

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 1/4" (125x90x6.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 1/4" (150x90x6.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 1/4" (125x90x6.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 1/4" (125x90x6.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 1/4" (125x90x6.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 1/4" (100x90x6.0L)
L3 = 5" x 3-1/2" x 1/4" (125x90x6.0L)
L4 = 6" x 3-1/2" x 1/4" (150x90x6.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9"	HEIGHT 10' OR MORE	CEILING	TYPE
1	2'-10"	6'-8"	8'-0"		INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"		INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"		WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"		EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"		INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"		INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"		INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"		INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

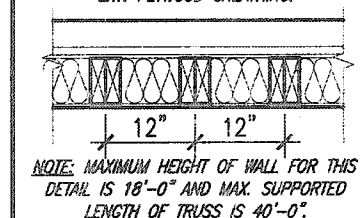
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HEIGHT, 1/4" SOLID
BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO
THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
PER OBC SUPPLEMENTARY STANDARD SB-12,
SECTION 3.1.1.1.

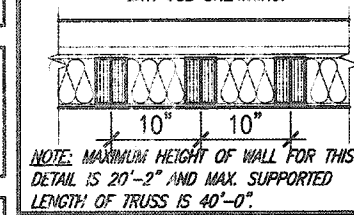
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	0.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci- Denotes Continuous Insulation without framing interruption.

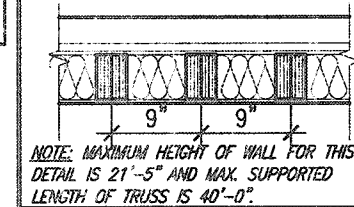
TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 10" O.C. FULL HEIGHT, 1/4" SOLID
BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 9" O.C. FULL HEIGHT, 1/4" SOLID
BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



CITY OF HAMILTON BUILDING DIVISION Planning & Development Department

OCT 6 2020

REC BY _____ DATE _____
REFD TO _____ DATE _____

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	763 S.F.	190.21 S.F.	24.93 %
LEFT SIDE	1113 S.F.	92.99 S.F.	8.35 %
RIGHT SIDE	1113 S.F.	18.50 S.F.	1.66 %
REAR	750 S.F.	158.95 S.F.	21.19 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3739.00 S.F.	460.65 S.F.	12.32 %
TOTAL SQ. M.	347.36 S.M.	42.80 S.M.	12.32 %

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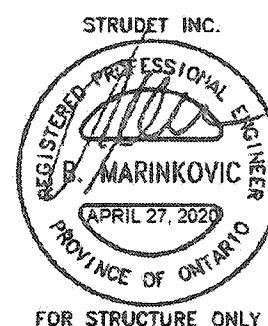
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	772 S.F.	212.89 S.F.	27.58 %
LEFT SIDE	1106 S.F.	92.99 S.F.	8.41 %
RIGHT SIDE	1128 S.F.	18.50 S.F.	1.64 %
REAR	750 S.F.	158.95 S.F.	21.19 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3756.00 S.F.	483.33 S.F.	12.87 %
TOTAL SQ. M.	348.94 S.M.	44.90 S.M.	12.87 %

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Permit No. 196110

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 3 COMPLIANCE PACKAGE 'A1'

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark

MOUNTAINASH 3
13.5m

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ON.

project no.
19014

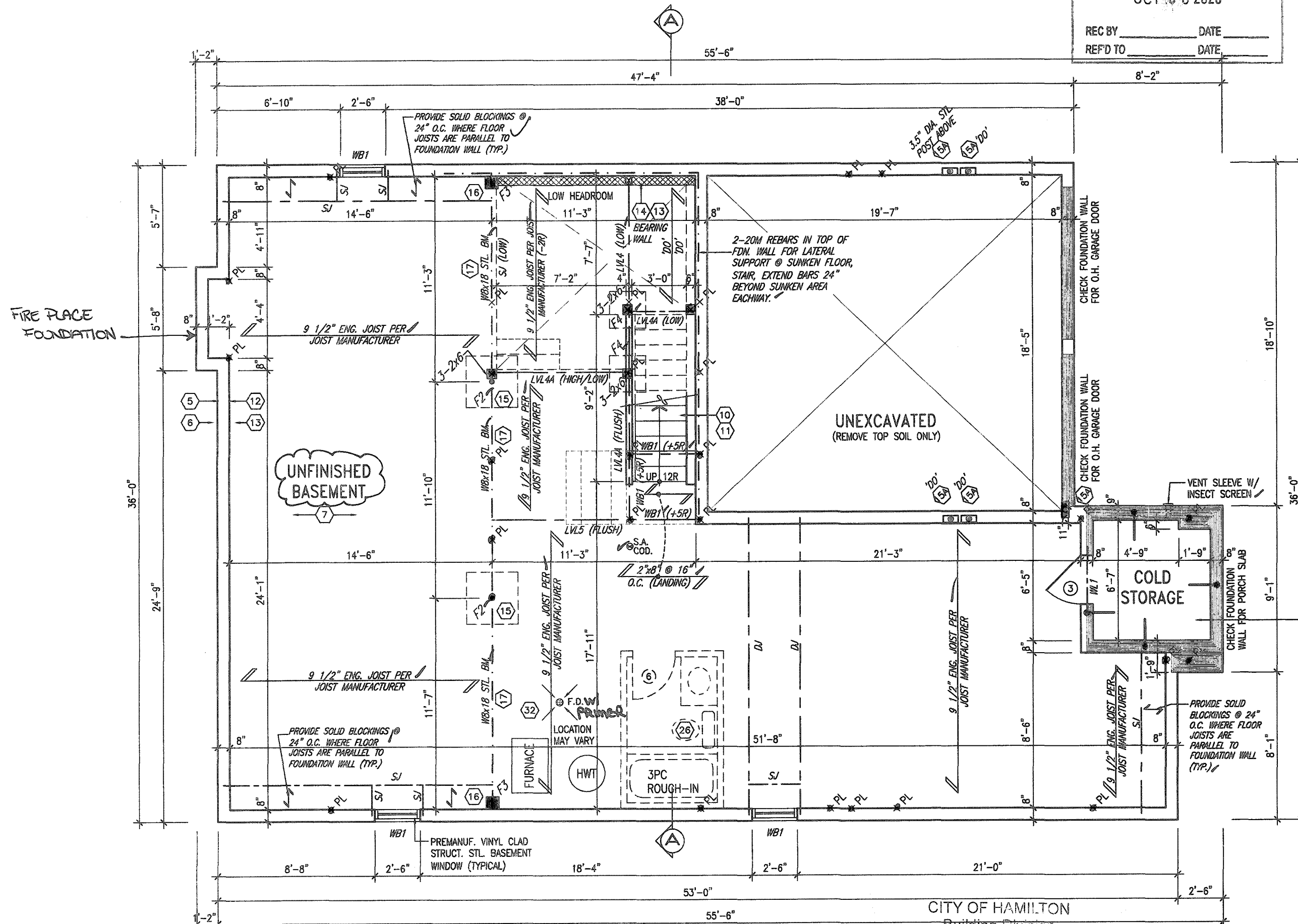
drawing no.
A0

date
JANUARY 2020

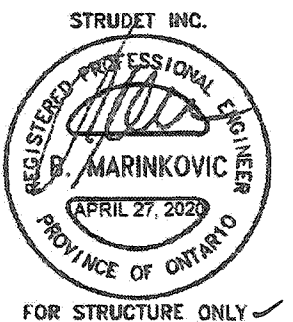
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3/16" = 1'-0"

GENERAL NOTES & CHARTS

19014-MOUNTAINASH-03



COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4" CONG. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.



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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY _____
DATE: SEP 21, 2020
This stamp certifies compliance with the Architectural Design Guidelines only and does not constitute a professional responsibility.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT PLAN ELEV. 1

A SEPARATE BUILDING PERMIT IS REQUIRED TO FINISH THE BASEMENT

Permit No. 196110
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Dec 15/20
FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'

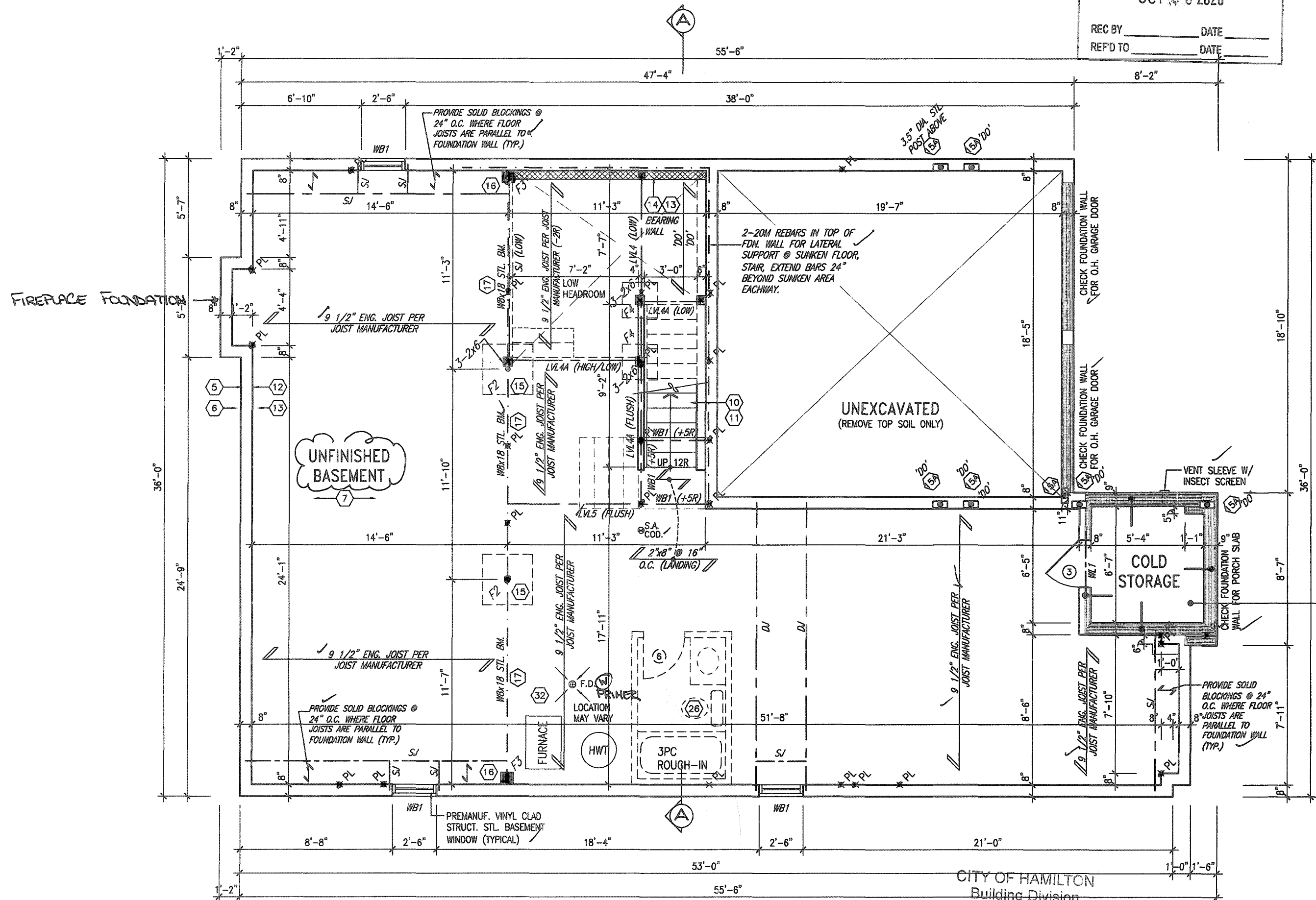
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15			6		
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13			4		
12			3	ISSUED FOR PERMIT.	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
BCCN
registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark. MOUNTAINASH 3
13.5m
project name
RUSSELL GARDENS PH. 3 HAMILTON, ON.
project no.
19014
drawing no.
A1
date
JANUARY 2020
checked by
3/16" = 1'-0"
19014-MOUNTAINASH-03
ANUP MOZAMBEI - C:\Users\anup\Desktop\19014-GREENPARK\UNITS\19014-MOUNTAINASH-03.dwg - Thu - Apr 9 2020 - 9:51 AM

3086 SF.



COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APRIL 27, 2020
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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BASEMENT WALL INSULATION
(P) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT PLAN ELEV. 2
A SEPARATE PERMIT IS REQ'D TO FINISH THE BASEMENT

Permit No. 196110
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
Dec 16/20
FOR CHIEF BUILDING OFFICIAL

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not further constitute responsibility.

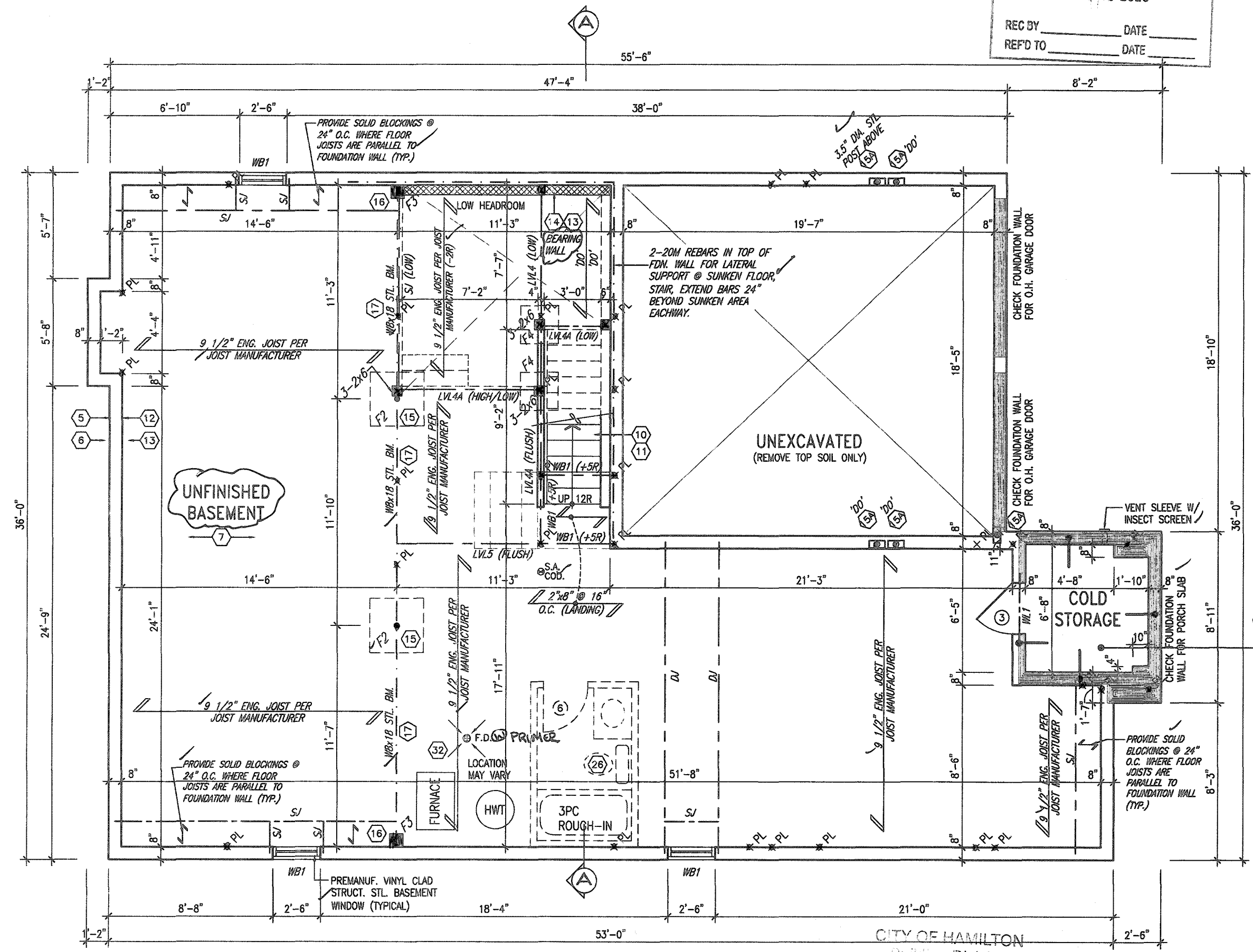
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no.	description	date	by	no.	description

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qualification information
Richard Vink
signature
name registration information
V3 Design Inc.
24488
42658

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON.
project no.
19014
drawing no.
19014-MOUNTAINASH-03
A1a
BASEMENT PLAN - ELEV. 2
JANUARY 2020
checked by
3/16" = 1'-0"
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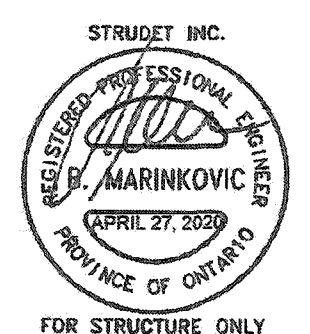
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BASEMENT PLAN ELEV. 3
A SEPERATE PERMIT IS REQ'D
TO FINISH THE BASEMENT

Permit No. **196110**
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Dec 15/20
FOR CHIEF BUILDING OFFICIAL DATE



MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: *SEP 21 2020*
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no.	description	date	by	no.	description	date	by
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17				8			
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t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.
date
JANUARY 2020
checked by
scale
3/16" = 1'-0"
drawing no.
19014-MOUNTAINASH-03
A1b

MOUNTAINASH 3
13.5m
project no.
19014
drawing no.
A1b

3086 SF.

REC BY _____ DATE _____
REF'D TO _____ DATE _____

ALL PLUMBING WORK
THROUGH-OUT IS SUBJECT
TO FIELD INSPECTION
AND APPROVAL

FIREPLACE INSTAL AS PER
MANUFACTURES SPECIFICATIONS
AND CAN/ULC.

8" DIA. COLUMN ANCHORED
TO 14"x14" SOLID
MASONRY PIER (TYP.).
PROVIDE SIMPSON
STRONG-TIE CONNECTOR
FOR POST-BEAM
CONNECTION (TYP.)

GROUND FLOOR PLAN
ELEV. 1

CITY OF HAMILTON
Building Division

Permit No. 196110

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
 JDC Dec 15/20
 FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 3

COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 21, 2020

The stamp certifies compliance with the anti-money
 Laundering Guidelines only and bears no further
 professional responsibility.

STRUDET INC.



FOR STRUCTURE ONLY ✓

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink 2448
14				5			name signature
13				4			registration information VAS Design Inc. 4263
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no. description		date by		no. description		date by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	qualification information	<i>R Vink</i>	24
name	Richard Vink	signature	42
registration information	VAS Design Inc.		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All instruments used by the Designer are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 **Greenpark**™

plot name file
RUSSELL GARDENS PH. 3 **HAMILTON,**

on **JANUARY 2020** **GROUND FLO**

drawn by checked by scale
 by **MOZAMMEL** **3/16" = 1'-0"**

C:\Users\kennet\Desktop\19014-GREENPARK\UNITS\19014-MOUNTAIN-HOUSE-03.dwg

MOUNTAINASH 3	
13.5m	
project no.	19014
PLAN - ELEV. 1	drawing no.
file name	A2
9014-MOUNTAINASH-03R	
Thu - Apr 30 2020 - 12:03 PM	

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 6 2020
REC BY _____ DATE _____
REF'D TO _____ DATE _____

3086 SF.

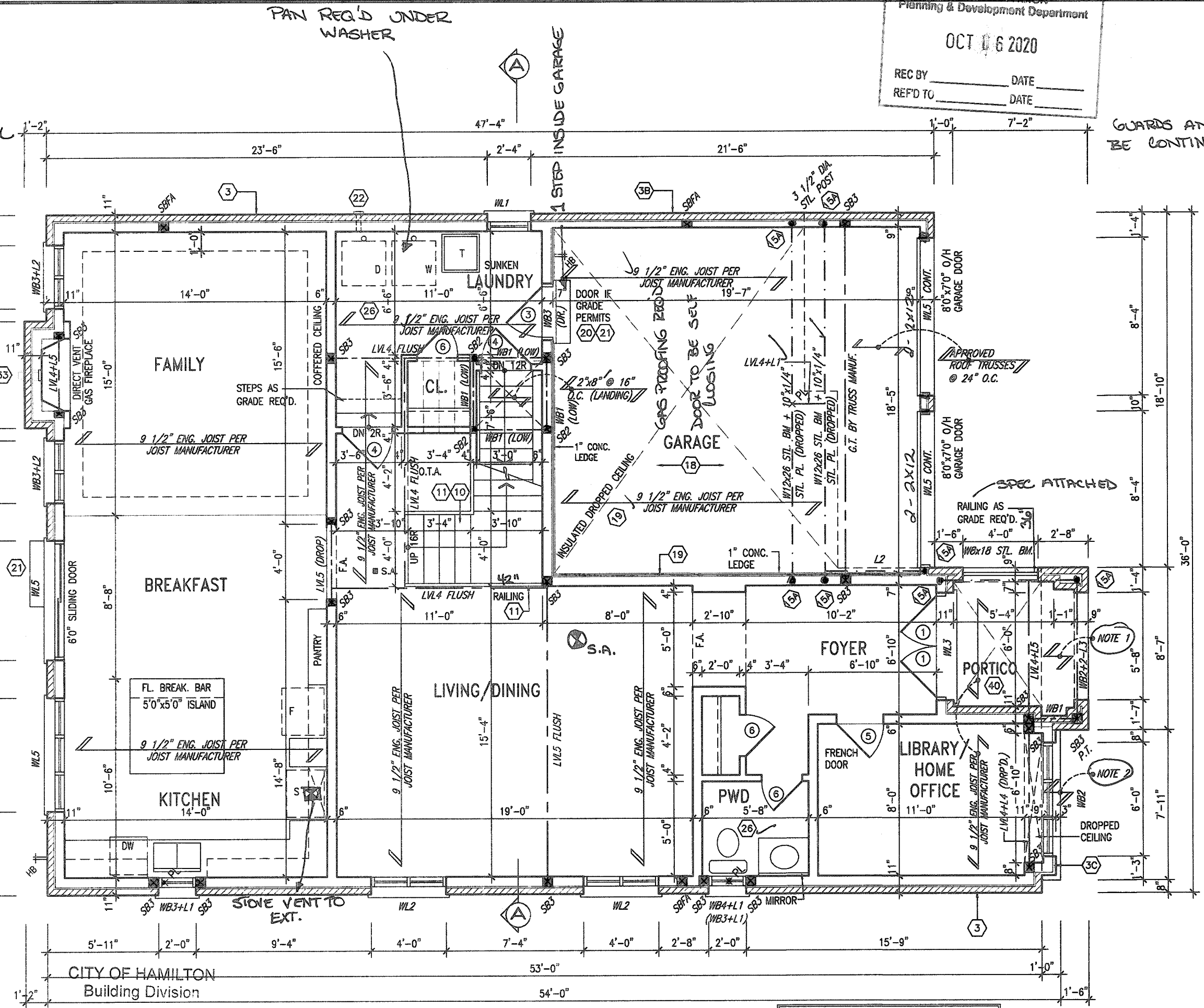
OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
K11-EX-NOTE-2020.dwg

PROVIDE FIREBLOCKING IN ALL CONCEALED SPACES

ALL PLUMBING THROUGH-OUT IS SUBJECT TO SITE INSPECTION AND APPROVAL.

FIREPLACE TO BE INSTALLED AS PER MANUFACTURER'S SPECS AND CAN/ULC.

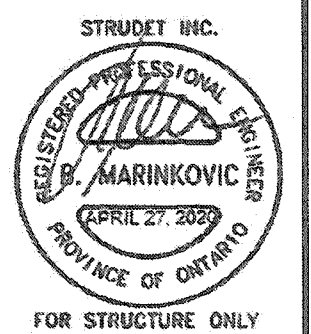
GUARDS AND HANDRAILS SHALL BE CONTINUOUS.



Permit No. 20-196110
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These drawings and/or specifications have been reviewed by
JJD Dec 15/20
FOR CHIEF BUILDING OFFICIAL DATE

GROUND FLOOR PLAN
ELEV. 2

NOTE 2: FLAT ROOF OVER LIVING SPACE
2"x4" @ 12" O/C DIAGONALLY CUT CROSS PURLINS ON SINGLE PLY WATERPROOFING MEMBRANE ON 5/8" EXTERIOR GRADE SHEATHING ON 2"x4" CROSS PURLINS (CUT DIAGONALLY) @ 12" O/C ON 2"x8" JOISTS @ 12" O/C. 1/2" BATT INSULATION (RSI 5.40 R31)



MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED BY _____
DATE SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18			9						
17			8						
16			7						
15			6						
14			5						
13			4						
12			3	ISSUED FOR PERMIT.	MAR 31/20	GW			
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW			
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark
project name
RUSSELL GARDENS PH. 3
checked by
JANUARY 2020
scale
3/16" = 1'-0"
drawing no.
19014-MOUNTAINASH-03R

MOUNTAINASH 3
13.5m
project no.
19014
drawing no.
A2a

CITY OF HAMILTON
Building Division

Permit No. 196110

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

SDU

DEC 15 2020

FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

DEC 11 2020

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
December 2, 2020

STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 3

COMPLIANCE PACKAGE 'A1'

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL

APPROVED BY: 

DATE: DECEMBER 2000

This stamp certifies compliance with the applicable
Design Code/standard only and does not further
professional responsibility.

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS FURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

NOTE ADDED

18				5			
17				6			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 18/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has no objections and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	24488
name	signature
registration information	
VAS Design Inc.	42658
Contractor must verify all dimensions on the work and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

VA3
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark™		MOUNTAINASH 3 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON.	
date JANUARY 2020		project no. 19014	
drawing by WT		drawing no. A2a	
checked by REVISED		scale 3/16" = 1'-0"	
title GROUND FLOOR PLAN - ELEV. 2		file name 19014-MOUNTAINASH-03	
REG - K:\ARCHIVE\WORKING\2019\19014\03\REVIEWS\SINGLE\44\ MOUNTAINASH\19014-MOUNTAINASH-03.dwg - Fri - Dec 4 2020 - 5:32 AM			

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GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)(g) & 3.8.3.8.(3)(c); SHOWER 3.8.3.13.(2)(g); BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

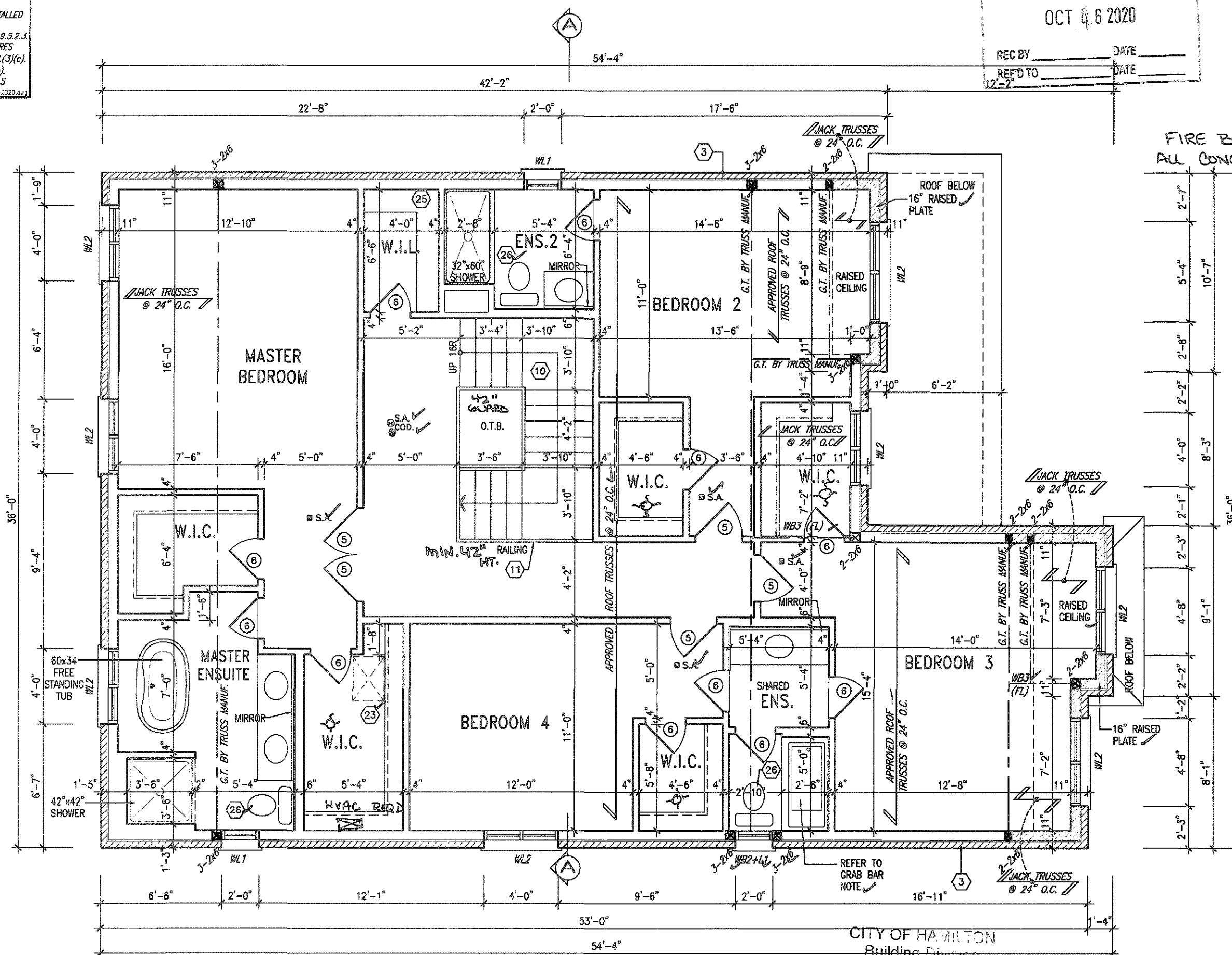
38-1011-2320.6.3

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 6 2020

REC BY _____ DATE _____
REF TO _____ DATE _____

3086 SF.



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KRISTIN G. WILLIAMS, ARCHITECT
ARCHITECTURAL DESIGN
1000 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONTARIO M1S 1T6
416.291.1111
www.kwilliamsarchitect.com

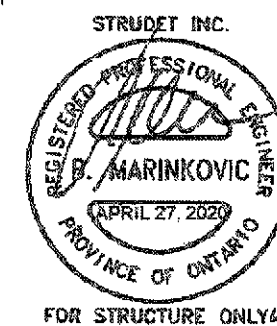
SECOND FLOOR PLAN ELEV. 1

Permit No. 196110

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These drawings and or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE Dec 15/20

MOUNTAINASH 3 COMPLIANCE PACKAGE 'A1'



FOR STRUCTURE ONLY

18		9			
17		8			
16		7			
15		6			
14		5			
13		4			
12		3	ISSUED FOR PERMIT	MAR 31/20	GW
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10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN 28/20	GW
no. description	date	by	no. description	date	by

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qualification information
Richard Vink
signature
24488
BCIN
42658
V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark
project name
RUSSELL GARDENS PH. 3
city
JANUARY 2020
checked by
3/16" = 1'-0"

MOUNTAINASH 3
13.5m
project no.
19014
drawing no.
A3

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GRAB BAR NOTE:

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GB-NOTE-2020.dwg

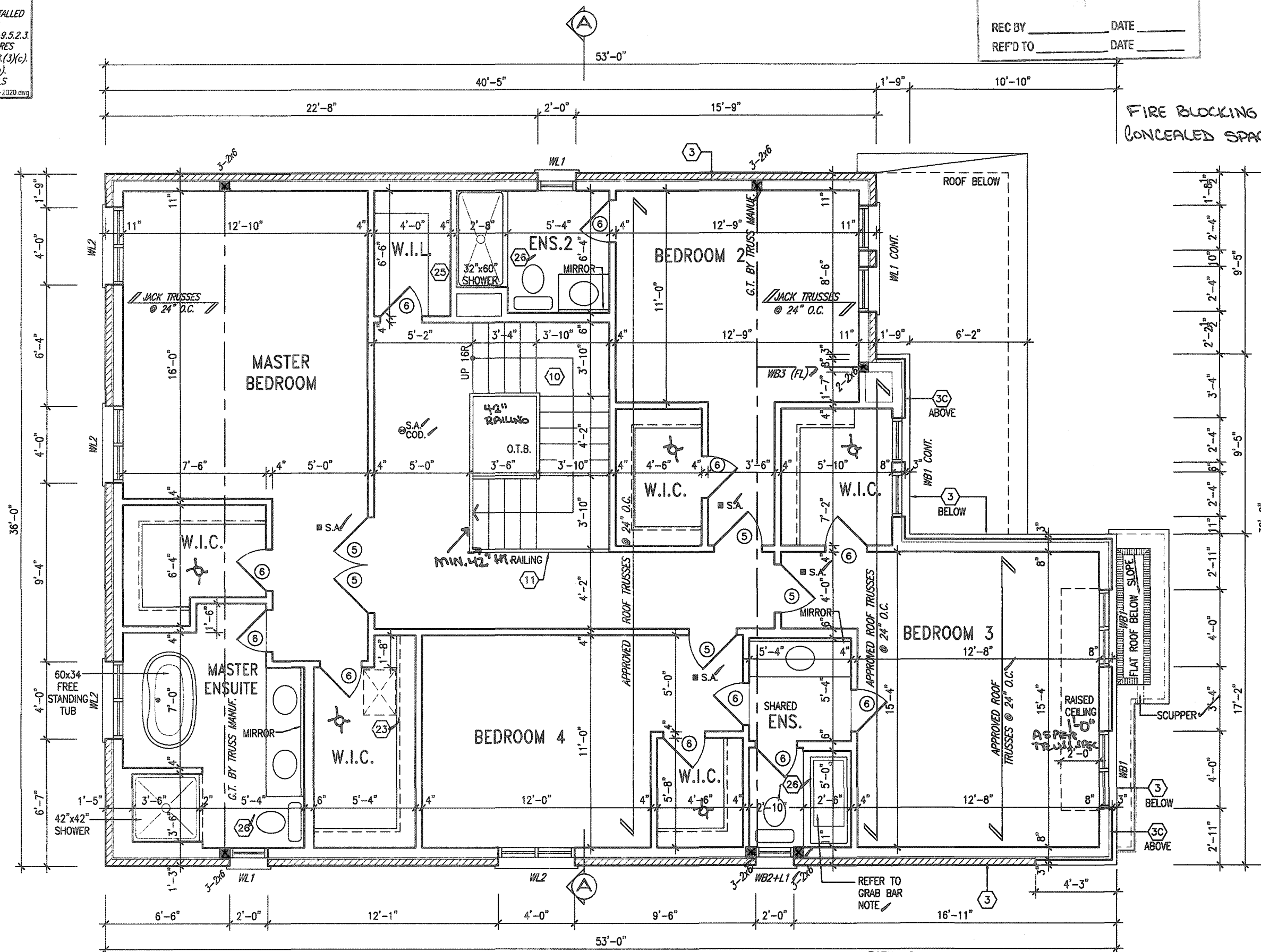
CITY OF HAMILTON
BUILDING DIVISION

Planning & Development Department

OCT 06 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

3086 SF.

FIRE BLOCKING REQ'D IN ALL
CONCEALED SPACES.SECOND FLOOR PLAN
ELEV. 2CITY OF HAMILTON
Building Division

Permit No. 196110

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These drawings and/or specifications have been reviewed by

JDL Dec 15/20
FOR CHIEF BUILDING OFFICIAL DATE

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVALAPPROVED BY: [Signature]
DATE: SEP 21 2020

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18		9			
17		8			
16		7			
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14		5			
13		4			
12		3	ISSUED FOR PERMIT.	MAR 31/20	GW
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no. description	date	by	no. description	date	by

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qualification information

Richard Vink 24488

name registration information

VAS Design Inc. 42658

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VAS
DESIGN255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name RUSSELL GARDENS PH. 3

HAMILTON, ON.

MOUNTAINASH 3
13.5m

project no. 19014

date JANUARY 2020

checked by

scale 3/16" = 1'-0"

SECOND FLOOR PLAN - ELEV. 2

drawing no. 19014-MOUNTAINASH-03

drawing no. A3a

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CS-NOTE-2020.dwg

Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical work? They must be a Licensed Electrical Contractor. It's the Law. For more information go to esasa.com or call 1-877-372-7233

Electrical Safety Authority



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JOHN G. WILLIAMS LTD., ARCHITECT

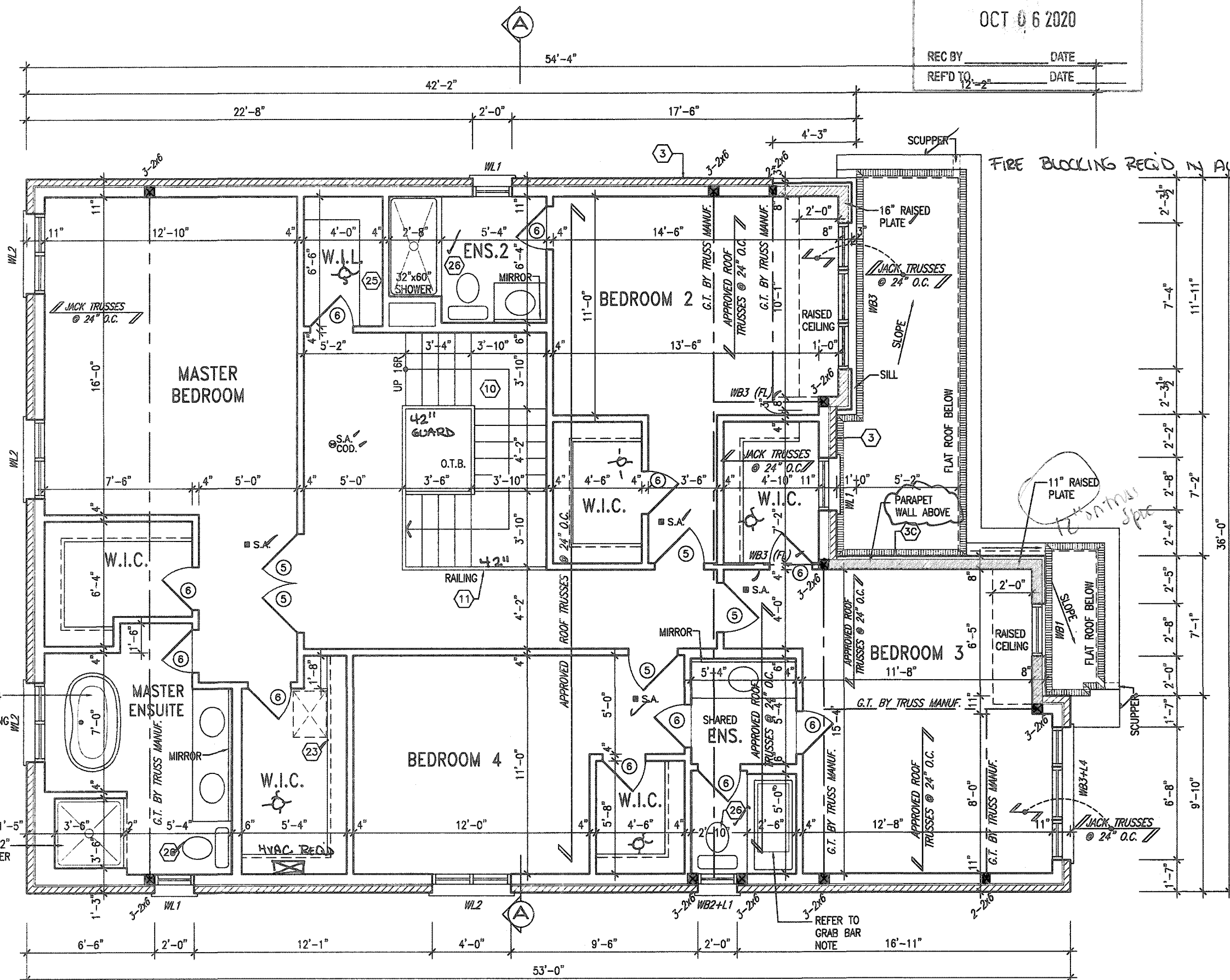
ARCHITECTURAL CONTROL REVIEW

AND APPROVAL

APPROVED BY:

DATE: SEP 27, 2020

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

SECOND FLOOR PLAN
ELEV. 3CITY OF HAMILTON
Building Division

Permit No. 196110

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JDL Dec 15/20
FOR CHIEF BUILDING OFFICIAL DATE

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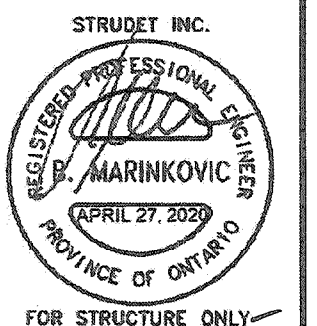
qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42858

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
checked by
JANUARY 2020
scale
3/16" = 1'-0"

MOUNTAINASH 3
13.5m
project no.
19014
municipality
HAMILTON, ON.
SECOND FLOOR PLAN - ELEV. 3
drawing no.
A3b



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GRAB BAR NOTE:

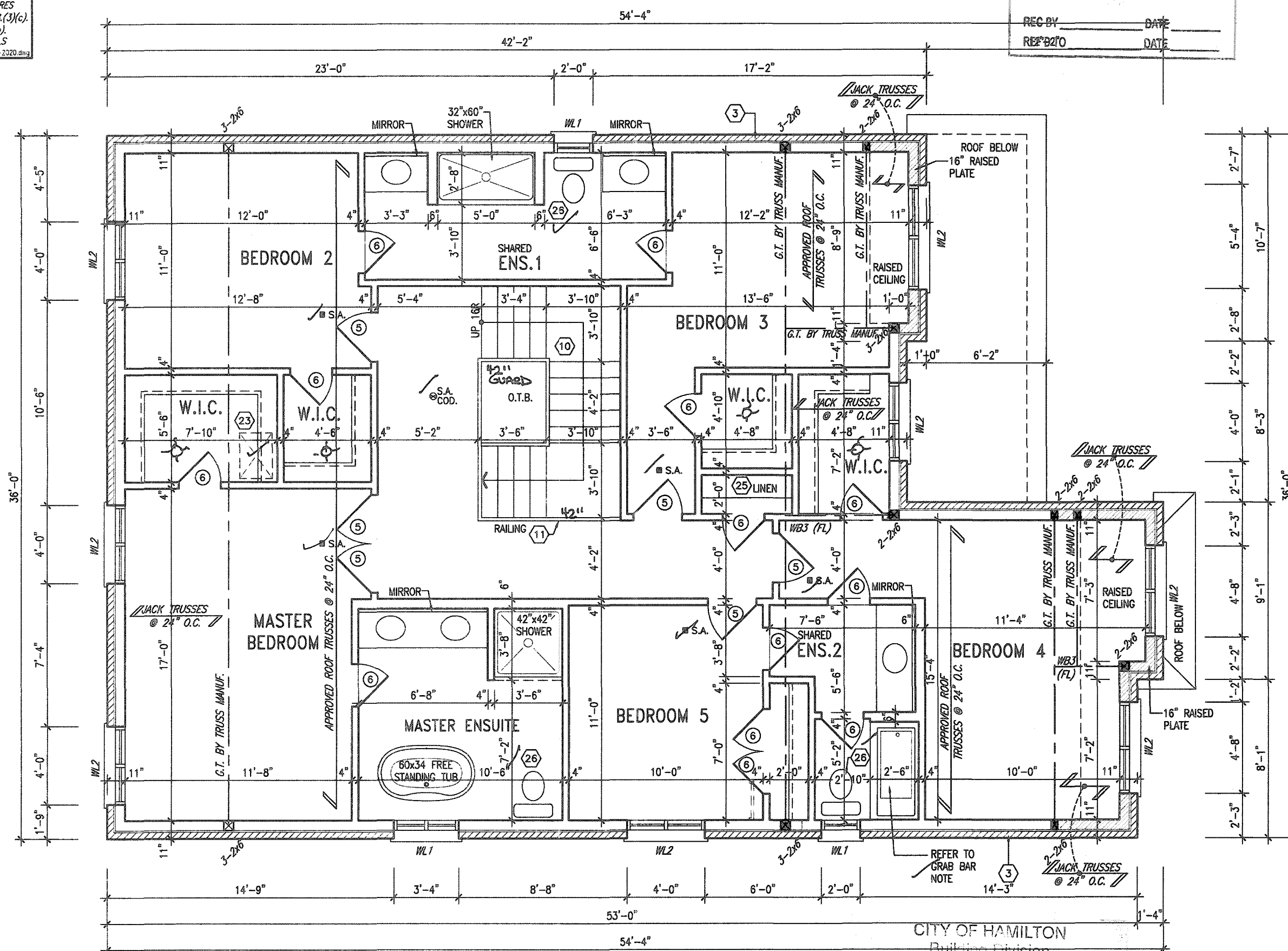
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER: 3.8.3.13.(2)(g). BATHTUB: 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
08-NOT-2020.dwg

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 6 2020

REC BY: _____ DATE: _____
REF: 9270 DATE: _____

3086 SF.



**OPT. SECOND FLOOR PLAN
(5 BED) ELEV. 1**

Permit No. 196110

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

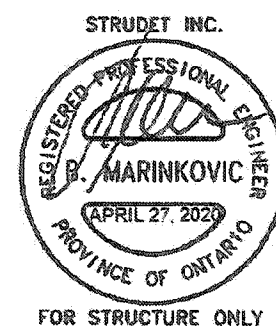
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

[Signature]
FOR CHIEF BUILDING OFFICIAL

[Signature]
DATE

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 27, 2020
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VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 | 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.
date
JANUARY 2020
checked by
3/18" = 1'-0"

MOUNTAINASH 3
13.5m

project no.
19014
drawing no.
A4

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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHUB IN MAIN BATHROOM PER OGC. DIV. 8-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g) & 3.8.3.13.(4)(e). FREE STANDING BATHUB EXCLUDED. SEE DETAILS PROVIDED. GB-NOTE-2320.dgn

Architectural Floor Plan Details:

- Overall Dimensions:** 53'-0" (Total Width), 36'-0" (Total Depth).
- Rooms and Features:**
 - Bedroom 2:** 12'-0" x 11'-0". Includes a 32"x60" shower, mirror, and closet (6).
 - Bedroom 3:** 12'-9" x 11'-0". Includes a closet (6) and a window (WB3 FL).
 - Bedroom 4:** 15'-4" x 10'-0". Includes a closet (6) and a window (WB1).
 - Bedroom 5:** 10'-0" x 7'-0". Includes a closet (6) and a window (WB1).
 - Master Bedroom:** 17'-0" x 11'-8". Includes a 60x34 free standing tub, mirror, and closet (6).
 - Master Ensuite:** 10'-6" x 7'-2". Includes a 42"x42" shower and closet (26).
 - Shared Ensuite 1 (SHARED ENS.1):** 6'-3" x 3'-10". Includes a closet (26).
 - Shared Ensuite 2 (SHARED ENS.2):** 5'-6" x 2'-6". Includes a closet (26).
 - W.I.C. (Walk-In Closet):** Multiple locations, including 5'-6" x 7'-10" and 4'-6" x 4'-6".
 - Staircase:** 4'-2" x 3'-10". Includes a railing (11) and a closet (10).
 - Structural Notes:** JACK TRUSSES @ 24" O.C., APPROVED ROOF TRUSSES @ 24" O.C., G.T. BY TRUSS MANUF., WL1, WL2, WB1, WB3, WB7, WB8, WB9, WB10, WB11, WB12, WB13, WB14, WB15, WB16, WB17, WB18, WB19, WB20, WB21, WB22, WB23, WB24, WB25, WB26, WB27, WB28, WB29, WB30, WB31, WB32, WB33, WB34, WB35, WB36, WB37, WB38, WB39, WB40, WB41, WB42, WB43, WB44, WB45, WB46, WB47, WB48, WB49, WB50, WB51, WB52, WB53, WB54, WB55, WB56, WB57, WB58, WB59, WB60, WB61, WB62, WB63, WB64, WB65, WB66, WB67, WB68, WB69, WB70, WB71, WB72, WB73, WB74, WB75, WB76, WB77, WB78, WB79, WB80, WB81, WB82, WB83, WB84, WB85, WB86, WB87, WB88, WB89, WB90, WB91, WB92, WB93, WB94, WB95, WB96, WB97, WB98, WB99, WB100.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: SEP 22 2020

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Design Guidelines only and bears no further
professional responsibility.

FOR CHIEF ENGINEER									
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17					8				
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no. description	date	by	no. description	date	by				
			ISSUED FOR PERMIT.	MAR 31/20	GW				
			UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW				
			PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW				



VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name	municipality
RUSSELL GARDENS PH. 3	HAMILTON, ON.

date JANUARY 2020 OPT. SECOND FLOOR PLAN - ELEV. 2

drawn by _____ checked by _____ scale _____ file name _____

32 WT 3/16" = 1-0" 19014-MOUNTAINASH-03

MOUNTAINASH 3
13.5m

project no.	19014
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PLAN - ELEV. 2	drawing no.
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file name **A1a**

19014-MOUNTAINASH-03 A4U

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GRAB BAR NOTE:

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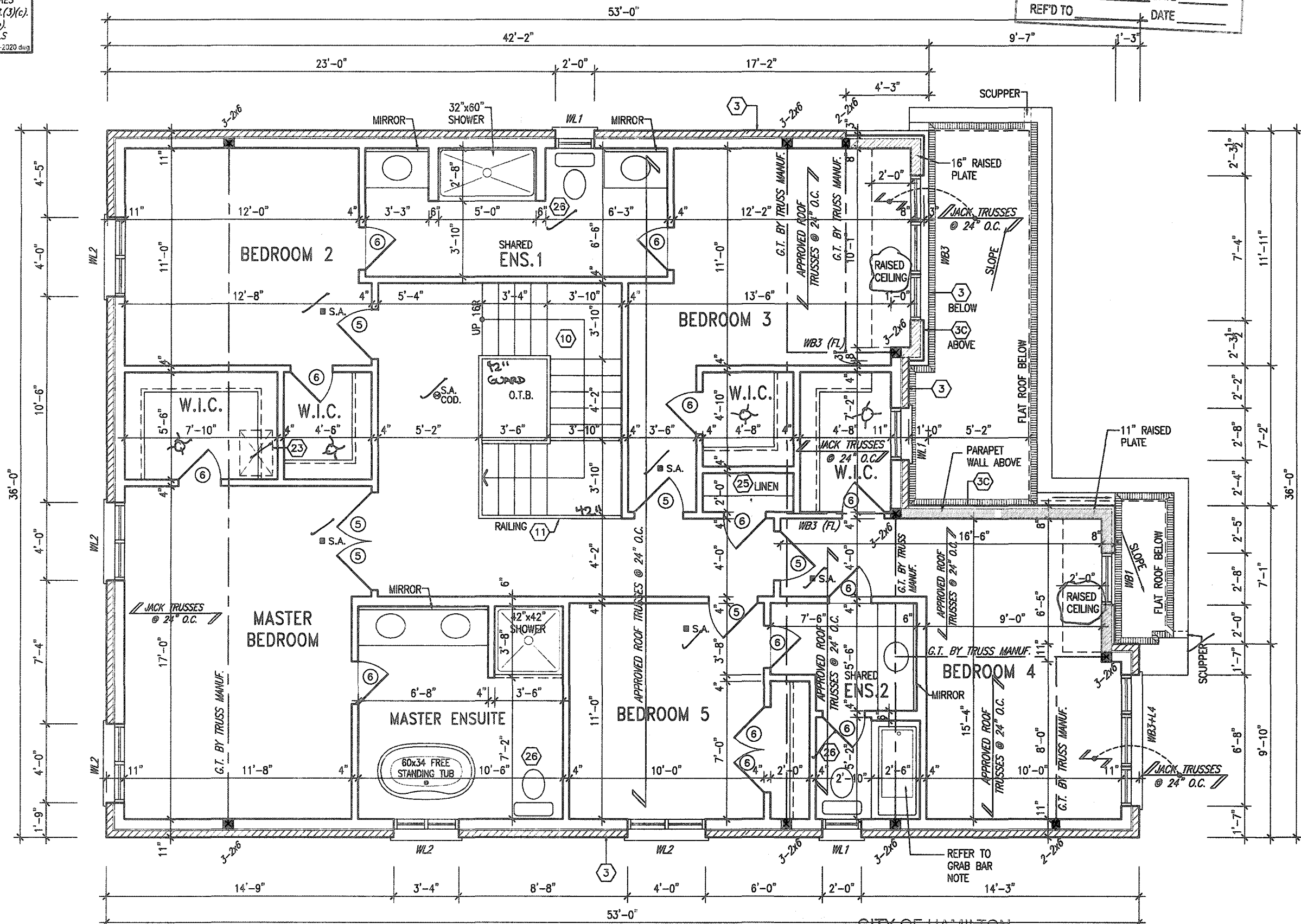
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CITY OF HAMILTON
 BUILDING DIVISION
 Planning & Development Department

OCT 06 2020

REC BY _____ DATE _____
 REF'D TO _____ DATE _____

3086 SF.



OPT. SECOND FLOOR PLAN (5 BED) ELEV. 3

Permit No. 196110

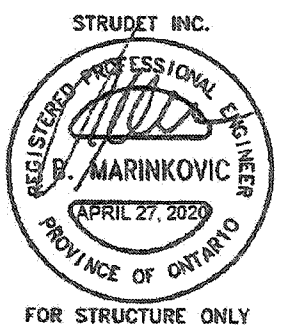
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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

DL Dec 5/20
 FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 3
 COMPLIANCE PACKAGE 'A1'



FOR STRUCTURE ONLY

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JOHN G. WILLIAMS LTD. ARCHITECT
 ARCHITECTURAL DESIGN, REVIEW AND APPROVAL
 APPROVED BY _____
 DATE SEP 23 2020
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13			4		
12			3	ISSUED FOR PERMIT	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 19/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	JAN 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink
 registration information
 VAS Design Inc.
 24488
 42658

VA3 DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

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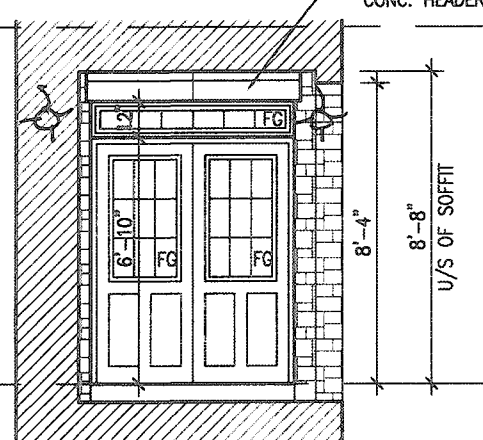
project name
 RUSSELL GARDENS PH. 3
 municipality
 HAMILTON, ON.
 date
 JANUARY 2020
 checked by
 3/16" = 1'-0"

MOUNTAINASH 3
 13.5m

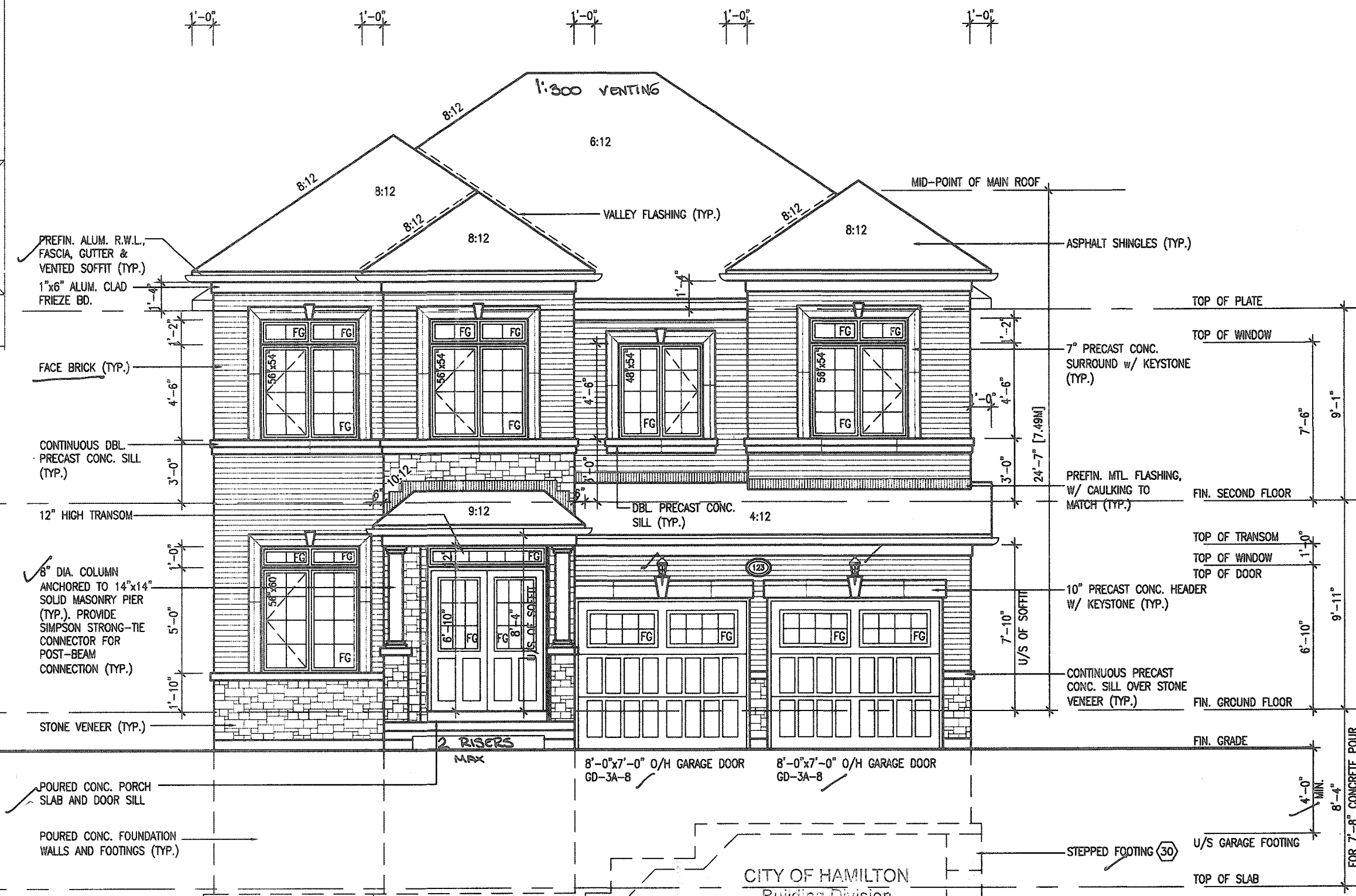
project no.
 19014
 drawing no.
A4b

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INSIDE PORCH
ELEVATION 1



FRONT ELEVATION

Permit No. 196110

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

SDE
FOR CHIEF BUILDING OFFICIAL

Dec 15/20
DATE

MOUNTAINASH 3

COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND AGREEMENTS

APPROVED BY: _____
DATE: SEP 21 2020

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18	-	-	-	9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	-	-	-	8					
16	-	-	-	7					qualification information
15	-	-	-	6					Richard Vink
14	-	-	-	5					name  2448
13	-	-	-	4					signature BC
12	-	-	-	3	ISSUED FOR PERMIT.	MAR 31/20	GW		4263
11	-	-	-	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW		
10	-	-	-	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by	no.	description	date	by		

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qualification information *h/v/k*

Richard Vink *R Vink* 24

name
registration information

signature

VA3 Design Inc.	42
-----------------	----

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

drawings and specifications are instruments of service and the proper

Drawings are not to be scaled.



255 Consumers Rd Suite

† 416.630.2255 f 416.63

va3design.com

Greenpark

project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON
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date _____ FRONT FILE

JANUARY 2020 FRONT ELEV

drawn by WT checked by scale 3/16" = 1'-0"

AKNAF MOZAMMEL - C:\Users\johnaf\Desktop\19014-GREENPARK\UNITS\19014-MOUNTAINASH-03.dwg

MOUNTAINASH 3
13.5m

City	project no.
N.	19014

LOCATION	ELEV	4	drawing no.
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ATION - ELEV. 1

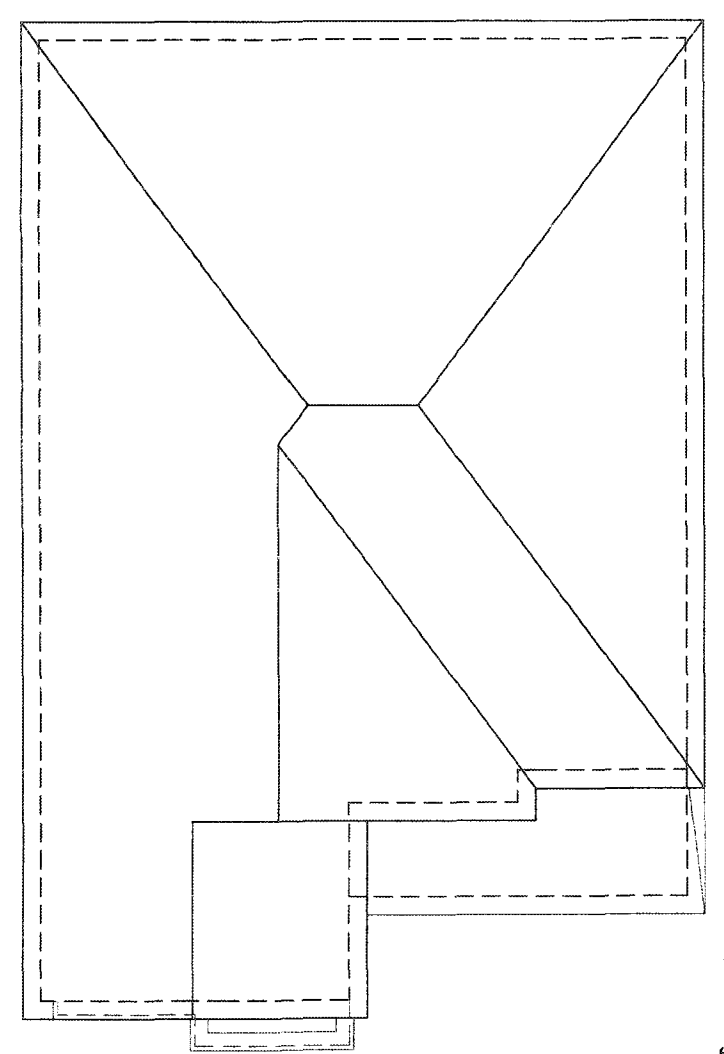
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- Thu - Apr 9 2020 - 9:51 AM

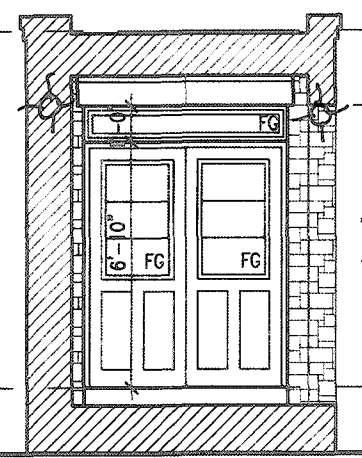
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC BY _____ DATE _____
REF'D TO _____ DATE _____

3086 SF.

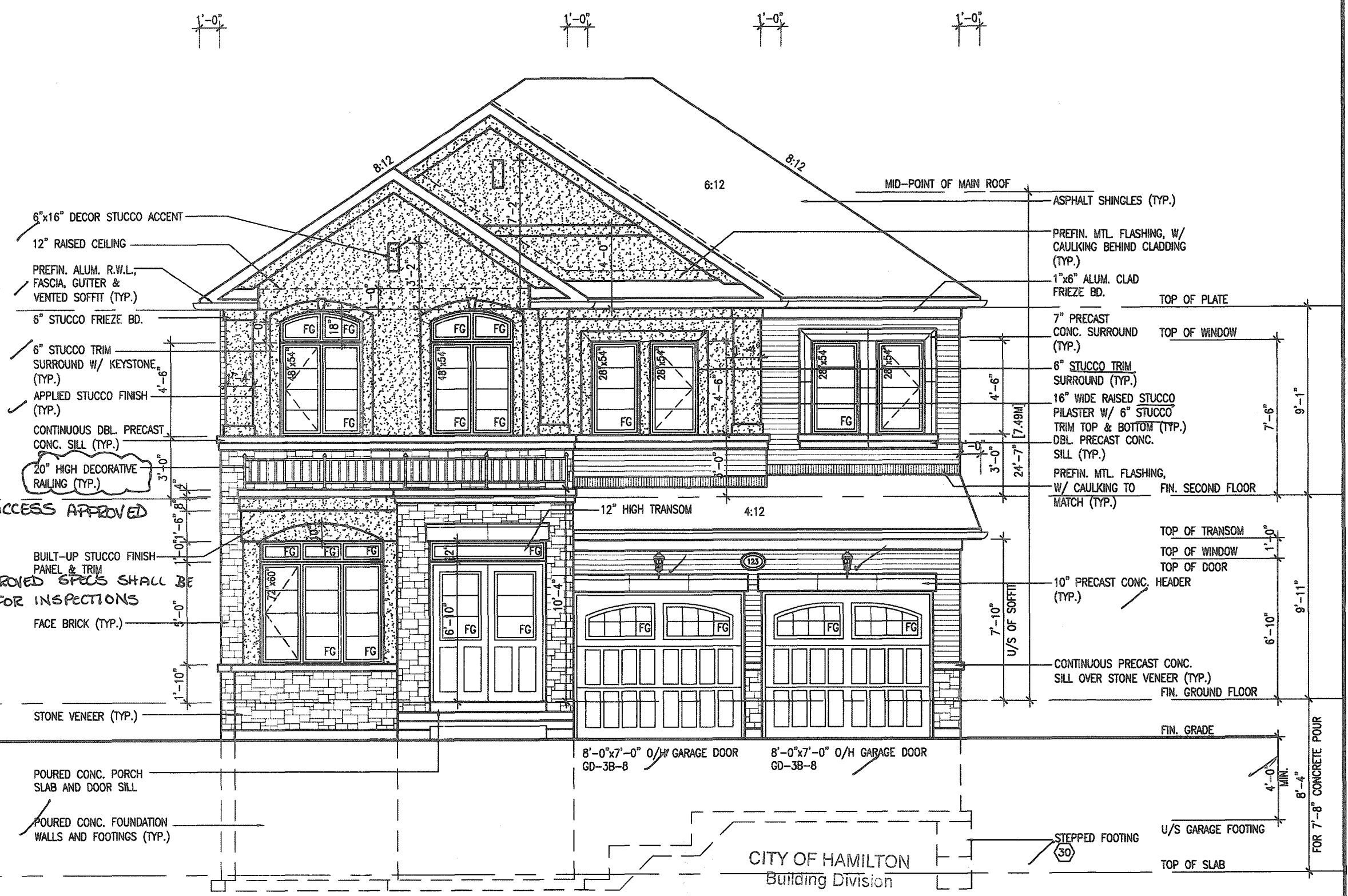
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Hiring someone to do electrical work? They must be a Licensed Electrical Contractor.
It's the Law.
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ROOF PLAN-2



INSIDE PORTICO
ELEVATION 2



FRONT ELEVATION '2'

Permit No. 196110
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JDL Dec 15/20
FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 22 2020
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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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no.	description	date	by	no.	description	date	by		

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qualification information
Richard Vink *[Signature]* 24488
name
registration information
VAS Design Inc. 42658
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VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

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project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.
date
JANUARY 2020
checked by
scale
3/16" = 1'-0"
file name
19014-MOUNTAINASH-03
DATE: 19014-MOUNTAINASH-03.dwg - Thu - Apr 9 2020 - 9:51 AM

MOUNTAINASH 3
13.5m
project no.
19014
drawing no.
A5a

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 06 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 6 2020



CONTEMPORARY
STONE PATTERN



MAIN BRICK



STUCCO W/
REVEALS



WOOD GRAIN
STUCCO FINISH

ROOF PLAN-3

INSIDE PORTICO
ELEVATION 3

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND CONSULTING

APPROVED BY: _____
DATE: SEP 21, 2020

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

[illegible]

CITY OF HAMILTON
Building Division
196110

Permit No. _____

FRONT ELEVATION '3'

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

SJL Dec 15/20
FOR CHIEF BUILDING OFFICIAL. DATE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT.	MAR 31/20 6
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 6
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 6
no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	<i>R. Vink</i>
Richard Vink	2448
name	signature
registration information	BC
VAS Design Inc.	4265
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	



VA3
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON
--------------	-----------------------	--------------	--------------

date		
JANUARY 2020		
drawn by	checked by	scale

WT 3/16" = 1'-

MOUNTAINASH 3
13.5m

project no.	19014
-------------	-------

ATION - ELEV. 3	dressing no.
file name	AEL

19014-MOUNTAINASH-03
- Mon - Jul 6 2020 - 9:51 AM

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CITY OF HAMILTON
BUILDINGS DIVISION
Planning & Development Department

DEC 11 2020

REC BY _____ DATE _____
REC'D TO _____ DATE _____

SINGLE FAMILY
WELLING ONLY

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1127 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=78.89 SQ. FT.
GLAZING PROVIDED (4 BED)	=89.43 SQ. FT. (GLASS AREA ONLY)
GLAZING PROVIDED (5 BED)	=75.36 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT.			
30"x24" BASEMENT WINDOWS	=72.32 SQ. FT.	(GLASS AREA ONLY)	4 BED
	=78.06 SQ. FT.	(GLASS AREA ONLY)	5 BED

FOR CHIEF BUILDING OFFICIAL

MOUNTAINASH 3

COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans are suitable for approval by the authority with the Architect. Guidelines for a suitable regulatory and requirements for building regulations and any other provisions in the submission agreement. The Control Architect is not responsible in any way for providing or providing any building plans or drawings. It is the responsibility of any building or construction company to ensure that any building plans or drawings are properly and fully approved by the authority with the Architect.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				6	
17				6	
16				7	
15				6	
14				5	
13				6	
12				7	ISSUED FOR PERMIT.
11				7	UPDATED PER ENG & CLIENT COMMENTS.
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.
9	description	code	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
confirmation information		
Richard Vink	<i>R Vink</i>	244
name	signature	8
registration information	VAS Design Inc.	426
Contractor must verify all dimensions on the job and report any discrepancy to the Designer, ensuring proceeding with the work. All changes and modifications are at contractors' service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.		

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 **Greenpark.**

Project name: **RUSSELL GARDENS PH. 3** Municipality: **HAMILTON, ON.**

January 2020 **Revised** Left Side Elevation

Drawn by: _____ Scale: **3/16" = 1'-0"**

Check by: _____

Notes: 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

MOUNTAINASH 3 13.5m		project no. 19014
ON - ELEV. 1 file name 14-MOUNTAINASH-03 yes - dec. 7 2020 - 9:41 AM	drawing no. A6	

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CITY OF HAMILTON
Building Division
196110

Permit No. _____

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by _____

SDI DEC 15 2020

FOR CHIEF BUILDING OFFICIAL

DATE _____

SINGLE FAMILY
DWELLING ONLY

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER & —
VENTED SOFFIT (TYP.)

— ASPHALT SHINGLES
(TYP.)

8:12

FACE BRICK (TYP.)

BRICK
(TYP.)

—PRECAST C
—SILL (TYP.)

— OPTIONAL
30" x 24"
WINDOW

30"x16" STRUCT. FRAME
BASEMENT WINDOW (TYP.)

— OPTIONAL
30"x24"
WINDOW

ALLOWABLE GLAZED OPENINGS

WALL AREA = 1120 SQ. FT.

LIMITING DISTANCE 1.2 M (7%)

GLAZING ALLOWED	=78.40 SQ. FT.
GLAZING PROVIDED (4 BED)	=60.43 SQ. FT.

GLAZING PROVIDED (4 BED)	=69.43 SQ. FT.
GLAZING PROVIDED (5 BED)	=75.30 SQ. FT.

FT. (GLASS AREA ONLY)
FT. (GLASS AREA ONLY)

[illegible]

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT.

30"x24" BASEMENT WINDOWS = 72.32 SQ. FT. (GLASS AREA ONLY) (4 BED)
= 78.06 SQ. FT. (GLASS AREA ONLY) (5 BED)

78.06 SQ. FT. (GLASS AREA ONLY) (5 BED)

L.D. - OKAY

MOUNTAINASH 3

COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONFIRMATION REVIEW
AND APPROVAL

APPROVED BY: 
DATE: 01-27-2022

This stamp confirms compliance with the applicable
Design Guidelines only and does not further
represent a company's ability.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9				The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in Ontario's Building Code to be a Designer.
17				8				
16				7				qualification information
15				6				Richard Vink 24
14				5				<i>R Vink</i> signature
13				4				name registration information VA3 Design Inc. 42
12				3 ISSUED FOR PERMIT	MAR 1/20	GW		
11				2 UPDATED PER ENG & CLIENT COMMENTS.	MAR 13/20	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the product of the Designer shall not be returned at the completion of the project unless drawings are not to be sealed.
10				1 PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 26/20	GW		
no.	description	date	by	no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the capabilities and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24

name signature

registration information

VAS Design Inc. 42

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications and instruments of service and the property of the Designer which must be returned at the completion of the use. Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 **Greenpark.**

sect name **MUSSELL GARDENS PH. 3** me **HAMILTON,**

JANUARY 2020 **LEFT SIDE EL**

checked by **asolo**

3/16" x 1'-0"

— HARBOR (MORONG) (2019) (AY) 4 GRESWANTS (MOORE) (4) MOUNTAINASH (1814) MOUNTAINASH

MOUNTAINASH 3	
13.5m	
project no.	19014
drawing no.	A6a
file name 19014-MOUNTAINASH-03 - Mon - Dec 7 2020 - 9:41 AM	

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Building Division

OPT LEFT SIDE ELEVATION '3'- 5 BED

SINGLE FAMILY
DWELLING ONLY

LEFT SIDE ELEVATION '3'

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1117 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=78.19 SQ. FT.
GLAZING PROVIDED (4 BED)	=69.43 SQ. FT. (GLASS AREA ONLY)
GLAZING PROVIDED (5 BED)	=75.30 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT.			
30"x24" BASEMENT WINDOWS	=72.32 SQ. FT.	(GLASS AREA ONLY)	(4 BED)
	=78.06 SQ. FT.	(GLASS AREA ONLY)	(5 BED)

L.D. - OKAY

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'



MOUNTAINASH 3
13.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON, ON.	19014

date JANUARY 2020	LEFT SIDE ELEVATION - ELEV. 3		drawing no. A6b
drawn by WT	checked by 3/16" = 1'-0"	scale 19014-MOUNTAINASH-03	

A6b |

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4783
va3design.com

The undersigned has reviewed and taken responsibility for this design and has carefully read and accepts the requirements set out in the Grider Building Code to be a Designer.

qualification information

Richard Vink *R Vink* 24488
name signature BCN
registration information
WAS Design Inc. A2653

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer shall remain the property of the Designer until the completion of the work. For more information contact the Designer.

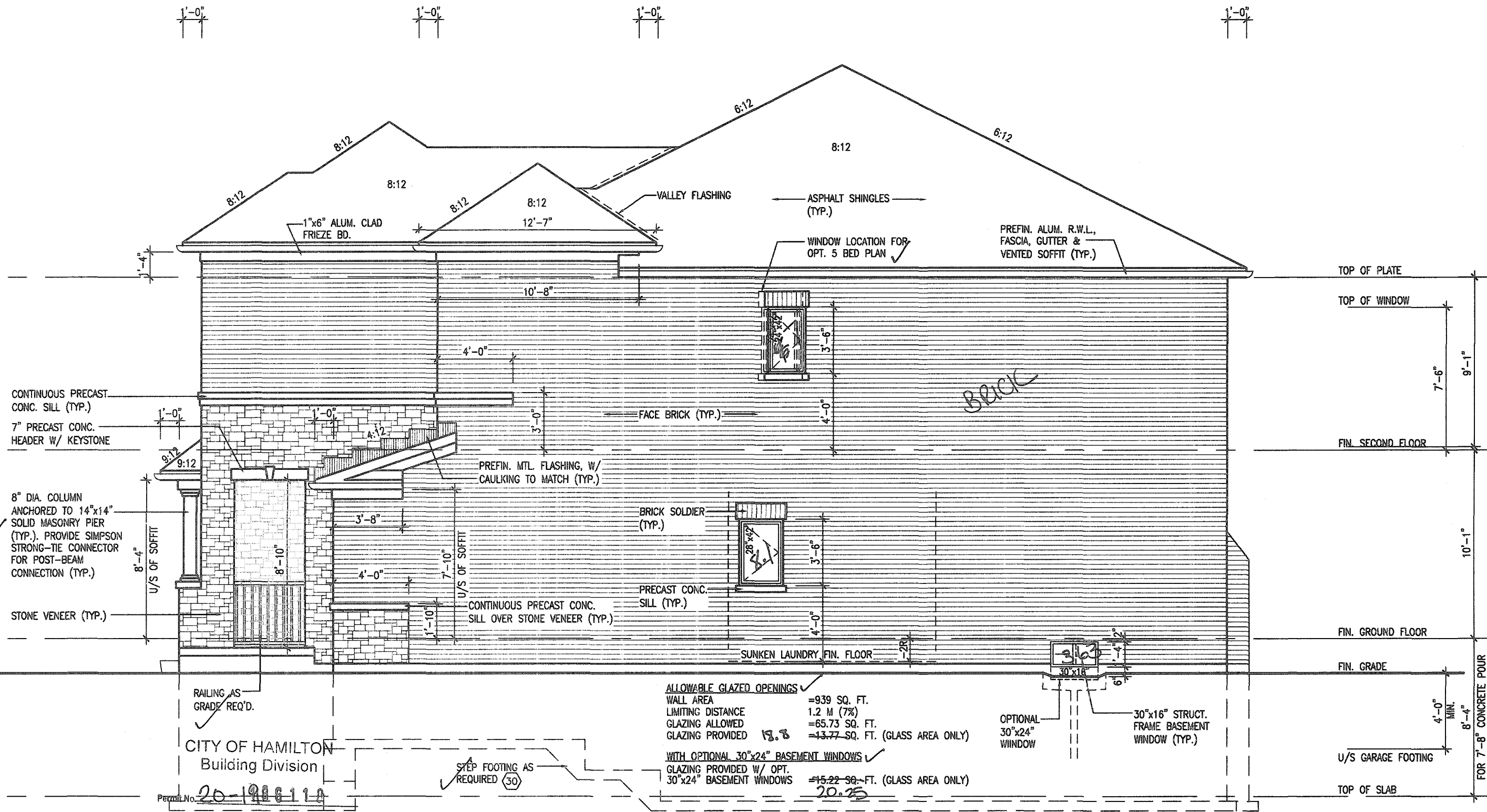
ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

8				8			
7				7			
6				6			
5				5			
15				6			
14				5			
3				4			
2				3	ISSUED FOR PLANT.	MAR 31/20	GW
1				2	1) UPDATED REP ENG & CLIENT COMMENTS.	MAR 19/20	GW
0				1	2) PLUMBING. ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW
description	date	by		description	date	by	

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC BY _____ DATE _____
REF'D TO _____ DATE _____

3086 SF.



RIGHT SIDE ELEVATION '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by [Signature]
FOR CHIEF BUILDING OFFICIAL DATE DEC 15/20

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

ALLOWABLE GLAZED OPENINGS
WALL AREA = 939 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED = 65.73 SQ. FT.
GLAZING PROVIDED 18.8 = 43.77 SQ. FT. (GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 15.22 SQ. FT. (GLASS AREA ONLY)
20.25

OPTIONAL 30"x24" WINDOW
30"x16" STRUCT. FRAME BASEMENT WINDOW (TYP.)

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'

18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT.	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW
no.	description	date	by	no.	description

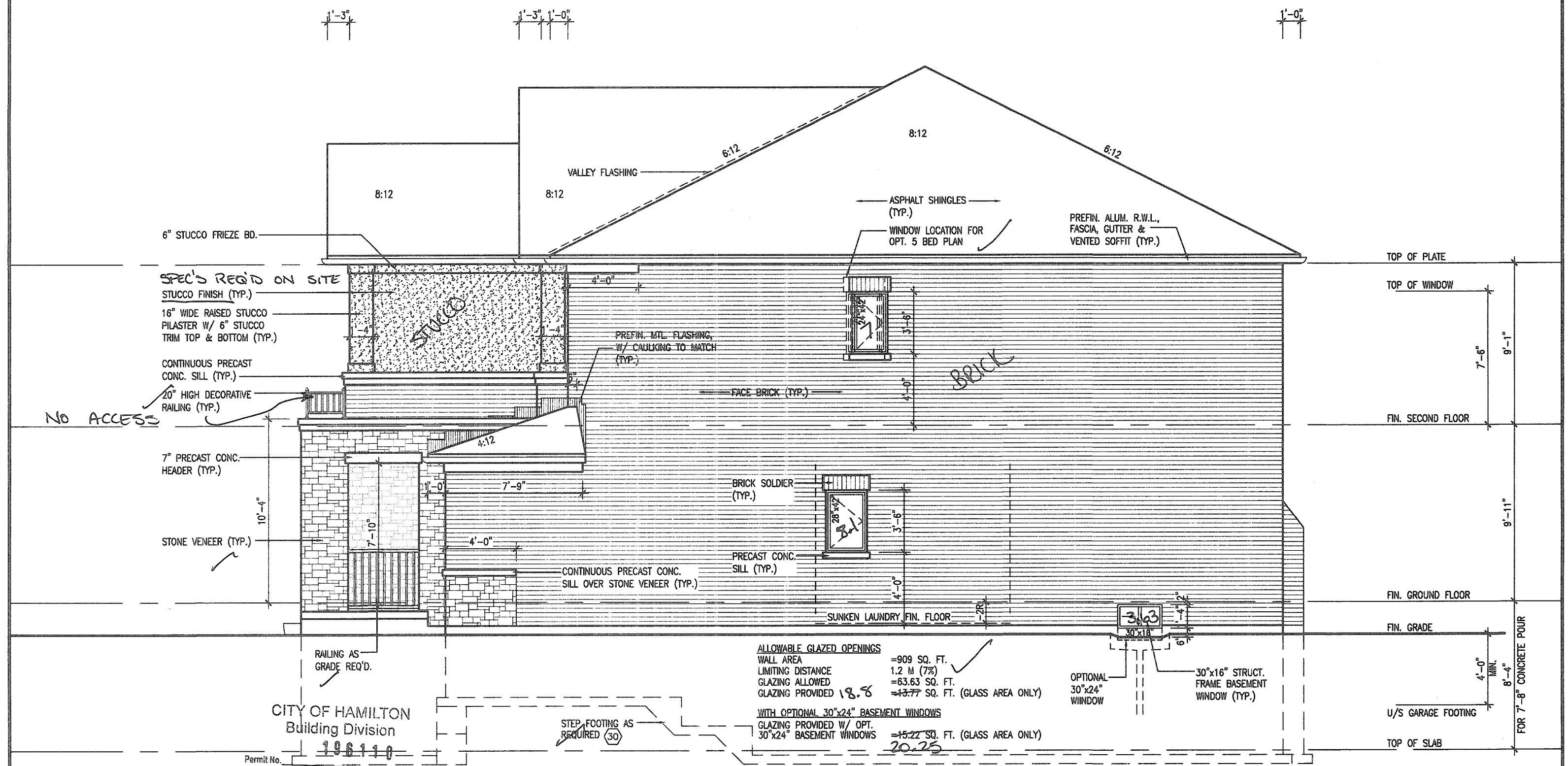
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature [Signature]
name registration information
VAS Design Inc.
24488
BCN
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark
MOUNTAINASH 3
13.5m
project no. 19014
project name RUSSELL GARDENS PH. 3
municipality HAMILTON, ON.
date JANUARY 2020
drawn by [Signature]
checked by [Signature]
scale 3/16" = 1'-0"
file name 19014-MOUNTAINASH-03.dwg
date Apr 9 2020 - 9:51 AM
drawing no. A7

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC BY _____ DATE _____
REF'D TO _____ DATE _____

3086 SF.



RIGHT SIDE ELEVATION '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
JD *Dec 15/20*
FOR CHIEF BUILDING OFFICIAL

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

MOUNTAINASH 3

COMPLIANCE PACKAGE 'A1'

L.D. - OKAY

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: *SEP 21, 2020*
This review certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

18		9			
17		8			
16		7			
15		6			
14		5			
13		4			
12		3	ISSUED FOR PERMIT.	MAR 31/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink *[Signature]* 24488
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 | 416.630.4782
va3design.com

Greenpark.

MOUNTAINASH 3
13.5m
project no. 19014

project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.

date
JANUARY 2020

checked by
3/16" = 1'-0"

drawn by
WT

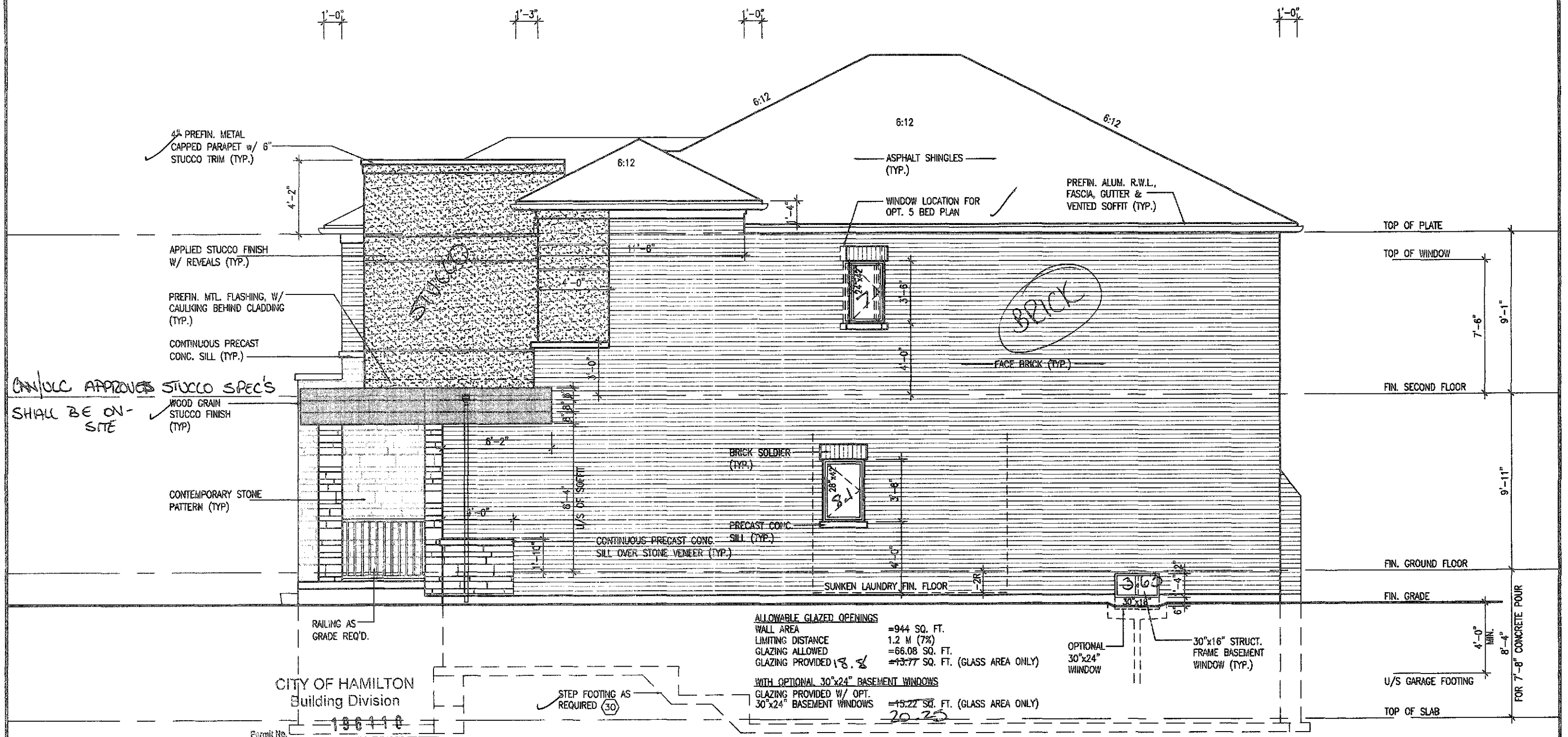
RIGHT SIDE ELEVATION - ELEV. 2

19014-MOUNTAINASH-03

A7a

REC BY _____ DATE _____
REF'D TO _____ DATE _____

3086 SF.



RIGHT SIDE ELEVATION '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

L.D. OKAY

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'

18				9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
17				8		qualification information			
16				7					
15				6					
14				5		Richard Vink	2440		
13				4		name signature	B		
12				3	ISSUED FOR PERMIT.	VAS Design Inc.	4263		
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW		
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by	no.	description	date	by		



VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name	municipality
RUSSELL GARDENS PH. 3	HAMILTON, ON.

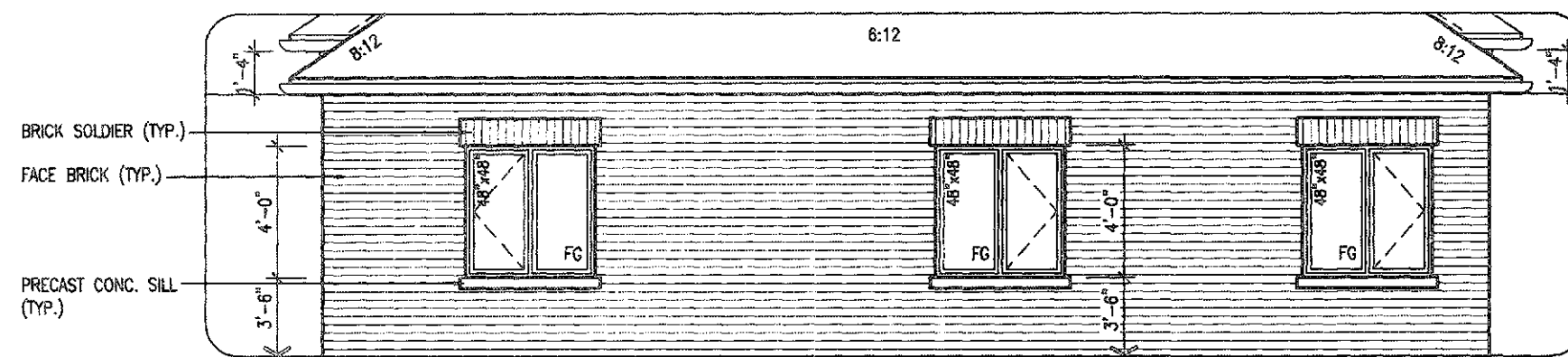
date JANUARY 2020 RIGHT SIDE ELEVATION - ELEV. 3

drawn by: WT checked by: 3/16" = 1'-0" date: 19014-MOUNTAINASH-03 file name:

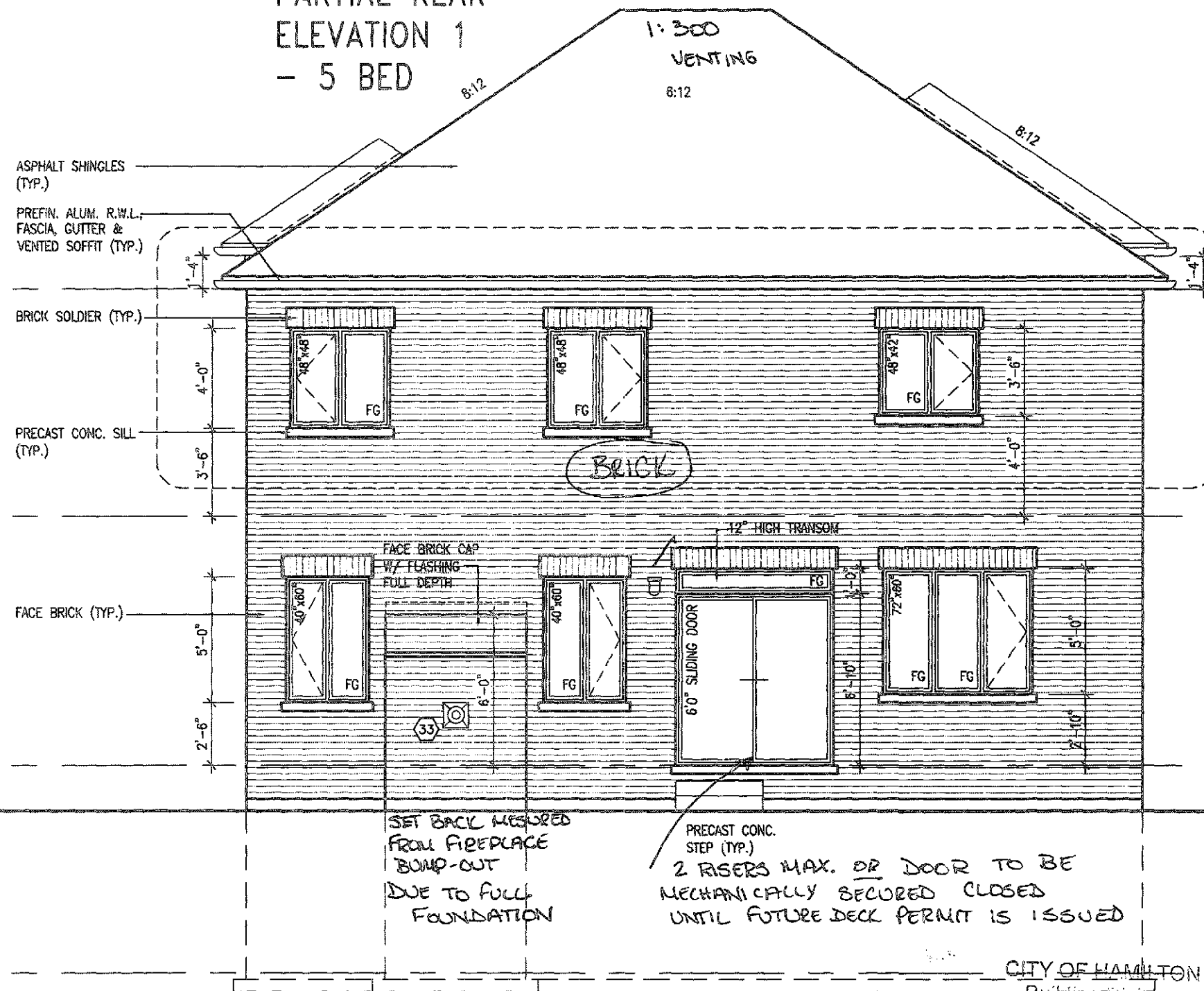
MOUNTAINASH 3
13.5m

Subject no.
A7b

drawing no.
A7b



PARTIAL REAR ELEVATION 1 - 5 BED



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 6 6 2020

REC BY _____ DATE _____

REF'D TO _____ DATE _____

3086 SF.

REAR ELEVATION '1'

Permit No. 196110

THESE DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by
JD *Dec 15/20*
FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 3 COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY *[Signature]*
DATE *DEC 15/20*

This drawing contains information that is confidential and proprietary to the Architect. It is not to be reproduced, copied, or used in any way without the written consent of the Architect.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18		9			
17		8			
16		7			
15		6			
14		5			
13		4			
12		3	ISSUED FOR PERMIT	MAR 31/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 19/20	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN 28/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink *[Signature]* 24488
BCO
registration information
VAS Design Inc. 42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

**VA3
DESIGN**

Greenpark.

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ON.

date
JANUARY 2020

drawn by
WT

checked by
3/18" = 1'-0"

scale

19014-MOUNTAINASH-03

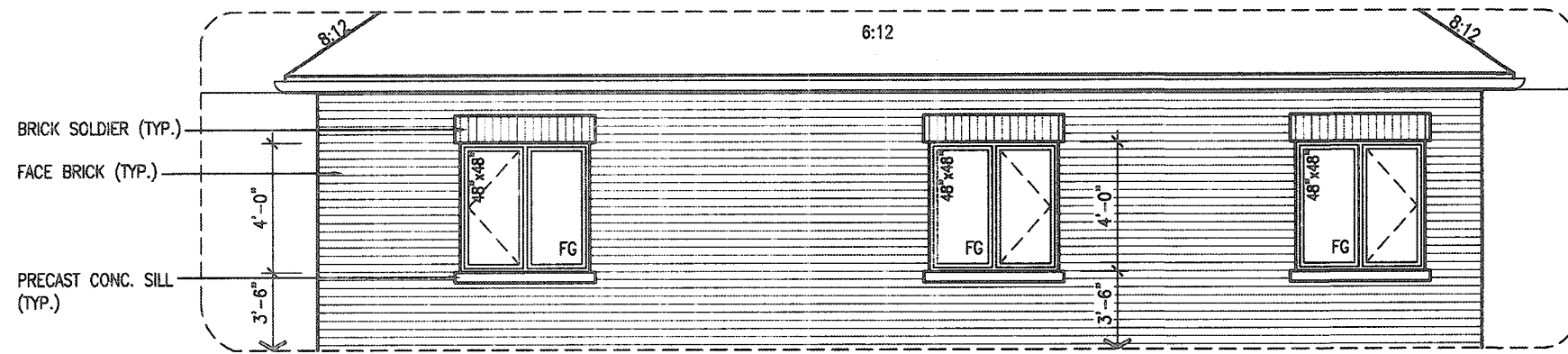
19014-MOUNTAINASH-03.dwg - Thu - May 14 2020 - 2:47 PM

MOUNTAINASH 3
13.5m

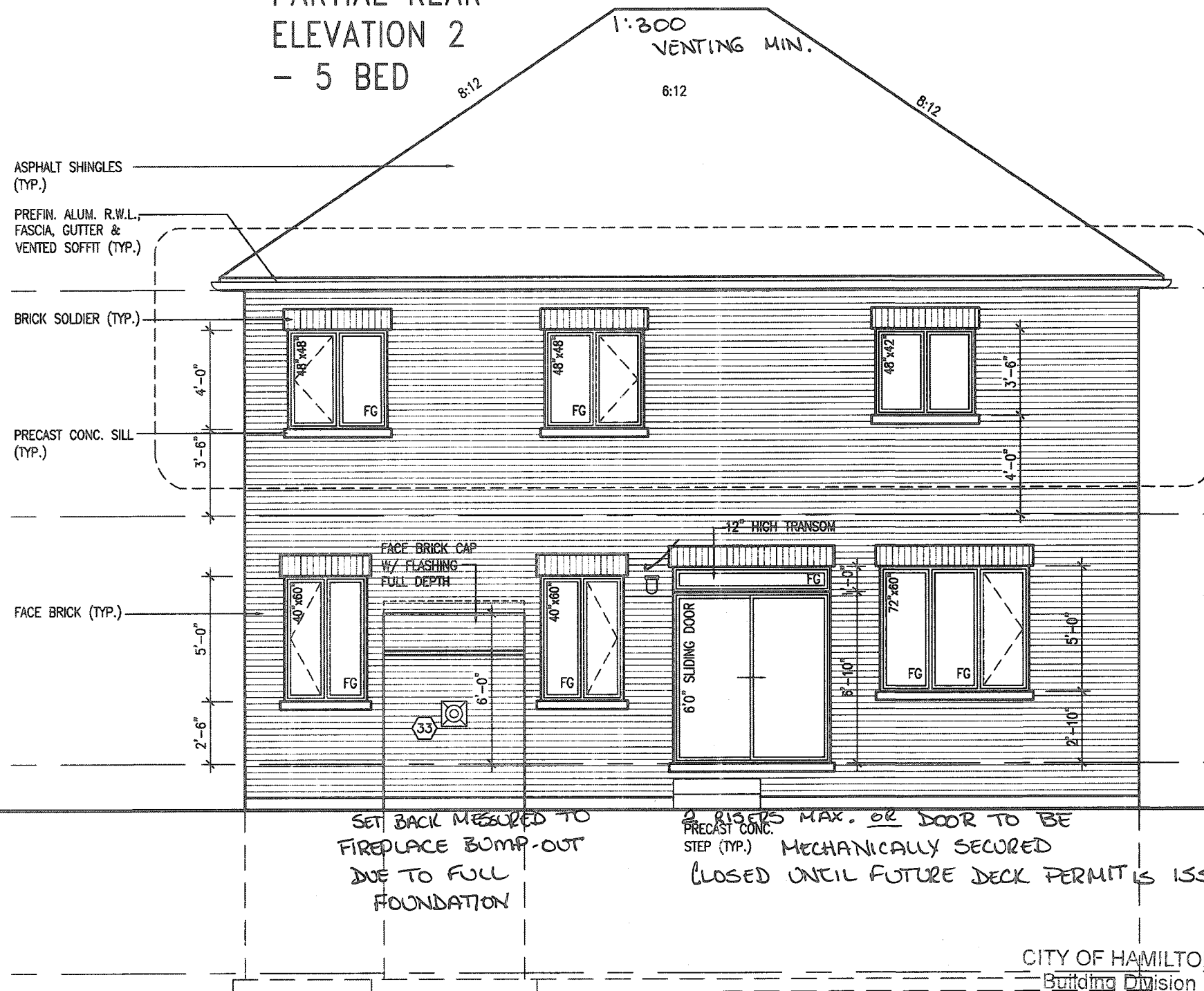
project no.
19014

drawing no.
A8

REAR ELEVATION - ELEV. 1



PARTIAL REAR
ELEVATION 2
- 5 BED



REAR ELEVATION '2'

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 06 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

3086 SF.

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

9'-1"
7'-6"
9'-11"
8'-4"

20'

FOR 7'-8" CONCRETE POUR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE SEP 21, 2020

This document certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

L.D. OKAY

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

66.8m²

18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT.	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
name registration information
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3
date
JANUARY 2020
drawn by
WT
checked by
scale
3/16" = 1'-0"

redevelopment
HAMILTON, ON.

project no.
A8a

drawing no.
A8a

19014-MOUNTAINASH-03

CREG - H:\ARCHIVE\WORKING\2019\19014-03\19014-03.dwg - Thu - May 14 2020 - 2:47 PM

MOUNTAINASH 3
13.5m

REAR ELEVATION - ELEV. 2

CITY OF HAMILTON
Building Division

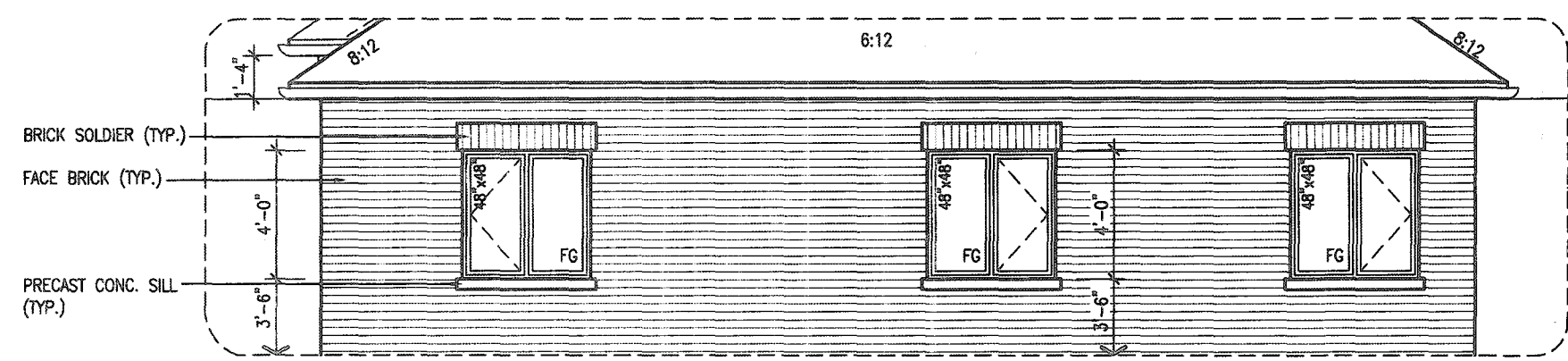
Permit No. 196110

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

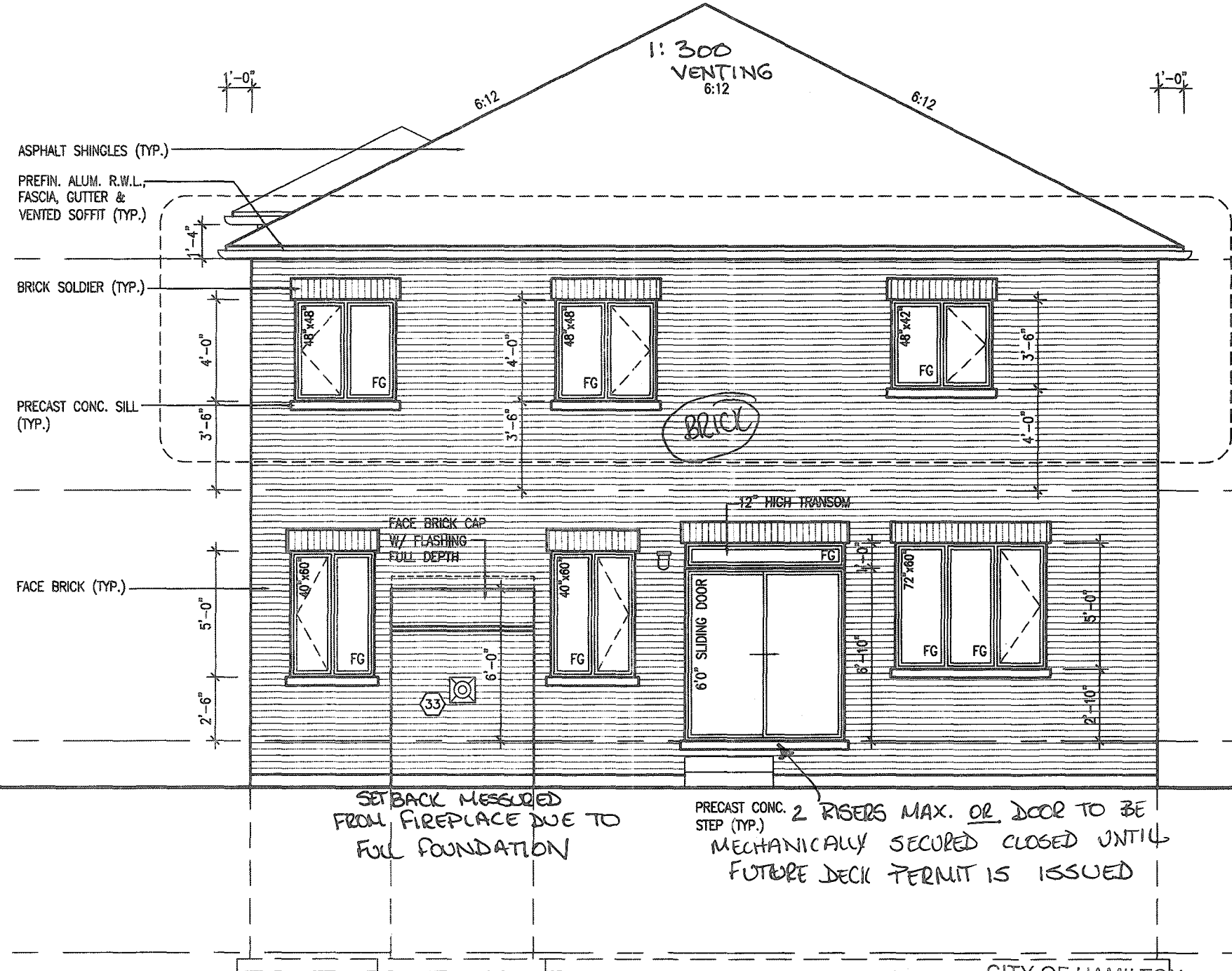
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
JDC Dec 15/20
FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'



PARTIAL REAR ELEVATION 3 - 5 BED



REAR ELEVATION '3'

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC BY _____ DATE _____
REF'D TO _____ DATE _____

3086 SF.

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB
FOR 7'-6" CONCRETE POUR

SETBACK MEASURED FROM FIREPLACE DUE TO FULL FOUNDATION

PRECAST CONC. 2 RISERS MAX. OR DOOR TO BE MECHANICALLY SECURED CLOSED UNTIL FUTURE DECK PERMIT IS ISSUED

CITY OF HAMILTON
Building Division
196110

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further responsibility.

L.D. - OKAY

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

Permit No. _____
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These drawings and/or specifications have been reviewed by
JDL Dec 15/20

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'

18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
name
registration information
VA3 Design Inc.
signature
24488
BCIN
42658

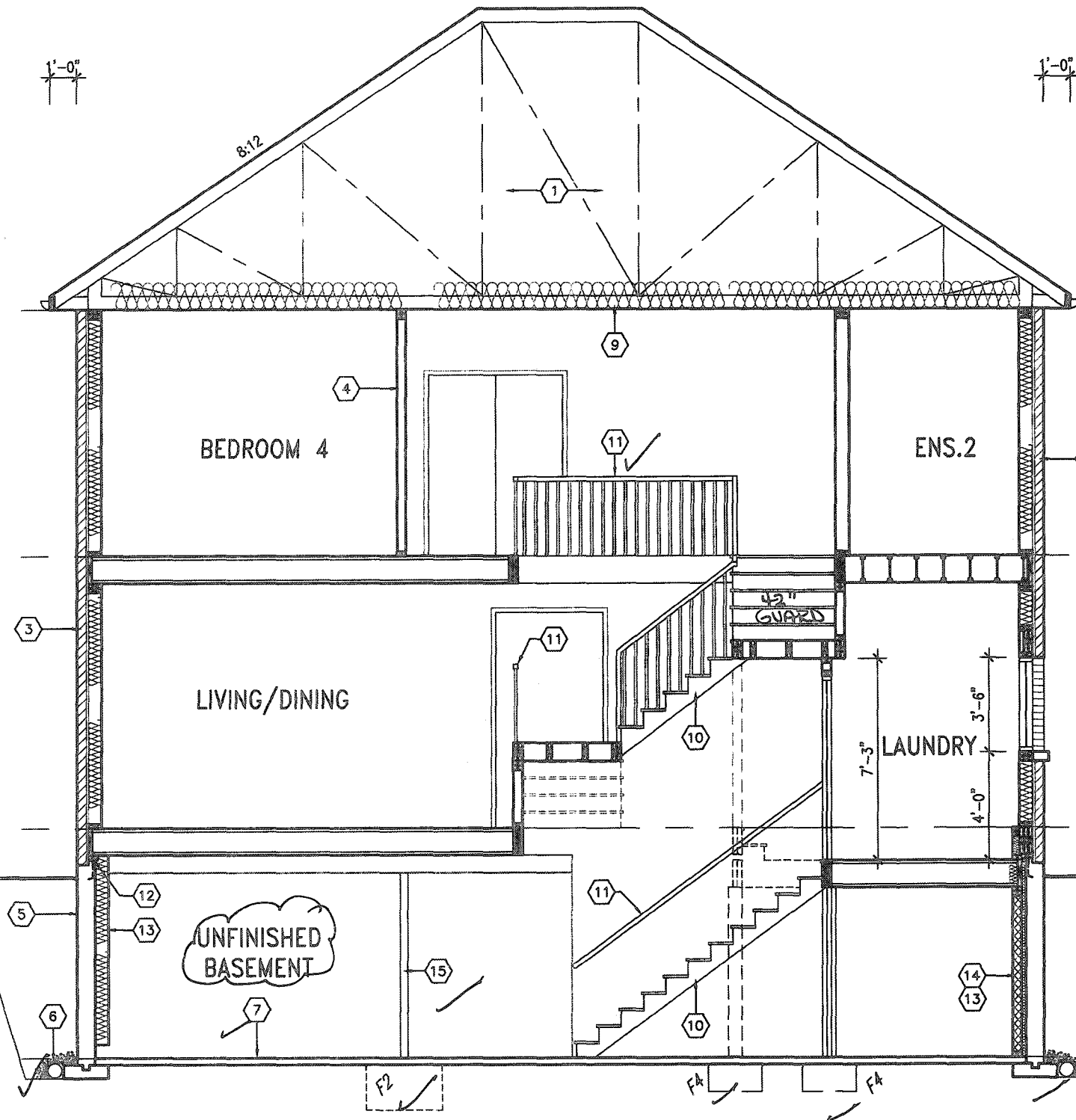
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark. MOUNTAINASH 3
13.5m
project no. 19014
drawing no. A8b
project name: RUSSELL GARDENS PH. 3
location: HAMILTON, ON.
date: JANUARY 2020
drawn by: [Signature]
checked by: [Signature]
scale: 3/16" = 1'-0"
title: REAR ELEVATION - ELEV. 3
file name: 19014-MOUNTAINASH-03
date: May 14 2020 - 2:47 PM

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 06 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

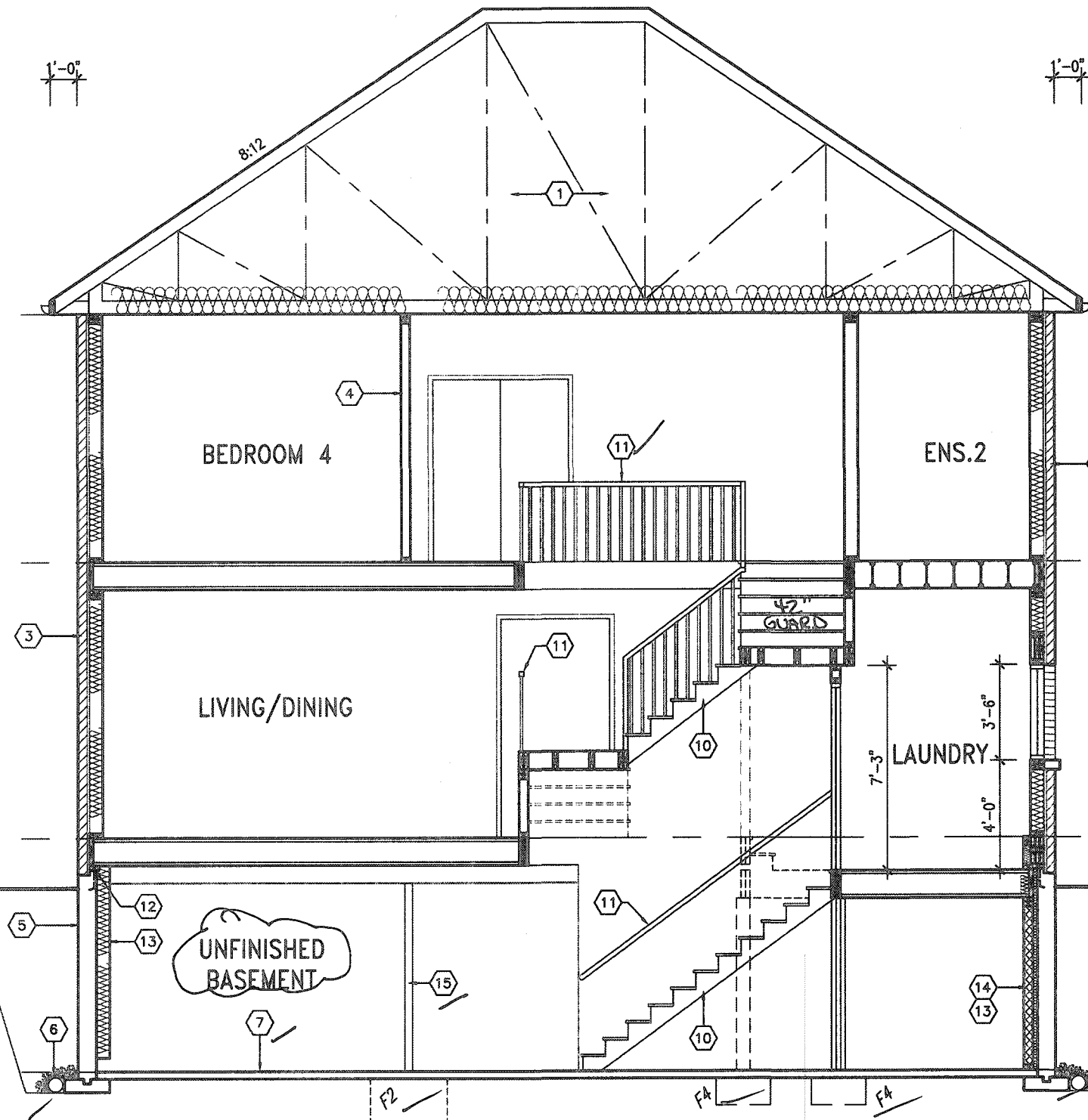


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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 06 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____



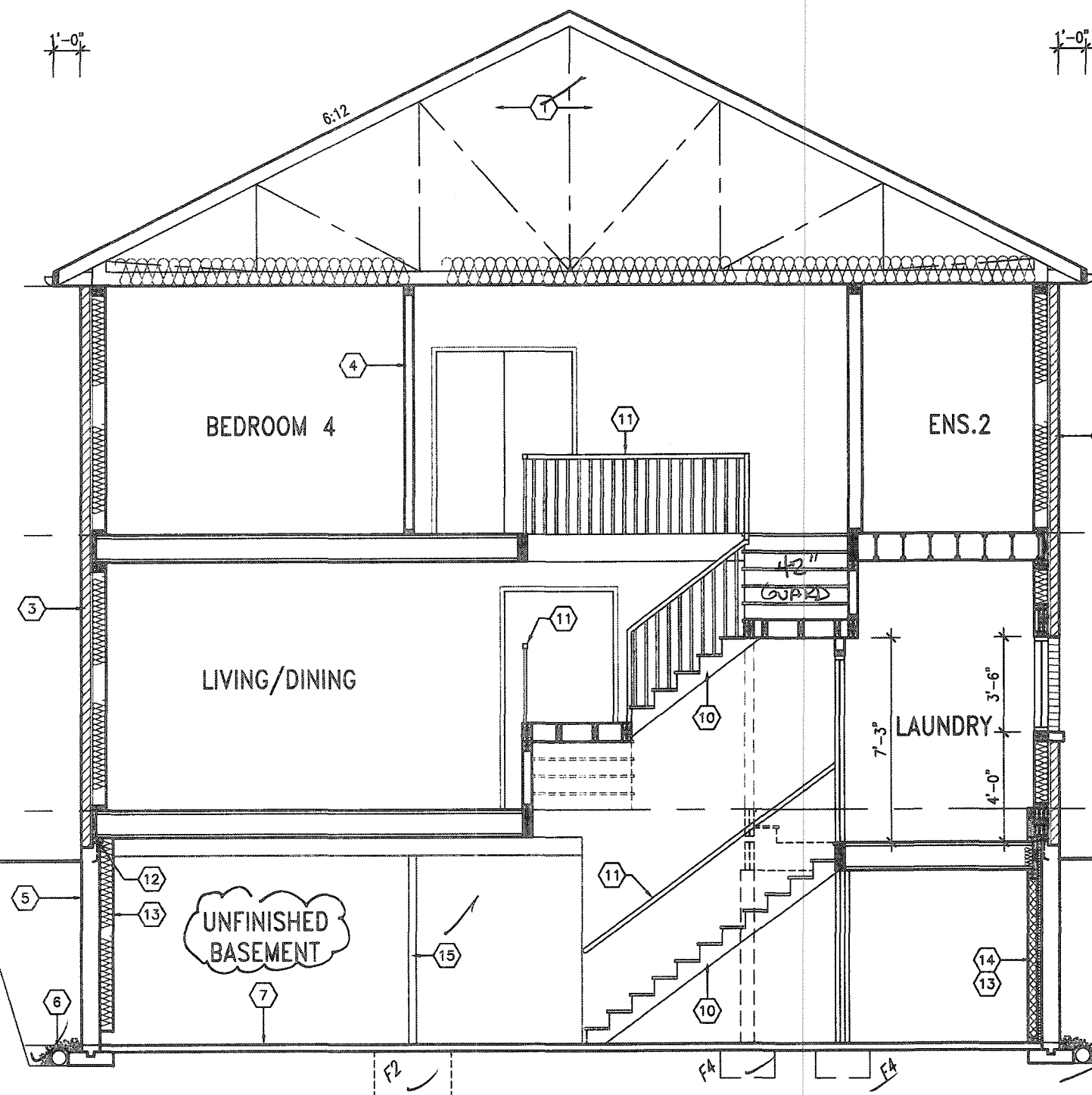
These drawings and/or specifications have been reviewed by
SDC Dec 15/20
 FOR CHIEF BUILDING OFFICIAL DATE

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

OCT 06 2020

REC BY _____ DATE _____
REFD TO _____ DATE _____



Permit No. 196110

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
JDC Dec 15/20

FOR CHIEF BUILDING OFFICIAL DATE

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

SECTION A-A ELEVATION 3

MOUNTAINASH 3

COMPLIANCE PACKAGE 'A1'

18		-	-	9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17		-	-	8			
16		-	-	7		qualification information	
15		-	-	6		Richard Vink	2448
14		-	-	5		name	80
13		-	-	4		registration information	
12		-	-	3	ISSUED FOR PERMIT.	VAS Design Inc.	4255
11		-	-	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW	
10		-	-	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW	
no.	description	date	by	no.	description	date	by

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name	municipality
RUSSELL GARDENS PH. 3	HAMILTON, ON.

date _____

0 JANUARY 2020

drawn by
WT

checked by

scale
3/16" = 1'-0"

APRAJ MOZAMMEL - C:\Users\ahraf\Desktop\19014-GREENPARK\UNITS\1

MOUNTAINASH 3
13.5m

	project no.
--	-------------

19014

	drawing no.
--	-------------

100

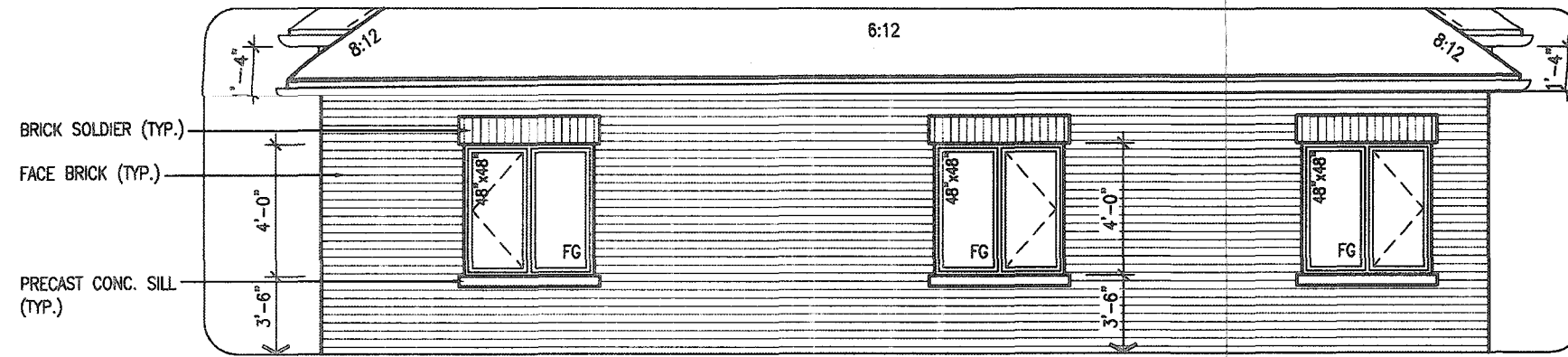
014-MOUNTAINASH-03R **A9b1**

014-MONTAINASH-USR
Thu - Apr 30 2020 - 12:03 PM

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3086 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC BY _____ DATE _____
REF'D TO _____ DATE _____



PARTIAL REAR
ELEVATION 1
- 5 BED

1:300
VENTING

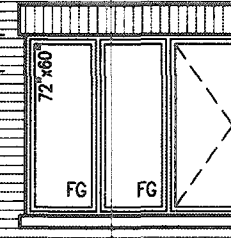
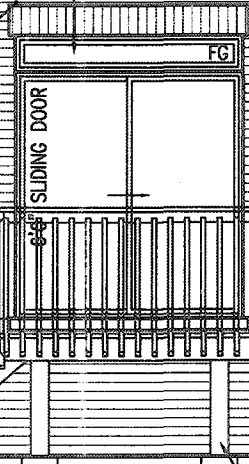
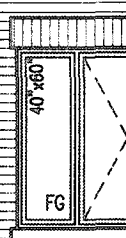
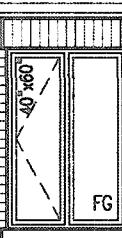
ASPHALT SHINGLES (TYP.)
PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER (TYP.)
PRECAST CONC. SILL (TYP.)

FACE BRICK (TYP.)

UPGRADE BASEMENT
WINDOWS ON REAR WALL
WITH MIN. 4'-4" FIN.
FIRST FLOOR TO GRADE
CONDITION.

FACE BRICK CAP
W/ FLASHING
FULL DEPTH



CONTINUOUS GUARDS + HANDRAILS

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT. 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED)
ON 12" CONC. PIER

CITY OF HAMILTON
Building Division

Permit No. 196110

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

7'-6"

9'-11"

8'-4"

FOR 7'-8" CONCRETE POUR

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
JDC Dec 15/20
FOR CHIEF BUILDING OFFICIAL DATE

REAR ELEVATION '1'-
DECK CONDITION

NO ATTACHMENT TO OR THROUGH
BRICK VENEER.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

L.O.D. - OKAY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY _____
DATE DEC 14, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

18			9						
17			8						
16			7						
15			6						
14			5						
13			4						
12			3	ISSUED FOR PERMIT.	MAR 31/20	GW			
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW			
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

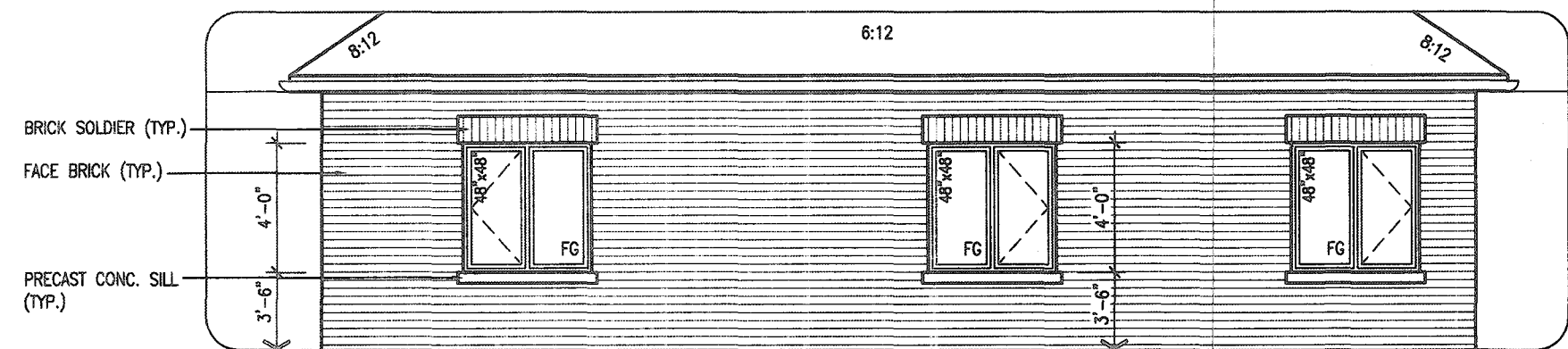
Greenpark.

project name
RUSSELL GARDENS PH. 3 HAMILTON, ON.

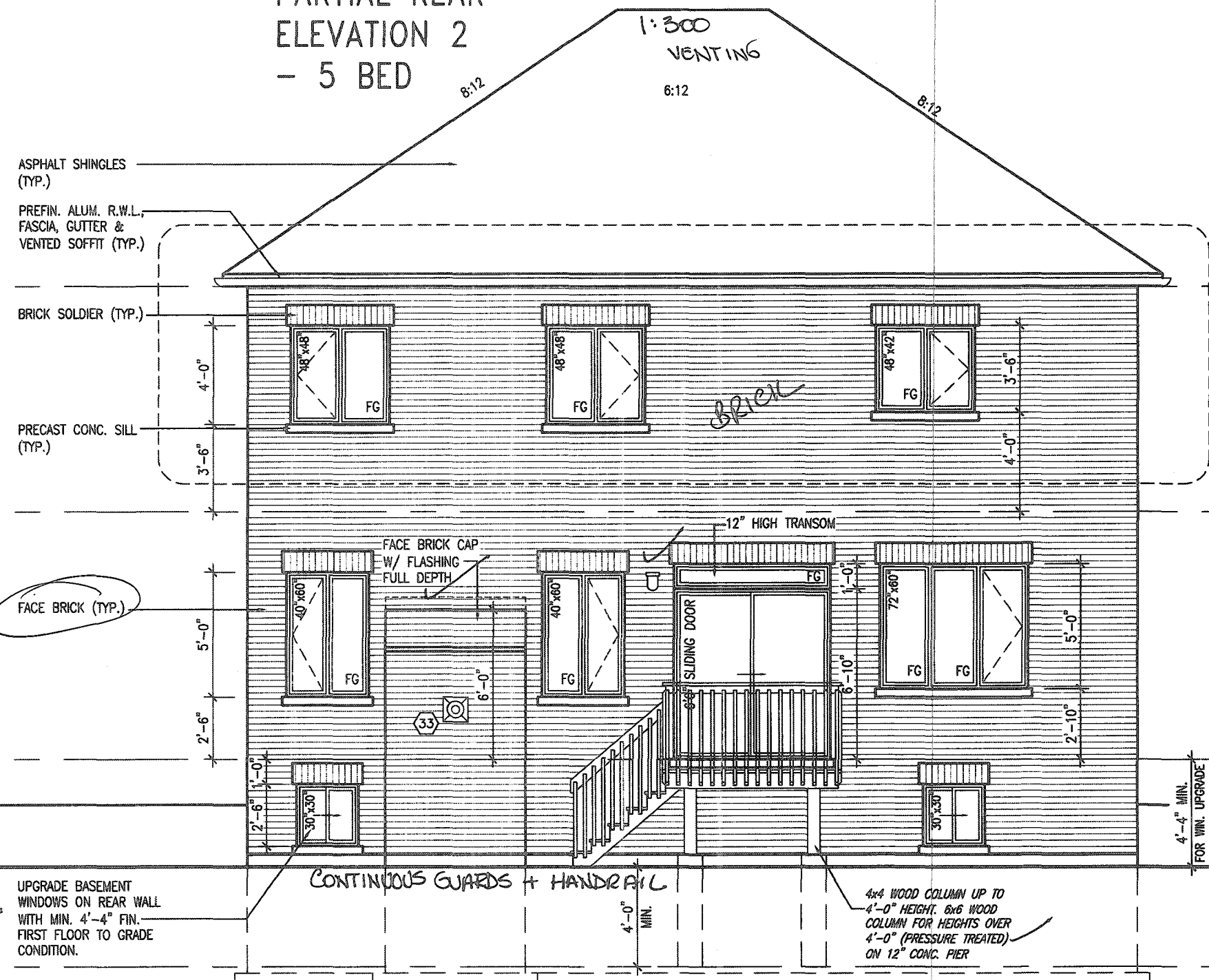
MOUNTAINASH 3
13.5m

date
JANUARY 2020
drawn by
WT
checked by
3/16" = 1'-0"
scale
19014-MOUNTAINASH-03
GREG - H:\ARCHIVE\WORKING\2019\19014-GREENPARK\UNITS\ENCL\44-MOUNTAINASH\19014-MOUNTAINASH-03.dwg - Thu - May 14 2020 - 2:47 PM
drawing no.
A11

3086 SF.



PARTIAL REAR ELEVATION 2 - 5 BED



CITY OF HAMILTON Building Division

Permit No. 198710
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE DEC 15/20

NO ATTACHMENT TO OR THROUGH BRICK VENEER PERMITTED

REAR ELEVATION '2'- DECK CONDITION

CITY OF HAMILTON BUILDING DIVISION Planning & Development Department
OCT 06 2020
REC BY _____ DATE _____
REF'D TO _____ DATE _____

MOUNTAINASH 3 COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL OFFICE, REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 22, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

18				9					
17				8					
16				7					
15				6					
14				5					
13				4					
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW		
11				2	UPDATED PER ENG. & CLIENT COMMENTS.	MAR 19/20	GW		
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by	no.	description	date	by		

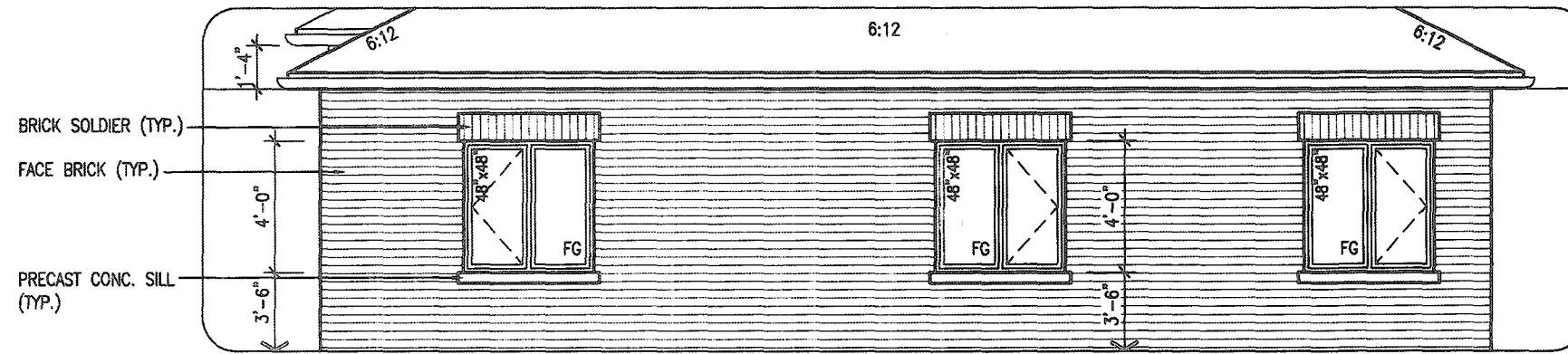
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qualification information
Richard Vink 24488 BCN
signature
name registration information
VA3 Design Inc. 42658
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

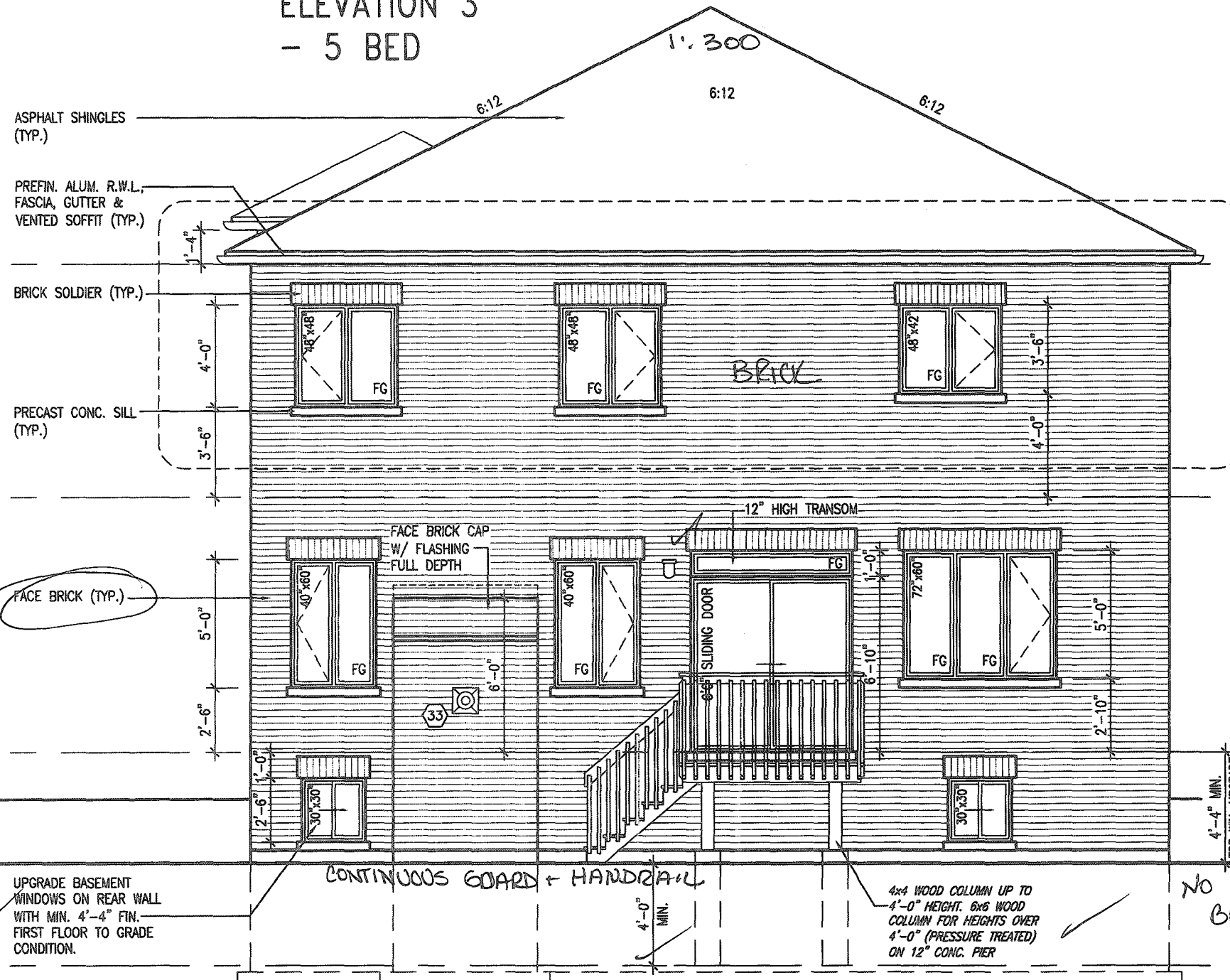
Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON.
date
JANUARY 2020
drawn by
checked by
scale
3/16" = 1'-0"
19014-MOUNTAINASH-03

MOUNTAINASH 3
13.5m
project no.
19014
drawing no.
A11a

3086 SF.



PARTIAL REAR
ELEVATION 3
- 5 BED



CITY OF HAMILTON
Building Division

Permit No. 196110

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
D.E. 15/20 JDL
FOR CHIEF BUILDING OFFICIAL DATE

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB
FOR 7'-8" CONCRETE POUR

NO ATTACHMENT TO OR THROUGH
BRICK VENEER PERMITTED

REAR ELEVATION '3'-
DECK CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB
IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN PORCH
SLAB IS LESS THAN 5'-11" ABOVE
FINISHED GRADE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
OCT 06 2020
REC BY _____ DATE _____
REF'D TO _____ DATE _____

MOUNTAINASH 3
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
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18.			9.		
17.			8.		
16.			7.		
15.			6.		
14.			5.		
13.			4.		
12.			3.	ISSUED FOR PERMIT.	MAR 31/20 GW
11.			2.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10.			1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW
no. description	date	by	no. description	date	by

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qualification information
Richard Vink 24488
signature
V3 Design Inc. 42658
BCN
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V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark. MOUNTAINASH 3
13.5m
project name
RUSSELL GARDENS PH. 3 HAMILTON, ON.
project no.
19014
drawing no.
A111b
date
JANUARY 2020
rear elev. 3 - DECK CONDITION
drawn by
checked by
scale
3/16" = 1'-0"
19014-MOUNTAINASH-03
CREG - H:\ARCHIVE\WORKING\2019\19014-GREENPARK\SINGLES\44 MOUNTAINASH-19014-MOUNTAINASH-03.dwg - Thu - May 14 2020 - 2:47 PM