0"</b> |
| drawing no.<br><b>19014-MOUNTAINASH-02</b>   |                                      | <b>A9b</b>                    |

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Planning & Development Department

NOV 15 2020

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REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

Permit No. 20-187720

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These drawings and/or specifications have been reviewed by  
Karen Smith Dec 14, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE



ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

# MOUNTAINASH 2

## COMPLIANCE PACKAGE 'A1'

JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL: REVIEW

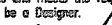
AND APPROVAL:

APPROVED BY \_\_\_\_\_

DATE SEP 22 2006 \_\_\_\_\_

This stamp certifies compliance with the applicable  
Design Guidelines only and means no further  
professional responsibility.

|     |             |      |    |     |                                        |           |    |
|-----|-------------|------|----|-----|----------------------------------------|-----------|----|
| 18  |             |      |    | 9   | -                                      | -         | -  |
| 17  |             |      |    | 8   | -                                      | -         | -  |
| 16  |             |      |    | 7   | -                                      | -         | -  |
| 15  |             |      |    | 6   | -                                      | -         | -  |
| 14  |             |      |    | 5   | -                                      | -         | -  |
| 13  |             |      |    | 4   | -                                      | -         | -  |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | APR 08/20 | GW |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 | GW |
| 10  |             |      |    | 1   | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 | GW |
| no. | description | date | by | no. | description                            | date      | by |

|                                                                                                                                                                                                                                                                                                                      |                                                                                       |       |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|-------|
| <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p>                                                                                           |                                                                                       |       |
| <p>Richard Vink</p>                                                                                                                                                                                                                                                                                                  |  | 24488 |
| <p>name</p>                                                                                                                                                                                                                                                                                                          | <p>signature</p>                                                                      | BCO#  |
| <p>registration information</p>                                                                                                                                                                                                                                                                                      |                                                                                       |       |
| <p>VAS Design Inc.</p>                                                                                                                                                                                                                                                                                               |                                                                                       | 42656 |
| <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.</p> |                                                                                       |       |

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|                                                                                                                   |  |                                          |  |
|-------------------------------------------------------------------------------------------------------------------|--|------------------------------------------|--|
|  <b>Greenpark.</b>           |  | <b>MOUNTAINASH 2</b><br>13.5m            |  |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                                      |  | municipality<br><b>HAMILTON, ON.</b>     |  |
| date<br><b>JANUARY 2020</b>                                                                                       |  | project no.<br><b>19014</b>              |  |
| drawn by<br>checked by<br>scale<br><b>3/16" = 1'-0"</b>                                                           |  | drawing no.<br><b>A11</b>                |  |
| title<br><b>REAR ELEV. '1' - DECK CONDITION</b>                                                                   |  | file name<br><b>19014-MOUNTAINASH-02</b> |  |
| A:\NAF MOZAMBEI - C:\Users\afm\Desktop\19014- GREENPARK\LA\1519014-MO\TA\MASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM |  |                                          |  |

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BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

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Building Division

Permit No. **20-187720**

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These drawings and/or specifications have been reviewed by

*Kent Smith* **Dec 14, 2020**  
FOR CHIEF BUILDING OFFICIAL DATE



REAR ELEVATION '2' -  
DECK CONDITION DECK NOT REQUIRED

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

# MOUNTAINASH 2 COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

**EXTERIOR RAILINGS:**  
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: **SEP 21, 2020**  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

|     |             |      |    |                                        |              |
|-----|-------------|------|----|----------------------------------------|--------------|
| 18  |             |      | 9  |                                        |              |
| 17  |             |      | 8  |                                        |              |
| 16  |             |      | 7  |                                        |              |
| 15  |             |      | 6  |                                        |              |
| 14  |             |      | 5  |                                        |              |
| 13  |             |      | 4  |                                        |              |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                     | APR 08/20 GW |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 16/20 GW |
| 10  |             |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 30/20 GW |
| no. | description | date | by | no.                                    | description  |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
name registration information BCIN  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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va3design.com

project name  
**RUSSELL GARDENS PH. 3**

drawn by  
NS

checked by  
3/16" = 1'-0"

scale

date  
JANUARY 2020

city  
HAMILTON, ON.

project no.  
19014

drawing no.  
19014-MOUNTAINASH-02

REAR ELEV. '2' - DECK CONDITION

**A11a**

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