

3189 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa, NATIVE SOIL 80 KPa, ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 16"x16"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 5/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 5/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(CBC 8.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

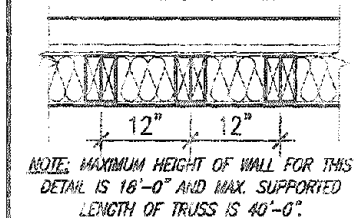
PLANS NOT DRAWN TO ACTUAL GRADE REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

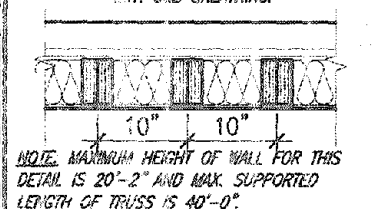
TWO STOREY HEIGHT WALL DETAIL

2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



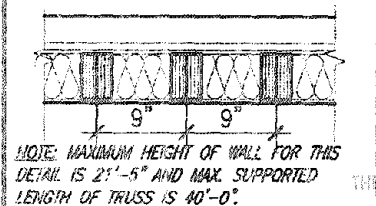
TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 Or Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci-- Denotes Continuous Insulation without framing interruption.

CITY OF HAMILTON BUILDING DIVISION
NOV 15 2020

RECEIVED BY DATE
PERMIT NO. DATE

CITY OF HAMILTON Building Division
Permit No. 20-187707

RESE STAMPED DRAWING IS VALID FOR 180 DAYS FROM DATE OF ISSUANCE. THE CITY OF HAMILTON BUILDING DIVISION IS NOT RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THE DRAWING.

Ken Sank Dec 16, 2020

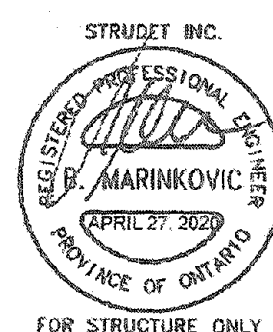
FOR CHIEF ENGINEER AND SPECIAL

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
MOUNTAINASH 4, EL. 2 (5 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	776.46 S.F.	187.25 S.F.	24.12 %
LEFT SIDE	1121.08 S.F.	92.33 S.F.	8.24 %
RIGHT SIDE	1126.03 S.F.	34.50 S.F.	3.06 %
REAR	756.0 S.F.	158.94 S.F.	21.02 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3779.57 S.F.	473.02 S.F.	12.52 %
TOTAL SQ. M.	351.13 S.M.	43.94 S.M.	12.52 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
MOUNTAINASH 4, EL. 3 (5 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	773.75 S.F.	201.56 S.F.	26.05 %
LEFT SIDE	1121.0 S.F.	92.33 S.F.	8.24 %
RIGHT SIDE	1125.92 S.F.	51.39 S.F.	4.56 %
REAR	756.0 S.F.	158.94 S.F.	21.02 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3776.67 S.F.	504.22 S.F.	13.35 %
TOTAL SQ. M.	350.86 S.M.	46.84 S.M.	13.35 %

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.
MOUNTAINASH 4
13.5m
project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.
project no.
19014
date
JAN. 2020
checked by
N.MUR
scale
3/16" = 1'-0"
19014-MOUNTAINASH-04
drawn by
AO

AREA CALCULATIONS ELEV '1'

GROUND FLOOR AREA	1398 SF
SECOND FLOOR AREA	1785 SF
TOTAL FLOOR AREA	3183 SF (295.71 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	6 SF
ADD TOTAL OPEN AREAS	+6 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	3189 SF (296.27 m2)
GROUND FLOOR COVERAGE	1405 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	59 SF
COVERAGE W/ PORCH	1857 SF (172.52 m2)
COVERAGE W/O PORCH	1798 SF (167.04 m2)

AREA CALCULATIONS ELEV '2'

GROUND FLOOR AREA	1398 SF
SECOND FLOOR AREA	1787 SF
TOTAL FLOOR AREA	3185 SF (295.90 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	6 SF
ADD TOTAL OPEN AREAS	+6 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	3191 SF (296.45 m2)
GROUND FLOOR COVERAGE	1405 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	59 SF
COVERAGE W/ PORCH	1857 SF (172.52 m2)
COVERAGE W/O PORCH	1798 SF (167.04 m2)

AREA CALCULATIONS ELEV '3'

GROUND FLOOR AREA	1398 SF
SECOND FLOOR AREA	1792 SF
TOTAL FLOOR AREA	3190 SF (296.36 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	6 SF
ADD TOTAL OPEN AREAS	+6 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	3196 SF (296.92 m2)
GROUND FLOOR COVERAGE	1405 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	59 SF
COVERAGE W/ PORCH	1857 SF (172.52 m2)
COVERAGE W/O PORCH	1798 SF (167.04 m2)

MOUNTAINASH 4
COMPLIANCE PACKAGE 'A1'

**Electrical Contractor
Registration Agency**

**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)**

**PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
WWW.PLUGINSAFELY.CA**

20-187767

THESE STARTED IN A PLACE THAT HE COULD BE ON WITH
THE OWNER OF THE CONTRACTOR SHALL BE WITHIN
THE ONTARIO POWER GENERATION BOARD AREA, CANADA

These drawings are not to scale (as shown reviewed by)
Kenn Smith Dec 16, 2020

CITY OF HAMILTON
BUILDING DIVISION
100 King Street West, 10th Floor
Hamilton, Ontario L8N 3Z4
Tel: (905) 571-2200 ext. 2200
Fax: (905) 571-2200 ext. 2200

2000 年 5 月 25 日

COLD STORAGE SLAB ✓
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

COLD STORAGE

2-20M REBARS IN TOP OF FDTN.
WALL FOR LATERAL SUPPORT @
STAIR OPENING, EXTEND BARS 24"
BEYOND STAIR OPENING EACHWAY.

<u>BASEMENT INSULATION AT</u> <u>STAIR/SUNKEN AREAS</u> -2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM). -2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH -EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.	<u>BASEMENT WALL INSULATION</u> (TYP) (13) -6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING
--	---

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 27, 2000

This stamp certifies compliance with the applicable design standards only and does not constitute professional responsibility.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

[Signature]

B. MARINKOVIC

APRIL 27, 2020

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

18							The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
17							qualification information			
16										
15							Richard Vink	R Vink	24488	
14							name		BCH	
13							signature			
12							registration information	VAS Design Inc.	42658	
11							ISSUED FOR PERMIT.	MAR 31/20 GW		
10							UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW		
9							PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW		
no.	description		date	by	no.	description		date	by	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



MOUNTAINASH 4
13.5m

project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON.	project no. 19014
date JAN. 2020		drawing no. A1
drawn by N.HUR		checked by 3/16" = 1'-0"
scale 19014-MOUNTAINASH-04		

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3189 SF.



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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 15 2020
REC'D BY _____ DATE _____
REP'D BY _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 20-187707

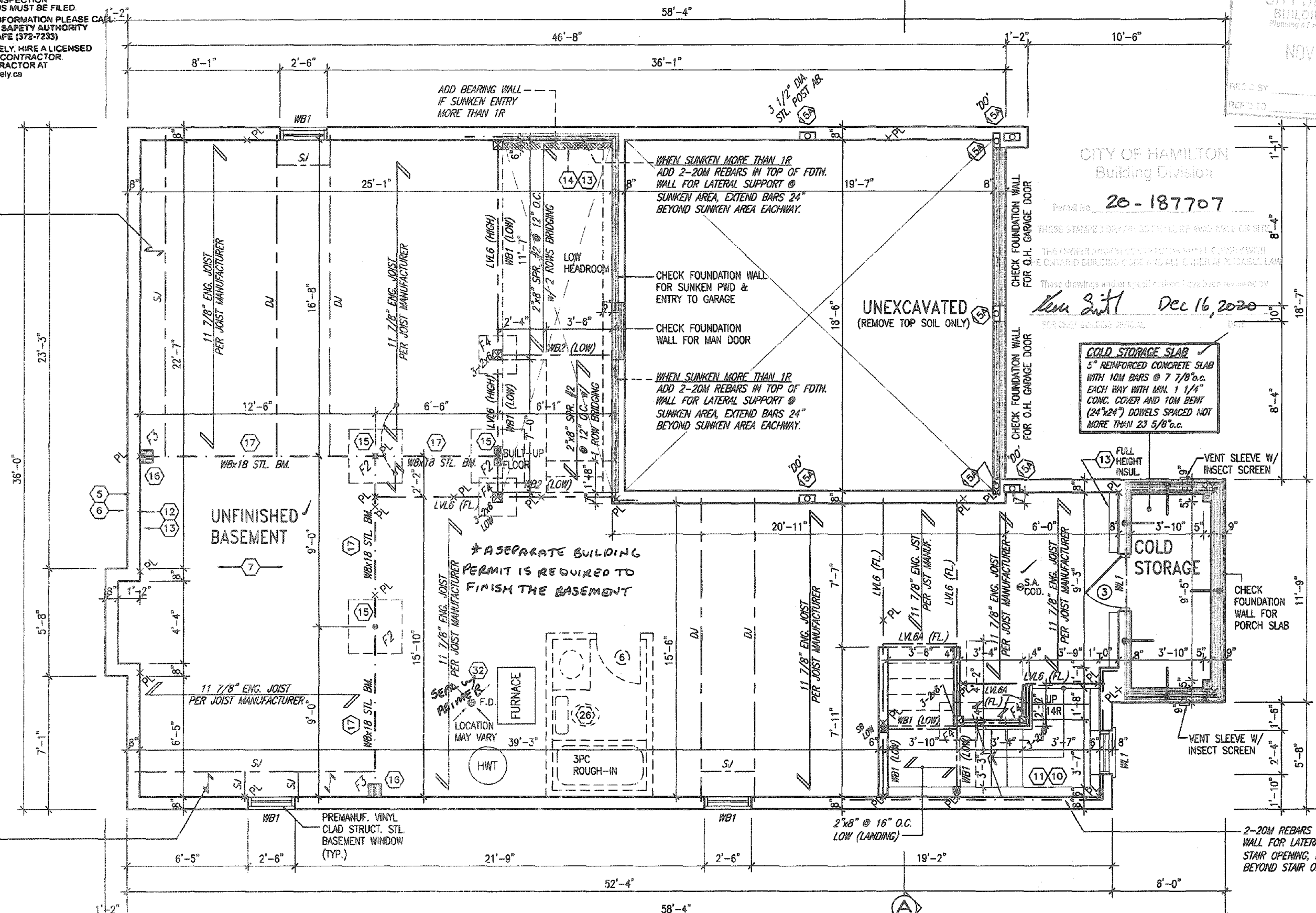
THESE STAMPED DRAWINGS MUST BE USED IN CONJUNCTION WITH THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS. These drawings and specifications have been reviewed by:

Ken Smith Dec 16, 2020
FOR CITY BUILDING OFFICIAL DATE

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN - ELEV. '2'

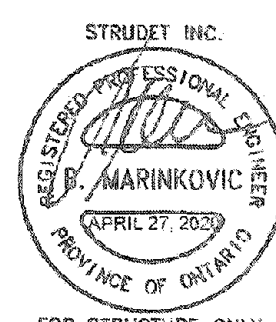
BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP) 13
-2" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING AND DESIGN
APPROVED BY: *[Signature]*
DATE: SEP 22, 2020
This stamp certifies compliance with the guidelines. It does not constitute a guarantee or warranty of any kind and the architect assumes no liability for any errors or omissions.



18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 19/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information:
Richard Vink 24488
name registration information BCIN
VAS Design Inc. 42558
signature
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

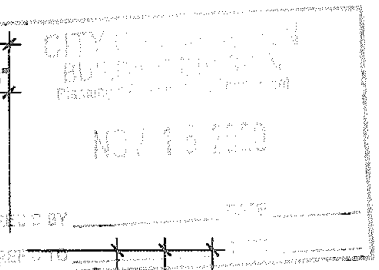
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark. MOUNTAINASH 4 13.5m
project name: RUSSELL GARDENS PH. 3 municipality: HAMILTON, ON. project no.: 19014
date: JAN. 2020 checked by: 3/16" = 1'-0" title name: M.HUR 19014-MOUNTAINASH-04
drawing no.: **A1a**
BASEMENT PLAN - ELEV. 2

3189 SF.



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CITY OF HAMILTON Building Division

20-187707

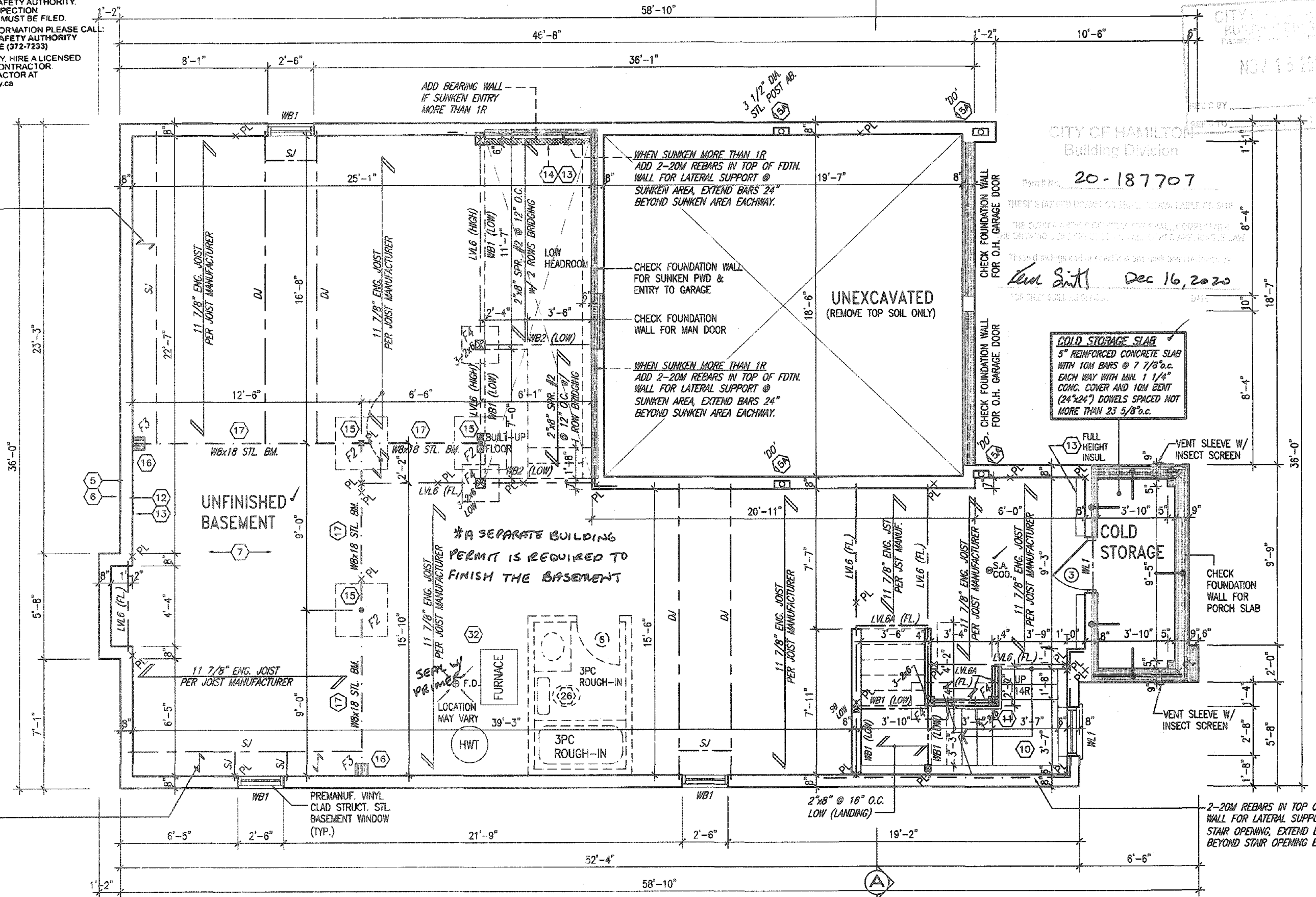
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Dec 16, 2020

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BEAT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN - ELEV. '3'

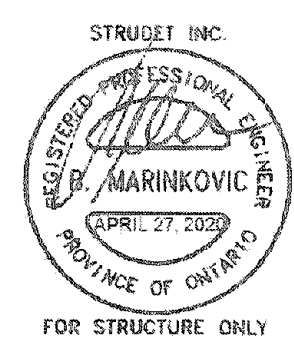
BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP.)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

MOUNTAINASH 4 COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



18		9			
17		8			
16		7			
15		6			
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13		4			
12		3	ISSUED FOR PERMIT.	MAR 31/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
name
registration information

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark. MOUNTAINASH 4 13.5m

project name: RUSSELL GARDENS PH. 3 municipality: HAMILTON, ON. project no. 19014

date: JAN. 2020 checked by: N.HUR 3/16" = 1'-0" drawing no. 19014-MOUNTAINASH-04

BASEMENT PLAN - ELEV. 3

A1b

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHUB IN MAIN BATHROOM PER OSC. CIV. 8-9.5.2.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET. 3.8.3.8 (3)/(g) & 3.9.3.8 (3)/(g).
SHOWER 3.8.3.13 (2)/(g). BATHUB 3.8.3.13 (4)/(g).
FREE STANDING BATHUB EXCLUDED. SEE DETAILS
PROVIDED. (3-8-2) 1-2320-2

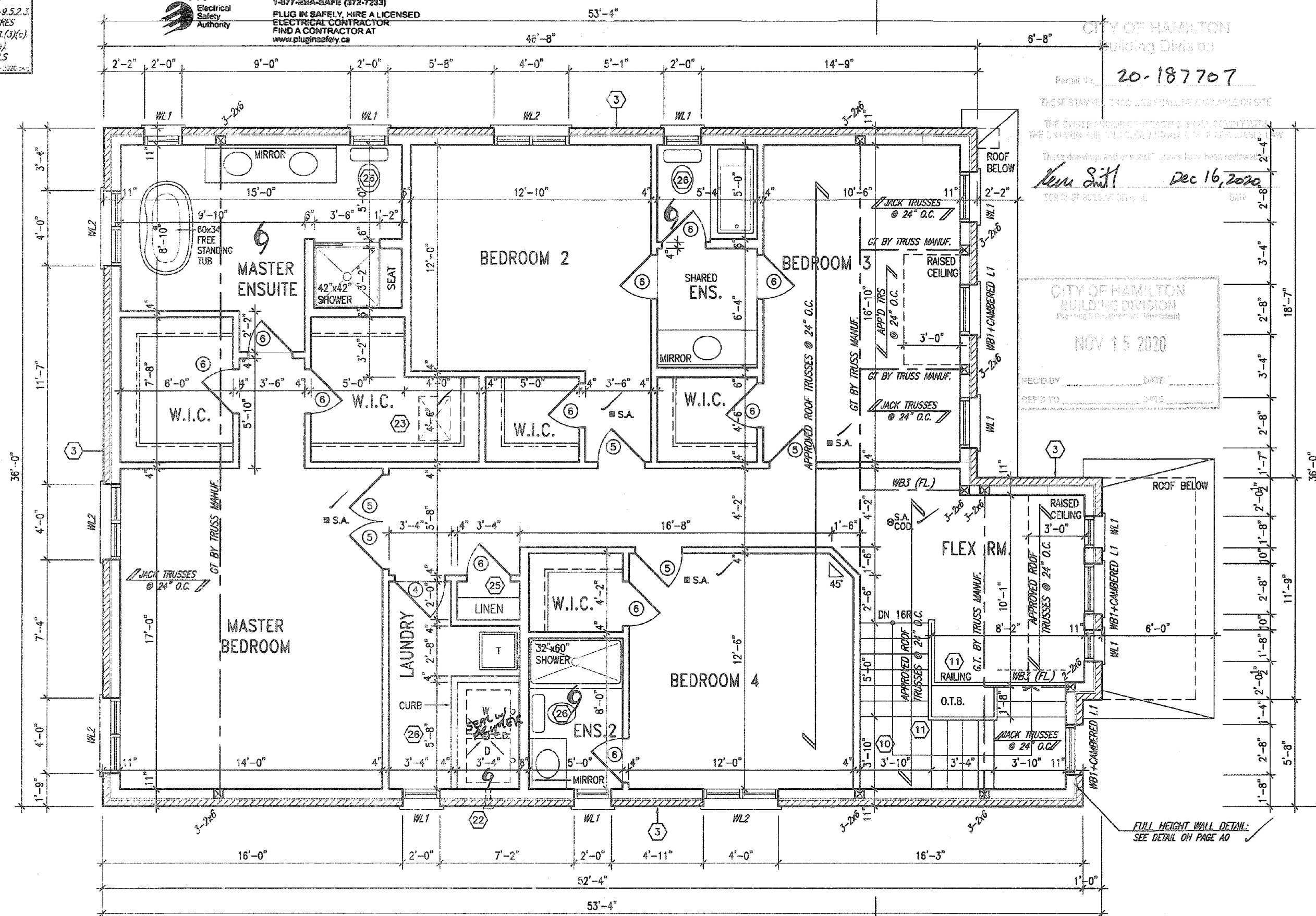
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Registration Agency
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Electrical
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Authority

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SECOND FLOOR PLAN - ELEV. '1'

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JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONSULT. ADVISORS
AND ENGINEERS

The above contents agree herewith the original
being submitted only and leave no further

18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	MAR 31/20	G
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	G
10				1	PRELIMINARY: ISSUED FOR CLIENT REVIEW.	JAN 28/20	G
no. description date by no. description date by							

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink

name

signature

244

registration information

V43 Deaton Inc.

421

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
vn3design.com

project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON.
--------------	-----------------------	--------------	---------------

date
JAN. 2020
drawn by
N.HUR
checked by
scale
3/16" = 1'-0"

MOUNTAINASH 4
13.5m

project	1901
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PLAN - ELEV. 1	drawing no.
File name	A3
9014-MOUNTAINASH-04	

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER ISC. DIV. 9-B-5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FINISHES
LISTED. WATER CLOSET: 3.8.3.3.(3)(c) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(c).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

GA-NOTE-2020-005

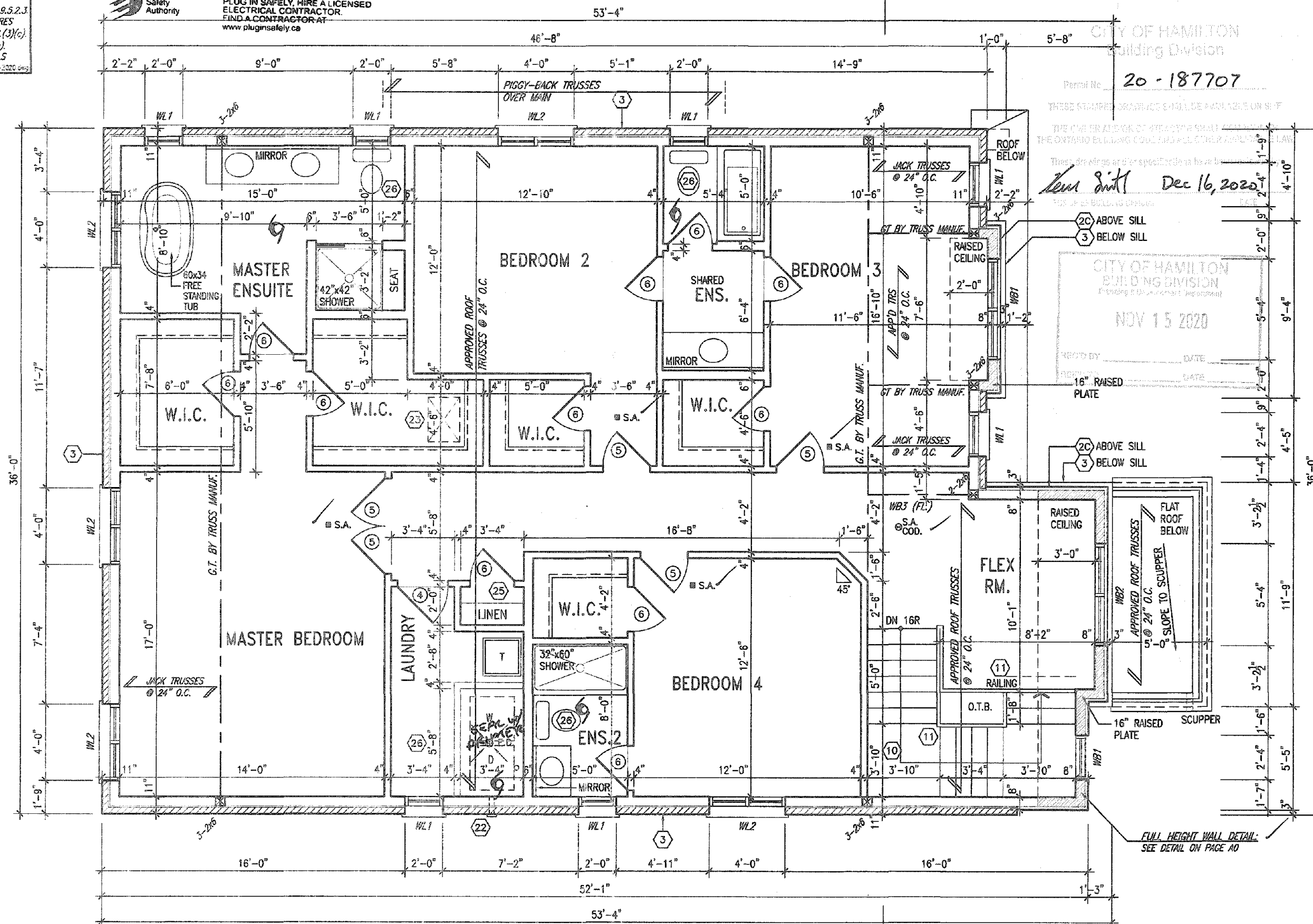
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Registration Agency**



of the
**Electrical
Safety
Authority**

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APPLICATIONS MUST BE FILED.
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SECOND FLOOR PLAN - ELEV. '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONVEYER REVIEW
AND APPROVAL

APPROVED BY 

DATE: SEP 21 1980

This stamp certifies compliance with the applicable
Design Codebook, only and does not constitute
architectural professional seal.

STRUDET INC.



18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink 2448
14				5			name
13				4			signature R Vink BC2
12				3	ISSUED FOR PERMIT	MAR 31/20 GW	VAS Design Inc. 4265
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW	
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW	
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink *R. Vink* 244

name signature

registration information

VAS Design Inc. 426

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the signature of the Designer which must be returned at the completion of the work. Drawings are not to be sealed.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 **Greenpark**

project name
RUSSELL GARDENS PH. 3

date
JAN. 2020

drawn by
M. HUR

checked by
3/16" = 1'-0"

scale
SECOND FLOOR

sheet 1022NAME - C:\Users\mof\Desktop\19194-GREENPARK\UNITS\19014-MOUNTAINASH

MOUNTAINASH 4	
13.5m	
by J.	project 1901
PLAN - ELEV. 2	drawing no.
file name 19014-MOUNTAINASH-04	A3a
Tue - Apr 21 2020 - 6:51 PM	

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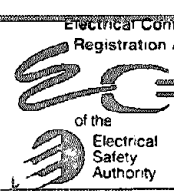
GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

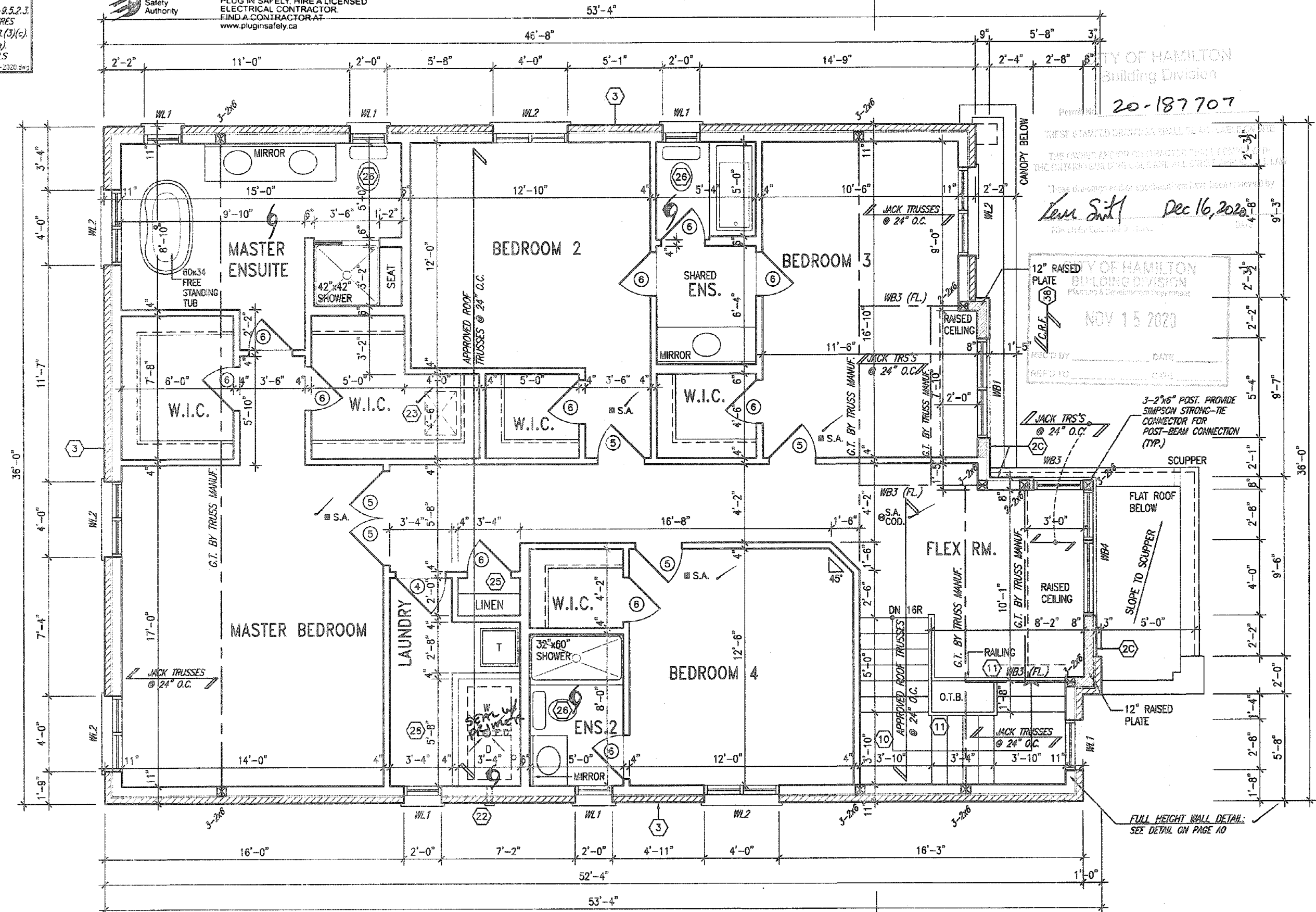
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.6(3)(a) & 3.8.3.8(3)(c). SHOWER 3.8.3.13(2)(g). BATHTUB 3.8.3.13(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

CB-HQ-11-2020.dwg

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3189 SF.

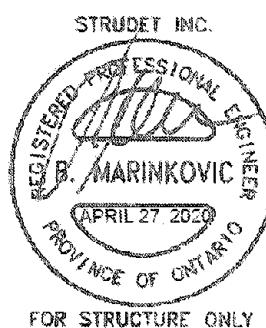


SECOND FLOOR PLAN - ELEV. '3'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 22 2020
This stamp is only a non-binding review of the architectural drawings and does not constitute a guarantee of any kind. The architect is not responsible for the construction of the building or the accuracy of the information provided.



FOR STRUCTURE ONLY

18			9		
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12			3	ISSUED FOR PERMIT.	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW
no.	description	date	by	no.	description

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qualification information
Richard Vink 24488
signature
name
registration information
VAS Design Inc. 42858
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VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ON.

MOUNTAINASH 4
13.5m

project no.
19014

SECOND FLOOR PLAN - ELEV. 3

date
JAN. 2020

file name
19014-MOUNTAINASH-04

drawing no.
A3b

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC DIV. 8-9.5.2. REFER TO FOLLOWING SECTIONS FOR THE FUTURES

LISTED: WATER CLOSET: 3.8.3.8.(3/4) & 3.8.3.8.(3/4); SHOWER 3.8.3.13.(2/4); BATHTUB 3.8.3.13.(4/4);

FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

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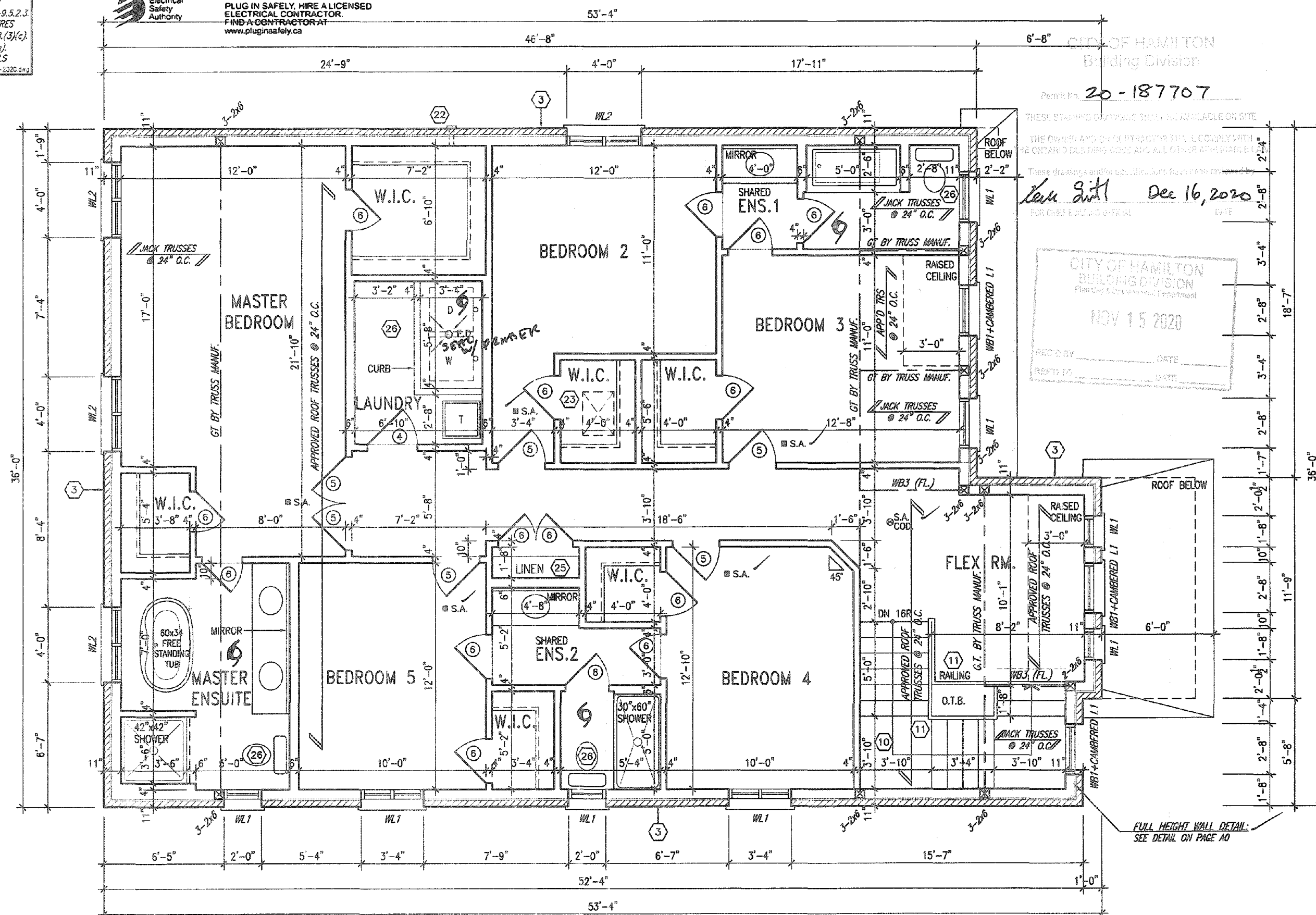
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OPT. SECOND FLOOR PLAN
5 BEDROOM PLAN - ELEV. '1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CHARGE REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAY 22, 1960

This stamp certifies compliance with the applicable
Oregon Building Code and design to meet
minimum requirements.

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The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24

name signature

registration information

VAS Design Inc. 62

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions and specifications are preliminary and the purpose of the Designer shall remain to be confirmed at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.476
va3design.com

 **Greenpark**

Project Name **RUSSELL GARDENS PH. 3** **HAMILTON**

Site **200 AM. 2020** **OPT. SECOND FL**

Drawn by _____ Scale **3/16" = 1'-0"**

Checked by _____

DATE **NOVEMBER - 1994** **C:\Users\jennal\Desktop\199414-CRE FLORIDA\LAITS\199414-MOUNTAINASH**

MOUNTAINASH 4	
13.5m	
by J.	project no. 19014
PLAN - ELEV. 1	drawing no.
file name 19014-MOUNTAINASH-04	A4
Tue - Apr 21 2020 - 6:51 PM	

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**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATH/TUB IN MAIN BATHROOM PER CBC DIV. B-9.5.2.3
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.2.(3)(a) & 3.8.3.2.(3)(c);
SHOWER 3.8.3.13.(2)(g); BATH/TUB 3.8.3.13.(4)(e);
FREE STANDING BATH/TUB EXCLUDED. SEE DETAILS
PROVIDED.

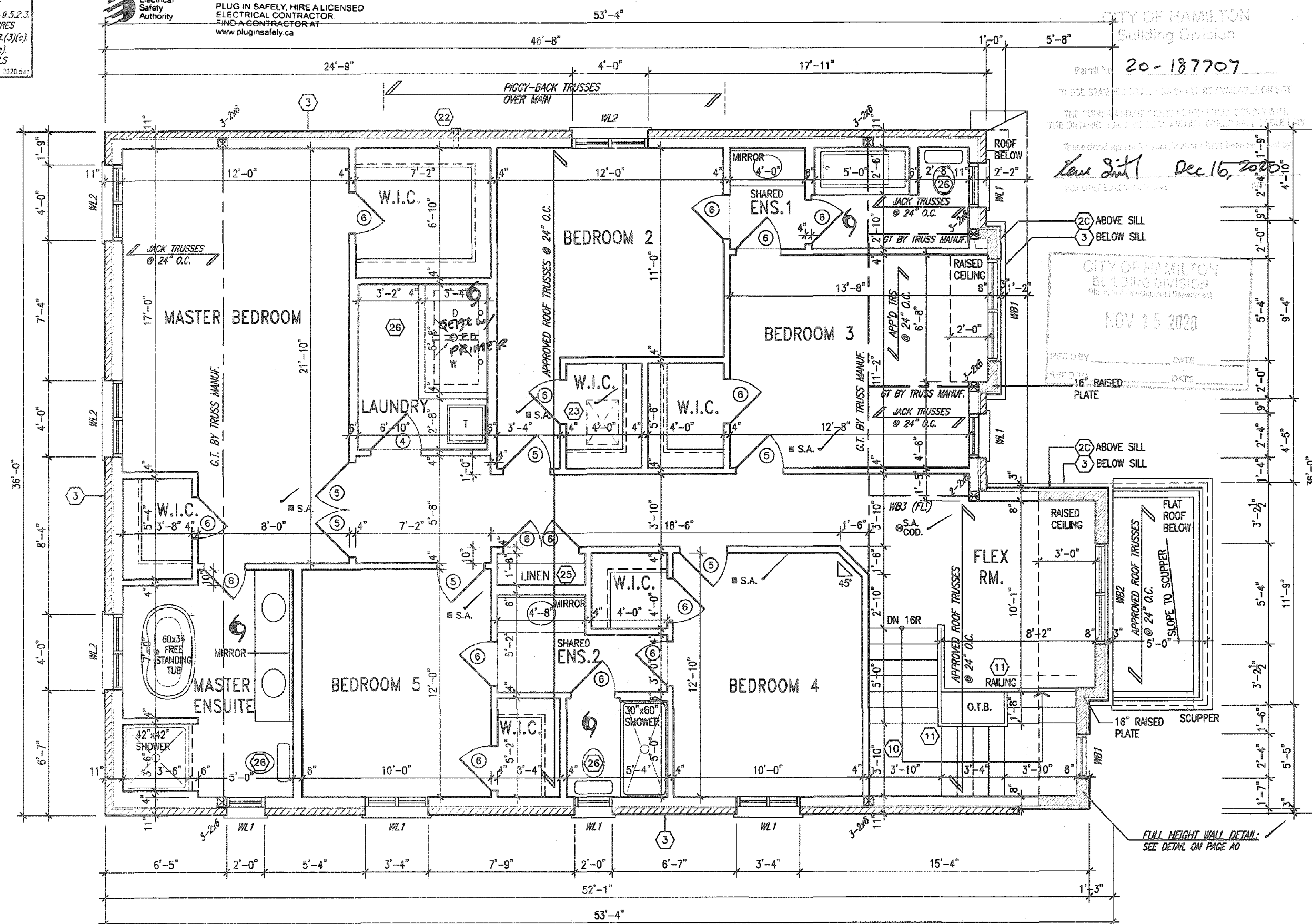
GS-0175 2/20/06 CM

**Electrical Contractor
Registration Agency**

**of the
Electrical
Safety
Authority**

**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRIC SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.pluginsafely.ca**

3189 SF.



OPT. SECOND FLOOR PLAN
5 BEDROOM PLAN - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site lotting, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, CONSTRUCTION
AND GENERAL

APPROVED BY: 

DATE: SEP 24 2020

For stamping purposes, this stamp is valid for use only with
Design Packages only and cannot be further
reused or transferred.

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	2448
17				8				BC
16				7			qualification information	
15				6			Richard Vink	
14				5			name	
13				4			registration information	
12				3	ISSUED FOR PERMIT	MAR 31/20	VA3 Design Inc.	4263
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW	
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW	
no.	description	date	by	no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
qualification information	<i>R. Vink</i>	24
name	signature	
registration information		
VA3 Design Inc.		42
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. If the Contractor fails to do so, the Designer shall retain the right to pursue legal action.		

**VA3
DESIGN**
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.471
va3design.com

 **Greenpark**

Project name
RUSSELL GARDENS PH. 3 **HAMILTON**

Job
AN. 2020 OPT. SECOND FL.

Form by
J.MUR checked by pcie

Scale
3/16" = 1'-0"

Notes
1. See General Notes.
2. See Section Notes.
3. See Section Notes.
4. See Section Notes.
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97. See Section Notes.
98. See Section Notes.
99. See Section Notes.
100. See Section Notes.

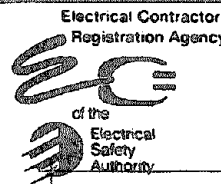
MOUNTAINASH 4		project no.	
13.5m		19014	
PLAN - ELEV. 2		drawing no.	
file name		A4a	
19014-MOUNTAINASH-04			
- Tue - Apr 21 2020 - 5:51 PM			

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GRAB BAR NOTE:

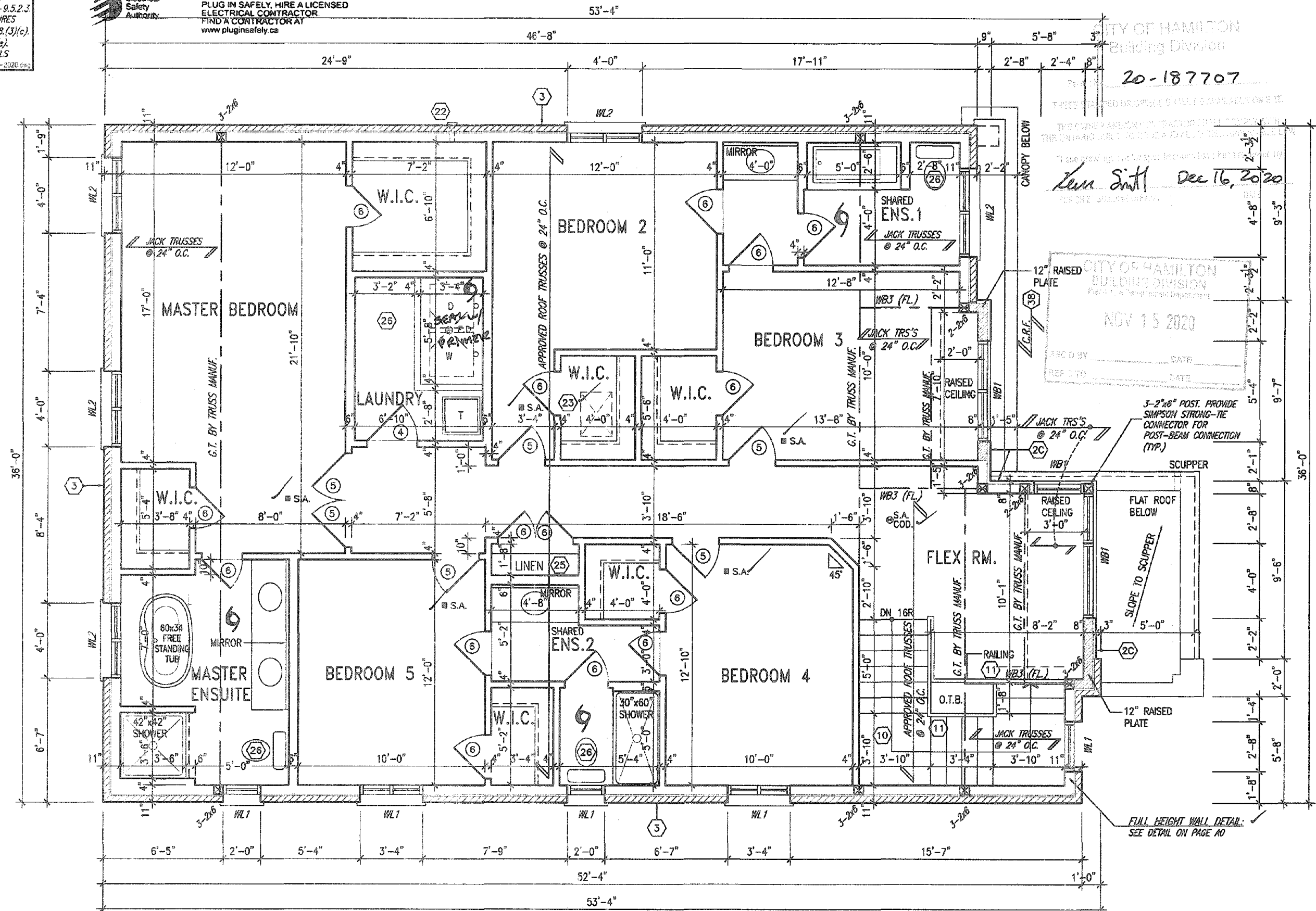
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3 REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c); SHOWER 3.8.3.13.(2)(g); BATHTUB 3.8.3.13.(4)(a). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

08-MPTL-2020-002



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.plugin safely.ca

3189 SF.



OPT. SECOND FLOOR PLAN
 5 BEDROOM PLAN - ELEV. '3'

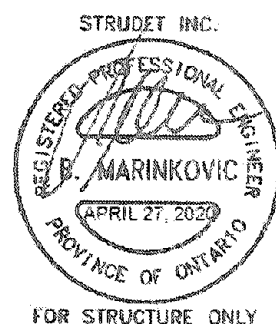
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD. ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL

APPROVED BY: [Signature]
 DATE: [Blank]

This stamp certifies compliance with the applicable Design Guidelines only. This does not constitute professional responsibility.



FOR STRUCTURE ONLY

18				9			
17				8			
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15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT	MAR 31/20	G
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	G
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	G
no.	description	date	by	no.	description	date	b

The undersigned has reviewed and (also) responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink
 name
 registration information
 VAS Design Inc.
 24488
 42658

VA3 DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 416.630.2255 f 416.630.4782
 va3design.com

MOUNTAINASH 4 COMPLIANCE PACKAGE 'A1'

Greenpark.

MOUNTAINASH 4
 13.5m

project name
 RUSSELL GARDENS PH. 3
 municipality
 HAMILTON, ON.
 project no.
 19014
 date
 JAN. 2020
 drawn by
 NLHUR
 checked by
 [Signature]
 scale
 3/16" = 1'-0"
 title
 OPT. SECOND FLOOR PLAN - ELEV. 3
 19014-MOUNTAINASH-04
 19014-MOUNTAINASH-04.dwg - 1:00 - Apr 27, 2020 - 9:51 AM
 drawing no.
A4b

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3189 SF.

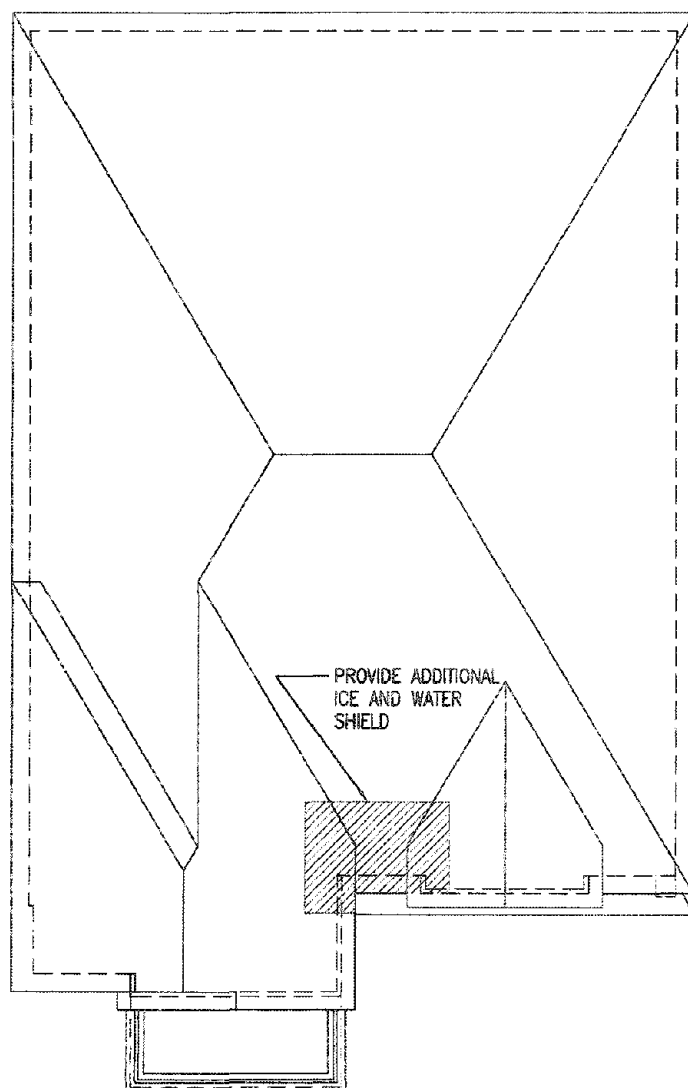
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 15 2020
RECEIVED DATE
REF TO DATE

CITY OF HAMILTON
Building Division

Permit No. 26-187707

THESE STAMPED COPIES SHALL BE AVAILABLE ON SITE
THE OWNER AND CONTRACTOR SHALL COMPLY WITH
THE DRAINAGE ACT, 1990 AND ALL OTHER APPLICABLE LAWS

These drawings and report have been reviewed by
Ken Smith Dec 16, 2020
FOR COMPLIANCE WITH THE ACT



ROOF PLAN - ELEV. '2'



INSIDE PORTICO
ELEVATION '2'



FRONT ELEVATION - ELEV. '2'

MOUNTAINASH 4 COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: 12/21/2020
This stamp renders compliance with the applicable Design Guidelines only and does not constitute a professional responsibility.

18		9		The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17		8		qualification information	
16		7		Richard Vink	24488
15		6		signature	BCN
14		5		same registration information	
13		4		VAS Design Inc.	42858
12		3	ISSUED FOR PERMIT	MAR 31/20	CW
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	CW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	CW
no.	description	date	by	no.	description

VAS DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

HAMILTON, ON

MOUNTAINASH 4
13.5m

project no.
19014

date
JAN. 2020
checked by
N.HUR
scale
3/16" = 1'-0"
drawing no.
19014-MOUNTAINASH-04
A5a

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3189 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Services

NOV 15 2020

PARTIAL SIDE
ELEVATION '1'
W/ OPT. 2ND FL.
PLAN (5 BED)

CITY OF HAMILTON
Building Division

Permit No. 20-187707

TO BE STAMPED AND SIGNED BY THE DESIGNER
THE DESIGNER'S SEAL AND SIGNATURE MUST BE PLACED ON THE DRAWING

These drawings were prepared by:
Ken Smith Dec 16, 2020
City of Hamilton

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

FACE BRICK (TYP.)

BRICK SOLDIER
HEADER (TYP.)

PRECAST CONC. SILL
(TYP.)

CONT. PRECAST CONC.
BAND ON BRICK
SOLDIER (TYP.)

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

TOP OF WINDOW

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

FIN. SECOND FLOOR

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

TOP OF WINDOW

2"x8" DIA. COLUMNS ANCHORED
TO 14"x26" SOLID MASONRY
PIER (TYP.). PROVIDE SIMPSON
STRONG-TIE CONNECTOR FOR
POST-BEAM CONNECTION (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

TOP OF SLAB

OPTIONAL 30"x24" WINDOW

30"x16" STRUCT. FRAME
BASEMENT WINDOW (TYP.)

WINDOW WELL DRAIN TO
FOOTING LEVEL

ALLOWABLE GLAZED OPENINGS 1142.96 sq. ft.
WALL AREA = 1420 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 80 = 78.40 SQ. FT.
GLAZING PROVIDED = 65.67 SQ. FT. (GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 68.55 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS WITH OPT. 2ND FLOOR PLAN
WALL AREA = 1420 SQ. FT. 1142.96
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 80 = 78.40 SQ. FT.
GLAZING PROVIDED = 74.23 SQ. FT. (GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 77.11 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION - ELEV. '1'

It is the holder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

KEVIN G. WILLIAMS LITL, ARCHITECT
ARCHITECTURAL DESIGN, REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 24, 2020
This stamp is valid for use on all drawings and plans submitted to the City of Hamilton for review and approval.

18			9		
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16			7		
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14			5		
13			4		
12			3	ISSUED FOR PERMIT	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW
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no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
Vink
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JAN. 2020
checked by
JLMUR
code
3/16" = 1'-0"
19014-MOUNTAINASH-04
Rev name
19014-MOUNTAINASH-04
Rev
Apr 21 2020 - 5:31 PM

MOUNTAINASH 4
13.5m
project no.
19014
drawing no.
A6
LEFT SIDE ELEVATION - ELEV. '1'

CITY OF HAMILTON
BUILDING DIVISION
3189 SF.

NOV 15 2020

RECD BY: _____ DATE: _____
RECD TO: _____ DATE: _____

PARTIAL SIDE
ELEVATION '2'
W/ OPT. 2ND FL.
PLAN (5 BED)

CITY OF HAMILTON
Building Division

Project No. 20-187207

THESE STAMPED DRAWINGS SHALL BE A PART OF THE
THESE STAMPED DRAWINGS SHALL BE A PART OF THE
THESE STAMPED DRAWINGS SHALL BE A PART OF THE

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THESE STAMPED DRAWINGS SHALL BE A PART OF THE

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE
U/S OF SOFFIT

TOP OF PLATE

6" STUCCO FRIEZE
BD. (TYP.)

TOP OF WINDOW

STUCCO FINISH (TYP.)

20" HIGH DECOR.
PREMANUF. MTL. RAILING
(TYP.)

PREFIN. METAL COPING
ON 4" PRECAST BAND
(TYP.)

FIN. SECOND FLOOR

SCUPPER

10" PRECAST CONC.
HEADER (TYP.)

TOP OF WINDOW

STONE VENEER (TYP.)

FIN. GROUND FLOOR

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

TOP OF SLAB

RAILING AS
GRADE REQ'D.

OPTIONAL 30"x24" WINDOW

30"x16" STRUCT. FRAME
BASEMENT WINDOW (TYP.)

ALLOWABLE GLAZED OPENINGS 1142.96 sq. ft.
WALL AREA 1223 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 80 = 78.84 SQ. FT.
GLAZING PROVIDED 80 = 65.67 SQ. FT. (GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS = 68.55 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS WITH OPT. 2ND FLOOR PLAN
WALL AREA 1223 SQ. FT. 1142.96 sq. ft.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 80 = 78.84 SQ. FT.
GLAZING PROVIDED 80 = 74.23 SQ. FT. (GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS = 77.11 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site layout plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

PERIN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: 11/15/2020
This plan complies with the applicable Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

18			9				
17			8				
16			7				
15			6				
14			5				
13			4				
12			3	ISSUED FOR PERMIT	MAR 31/20	GW	
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW	
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 25/20	GW	
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualifications information
Richard Vink 24488 BCIN
name registration information
V3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of this work. Drawings are not to be scaled.

V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
v3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
Hamilton, ON.
date
JAN. 2020
drawn by
N.HUR
checked by
3/16" = 1'-0"
19014-MOUNTAINASH-04
19014-MOUNTAINASH-04
19014-MOUNTAINASH-04

MOUNTAINASH 4
13.5m
project no.
19014
drawing no.
A6a

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

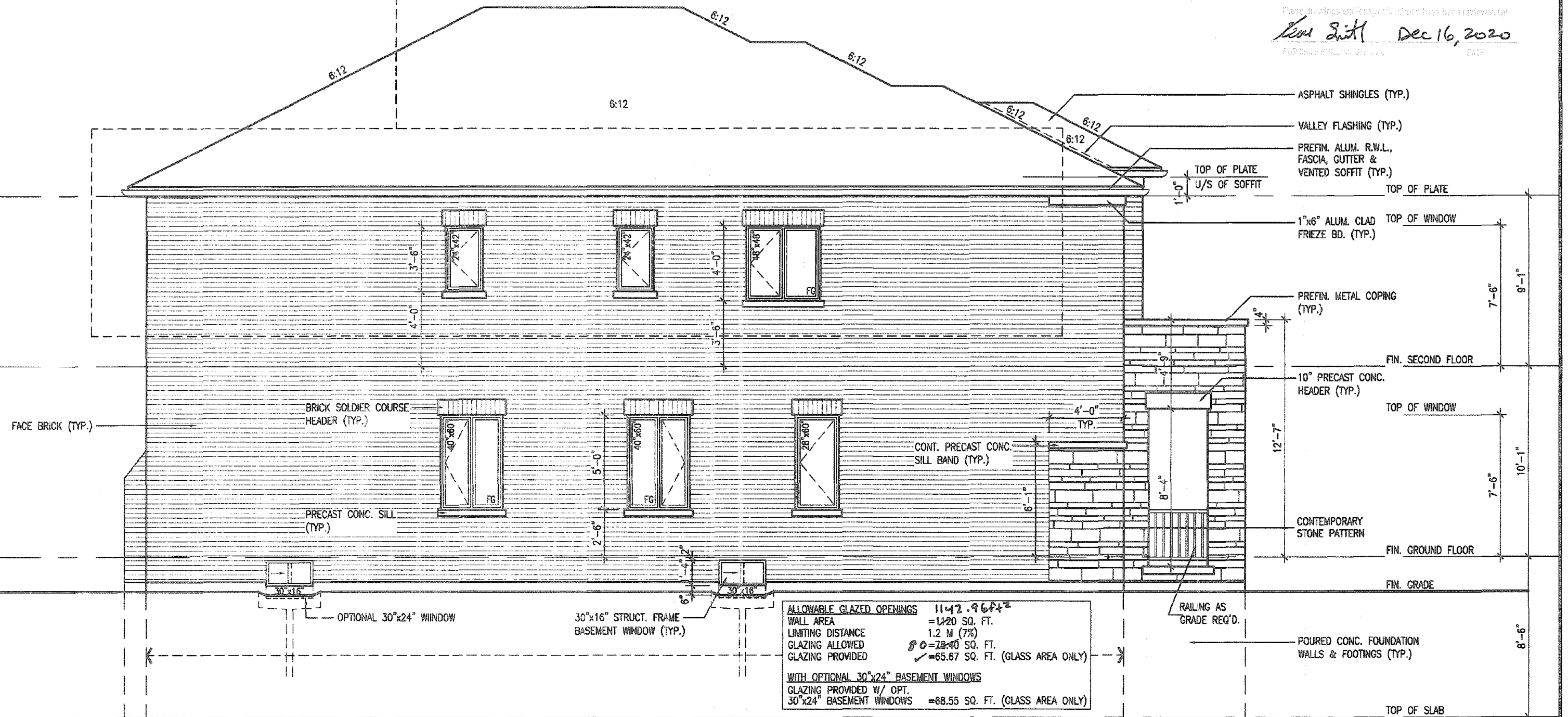
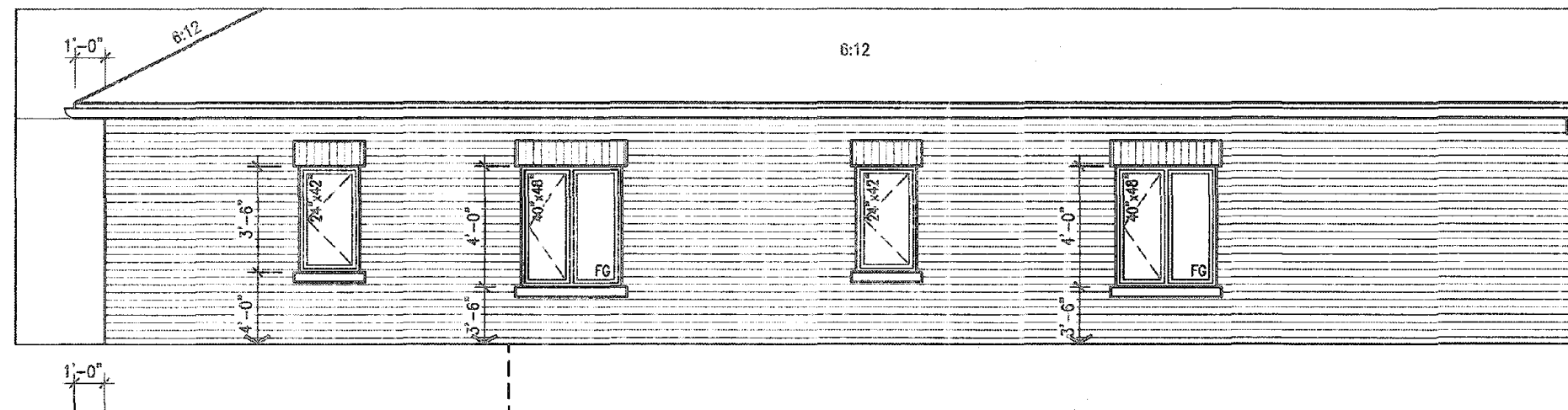
3 REC'D BY: _____ DATE _____
 (REF) TO: _____ DATE _____

CITY OF HAMILTON
Building Division

Parcel No. 20 - 187707

These findings and/or specifications have been reviewed by
Klaus Groll Dec 16, 2020
 FSA Chair/Executive Director FSAE

PARTIAL SIDE
ELEVATION '3'
W/ OPT. 2ND FL.
PLAN (5 BED)



LEFT SIDE ELEVATION - ELEV. '3'

ALLOWABLE GLAZED OPENINGS 1142.964²
WALL AREA = 1220 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 90 = 1220 SQ. FT.
GLAZING PROVIDED ✓ = 65.67 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 88.55 SQ. FT. (GLASS AREA ONLY)

<u>ALLOWABLE GLAZED OPENINGS WITH OPT. 2ND FLOOR PLAN</u>	
WALL AREA	= 1420 SQ. FT. 1142.96
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	80 = 38.40 SQ. FT.
GLAZING PROVIDED	✓ = 74.23 SQ. FT. (GLASS AREA ONLY)
<u>WITH OPTIONAL 30"x24" BASEMENT WINDOWS</u>	
GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	= 77.11 SQ. FT. (GLASS AREA ONLY)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting), plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: 8/13/2020
This is to certify that the work on account of [Name] is complete and correct.
[Signature]

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to a Designer.	
qualification information	
Richard Vink	244
name	
signature	
registration information	
VAS Design Inc.	426

VA3

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



MOUNTAINASH 4
13.5m

project name RUSSELL GARDENS PH. 3	city HAMILTON, ON.	project no. 19014
date JAN. 2020		drawing no. A6b
LEFT SIDE ELEVATION - ELEV. 3		
drawn by N.HUR	checked by 3/16" = 1'-0"	file name 19014-MOUNTAINASH-04
NAME: MOUNTAINASH C:\Users\paul\Documents\19014-MOUNTAINASH-04.dwg Date: Jan 2, 2020, 5:55 PM		

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All drawing specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3189 SF.

CITY OF HAMILTON
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER'S RESPONSIBILITY IS TO FULLY COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

Ken Smith Dec 16, 2020

FOR COMPLIANCE WITH THE CITY OF HAMILTON BUILDING CODE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Enforcement Department

NOV 15 2020

APPROVED BY: DATE: 11/11/2020
REVIEWED BY: DATE: 11/11/2020

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

TOP OF PLATE
U/S OF SOFFIT

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

RAILING AS
GRADE REQ'D.

FLUSH STL. BEAM
LOCATION

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

BRICK SOLDIER COURSE
HEADER (TYP.)

PRECAST CONC. SILL
(TYP.)

CONTI. DBL. PRECAST
CONC. SILL BANDS (TYP.)

STONE VENEER (TYP.)

STEPPED FOOTING (30)

ALLOWABLE GLAZED OPENINGS 1000 ft²
WALL AREA = 980 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 70 = 68.80 SQ. FT.
GLAZING PROVIDED 43.06 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 44.50 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS WITH OPT. 2ND FLOOR PLAN 1000 ft²
WALL AREA = 980 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 70 = 68.80 SQ. FT.
GLAZING PROVIDED 27.22 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 28.66 SQ. FT. (GLASS AREA ONLY)

PARTIAL SIDE
ELEVATION '2'
W/ OPT. 2ND FL.
PLAN (5 BED)

RIGHT SIDE ELEVATION - ELEV. '2'

MOUNTAINASH 4
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WALLINIS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED BY: [Signature]
DATE: SEP 22, 2020
THIS DRAWING IS FOR COMPLIANCE WITH THE REGULATORY DESIGN REQUIREMENTS ONLY AND DOES NOT CONSTITUTE A PROFESSIONAL ENGINEERING OR ARCHITECTURAL DESIGN.

18			3		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
0					

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
VAS Design Inc. 42658
registration information
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

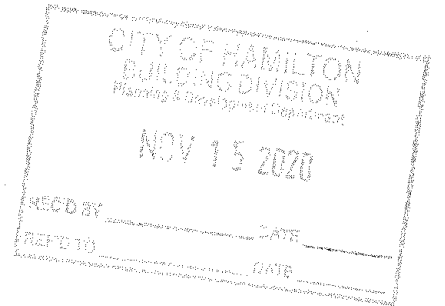
RUSSELL GARDENS PH. 3 HAMILTON, ON.

MOUNTAINASH 4
13.5m

project name
JAN. 2020
drawn by
N.HUR
checked by
3/16" = 1'-0"
19014-MOUNTAINASH-04
A7a

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PARTIAL REAR
ELEVATION '1'
W/ OPT. 2ND FL.
PLAN (5 BED)



CITY OF HAMILTON
Building Division

Permit No. 20-187707

These drawings and/or specifications have been reviewed by
Kenn Smith Dec 16, 2020
 FOR CHIEF ENGINEER DATE

— ASPHALT SHINGLES (TYP.)

— PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

TOP OF WINDOW

9'-1"

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

REAR ELEVATION - ELEV. '1'

MOUNTAINASH 4
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site plotting, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONCEPT REVIEW
AND APPROVAL

APPROVED BY: 
DATE: SEP 27, 2020

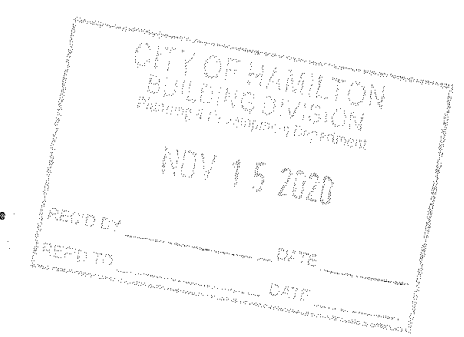
This stamp certifies compliance with the applicable
Design Guidelines only and does not confer
professional responsibility.

[illegible]

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3189 SF.

PARTIAL REAR
ELEVATION '2'
W/ OPT. 2ND FL.
PLAN (5 BED)



CITY OF HAMILTON
Building Division

Form No. 20-187767

THESE DRAWINGS HAVE BEEN REVIEWED BY THE CITY OF HAMILTON BUILDING DIVISION AND ARE IN COMPLIANCE WITH THE CITY OF HAMILTON BUILDING BY-LAW.

These drawings and/or specifications have been reviewed by
Ken Smith Dec 16, 2020
CITY OF HAMILTON BUILDING DIVISION



ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE
HEADER (TYP.)

PRECAST CONC. SILL
(TYP.)

FACE BRICK CAP
W/ FLASHING
FULL DEPTH

FACE BRICK (TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

REAR ELEVATION - ELEV. '2'

MOUNTAINASH 4
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site-noting plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONSULTING REVIEW
APPROVED BY: *[Signature]*
DATE: SEP 22, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional design services.

18		9			
17		8			
16		7			
15		6			
14		5			
13		4			
12		3	ISSUED FOR PERMIT.	MAR 31/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW
no	description	date	by	no	description

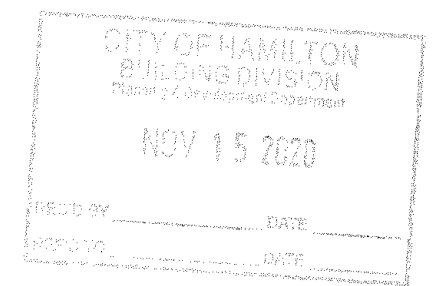
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name registration information
VAS Design Inc. 42658

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JAN. 2020
drawn by
N.HUR
checked by
3/16" = 1'-0"
18014-MOUNTAINASH-04

MOUNTAINASH 4
13.5m
project no.
19014
drawing no.
A8a

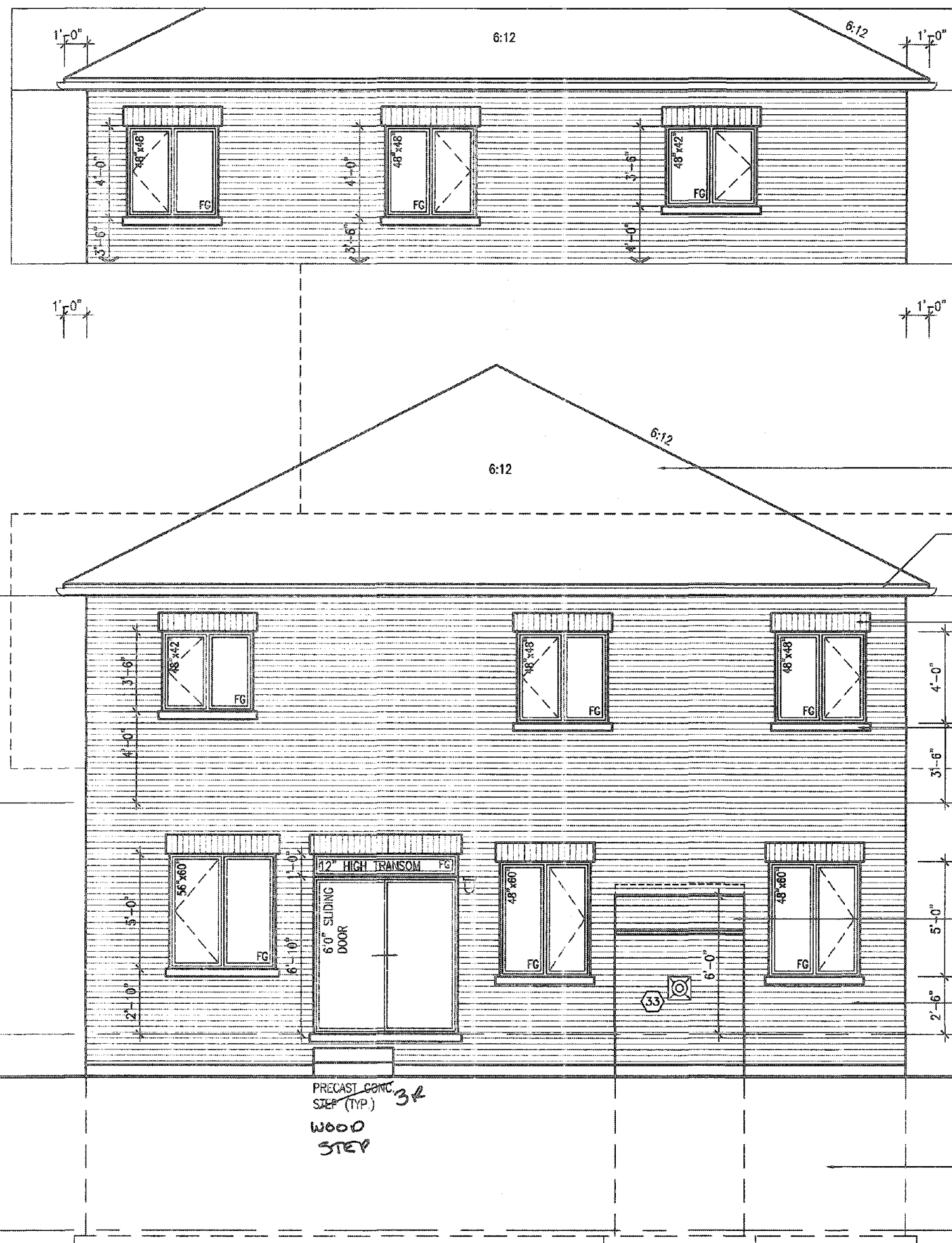
PARTIAL REAR
ELEVATION '3'
W/ OPT. 2ND FL.
PLAN (5 BED)



CITY OF HAMILTON
Building Division

Form No. 20-187707

These drawings, including all, have been reviewed by
Kenn Smith Dec 16, 2020
 FOR OFFICIAL USE ONLY DATE



REAR ELEVATION - ELEV. '3'

MOUNTAINASH 4
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

J. W. C. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL
 APPROVED BY _____
 DATE: SEP 21 2006
 This stamp certifies compliance with the applicable
 Ontario Building Code and is not a liability
 professional responsibility

18			9		The undersigned has reviewed and taken responsibility for this design and sees the qualifications and meets the requirements set out in the Ontario Building Code as to a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1T6 t 416.630.2255 f 416.630.4782 va3design.com	 Greenpark. project name RUSSELL GARDENS PH. 3 municipality HAMILTON, ON. drawing no. 19014	MOUNTAINASH 4 13.5m REAR ELEVATION - ELEV. 3 (file name) 19014-MOUNTAINASH-04 \$\$\$\$\$\$ MRZAHNPR - C:\Users\mrzahnpr\Desktop\19014-04\MOUNTAINASH-04.dwg - Dup. - Apr. 25, 2020 - 6:51 PM	A8b
17		8		qualification information					
16		7		Richard Vink	24488				
15		6		signature	BON				
14		5		name	42658				
13		4		registration information					
12		3	ISSUED FOR PERMIT.	MAR 31/20	GW				
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW				
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW				
no.	description	date	by	no.	description	date	by		

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CITY OF HAMMONT
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

RECD BY _____ DATE _____

LEFT TO _____ DATE _____

20-187707

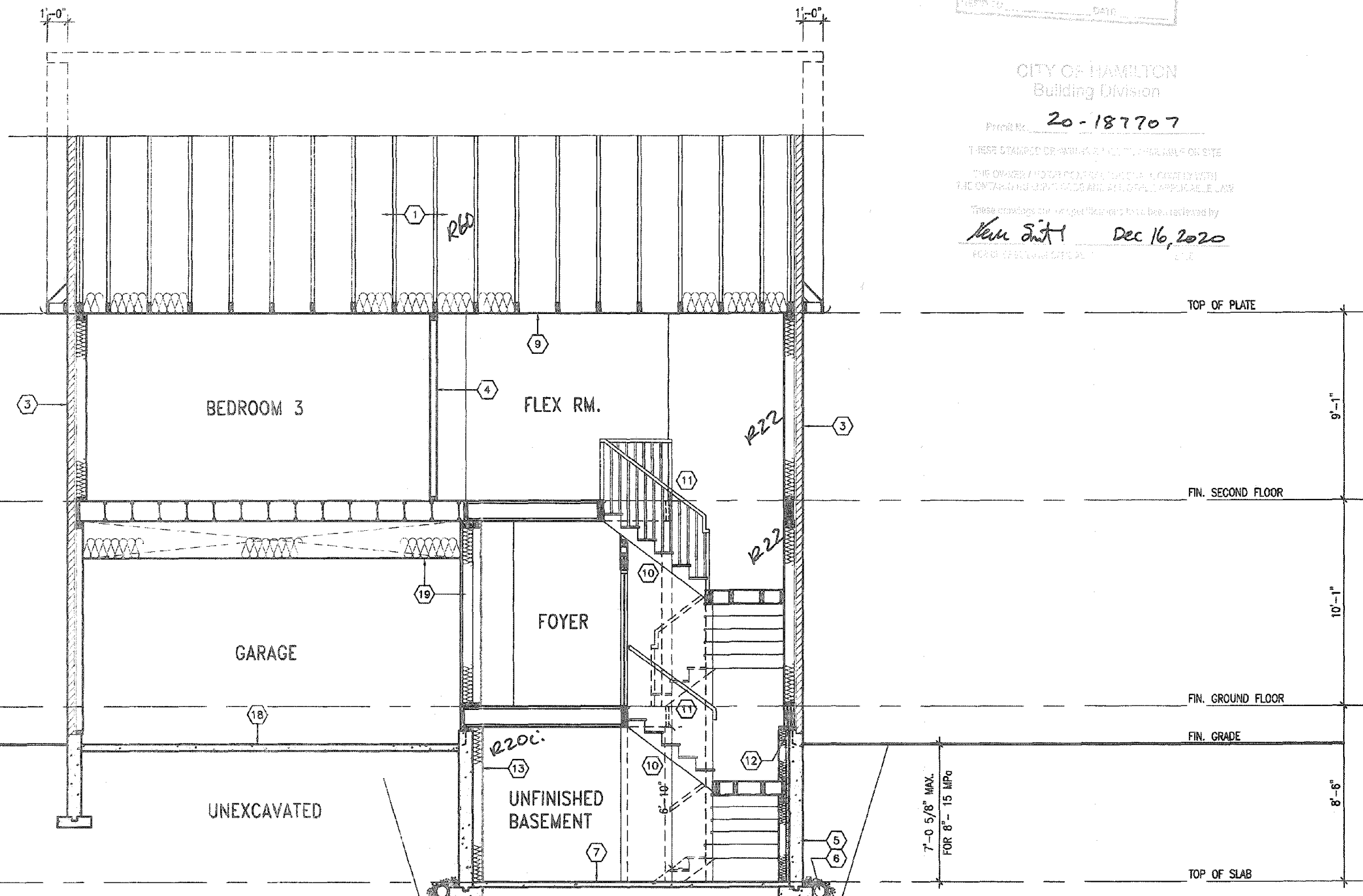
1. I HAVE STAMPED OR MARKED ALL THE INFORMATION ON SITE

THE OWNER UNDERSTANDS THAT I AM FAMILIAR WITH
THE UNPAID AND PAID CODES AND ALL OTHER APPLICABLE LAW

These findings are subject to our final review by

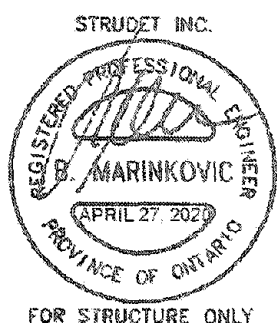
Karen Smith Dec 16, 2020

FOR OFFICIAL USE ONLY



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting), plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



FOR STRUCTURE ONLY

18			9		The undersigned has reviewed and takes responsibility for this design and how the qualifications and meet the requirements set out in the Ontario Building Code to be a Designer.	
17			8		qualification information	
16			7		Richard Vink	24489
15			6		<i>R Vink</i> signature	BCIN
14			5		name registration information	62858
13			4		VAS Design Inc.	
12			3	MAR 31/20	GW	ISSUED FOR PERMIT.
11			2	MAR 19/20	CW	UPDATED PER ENG & CLIENT COMMENTS.
10			1	JAN. 28/20	BW	PRELIMINARY ISSUED FOR CLIENT REVIEW.
9	no. description	date	by	no. description	date	by

VA3

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

**Greenpark.**

project name

RUSSELL GARDENS PH. 3

municipality

HAMILTON, ON.

project no.

19014

date

JAN. 2020

cross section

A-A - ELEV. 1

drawn by

M.HUR

checked by

3/16" = 1'-0"

file name

19014-MOUNTAINASH-04

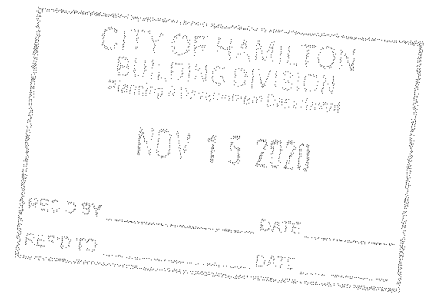
AHSUF MOHAMMED - C:\Users\greenpark\Desktop\19014-CROSS\PH. UNITS\19014-MOUNTAINASH-04.dwg

- Tue - Apr 21 2020 - 6:51 PM

A9

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3189 SF.

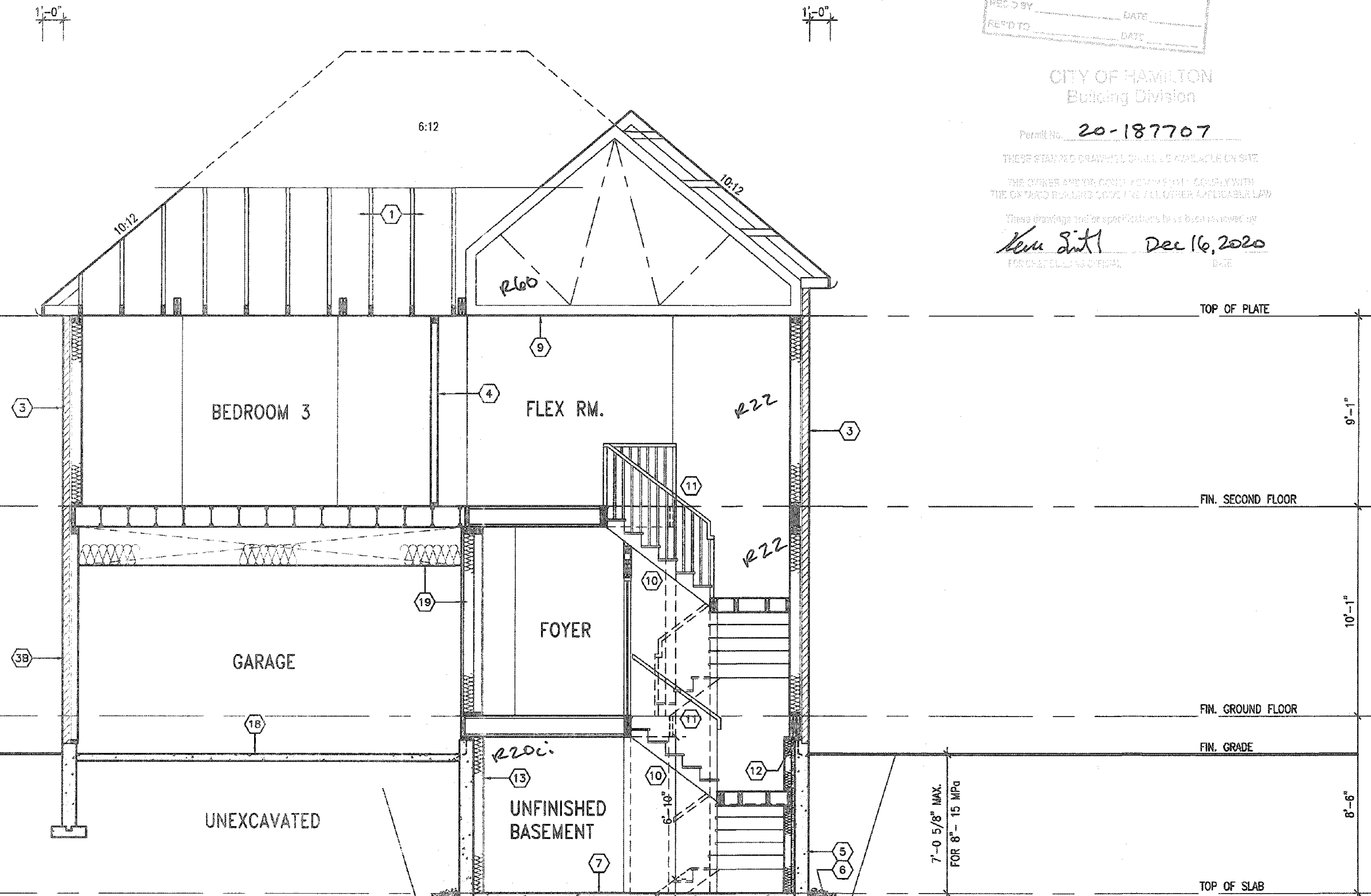


CITY OF HAMILTON
Building Division

Permit No. **20-187707**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND HIS CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE / ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by
Kem Sini Dec 16, 2020
FOR CLIENT'S USE ONLY

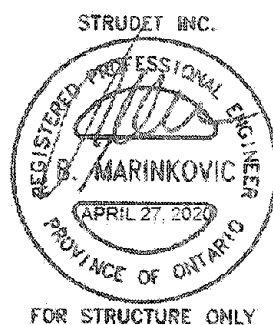


CROSS SECTION A-A - ELEV. '2'

MOUNTAINASH 4
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



FOR STRUCTURE ONLY

18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT.	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCO
42658
name
registration information
VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com



project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON.	project no.	19014
date	JAN. 2020	crossed by	3/16" = 1'-0"	drawing no.	A9a
drawn by	N.HUR	scale	3/16" = 1'-0"	19014-MOUNTAINASH-04	
ANNAF HOSANIEL - 255 Consumers Rd Suite 120 - TORONTO, ONTARIO M2J 1R4 - 416.630.2255 - 416.630.4782					

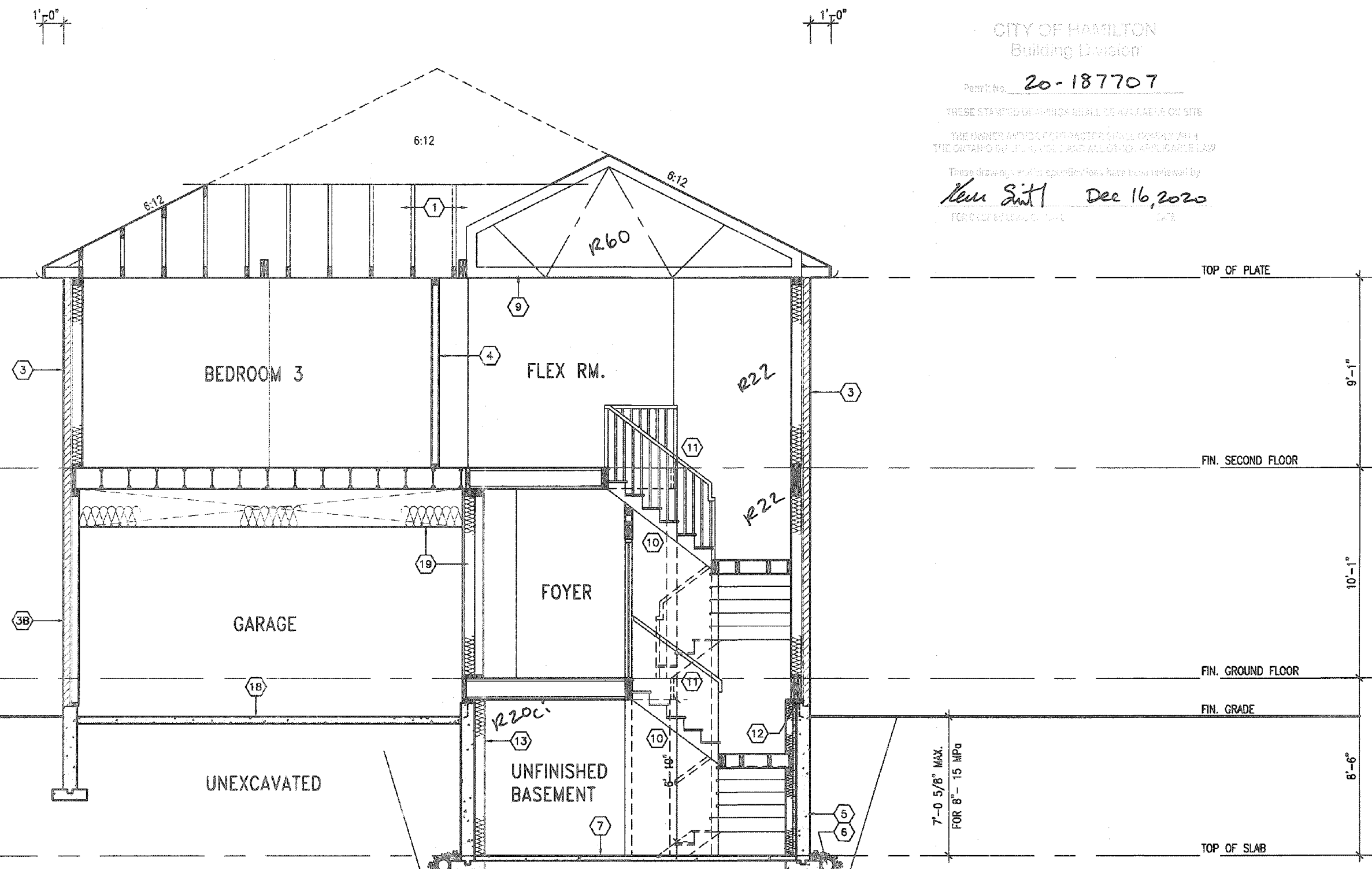
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

RECEIVED _____ DATE _____
BY _____ DATE _____

Form No. 20-187707

These drawings and/or specifications have been reviewed by
Kenn Smith Dec 16, 2020
 FOR CITE/RECORD DATE



MOUNTAINASH 4

COMPLIANCE PACKAGE 'A1'

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

APRIL 27, 2020

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

18				9			The undersigned has reviewed and taken responsibility for this design and has the specifications and made the requirements set out in Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink 24
14				5			name signature
13				4			registration information
12				3	ISSUED FOR PERMIT.	MAR 31/20 GW	VAS Design Inc. 421
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW	
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW	
no.	description	date	by	no.	description	date	by

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



project name	municipality		project no.
RUSSELL GARDENS PH. 3	HAMILTON, ON.		19014
date	CROSS SECTION A-A - ELEV. 3		drawing no.
JAN. 2020			A9b
drawn by	checked by	made	file name
N.H.R.		3/18" = 1'-0"	19014-MOUNTAINASH-04
NSR#414072AM001 - C:\Users\chris\Documents\19014 - CROSS SECTION\19014-MOUNTAINASH-04.dwg - Tue - Apr 21 2020 - 6:54 PM			

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3189 SF.

REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

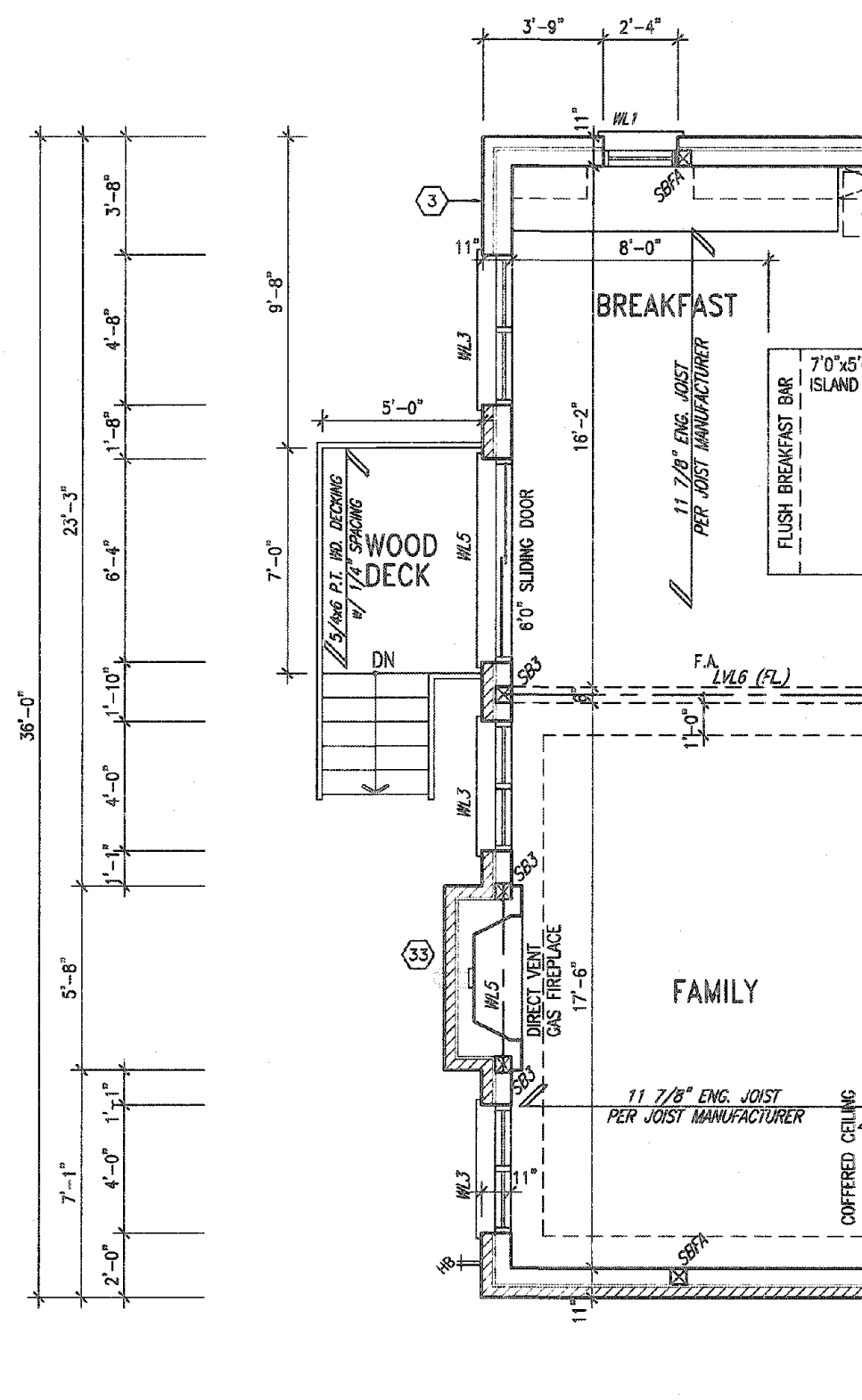
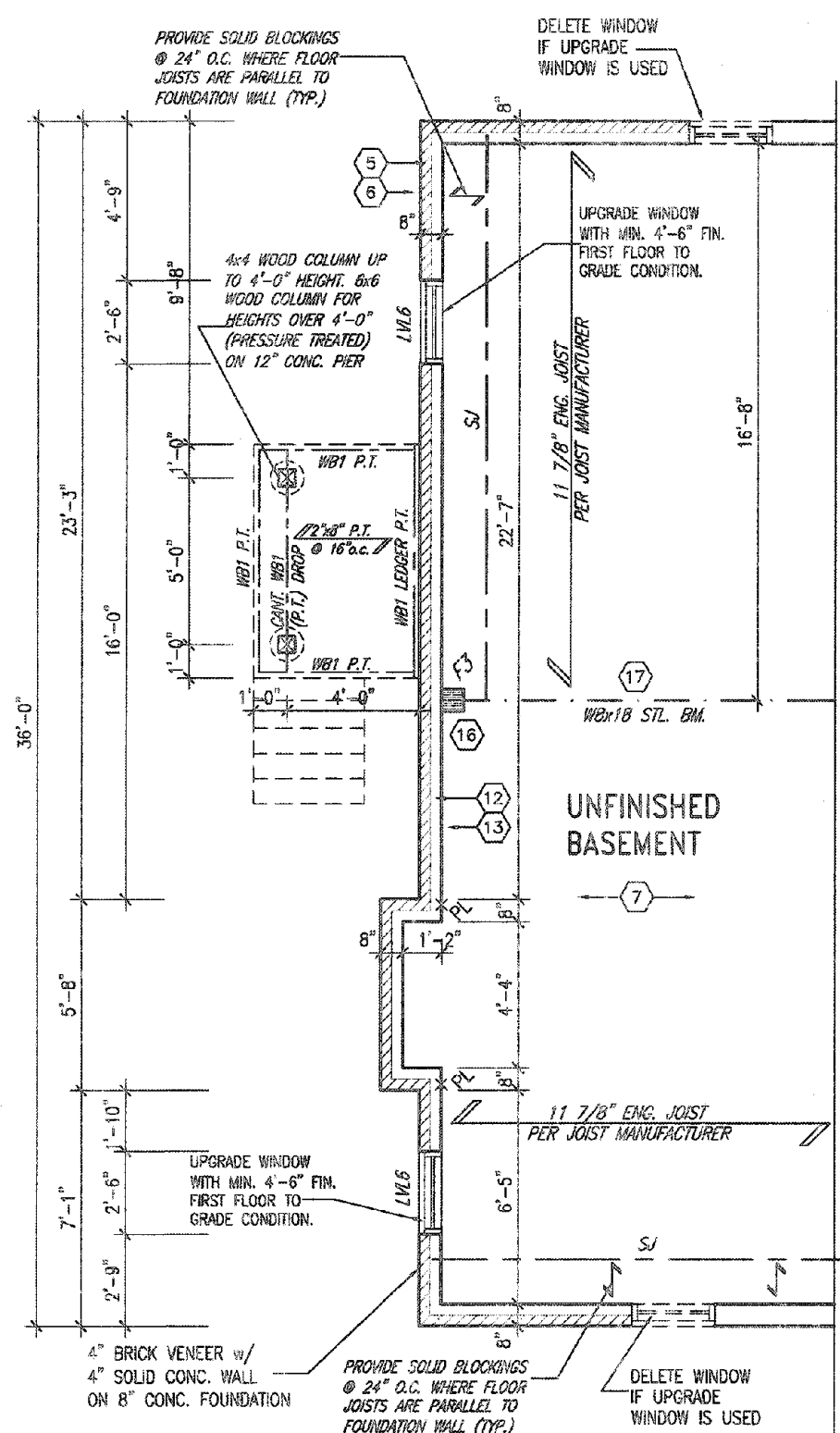
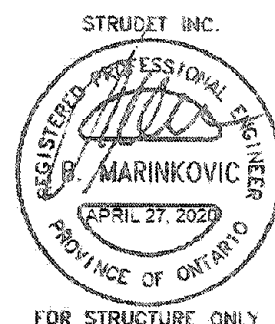
BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

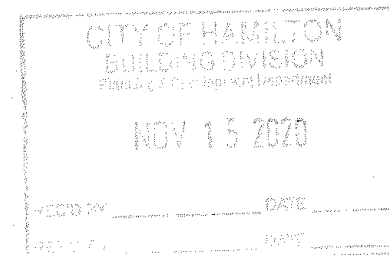
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 16, 2020
The owner certifies compliance with the applicable Architectural Guidelines and assumes full responsibility.



PARTIAL BASEMENT PLAN - DECK NOT REQUIRED
PARTIAL GROUND FLOOR PLAN
DECK CONDITION



CITY OF HAMILTON
Building Division

Permit No. 20-187707

THESE STAMPED COPIES ARE VALID FOR USE ON SITE.
THESE COPIES ARE NOT VALID FOR USE FOR ANY OTHER PURPOSES.
THESE COPIES ARE NOT VALID FOR USE FOR ANY OTHER PURPOSES.

These drawings and specifications have been reviewed by:
[Signature] Dec 16, 2020
FOR THE CITY OF HAMILTON

MOUNTAINASH 4

COMPLIANCE PACKAGE 'A1'

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1	no. description date by	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18	date by	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18	date by	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18
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The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488 BCN
signature
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
checked by
N.HUR
scale
3/16" = 1'-0"

MOUNTAINASH 4
13.5m
project no.
19014
drawing no.
A10
PARTIAL PLANS - DECK CONDITION
19014-MOUNTAINASH-04
JAN. 2020
drawn by
N.HUR
date
JAN. 2020
checked by
N.HUR
scale
3/16" = 1'-0"

PARTIAL REAR
ELEVATION '1'
W/ OPT. 2ND FL.
PLAN (5 BED)

CITY OF HAMILTON
Building Division

These drawings and descriptions have been reviewed by
Kene Smith Dec 16, 2020

— PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

— PRECAST CONC. SILL
(TYP.)

— FACE BRICK (TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN. —
4'-6" FIN. FIRST FLOOR TO
GRADE CONDITION.

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT. 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED)
ON 12" CONC. PIER

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

REAR ELEVATION '1'
DECK CONDITION

DECK NOT REQUIRED

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY [Signature]
DATE 2/21/2021
The stamp certifies compliance with the approval
Design Classification unit and location history
professional responsible by

18			9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8				
16			7				qualification information
15			6				Richard Vink
14			5				name
13			4				signature
12			3				registration information
11			2				VAS Design Inc.
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24

name

signature

registration information

V&S Design Inc. 42

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be scaled.



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4788
va3design.com

Greenpark

project name	municipality
RUSSELL GARDENS PH. 3	HAMILTON, ON

date	JAN. 2020	
drawn by	checked by	scale
N.HUR	.	3/16" = 1'-0"

MOUNTAINASH 4
13.5m

REAR ELEV. 1- DECK CONDITION

12014-MOUNTAINASH-04

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A11

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3189 SF.

PARTIAL REAR
ELEVATION '2'
W/ OPT. 2ND FL.
PLAN (5 BED)

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 15 2020
PROJECT NO. _____ DATE _____
DRAWN BY _____ CHECKED BY _____

CITY OF HAMILTON
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS ARE VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.
THE OWNER AND CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING ACT AND ALL APPLICABLE LAWS.

These drawings were prepared by the following person(s) reviewed by:
Ken Smith Dec 16, 2020
FOR THE CITY OF HAMILTON DATE



ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE
HEADER (TYP.)

PRECAST CONC. SILL
(TYP.)

FACE BRICK CAP
W/ FLASHING
FULL DEPTH

FACE BRICK (TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN.
4'-6" FIN. FIRST FLOOR TO
GRADE CONDITION.

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT, 6x6 WOOD
COLUMN FOR HEIGHTS OVER
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FINISHED GRADE.

DECK NOT REQUIRED
**REAR ELEVATION '2'-
DECK CONDITION**

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: DEC 21, 2020
The owner certifies compliance with the applicable
Design Guidelines and any other relevant
professional responsibilities.

18			9				
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12			3	ISSUED FOR PERMIT.	MAR 31/20	GW	
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW	
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW	
no	description	date	by	no	description	date	by

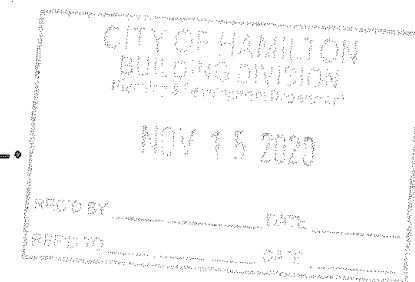
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
name registration information
VAS Design Inc.
24488
BCM
42658
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**VAS
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 416.630.4782
vasdesign.com

Greenpark.		MOUNTAINASH 4 13.5m	
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON.	project no. 19014	
date JAN. 2020	drawn by N.HUR	scale 3/16" = 1'-0"	title name REAR ELEV. 2- DECK CONDITION
drawing no. A11a		file name 19014-MOUNTAINASH-04	

3189 SF.

PARTIAL REAR
ELEVATION '3'
W/ OPT. 2ND FL.
PLAN (5 BED)

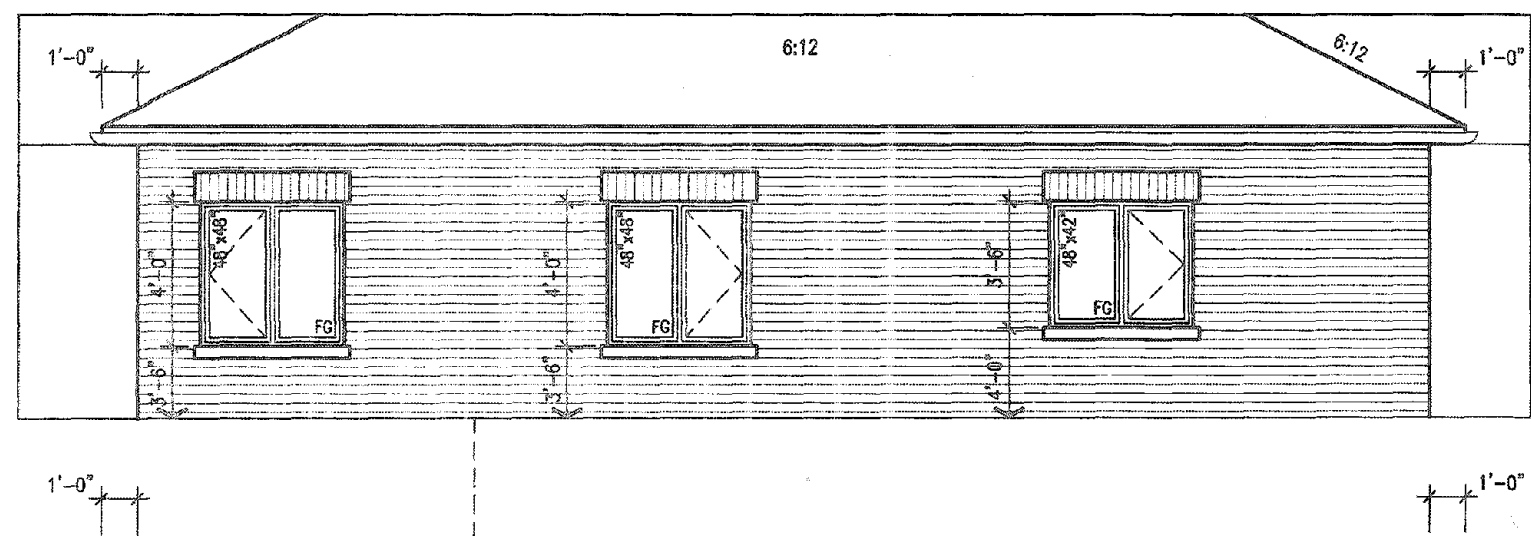


CITY OF HAMILTON
Building Division

Permit No. 26-187707

THESE DRAWINGS AND/OR SPECIFICATIONS SHALL BE AVAILABLE FOR REVIEW
AT THE OFFICE OF THE BUILDING DIVISION, CITY OF HAMILTON, 100 KING ST. W., 4TH FLOOR, HAMILTON, ONT. L8N 3K4

These drawings and/or specifications have been reviewed by
Ken Smith Dec 16, 2020
FOR DESIGN REVIEW ONLY



ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE
HEADER (TYP.)

PRECAST CONC. SILL
(TYP.)

FACE BRICK CAP
W/ FLASHING
FULL DEPTH

FACE BRICK (TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN.
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FINISHED GRADE.

DECK NOT REQUIRED

REAR ELEVATION '3'-
DECK CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: 02/21/2020
This stamp certifies compliance with the applicable
Design Guidelines only and does not constitute
an engineering or structural review.

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12				3	ISSUED FOR PERMIT.	MAR 31/20	GW		
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW		
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW		
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and taken responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VAS Design Inc. 42658

**VAS
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 | 416.630.4782
vasdesign.com

project name
RUSSELL GARDENS PH. 3

date
JAN. 2020

drawn by
M.HUR

checked by
3/16" = 1'-0"

project no.
19014

municipality
HAMILTON, ON.

drawing no.
A11b

19014-MOUNTAINASH-04

MOUNTAINASH 4
13.5m

REAR ELEV. 3- DECK CONDITION