

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (18 psi) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL **90 KPa ENGINEERED FILL SOIL**
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3'-1 1/2" x 3'-1 1/2" x 1/4" (80x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4' x 3'-1 1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5' x 3'-1 1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6' x 3'-1 1/2" x 5/16" (150x90x8.0L) + 2-2"x12" SPR. No.2
WL5 = 6' x 4' x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5' x 3'-1 1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5' x 3'-1 1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5' x 3'-1 1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6' x 4' x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x285) SPR. No.2
WB6 = 3-2"x12" (3-38x285) SPR. No.2
WB7 = 4-2"x12" (4-38x285) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x285) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

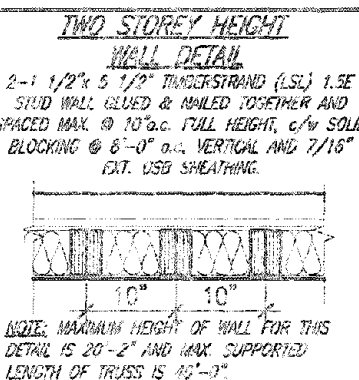
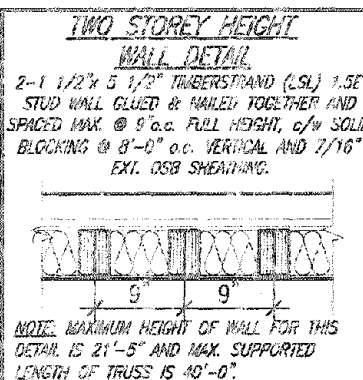
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3'-1 1/2" x 3'-1 1/2" x 1/4" (90x90x6.0L)
L2 = 4' x 3'-1 1/2" x 5/16" (100x90x8.0L)
L3 = 5' x 3'-1 1/2" x 5/16" (125x90x8.0L)
L4 = 6' x 3'-1 1/2" x 5/16" (150x90x8.0L)
L5 = 6' x 4' x 3/8" (150x100x10.0L)
L6 = 7' x 4' x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" TO CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-6"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-6"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR



UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	786.36 S.F.	147.45 S.F.	18.75 %
LEFT SIDE	1194.75 S.F.	89.17 S.F.	7.48 %
RIGHT SIDE	1162.00 S.F.	66.33 S.F.	5.71 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3899.11 S.F.	436.44 S.F.	11.24 %
TOTAL SQ. M.	362.24 S.M.	40.73 S.M.	11.24 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	786.36 S.F.	147.45 S.F.	18.75 %
LEFT SIDE	1194.75 S.F.	89.17 S.F.	7.48 %
RIGHT SIDE	1162.00 S.F.	66.33 S.F.	5.71 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3899.11 S.F.	436.44 S.F.	11.24 %
TOTAL SQ. M.	362.24 S.M.	40.73 S.M.	11.24 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	786.25 S.F.	137.46 S.F.	17.48 %
LEFT SIDE	1194.75 S.F.	89.17 S.F.	7.48 %
RIGHT SIDE	1162.00 S.F.	66.33 S.F.	5.71 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3899.00 S.F.	422.45 S.F.	10.81 %
TOTAL SQ. M.	362.23 S.M.	39.15 S.M.	10.81 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	774.50 S.F.	165.36 S.F.	21.35 %
LEFT SIDE	1194.75 S.F.	89.17 S.F.	7.48 %
RIGHT SIDE	1162.00 S.F.	66.33 S.F.	5.71 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3887.25 S.F.	477.35 S.F.	12.28 %
TOTAL SQ. M.	361.13 S.M.	44.35 S.M.	12.28 %

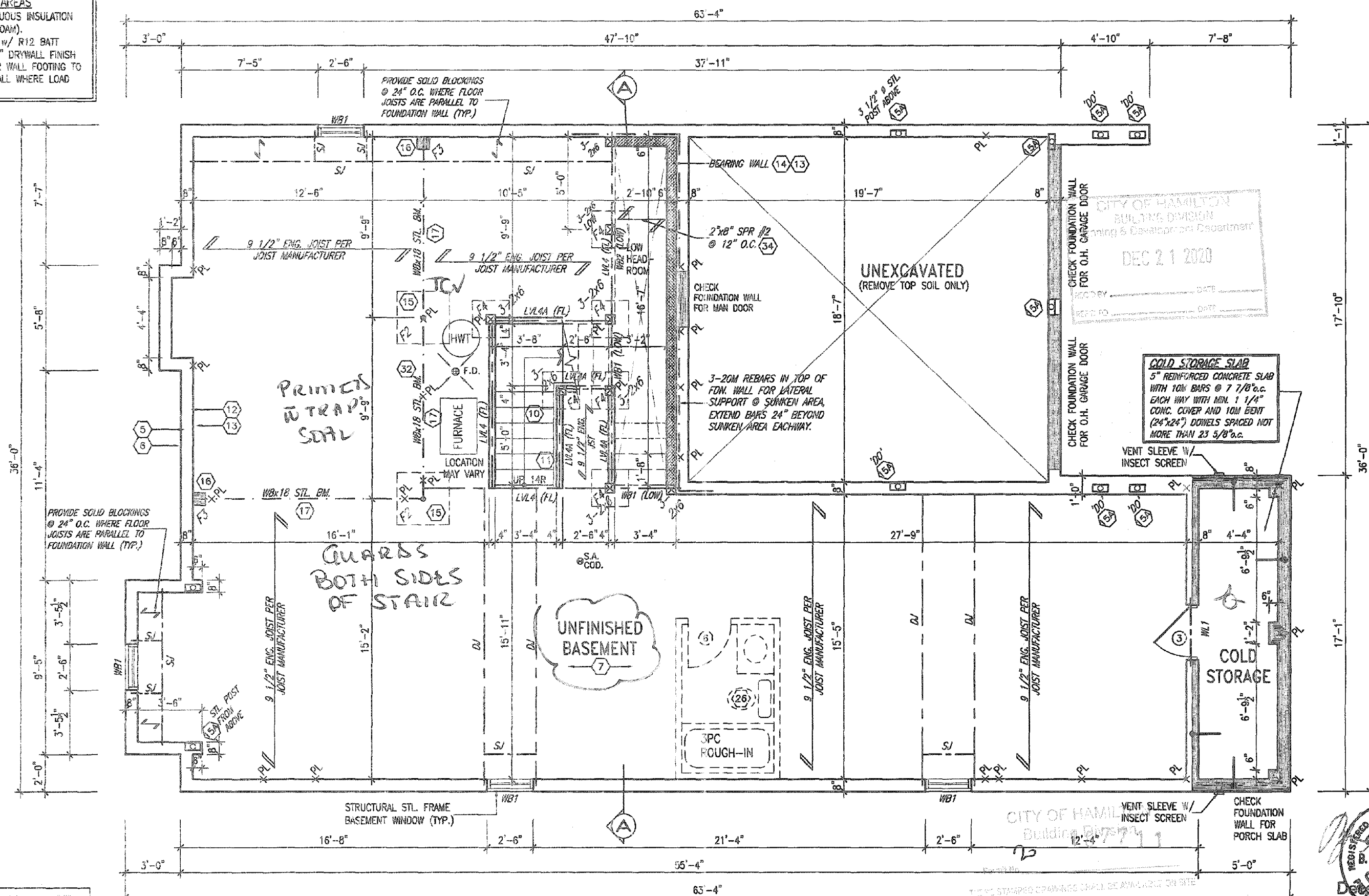
NOS.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
12				8			
13				9			
14				10			
15				11			
16				12			
17				13			
18				14			
19				15			
20				16			
21				17			
22				18			
23				19			
24				20			
25				21			
26				22			
27				23			
28				24			
29				25			
30				26			
31				27			
32				28			
33				29			
34				30			
35				31			
36				32			
37				33			
38				34			
39				35			
40				36			
41				37			
42				38			
43				39			
44				40			
45				41			
46				42			
47				43			
48				44			
49				45			
50				46			
51				47			
52				48			
53				49			
54				50			
55				51			
56				52			
57				53			
58				54			
59				55			
60				56			
61				57			
62				58			
63				59			
64				60			
65				61			
66				62			
67				63			
68				64			
69				65			
70				66			
71				67			
72				68			
73				69			
74				70			
75				71			
76				72			
77				73			
78				74			
79				75			
80				76			
81				77			
82				78			
83				79			
84				80			
85				81			
86				82			
87				83			
88				84			
89				85			
90				86			
91				87			
92				88			
93				89			
94				90			
95				91			
96				92			
97				93			
98				94			
99				95			
100				96			
101				97			
102				98			
103				99			
104				100			
105				101			
106				102			
107				103			
108				104			
109				105			
110				106			
111				107			
112				108			
113				109			
114				110			
115				111			
116				112			
117				113			
118				114			
119				115			
120				116			
121				117			
122				118			
123				119			
124				120			
125				121			
126				122			
127				123			
128				124			
129				125			
130				126			
131				127			
132				128			
133				129			
134				130			
135				131			
136				132			
137				133			
138				134			
139				135			
140				136			
141				137			
142				138			
143				139			
144				140			
145				141			
146				142			
147				143			
148				144			
149				145			
150				146			
151				147			
152				148			
153				149			
154				150			
155				151			
156				152			
157				153			
158				154			
159				155			
160				156			
161				157			
162				158			
163				159			
164				160			
165				161			
166				162			
167				163			
168				164			
169				165			
170				166			
171				167			
172				168			
173				169			
174				170			
175				171			

BASEMENT WALL INSULATION

(TYP) (13)
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**

-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING



BASEMENT PLAN - ELEV. '15

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting), plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL:

APPROVED BY _____
DATE 04/14/2014

This design conforms current state and fire department
design standards only and does not further
guarantee or ensure reliability.

18				9		
17				8		
16				7		
15				6		
14				5	REAR BOX RAY REVISED PER CLIENT	DEC. 11/20
13				4	STAIRWAY WIDTH CORRECTED	AUG. 05/20
12				3	ISSUED FOR PERMIT	APR 13/20
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20
9	no. description	date	by	no. description	date	

The undersigned has reviewed and takes responsibility for this design and lists the qualifications and meets the requirements set out in the General Building Code to be a Designer.

qualification information

Richard Wink 2448

name signature 80

qualification information

VAS Design Inc. 4268

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the service. Drawings are not to be copied.

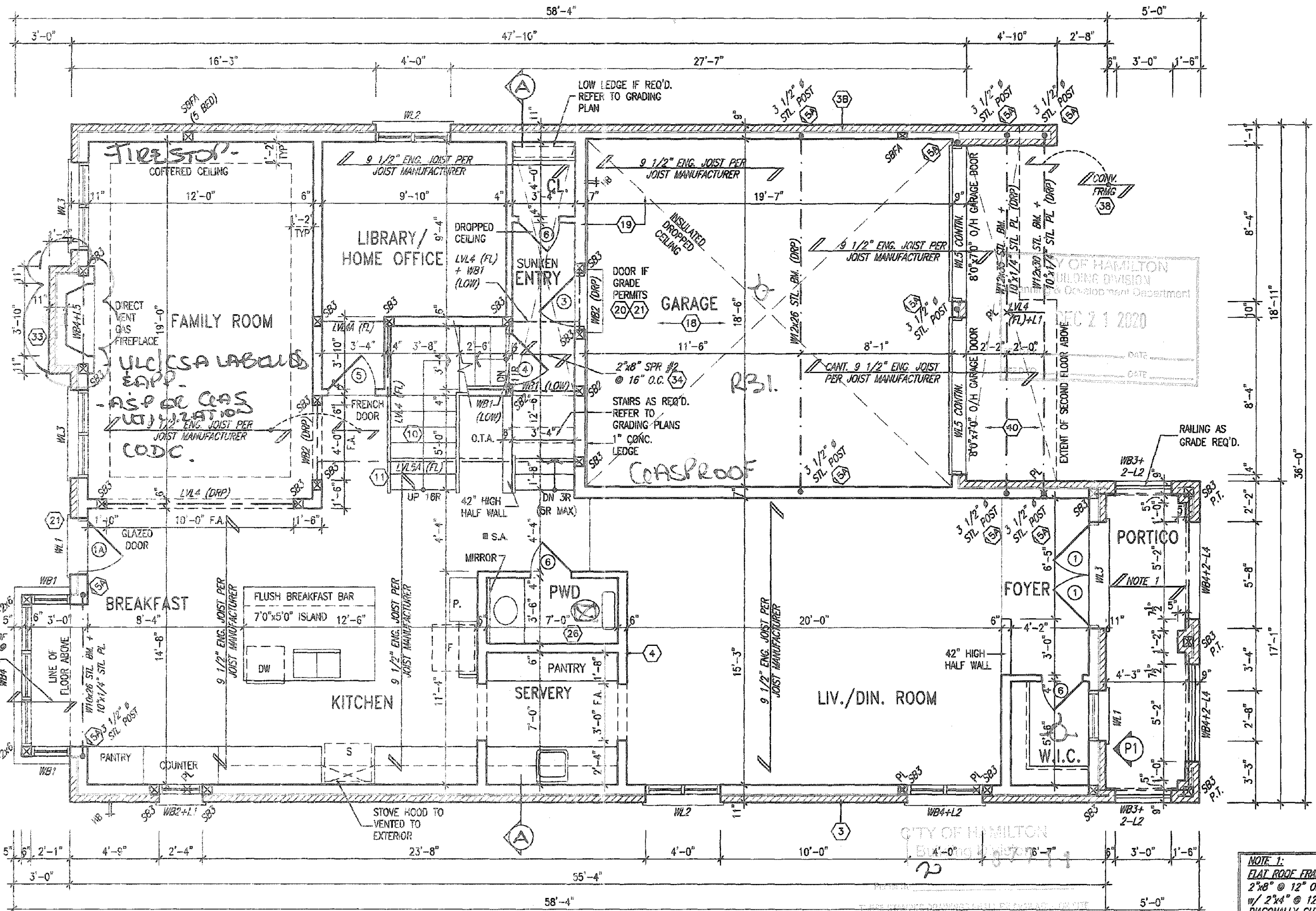
**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.830.2255 f 416.830.478
vo3design.com

	
project name RUSSELL GARDENS PH. 3	
date JAN 2020	
drawn by BD.BM	checked by -
03/10 - 03/10 ARCHITECT WORKING 2015 12/15 2014 03/10 03/10 03/10	

Greenpark™

MOUNTAINASH 6		13.5m	project no.
MILTON, ONTARIO			19014
BASEMENT PLAN - ELEV. '91'		file name	drawing no.
19014-MOUNTAINASH-06			A1
2020 - 11:45 AM			

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



GROUND FLOOR PLAN - ELEV. '1'

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC, DIV. B- TABLE 6.2.3.12.

- * KITCHEN EXHAUST. 3.0m
- * DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- * SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2326.dwg

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
W/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
W/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

REGISTERED PROFESSIONAL ENGINEER
E. MARINKOVIC
October 19, 2020
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY [Signature]

DATE DEC. 1982

This stamp certifies compliance with the mandatory
Design Guidelines and indicates that the
professional responsible

18				9			
17				8			
16				7			
15				6			
14				5	PEAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 09/20	GW
12				3	ISSUED FOR PERMIT.	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no. description date by				no. description date by			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Estimate/Change Order to be a Designer.	
qualification information	
Richard Vink	24488
name	signature
registration information	BCIN
VAS Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancies to Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawn by BD.BIM		drawing no. A2	
checked by -		BASEMENT PLAN - ELEV. 1	
scale 3/16" = 1'-0"		file name 19014-MOUNTAINASH-06	
0614 - H:\400-NEW\400-2019\19014 GREENPARK\SINGLES\441 MOUNTAINASH\19014-MOUNTAINASH-06.dwg - Fri - Dec 11 2020 - 11:45 AM			

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER DBC, DIV. 8-9.5.2.1.
REFER TO FOLLOWING SECTIONS FOR THE FINITURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GS-101E-2020.dwg

GB-NOTE-2020.dwg



STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site plotting, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED TO: [Signature]
DATE: DEC 11 2003

This stamp denotes compliance with the American
Overseas Disability Act and is not to be
processed manually.

SECOND FLOOR PLAN - ELEV. '1'

MAIN BATH

CONFIRMING FOR
FUTURE CRAB
BAR.

MOUNTAINASH 6

COMPLIANCE PACKAGE 'A1'

18			9		
17			8		
16			7		
15			6		
14			5	FEAR BOX BAY REVISED PER CLIENT.	DEC. 11/20 GW
13			4	STARWAY WIDTH CORRECTED.	AUG. 06/20 GW
12			3	ISSUED FOR PERMIT	APR 13/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24
name signature
registration information

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



Greenpark.

project name
RUSSELL GARDENS PH. 3

date JAN 2020	drawn by BD.BIM	checked by -	scale 3/16" = 1'-0"
CRG - HAVASCH, WORKING 2019.10.14 CRG UNITS 51 INCHES 44" MOUNTAIN			

MOUNTAINASH 6
13.5m

municipality
HAMILTON, ONTARIO

SECOND FLOOR PLAN - ELEV. '1'

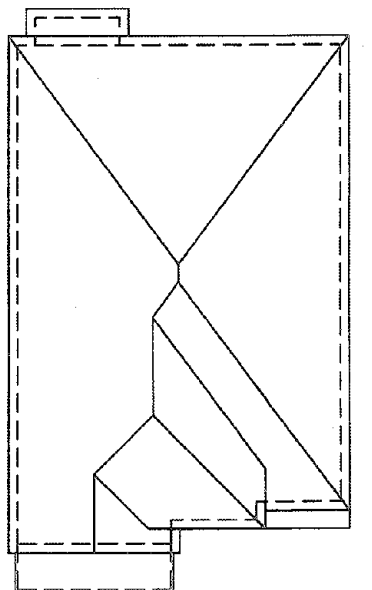
9014-MOUNTAINASH-06

All drawings specifications, related documents and design are the copyright property of V43 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V43 DESIGN's written permission.

3409 SF.



PORTICO INTERIOR
ELEVATION P1



ROOF PLAN-1

ASPHALT SHINGLES (TYP.)

BRICK DECORATIVE
ELEMENT (6x4"x10")

12" RAISED CEILING

BRICK SOLDIER ON
BRICK STACK (TYP.)

CONTIN. PRECAST CONC.
SILL OVER BRICK
SOLDIER BAND (TYP.)

FACE BRICK (TYP.)

PRECAST SILL ON
BRICK ROWLOCK (TYP.)

20" HIGH DECORATIVE
RAILING (TYP.)

PREFIN. METAL
COPING ON 4"
PRECAST BAND

CONTINUOUS PRECAST
BAND ON BRICK
SOLDIER (TYP.)

RAILING AS GRADE REQ'D.

POURED CONC. PORCH
SLAB AND DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

VALLEY FLASHING
(TYP.)

MID-POINT MAIN ROOF

28" RAISED CEILING

BRICK SOLDIER ARCH ON
BRICK STACK

PREFIN. ALUM. F.W.L.,
FASCIA, GUTTER & VENTED
SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

BRICK SOLDIER (TYP.)

CITY OF HAMILTON
Building Division

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

FRONT ELEVATION - ELEV. '1'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
W/ MASONRY INSERTS WHERE
GRADE REQUIRES.

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: DEC 11, 2020

This stamp certifies compliance with the guidelines. Designers/contractors may not undertake further professional responsibility.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 09/20	GW
12				3	ISSUED FOR PERMIT.	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW

The undersigned has reviewed and takes responsibility for this design and into the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
BCIN
signature
VAS Design Inc. 42658
BCIN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

HAMILTON, ONTARIO

MOUNTAINASH 6
13.5m

project no.
19014

date
JAN 2020

drawn by
BD.BIM

checked by

scale
3/16" = 1'-0"

FRONT ELEVATION - ELEV. '1'

file name
18014-MOUNTAINASH-06

drawing no.
A5

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3409 SF.

PART LEFT SIDE ELEVATION - ELEV '1' (5 BED)

6"x8" ALUM. CLAD
FRIEZE BD. (TYP.)

9'-0"
U/S OF SOFFIT
5'-0"
2'-10"

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

ASPHALT SHINGLES
(TYP.)

BRICK SOLDIER
(TYP.)

FACE BRICK (TYP.)

PRECAST CONC.
SILL (TYP.)

30"x16" STRUCT. FRAME
BASEMENT WINDOW (TYP.)

RAILING AS
GRADE REQ'D.

20" HIGH DECORATIVE
RAILING (TYP.)
PREFIN. METAL
COPING ON 4"
PRECAST BAND

FIN. SECOND FLOOR

SCUPPER

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

LEFT SIDE ELEVATION - ELEV '1'

ALLOWABLE GLAZED OPENINGS
WALL AREA
LIMITING DISTANCE
GLAZING ALLOWED
GLAZING PROVIDED
GLAZING PROVIDED
=1194.75 SQ. FT. (INCLUDES
GRADE)
=83.63 SQ. FT.
=75.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
=81.18 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS
30"x24" BASEMENT WINDOWS
=78.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
=83.30 SQ. FT. (GLASS AREA ONLY) - 5 BED

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 11, 2020
This stamp certifies compliance with the Architectural Guidelines only and does not constitute a building permit or other regulatory approval.

18		9			
17		8			
16		7			
15		6			
14		5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT.	APR 13/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
0					

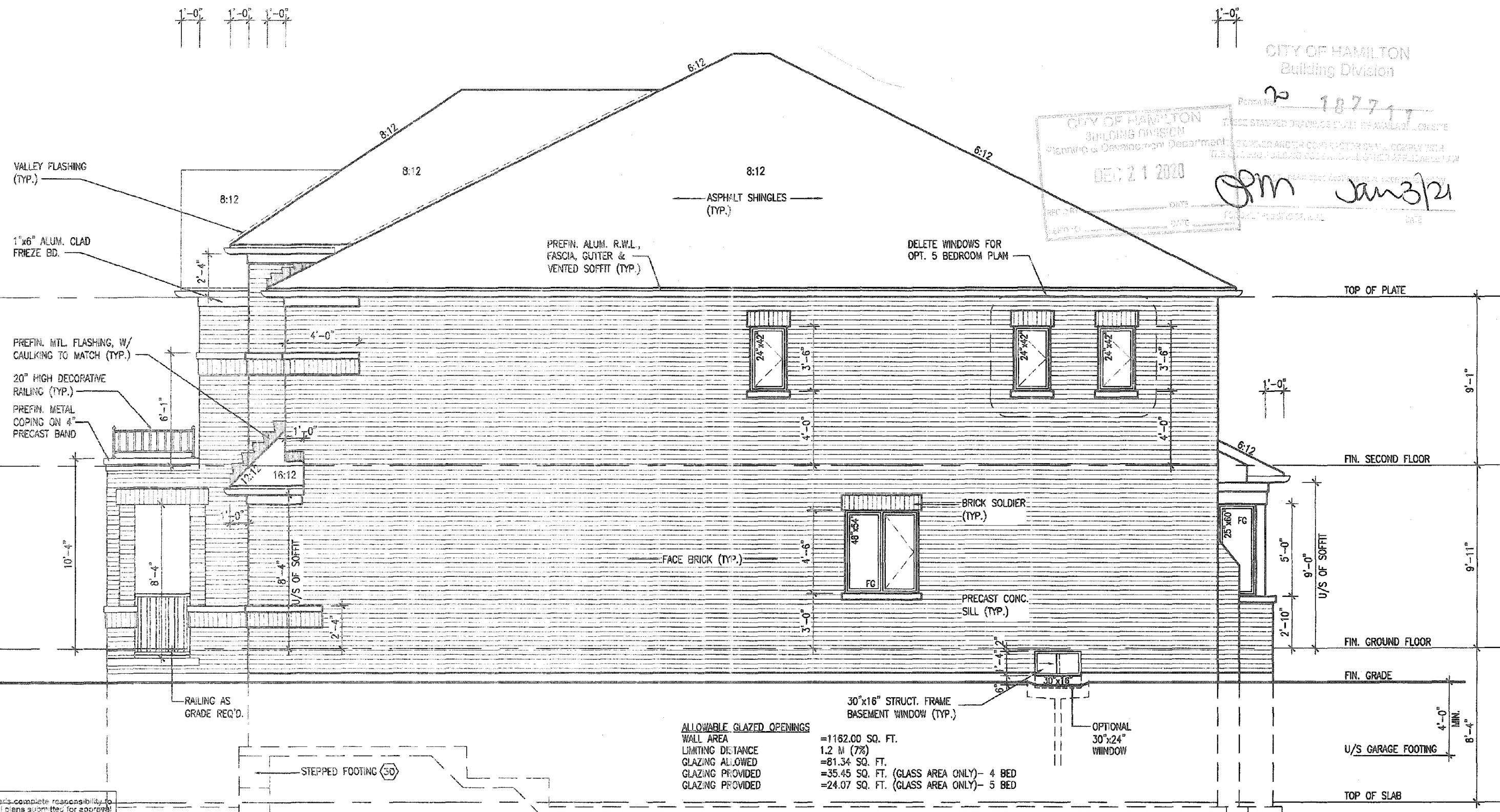
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Richard Vink 24486
name
registration information
VA3 Design Inc. 42858
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		manipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawn by BD.BIM		drawing no. A6	
checked by 3/16" = 1'-0"		LEFT SIDE ELEVATION - ELEV '1' STD & OPT. 5 BED	
scale		19014-MOUNTAINASH-06	
DATE - 11/20/2020 11:45 AM			

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3409 SF.



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 21 2020
187717
JAN 3/21

ALLOWABLE GLAZED OPENINGS
WALL AREA = 1162.00 SQ. FT.
LIMITING DISTANCE = 1.2 M (7%)
GLAZING ALLOWED = 81.34 SQ. FT.
GLAZING PROVIDED = 35.45 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED = 24.07 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 36.51 SQ. FT. (GLASS AREA ONLY) - 4 BED
30"x24" BASEMENT WINDOWS = 25.13 SQ. FT. (GLASS AREA ONLY) - 5 BED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site setting plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED BY
DATE DEC 22/2020
This stamp certifies compliance with the applicable Architectural Guidelines only and does not constitute a professional responsibility.

RIGHT SIDE ELEVATION -
ELEV '1' STD & OPT. 5 BED

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

18		9	
17		8	
16		7	
15		6	
14		5	REAR BOX BAY REVISED PER CLIENT. DEC. 11/20 GW
13		4	STAIRWAY WIDTH CORRECTED. AUG. 05/20 GW
12		3	ISSUED FOR PERMIT. APR 13/20 GW
11		2	UPDATED PER ENG & CLIENT COMMENTS. MAR 24/20 GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW. JAN. 28/20 GW
no description	date	by	no. description

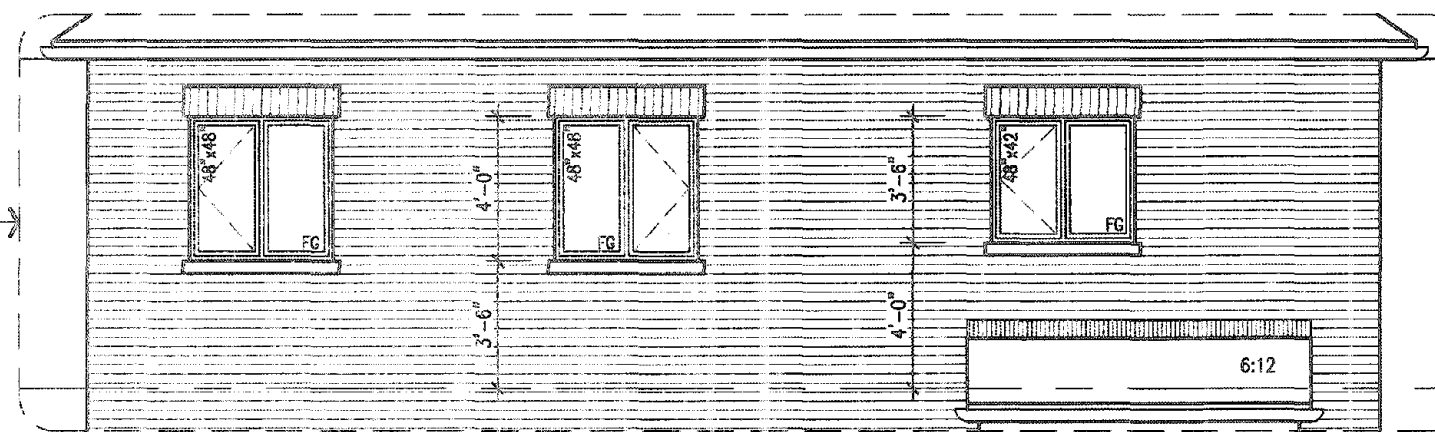
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42858
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd. Suite 120
Toronto ON M2J 1R4
416.630.2255 f. 416.630.4782
va3design.com

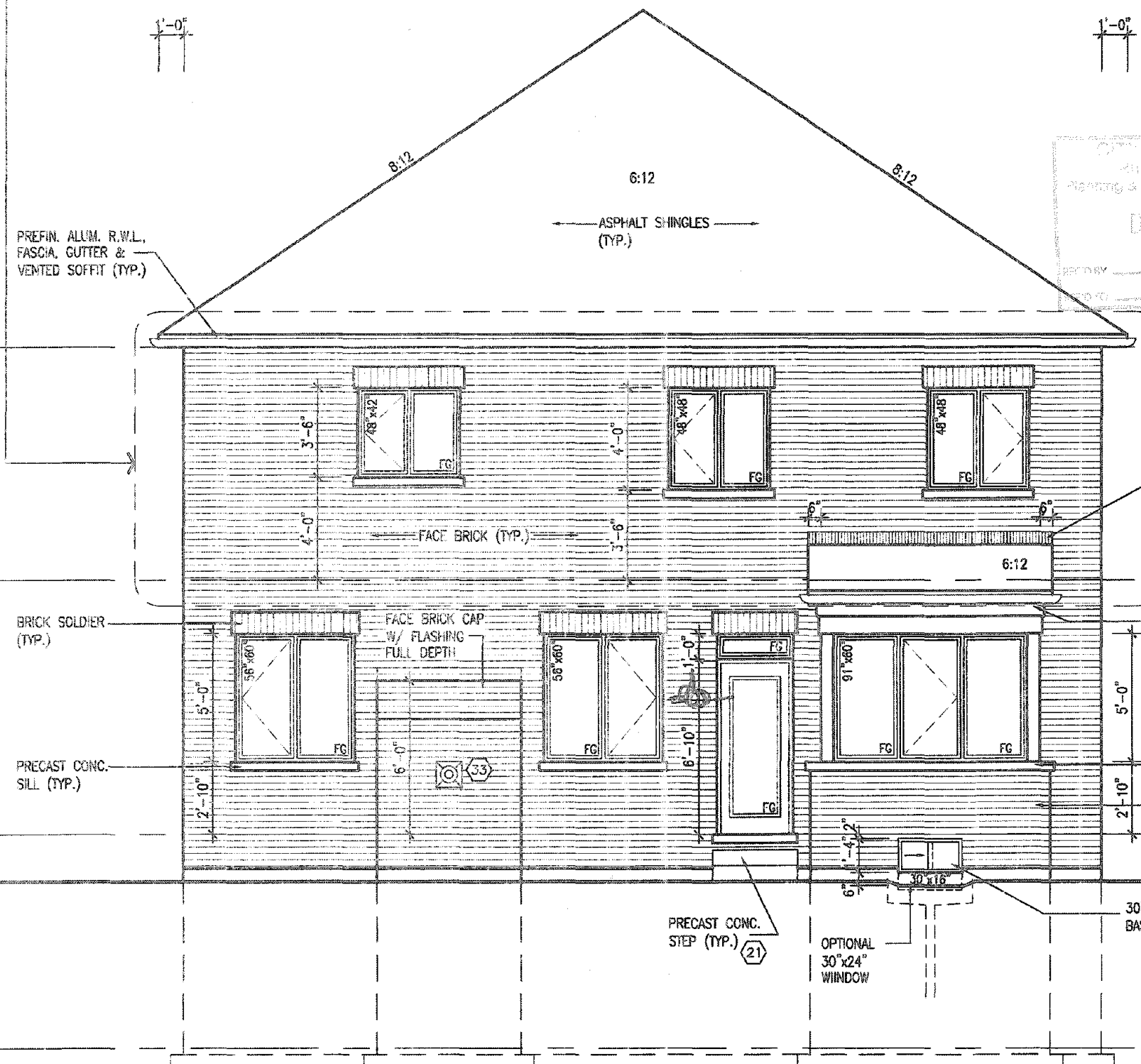
Greenpark. MOUNTAINASH 6 13.5m
project name: RUSSELL GARDENS PH. 3 HAMILTON, ONTARIO
date: JAN 2020
drawn by: BD.BIM
checked by: 3/16" = 1'-0"
scale: 3/16" = 1'-0"
RIGHT SIDE ELEVATION - ELEV '1' STD & OPT. 5 BED
19014-MOUNTAINASH-06
A7

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3409 SF.



PART REAR ELEVATION - ELEV '1' (5 BED)



REAR ELEVATION - ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL AS NEW
APPROVED BY: [Signature]
DATE: DEC 14, 2020
This stamp certifies compliance with the Architectural Design Guidelines and does not constitute a building permit. The builder is responsible for obtaining all necessary permits.

18		9			
17		8			
16		7			
15		6			
14		5	PEAR BOX BAY REVISED PER CLIENT	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT.	APR 13/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no	description	date	by	no	description

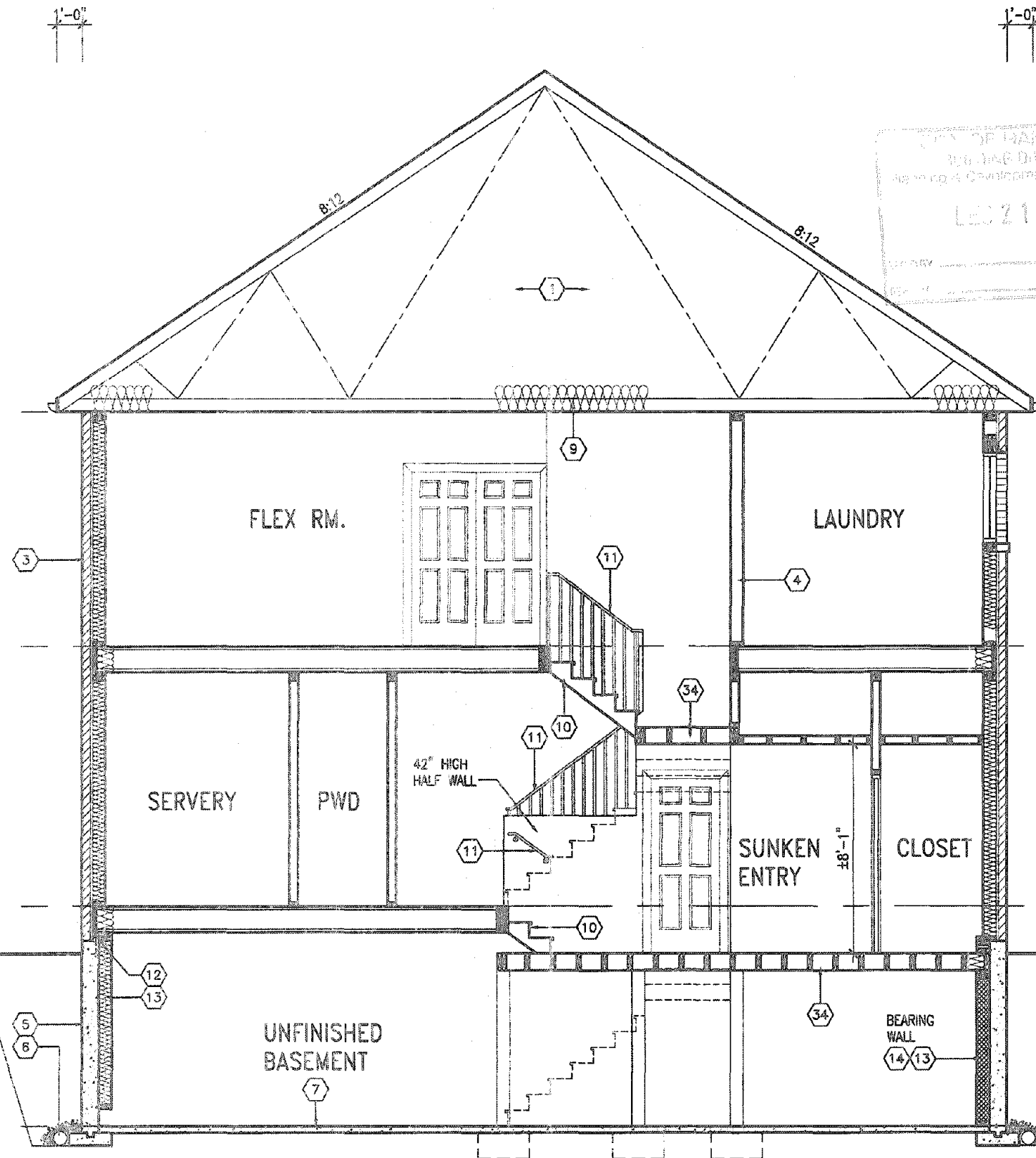
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information:
Richard Vink 24486
name
signature
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawn by BD.BHM		drawing no. A8	
checked by -		scale 3/16" = 1'-0"	
title REAR ELEVATION - ELEV '1' STD & OPT. 5 BED			
file name 19014-MOUNTAINASH-06			
date DEC 11 2020 - 11:45 AM			

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3409 SF.



CITY OF HAMILTON
BUILDING DIVISION
As to the Building Department
LEO 21 2020
DATE

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
December 9, 2020
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division
Permit No. 187711
THESE STORED DRAWINGS SHALL REMAIN VALID FOR ONE
YEAR FROM THE DATE OF ISSUANCE OF THE PERMIT.
THEY COVER AND/OR CONTRACTS SHALL BE VOID AFTER
THE CITY OF HAMILTON HAS BEEN ADVISED BY THE CITY OF HAMILTON
THAT THE DRAWINGS AND SPECIFICATIONS HAVE BEEN REVISED.
DATE

CROSS SECTION 'A-A'
(ELEV. '1')

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

18		9			
17		8			
16		7			
15		6			
14		5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT.	APR 13/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no	description	date	by	no	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
V43 Design Inc. 42858
Customer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

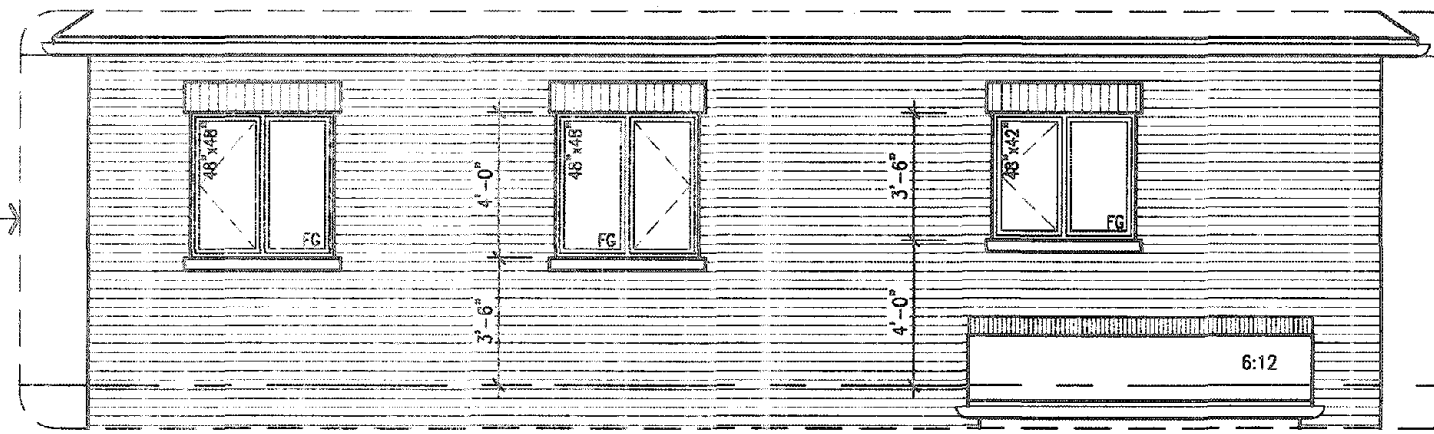
V43
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ONTARIO
date
JAN 2020
checked by
BD.BHM
scale
3/16" = 1'-0"
CROSS SECTION 'A-A'
19014-MOUNTAINASH-08

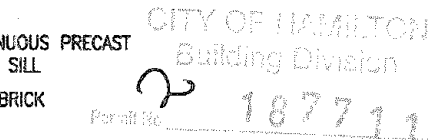
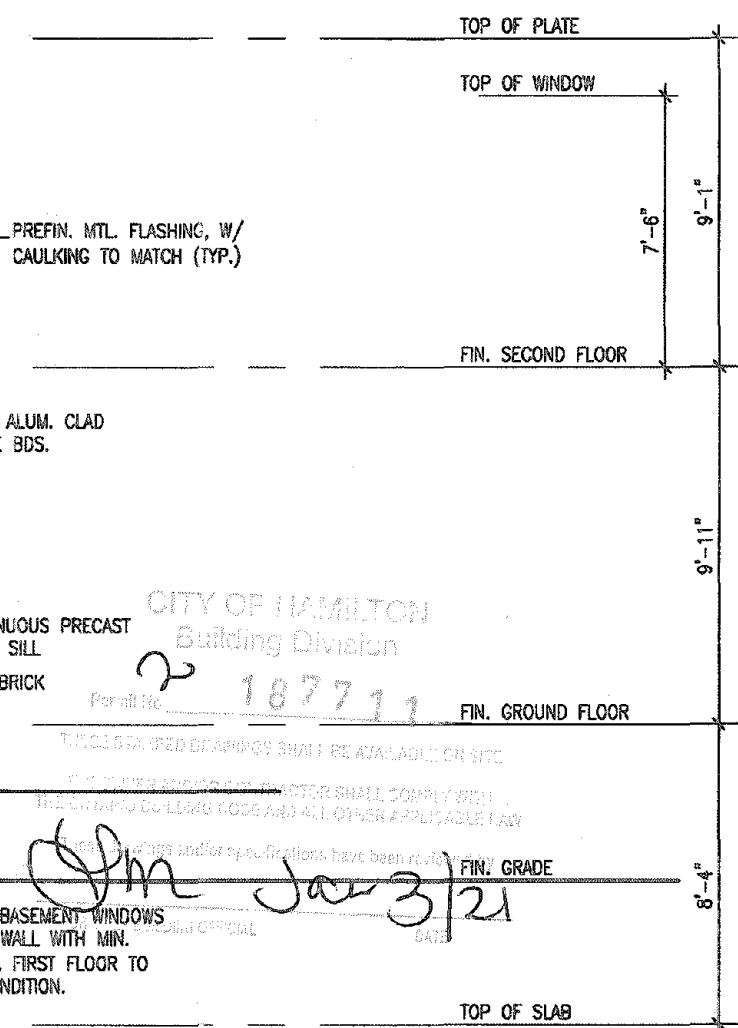
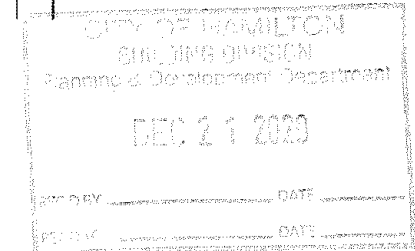
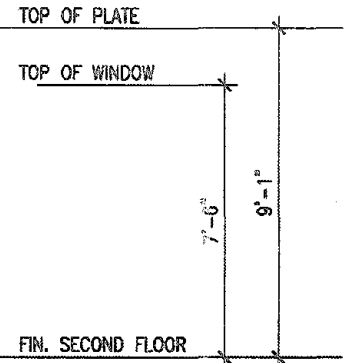
MOUNTAINASH 6
13.5m
project no.
19014
drawing no.
A9

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3409 SF.



PART REAR ELEVATION - ELEV '1' (5 BED)



EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

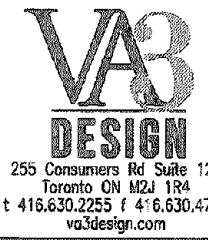
This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

REAR ELEVATION '1' -
DECK CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18			9		
17			8		
16			7		
15			6		
14			5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20 GW
13			4	SHARROW WIDTH CORRECTED.	AUG. 05/20 GW
12			3	ISSUED FOR PERMIT.	APR 13/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488 GCN
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.



MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

MOUNTAINASH 6
13.5m

project name
RUSSELL GARDENS PH. 3

drawn by
BD.BM

checked by
3/16" = 1'-0"

date
JAN 2020

scale
3/16" = 1'-0"

project no.
19014

city
HAMILTON, ONTARIO

drawing no.
A11

file name
19014-MOUNTAINASH-06

date
DEC 11 2020 - 11:45 AM

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST:	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-EX-10T-2.020.dwg

MOUNTAINASH 6

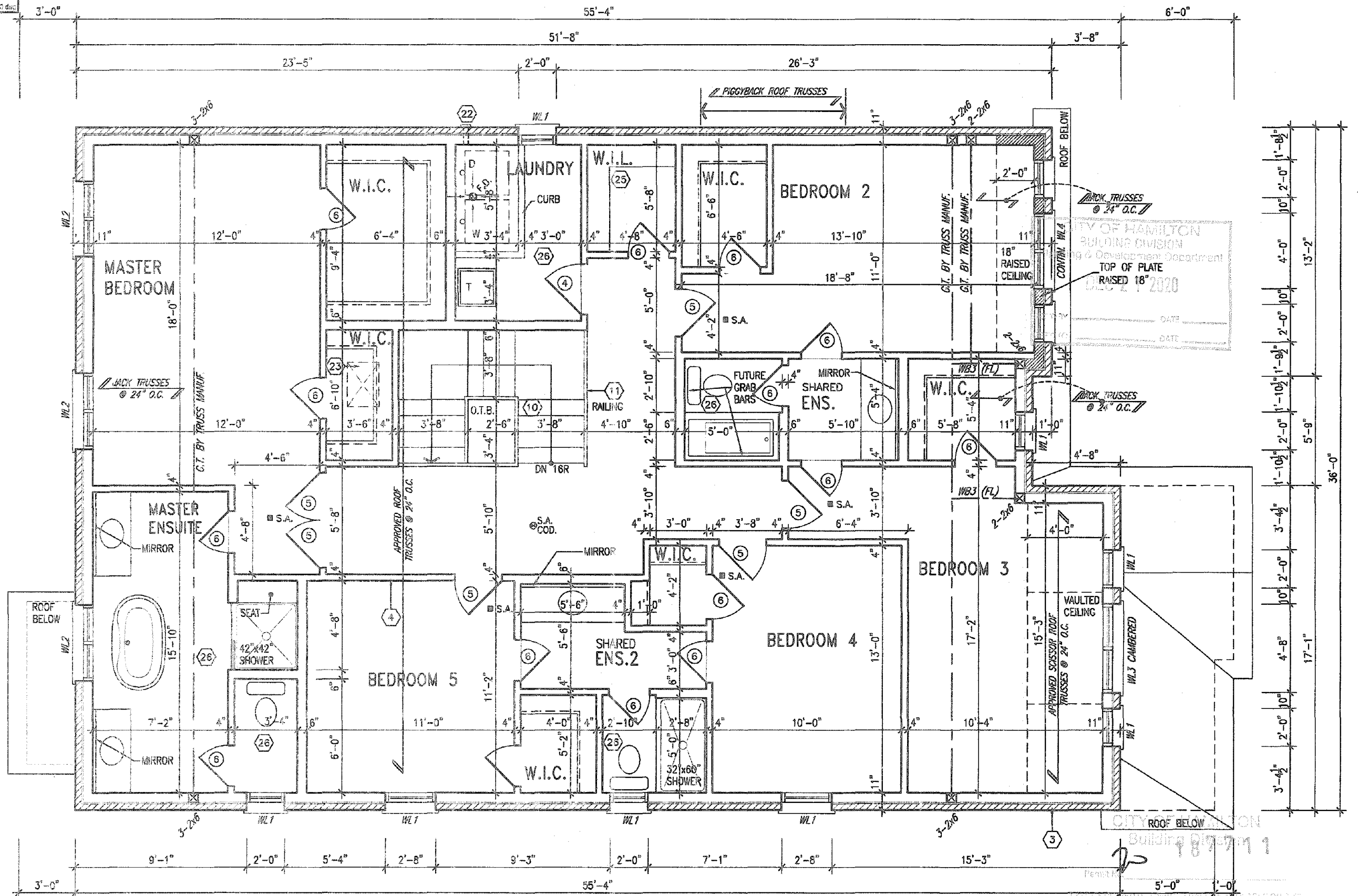
COMPLIANCE PACKAGE 'A1'

		MOUNTAINASH 6
		13.5m
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ONTARIO	project no. 19014
date JAN 2020	drawing no.	
drawing by BD.BIM	checked by -	scale 3/16" = 1'-0"
title name GROUND FLOOR PLAN - ELEV. '2'		file name 19014-MOUNTAINASH-06
GEOTRACK - A:\ARCHIVES\WORKING\2019\19014-06\MOUNTAINASH\CONCEPTS\44_MOUNTAINASH_19014-MOUNTAINASH-GEOTRACK - 1x - Dec 11 2020 - 11:45 AM		

All drawing specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3409 SF.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c); SHOWER: 3.8.3.13.(2)(a); BATHTUB: 3.8.3.13.(4)(a); FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
CS-10011-2302.dwg



REGISTERED PROFESSIONAL ARCHITECT
B. MARINKOVIC
December 18, 2020
OFFICE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (top) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: [Date]
This stamp certifies compliance with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '2'

18			9		
17			8		
16			7		
15			6		
14			5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20/GW
13			4	STAIRWAY WIDTH CORRECTED	AUG. 05/20/GW
12			3	ISSUED FOR PERMIT	APR 13/20/GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20/GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20/GW
no	description	date	by	no	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24486
name registration information
V3 Design Inc. 42656
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

drawn by
BD.BIM

checked by
3/16" = 1'-0"

scale
3/16" = 1'-0"

date
JAN 2020

city
HAMILTON, ONTARIO

project no.
19014

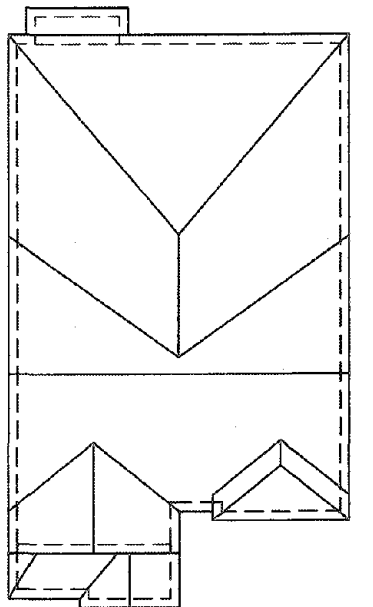
drawing no.
A4a

MOUNTAINASH 6
13.5m

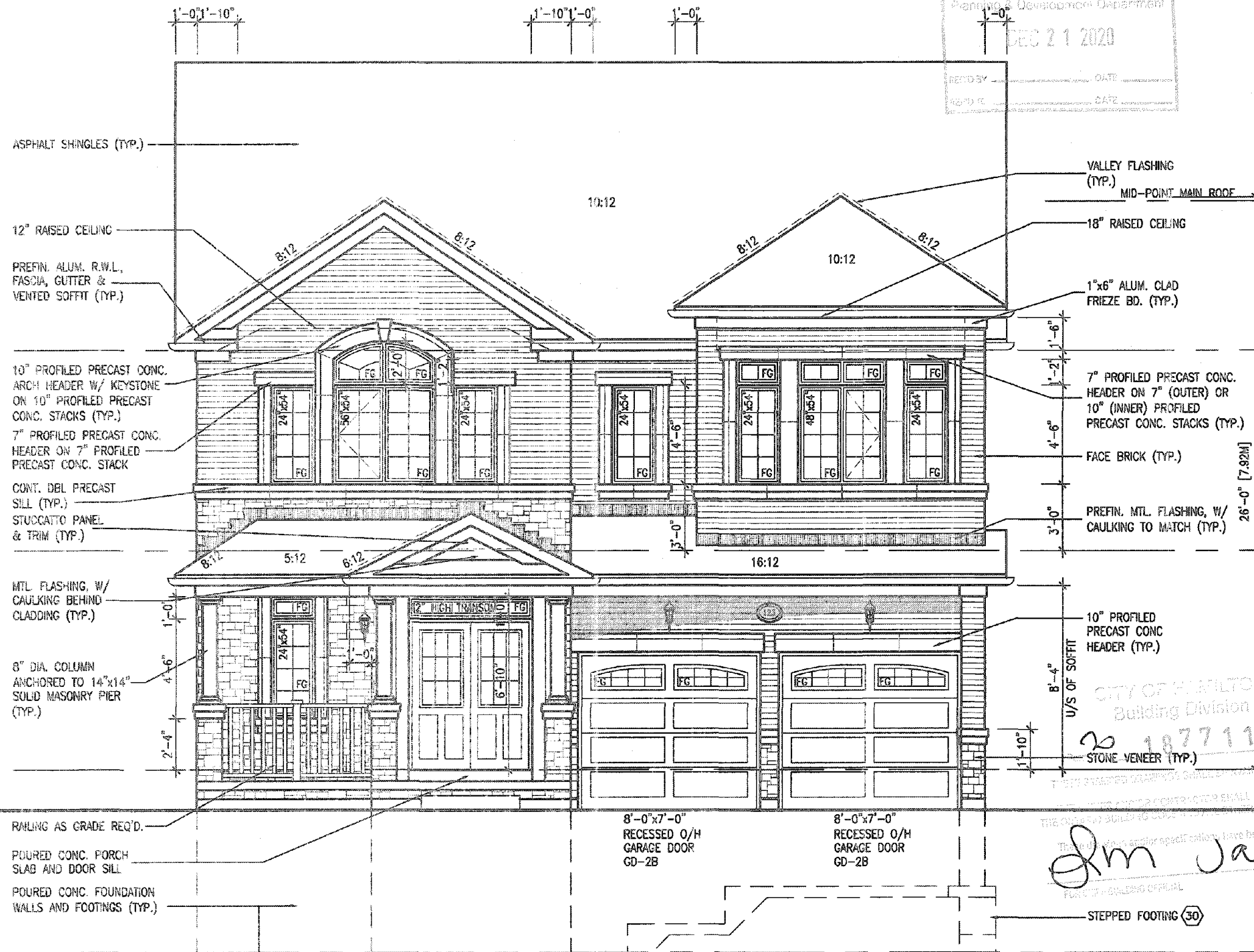
OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '2'

19014-MOUNTAINASH-06

3409 SF.



ROOF PLAN-2



FRONT ELEVATION - ELEV. '2'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
W/ MASONRY INSERTS WHERE
GRADE REQUIRES.

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: DEC 21 2020

This stamp certifies compliance with the applicable Design Guidelines and does not constitute a warranty or representation of any kind.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT.	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.

qualification information:
Richard Vink 24488
signature
name registration information:
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ONTARIO

MOUNTAINASH 6
13.5m

project no.
19014

FRONT ELEVATION - ELEV. '2'

drawing no.

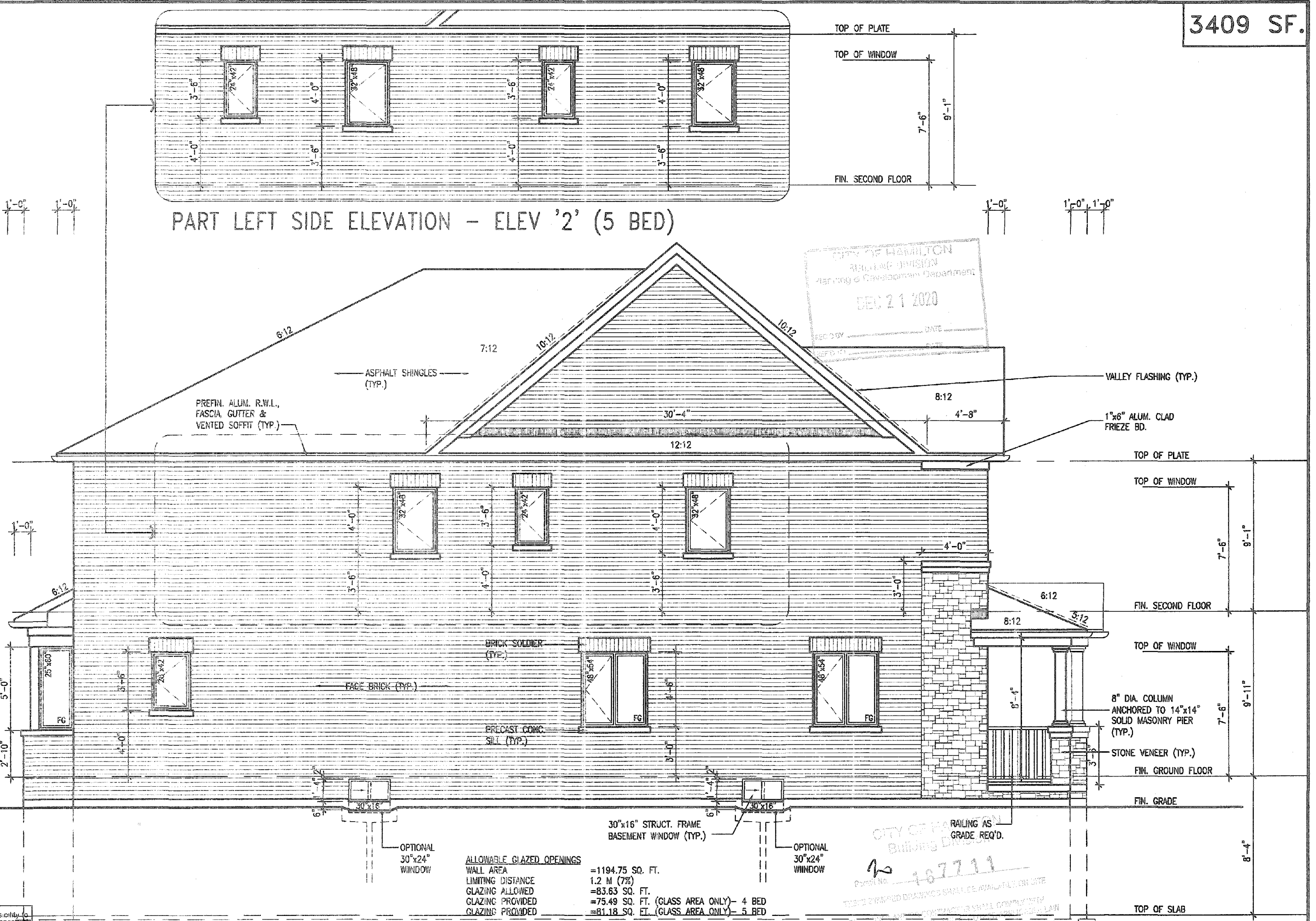
19014-MOUNTAINASH-08

A5a

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3409 SF.

PART LEFT SIDE ELEVATION - ELEV '2' (5 BED)



LEFT SIDE ELEVATION - ELEV '2'

ALLOWABLE GLAZED OPENINGS
WALL AREA = 1194.75 SQ. FT.
LIMITING DISTANCE = 1.2 M (7%)
GLAZING ALLOWED = 83.63 SQ. FT.
GLAZING PROVIDED = 75.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED = 81.18 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 78.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 83.30 SQ. FT. (GLASS AREA ONLY) - 5 BED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

BURIN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: [Date]
This stamp, when affixed to the plans, certifies that the plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

18			9		
17			8		
16			7		
15			6		
14			5	REAR BOX BAY REVISED PER CLIENT	DEC. 11/20 GW
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20 GW
12			3	ISSUED FOR PERMIT.	APR. 13/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
0					
no	description	date	by	no	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

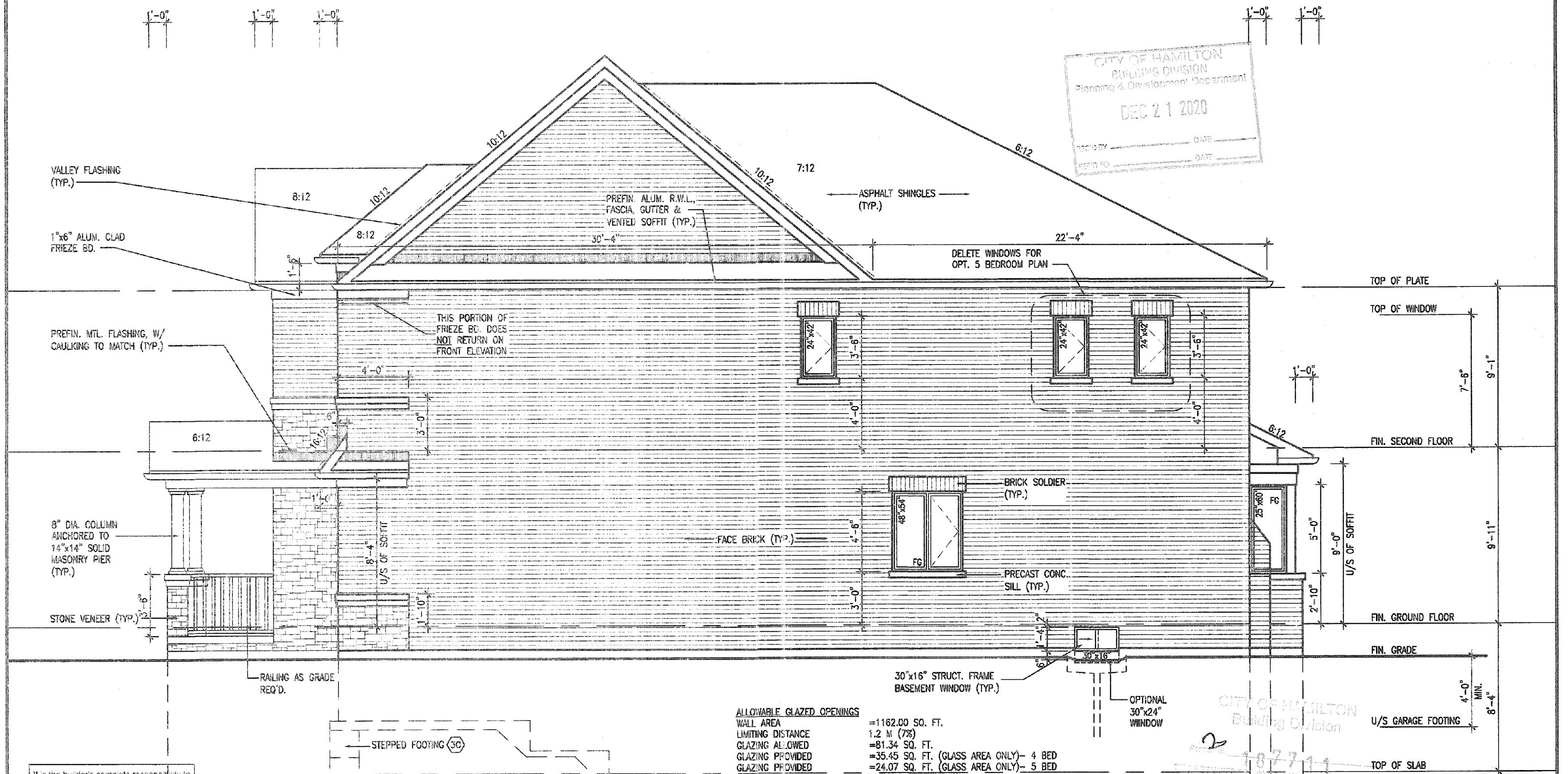
Richard Vink 24488
signature
VA3 Design Inc. 42658
name
registration information
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawn by BD.BM		drawing no. A6a	
checked by 3/16" = 1'-0"		LEFT SIDE ELEVATION - ELEV '2' STD & OPT. 5 BED	
DATE - REVISED: [Date]		19014-MOUNTAINASH-06	

3409 SF.



RIGHT SIDE ELEVATION -
ELEV '2' STD & OPT. 5 BED

ALLOWABLE GLAZED OPENINGS
WALL AREA = 1182.00 SQ. FT.
LIMITING DISTANCE = 1.2 M (7%)
GLAZING ALLOWED = 81.34 SQ. FT.
GLAZING PROVIDED = 35.45 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED = 24.07 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 36.51 SQ. FT. (GLASS AREA ONLY) - 4 BED
30"x24" BASEMENT WINDOWS = 25.13 SQ. FT. (GLASS AREA ONLY) - 5 BED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site planning plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC. 21, 2020
This stamp and seal constitute the Architect's approval of the design documents for the purpose of obtaining a building permit. The Architect does not warrant the accuracy of the design documents or the quality of the construction.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT.	APR. 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 29/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24466
signature
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawn by BD.BHM		drawing no. A7a	
checked by -		scale 3/16" = 1'-0"	
date JAN 2020		drawing title RIGHT SIDE ELEVATION - ELEV '2' STD & OPT. 5 BED	
drawing no. 19014-MOUNTAINASH-06		drawing title 19014-MOUNTAINASH-06	

DEC 21 2020
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
RECEIVED BY: [Signature] DATE: [Blank]
RECEIVED BY: [Signature] DATE: [Blank]

Architectural elevation drawing of a two-story house. The drawing includes the following details:

- Roof:** Gabled roof with a 10:12 pitch. The slopes are labeled 7:12. The roof is labeled "ASPHALT SHINGLES (TYP.)".
- Walls:** The main walls are labeled "FACE BRICK (TYP.)".
- Windows:**
 - Top left: 48" x 42" window, labeled "FG".
 - Top middle: 48" x 42" window, labeled "FG".
 - Top right: 48" x 42" window, labeled "FC".
 - Bottom left: 56" x 60" window, labeled "FG".
 - Bottom middle: 56" x 60" window, labeled "FG".
 - Bottom right: 91" x 60" window, labeled "FG".
 - Optional 30" x 24" window at the bottom right.
- Door:** A central door labeled "FG" with a "PRECAST CONC. STEP (TYP.) (21)" in front of it.
- Dimensions:**
 - Overall height: 10'-0" (split into 5'-0" and 5'-0").
 - Overall width: 24'-0" (split into 12'-0" and 12'-0").
 - Roof pitch: 10:12.
 - Window heights: 3'-6", 4'-0", 5'-0", 6'-0", 7'-0", 8'-0", 9'-0", 10'-0", 11'-0", 12'-0", 13'-0", 14'-0", 15'-0", 16'-0", 17'-0", 18'-0", 19'-0", 20'-0", 21'-0", 22'-0", 23'-0", 24'-0", 25'-0", 26'-0", 27'-0", 28'-0", 29'-0", 30'-0", 31'-0", 32'-0", 33'-0", 34'-0", 35'-0", 36'-0", 37'-0", 38'-0", 39'-0", 40'-0", 41'-0", 42'-0", 43'-0", 44'-0", 45'-0", 46'-0", 47'-0", 48'-0", 49'-0", 50'-0", 51'-0", 52'-0", 53'-0", 54'-0", 55'-0", 56'-0", 57'-0", 58'-0", 59'-0", 60'-0", 61'-0", 62'-0", 63'-0", 64'-0", 65'-0", 66'-0", 67'-0", 68'-0", 69'-0", 70'-0", 71'-0", 72'-0", 73'-0", 74'-0", 75'-0", 76'-0", 77'-0", 78'-0", 79'-0", 80'-0", 81'-0", 82'-0", 83'-0", 84'-0", 85'-0", 86'-0", 87'-0", 88'-0", 89'-0", 90'-0", 91'-0", 92'-0", 93'-0", 94'-0", 95'-0", 96'-0", 97'-0", 98'-0", 99'-0", 100'-0", 101'-0", 102'-0", 103'-0", 104'-0", 105'-0", 106'-0", 107'-0", 108'-0", 109'-0", 110'-0", 111'-0", 112'-0", 113'-0", 114'-0", 115'-0", 116'-0", 117'-0", 118'-0", 119'-0", 120'-0", 121'-0", 122'-0", 123'-0", 124'-0", 125'-0", 126'-0", 127'-0", 128'-0", 129'-0", 130'-0", 131'-0", 132'-0", 133'-0", 134'-0", 135'-0", 136'-0", 137'-0", 138'-0", 139'-0", 140'-0", 141'-0", 142'-0", 143'-0", 144'-0", 145'-0", 146'-0", 147'-0", 148'-0", 149'-0", 150'-0", 151'-0", 152'-0", 153'-0", 154'-0", 155'-0", 156'-0", 157'-0", 158'-0", 159'-0", 160'-0", 161'-0", 162'-0", 163'-0", 164'-0", 165'-0", 166'-0", 167'-0", 168'-0", 169'-0", 170'-0", 171'-0", 172'-0", 173'-0", 174'-0", 175'-0", 176'-0", 177'-0", 178'-0", 179'-0", 180'-0", 181'-0", 182'-0", 183'-0", 184'-0", 185'-0", 186'-0", 187'-0", 188'-0", 189'-0", 190'-0", 191'-0", 192'-0", 193'-0", 194'-0", 195'-0", 196'-0", 197'-0", 198'-0", 199'-0", 200'-0", 201'-0", 202'-0", 203'-0", 204'-0", 205'-0", 206'-0", 207'-0", 208'-0", 209'-0", 210'-0", 211'-0", 212'-0", 213'-0", 214'-0", 215'-0", 216'-0", 217'-0", 218'-0", 219'-0", 220'-0", 221'-0", 222'-0", 223'-0", 224'-0", 225'-0", 226'-0", 227'-0", 228'-0", 229'-0", 230'-0", 231'-0", 232'-0", 233'-0", 234'-0", 235'-0", 236'-0", 237'-0", 238'-0", 239'-0", 240'-0", 241'-0", 242'-0", 243'-0", 244'-0", 245'-0", 246'-0", 247'-0", 248'-0", 249'-0", 250'-0", 251'-0", 252'-0", 253'-0", 254'-0", 255'-0", 256'-0", 257'-0", 258'-0", 259'-0", 260'-0", 261'-0", 262'-0", 263'-0", 264'-0", 265'-0", 266'-0", 267'-0", 268'-0", 269'-0", 270'-0", 271'-0", 272'-0", 273'-0", 274'-0", 275'-0", 276'-0", 277'-0", 278'-0", 279'-0", 280'-0", 281'-0", 282'-0", 283'-0", 284'-0", 285'-0", 286'-0", 287'-0", 288'-0", 289'-0", 290'-0", 291'-0", 292'-0", 293'-0", 294'-0", 295'-0", 296'-0", 297'-0", 298'-0", 299'-0", 300'-0", 301'-0", 302'-0", 303'-0", 304'-0", 305'-0", 306'-0", 307'-0", 308'-0", 309'-0", 310'-0", 311'-0", 312'-0", 313'-0", 314'-0", 315'-0", 316'-0", 317'-0", 318'-0", 319'-0", 320'-0", 321'-0", 322'-0", 323'-0", 324'-0", 325'-0", 326'-0", 327'-0", 328'-0", 329'-0", 330'-0", 331'-0", 332'-0", 333'-0", 334'-0", 335'-0", 336'-0", 337'-0", 338'-0", 339'-0", 340'-0", 341'-0", 342'-0", 343'-0", 344'-0", 345'-0", 346'-0", 347'-0", 348'-0", 349'-0", 350'-0", 351'-0", 352'-0", 353'-0", 354'-0", 355'-0", 356'-0", 357'-0", 358'-0", 359'-0", 360'-0", 361'-0", 362'-0", 363'-0", 364'-0", 365'-0", 366'-0", 367'-0", 368'-0", 369'-0", 370'-0", 371'-0", 372'-0", 373'-0", 374'-0", 375'-0", 376'-0", 377'-0", 378'-0", 379'-0", 380'-0", 381'-0", 382'-0", 383'-0", 384'-0", 385'-0", 386'-0", 387'-0", 388'-0", 389'-0", 390'-0", 391'-0", 392'-0", 393'-0", 394'-0", 395'-0", 396'-0", 397'-0", 398'-0", 399'-0", 400'-0", 401'-0", 402'-0", 403'-0", 404'-0", 405'-0", 406'-0", 407'-0", 408'-0", 409'-0", 410'-0", 411'-0", 412'-0", 413'-0", 414'-0", 415'-0", 416'-0", 417'-0", 418'-0", 419'-0", 420'-0", 421'-0", 422'-0", 423'-0", 424'-0", 425'-0", 426'-0", 427'-0", 428'-0", 429'-0", 430'-0", 431'-0", 432'-0", 433'-0", 434'-0", 435'-0", 436'-0", 437'-0", 438'-0", 439'-0", 440'-0", 441'-0", 442'-0", 443'-0", 444'-0", 445'-0", 446'-0", 447'-0", 448'-0", 449'-0", 450'-0", 451'-0", 452'-0", 453'-0", 454'-0", 455'-0", 456'-0", 457'-0", 458'-0", 459'-0", 460'-0", 461'-0", 462'-0", 463'-0", 464'-0", 465'-0", 466'-0", 467'-0", 468'-0", 469'-0", 470'-0", 471'-0", 472'-0", 473'-0", 474'-0", 475'-0", 476'-0", 477'-0", 478'-0", 479'-0", 480'-0", 481'-0", 482'-0", 483'-0", 484'-0", 485'-0", 486'-0", 487'-0", 488'-0", 489'-0", 490'-0", 491'-0", 492'-0", 493'-0", 494'-0", 495'-0", 496'-0", 497'-0", 498'-0", 499'-0", 500'-0", 501'-0", 502'-0", 503'-0", 504'-0", 505'-0", 506'-0", 507'-0", 508'-0", 509'-0", 510'-0", 511'-0", 512'-0", 513'-0", 514'-0", 515'-0", 516'-0", 517'-0", 518'-0", 519'-0", 520'-0", 521'-0", 522'-0

Diagram showing the elevation of the exterior wall of the second floor. The drawing includes the following labels and dimensions:

- TOP OF PLATE** (at the top edge)
- TOP OF WINDOW** (at the top of the window opening)
- FIN. SECOND FLOOR** (at the top of the second floor slab)
- TOP OF WINDOW** (at the top of the window opening on the first floor)
- FIN. GROUND FLOOR** (at the top of the ground floor slab)
- FIN. GRADE** (at the ground level, with a handwritten "321" above it)
- TOP OF SLAB** (at the bottom edge)

Vertical dimensions are indicated on the right side of the drawing:

- 9'-1"** (from TOP OF PLATE to FIN. SECOND FLOOR)
- 7'-6"** (from TOP OF WINDOW to FIN. SECOND FLOOR)
- 9'-11"** (from TOP OF WINDOW to FIN. GROUND FLOOR)
- 7'-10"** (from TOP OF WINDOW to FIN. GROUND FLOOR)
- 8'-4"** (from FIN. GRADE to TOP OF SLAB)

—PREFIN. MTL FLASHING, W/
CAULKING TO MATCH (TYP.)

8" ALUM. CLAD
ZE BDS.

—CONTINUOUS PRECAST
CONC. SILL
—FACE BRICK

30"x16" STRUCT. FRAME
BASEMENT WINDOW (TYP.)

PRECAST CONC.
STEP (TYP.)  OPTIONAL
30"x24"
WINDOW

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW

APPROVED BY _____
DATE: DEC 14 2 200
THIS SPACE ONLY TO BE FILLED IN BY THE SIGNATURE
DESIGN. SIGNATURE ONLY AND NO OTHER
REMARKS TO BE ENTERED.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink	<i>R. Vink</i>	24
name	signature	
registration information		
VA3 Design Inc.		42

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4783
va3design.com

Greenpark.

MOUNTAINASH 6
13.5m

project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO		project no. 19014	
date JAN 2020		drawing title REAR ELEVATION - ELEV '2' STD & OPT. 5 BED			
drawn by BD:EM		checked by -		scale 3/16" = 1'-0"	
file name 19014-MOUNTAINASH-06		drawing no. A8a			

All drawing specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



Form No. 1077-1-1

The drawings and specifications have been revised by:

FCB, CHAS. BOWEN OPTICAL

343

TOP OF PLATE

TOP OF WINDOW

7-6
9-1

FIN. SECOND FLOOR

$$\underline{9^x - 11^y}$$

FIN. GROUND FLOOR

FIN. GRADE

B'-4^b

TOP OF SLAB

MOUNTAINASH 6

COMPLIANCE PACKAGE 'A1'

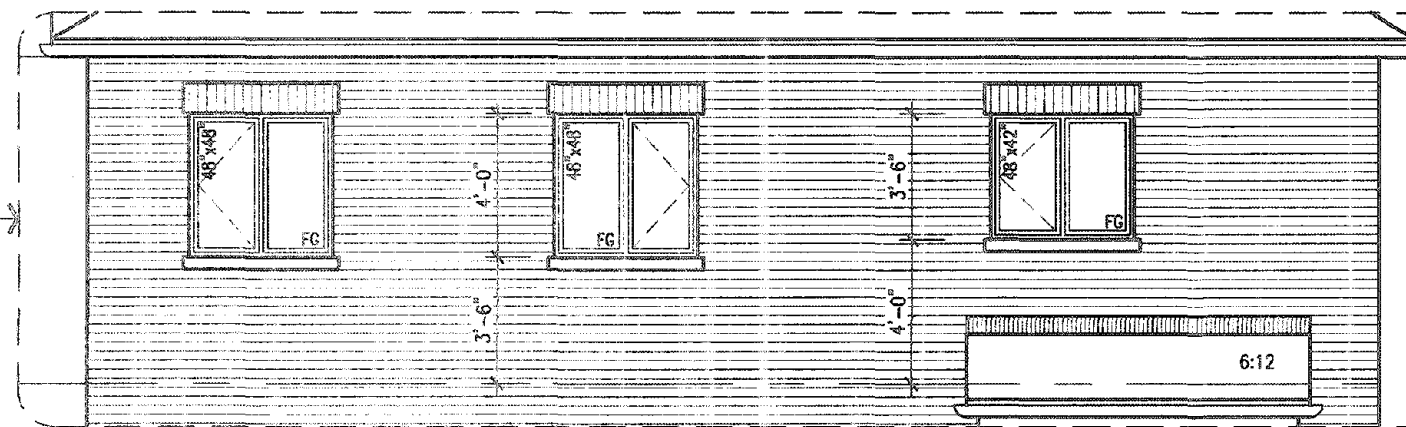
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with all applicable Architectural Design Guidelines approved by the City of KAMILLION

[illegible]

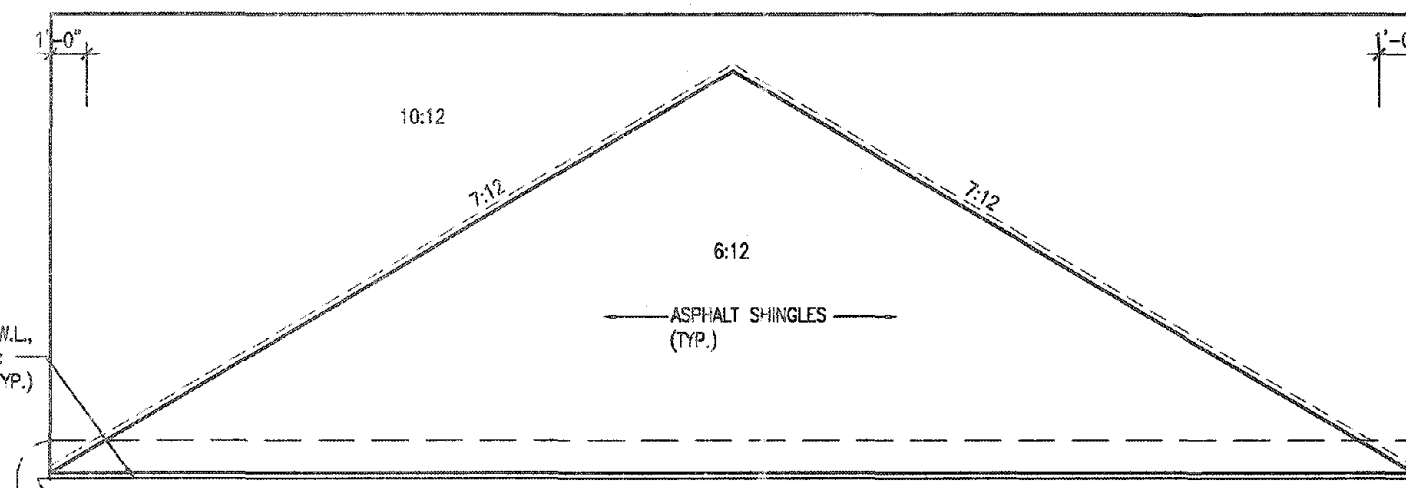
All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3409 SF.



PART REAR ELEVATION - ELEV '2' (5 BED)

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR



REAR ELEVATION '2' -
DECK CONDITION

TOP OF WINDOW
FIN. SECOND FLOOR



6"x8" ALUM. CLAD
FRIEZE BDS.
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW

The undersigned has reviewed and takes responsibility for this design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a Designer.

Richard Vink 24488
name
registration information
VA3 Design Inc. 42858

Contractor must verify all dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

drawn by
BD.BM

checked by
3/16" = 1'-0"

date
JAN 2020

scale
3/16" = 1'-0"

project no.
19014

city
HAMILTON, ONTARIO

drawing no.
19014-MOUNTAINASH-06

MOUNTAINASH 6
13.5m

REAR ELEV '2' & OPT. 5 BED- DECK COND.

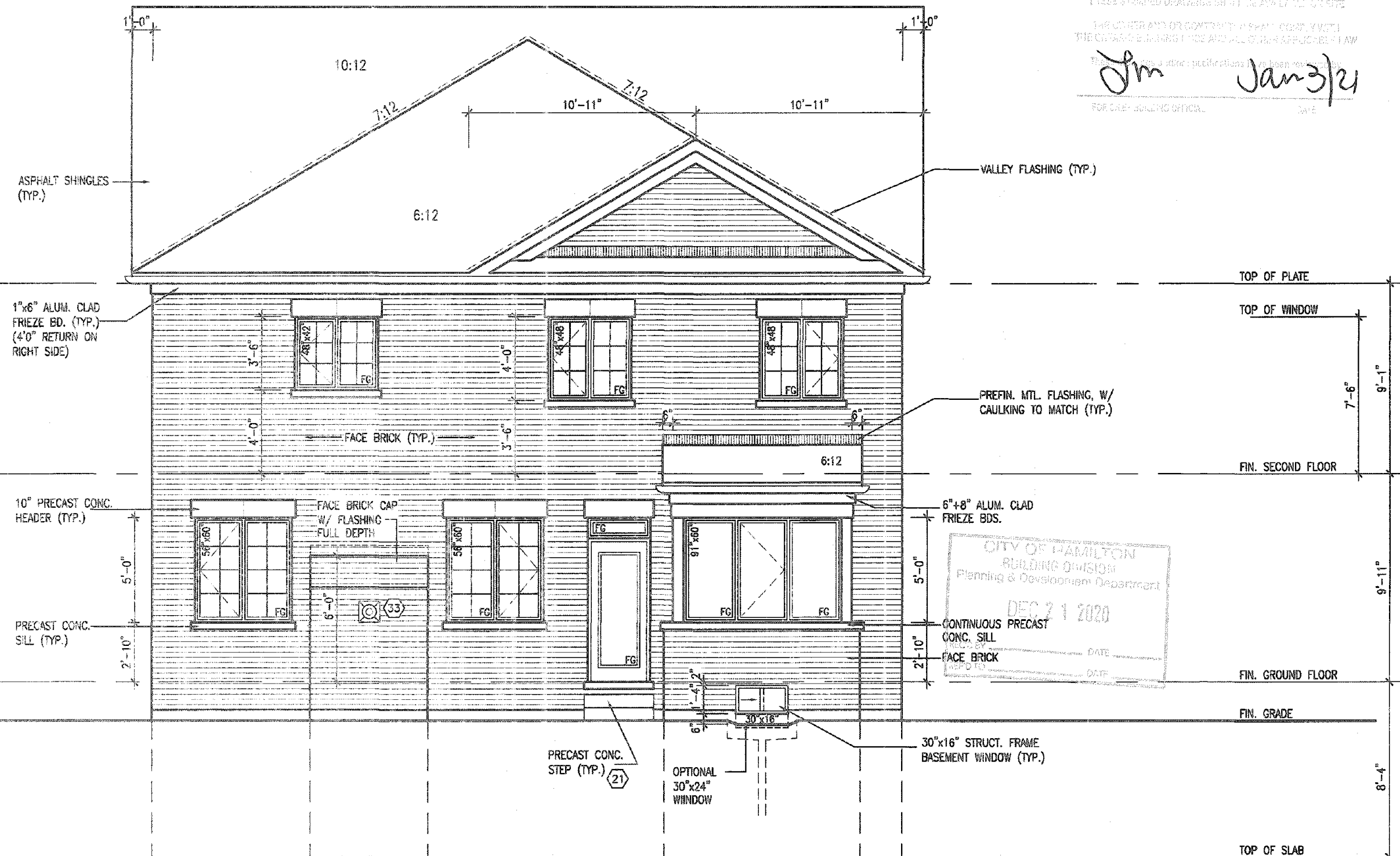
A11a

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3409 SF.

CITY OF HAMILTON
Building Division
187711

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND OR CONTRACTOR SHALL COMPLY WITH
THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS
Jm Jan 3/21
FOR C.A.P. BUILDING OFFICIAL DATE



UPGRADED REAR ELEVATION - ELEV. '2'
(4 BEDROOM)

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: DEC 11 2020
This stamp certifies compliance with the applicable design guidelines and confirms the architect's professional responsibility.

18		9			
17		8			
16		7			
15		6			
14		5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT.	APR. 13/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/20	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4762
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ONTARIO
date
JAN 2020
drawn by
BO.BRM
checked by
-
scale
3/16" = 1'-0"
UPGRADED REAR ELEV '2' - (4 BED)

MOUNTAINASH 6
13.5m
project no.
19014
drawing no.
A12a
19014-MOUNTAINASH-06

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 21 2020

Permit No. 7 1037717

THESE STAFF DRAWINGS SHALL BE MADE AND APPROVED BY THE ARCHITECT AND ENGINEER.

PRM Jan 3/2

HSS 4"x4"x 1/4" STEEL COLUMN
(FULL HEIGHT) w/ 5"x5"x3/8"
— BASE STEEL PLATE WELDED TO
11"x6"x3/8" BASE STEEL PLATE
EMBEDDED INTO CONCRETE

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

VENT SLEEVE
W/ INSECT
SCREEN

COLD STORAGE

VENT SLEEVE W/
INSECT SCREEN

11/11/2019 11:11:11 AM

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC

2
 December 9, 2012
 PROVINCE OF ONTARIO

STRUDET INC.

FOR STRUCTURE ONLY

MOUNTAINASH 13.5m

city	project
RIO	1901

PLAN - ELEV. '3'	drawing no.
See name	A 11

19014-MOUNTAINASH-06

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provision in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or placed on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS, JR., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE DEC 14 1996

This warranty certifies compliance with the applicable
OECA or OSHA standards and does not create
production responsibility.

12				9		
17				8		
16				7		
15				6		
14				5	FEAR BOX BAY REVISED PER CLIENT.	DEC. 11/20 GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20 GW
12				3	ISSUED FOR PERMIT.	APR 13/20 GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	JAN. 28/20 GW
no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink *b Vink* 24

name	signature
registration information	

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All

drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4783
va3design.com

project name
RUSSELL GARDENS PH. 3

date: **JAN 2020**

2 **BD.BIM** - 3
GREG - H:\ARCHIVE\WORKING\2019\13014.GRE\UNITS

HAMILTON, ONTARIO municipality

BASEMENT PL

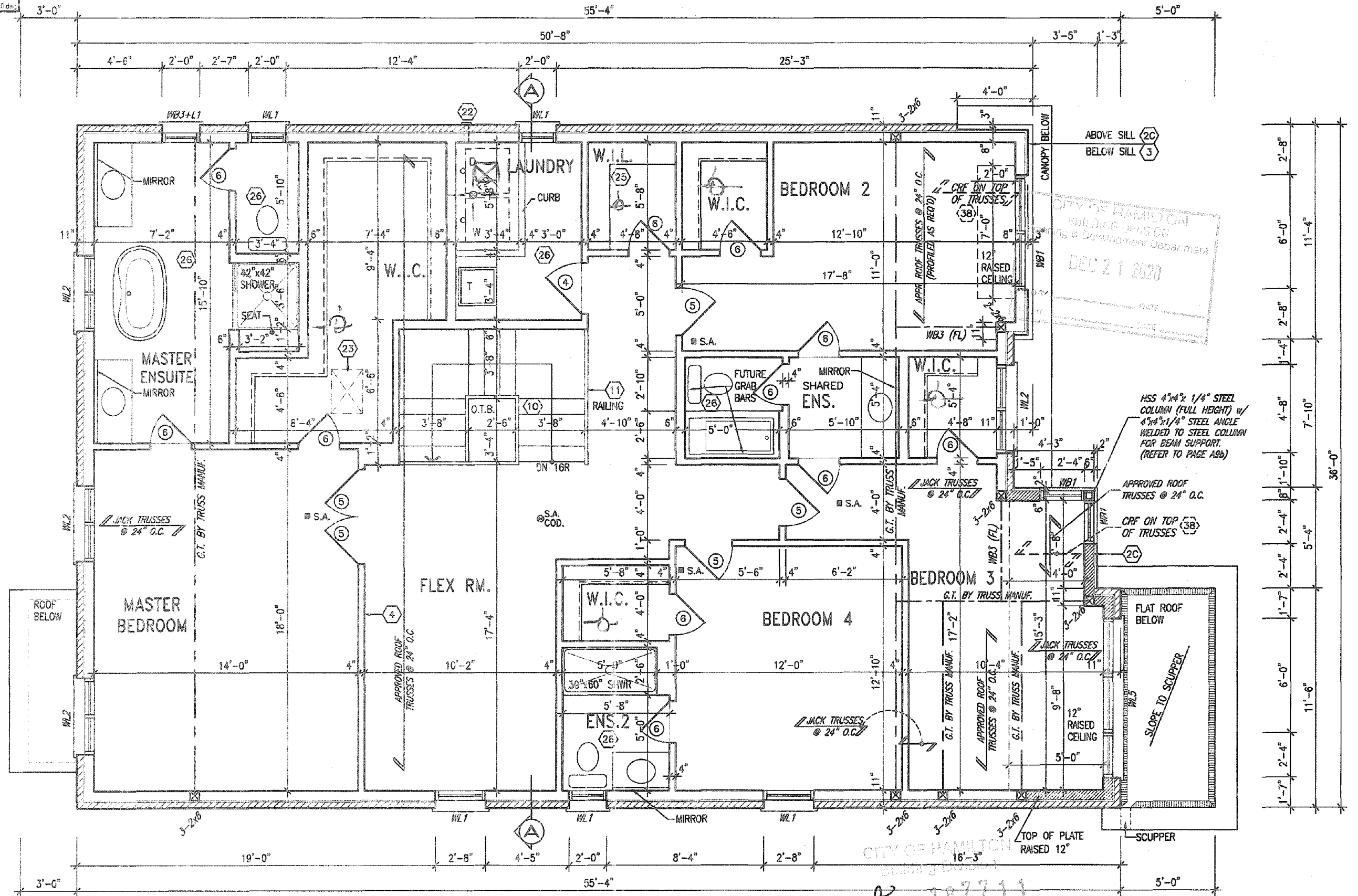
Dec 11 2020 - 11:45 AM

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3409 SF.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC DIV. 9-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c); SHOWER 3.8.3.13.(2)(g); BATHTUB 3.8.3.13.(4)(a); FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.



STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site layout plans or working drawings with respect to any zoning or building code or permit in effect or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
DATE: DEC 14, 2020
The stamp certifies compliance with the applicable Architectural Design Guidelines approved by the City of Hamilton.

SECOND FLOOR PLAN - ELEV. '3'

18			9						
17			8						
16			7						
15			6						
14			5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW			
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW			
12			3	ISSUED FOR PERMIT.	APR 13/20	GW			
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW			
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
9	description	date	by	no.	description	date	by	no.	description

The undersigned has rendered and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification information
Richard Vink 24488 BCN
signature
V3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3
drawn by
BD.BIM
checked by
3/16" = 1'-0"

HAMILTON, ONTARIO

SECOND FLOOR PLAN - ELEV. '3'

MOUNTAINASH 6
13.5m

project no.
19014

drawing no.
A3b

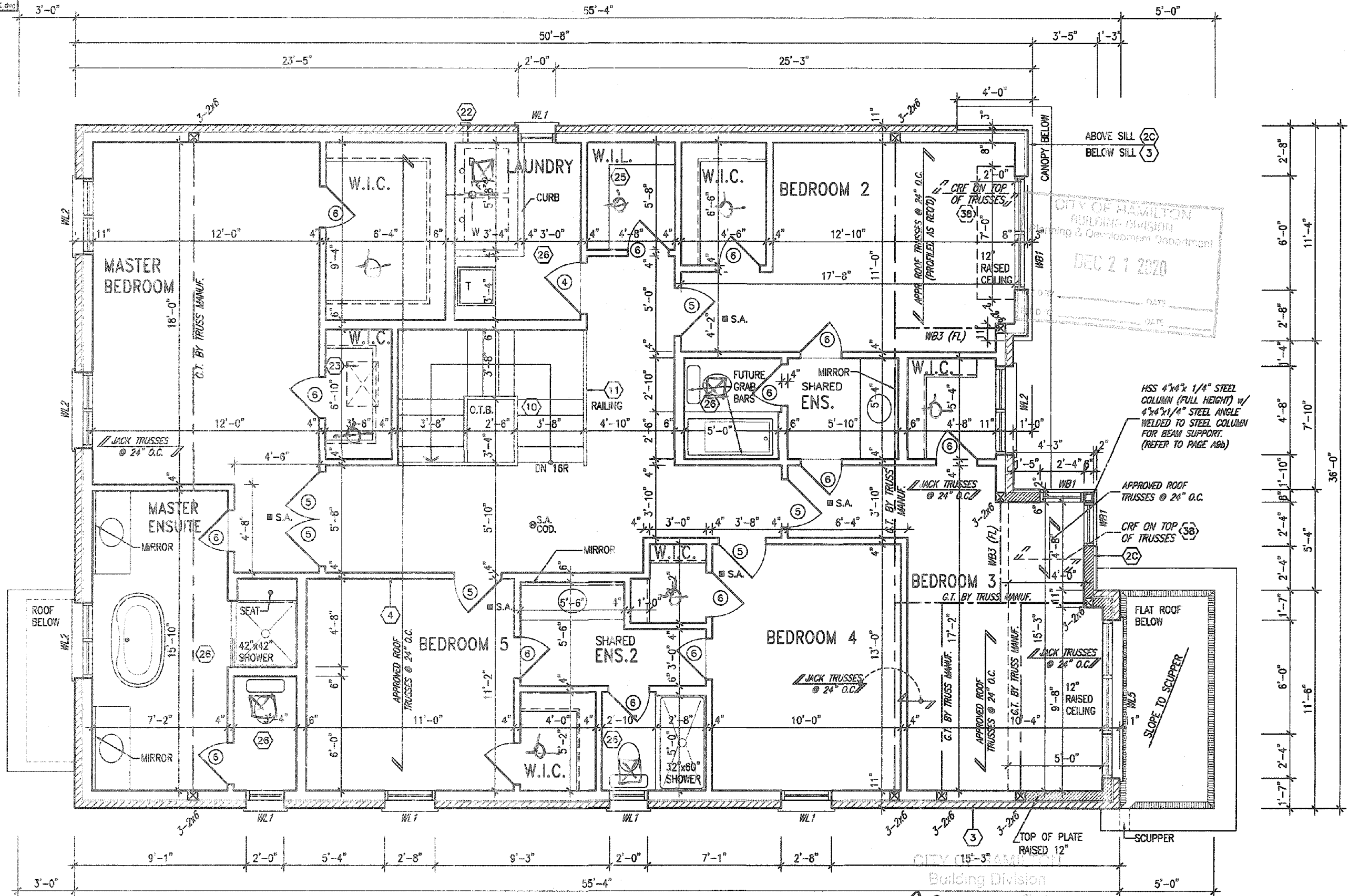
DATE: MARCH 14, 2020
FILE NAME: 19014-MOUNTAINASH-08
CITY OF HAMILTON BUILDING DIVISION
DEC 21 2020

All drawings, specifications, related documents and design are the copyright property of V3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V3 DESIGN's written permission.

3409 SF.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED: WATER CLOSET: 3.8.3.6.(3)(6) @ 3.8.3.2.(3)(6)
SHOWER: 3.8.3.13.(2)(9) @ 3.8.3.13.(4)(9)
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. CP-1071-2020.dwg



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 21 2020



STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site planning plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: [Date]

OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '3'

18		9			
17		8			
16		7			
15		6			
14		5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT.	APR 13/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW
no	description	date	by	no	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Verification Information:
Richard Vink 24488
name
signature
registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

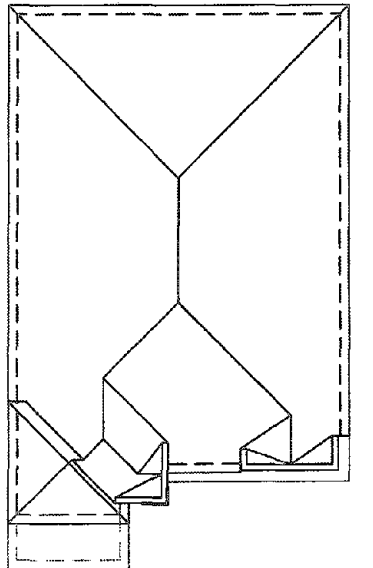
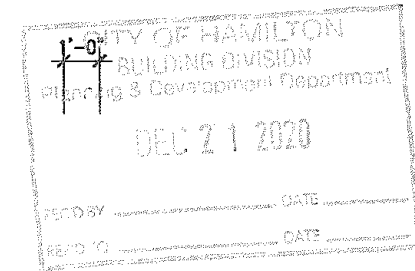
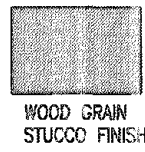
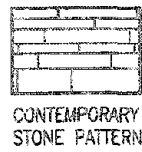
VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Jan 3/21
MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

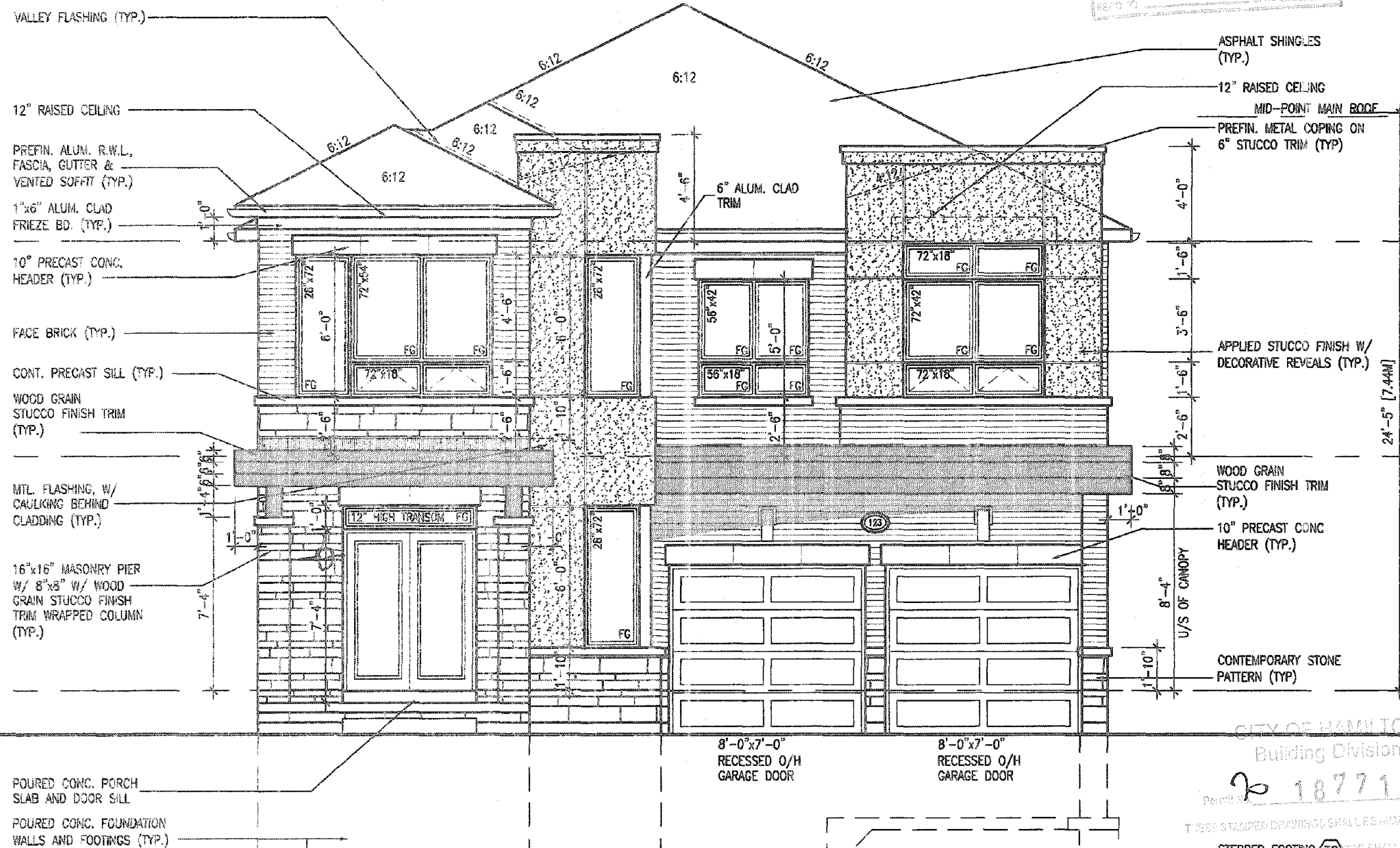
Greenpark.	MOUNTAINASH 6 13.5m
project name RUSSELL GARDENS PH. 3	project no. 19014
drawn by BD, BIM	checked by 3/16\" = 1'-0\"
date JAN 2020	
location HAMILTON, ONTARIO	
drawing no. A4b	
title OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '3'	
file name 18014-MOUNTAINASH-06	

CP-1071-2020.dwg - 19014-MOUNTAINASH-06.dwg - 19014-MOUNTAINASH-06.dwg - 19014-MOUNTAINASH-06.dwg - 19014-MOUNTAINASH-06.dwg - 19014-MOUNTAINASH-06.dwg - 19014-MOUNTAINASH-06.dwg - 19014-MOUNTAINASH-06.dwg - 19014-MOUNTAINASH-06.dwg - 19014-MOUNTAINASH-06.dwg

3409 SF.



ROOF PLAN-3



FRONT ELEVATION - ELEV. '3'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
W/ MASONRY INSERTS WHERE
GRADE REQUIRES.

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

This is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that those plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 16, 2020
This stamp certifies compliance with the applicable Design Guidelines and all applicable regulations and requirements.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX GAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information:
Richard Vink 24488 BCN
name registration information:
VAS Design Inc. 42856
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ONTARIO

MOUNTAINASH 6
13.5m

project no.
19014

date
JAN 2020

drawn by
BD.BIM

checked by

scale
3/16" = 1'-0"

FRONT ELEVATION - ELEV. '3'

file name
19014-MOUNTAINASH-06

drawing no.
A5b

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

The image displays four isometric drawings of rectangular frames, arranged in two rows of two. Each frame is oriented vertically and features a diagonal line from the top-left corner to the bottom-right corner. The dimensions and labels for each frame are as follows:

- Top-left frame:** Dimensions are 4'-0" (width) and 3'-6" (height). The label inside is 24" x 42".
- Top-right frame:** Dimensions are 4'-0" (width) and 3'-6" (height). The label inside is 32" x 48".
- Bottom-left frame:** Dimensions are 4'-0" (width) and 3'-6" (height). The label inside is 24" x 42".
- Bottom-right frame:** Dimensions are 4'-0" (width) and 3'-6" (height). The label inside is 32" x 48".

Diagram showing vertical dimensions for a window and plate:

- Distance from TOP OF WINDOW to TOP OF PLATE: 7'-6"
- Distance from FIN. SECOND FLOOR to TOP OF PLATE: 9'-1"

$$1' - 0''$$

The drawing shows a side elevation of a two-story building. The roof has a 6:12 pitch. The main walls are made of face brick. There are three double-hung windows on the second floor and three on the first floor. A central entrance features a precast concrete sill and a brick soldier course above the door. To the right, there is a masonry pier with wood grain stucco finish. The drawing includes various dimensions for window heights, widths, and overall wall areas. A stamp from the City of Hamilton Building Division is visible in the upper right corner.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 21 2020

VALLEY FLASHING (TYP)

1"x6" ALUM. CLAD FRIEZE BD.

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

ASPHALT SHINGLES (TYP.)

FACE BRICK (TYP.)

BRICK SOLDIER (TYP.)

PRECAST CONC. SILL (TYP.)

CONTIN. PRECAST CONC. SILL (TYP.)

WOOD GRAIN STUCCO FINISH (TYP.)

FIN. SECOND FLOOR

TOP OF WINDOW

9'-1"

7'-6"

16"x16" MASONRY PIER W/ 8"x8" COL W/ WOOD GRAIN STUCCO FINISH TRIM WRAPPED COLUMN (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

RAILING AS GRADE REQ'D.

CONTEMPORARY STONE PATTERN (TYP.)

OPTIONAL 30"x24" WINDOW

30"x16" STRUCT. FRAME BASEMENT WINDOW (TYP.)

OPTIONAL 30"x24" WINDOW

ALLOWABLE GLAZED OPENINGS

WALL AREA	LIMITING DISTANCE	GLAZING ALLOWED	GLAZING PROVIDED	GLAZING PROVIDED
=1194.75 SQ. FT.	(INCLUDES GRABG)			
=83.63 SQ. FT.				
=75.49 SQ. FT.				
=81.18 SQ. FT.				

CITY OF HAMILTON
Building Division
Form No. 167711

TOP OF SLAB

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1194.75 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=83.63 SQ. FT.
GLAZING PROVIDED	=75.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED	=81.18 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL: 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	=78.49 SQ. FT. (GLASS AREA ONLY)- 4 BED
30"x24" BASEMENT WINDOWS	=83.30 SQ. FT. (GLASS AREA ONLY)- 5 BED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CENTER BUILDING
AND OFFICES
APPROVED BY: 
DATE: DEC 14 1929
This plan conforms to the requirements of the Department
of Design, Building and Planning, and is further
professional endorsement by

18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT.	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink name signature VA3 Design Inc.	244 426
--	-----------------------

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 **Greenpark.**

MOUNTAINASH 6
13.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON, ONTARIO	19014
date JAN 2020	LEFT SIDE ELEVATION - ELEV '3' STD & OPT. 5 BED	
drawn by BO.BRM	checked by - 3/16" = 1'-0"	drawing no. A66b
file name 19014-MOUNTAINMASH-06		

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3409 SF.

VALLEY FLASHING (TYP.)
PREFIN. METAL COPING ON 6" STUCCO TRIM (TYP.)
APPLIED STUCCO FINISH W/ DECORATIVE REVEALS (TYP.)
1"x6" ALUM. CLAD FRIEZE BD.

ALUM. CLAD TRIM (TYP.)

WOOD GRAIN STUCCO FINISH TRIM (TYP.)

16"x16" MASONRY PIER W/ 8"x8" W/ WOOD GRAIN STUCCO FINISH TRIM WRAPPED COLUMN (TYP.)

CONTEMPORARY STONE PATTERN (TYP.)

RAILING AS GRADE REQ'D.

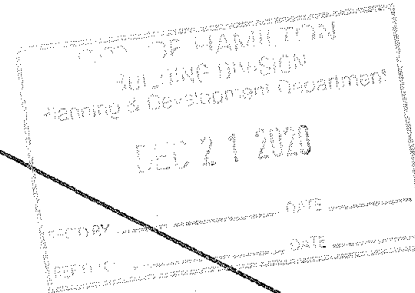
STEPPED FOOTING

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

6:12

ASPHALT SHINGLES (TYP.)

DELETE WINDOWS FOR OPT. 5 BEDROOM PLAN



TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

U/S OF SOFFIT

U/S GARAGE FOOTING

TOP OF SLAB

30"x16" STRUCT. FRAME BASEMENT WINDOW (TYP.)

BRICK SOLDIER (TYP.)

PRECAST CONC. SILL (TYP.)

ALLOWABLE GLAZED OPENINGS

WALL AREA = 1162.00 SQ. FT.
LIMITING DISTANCE = 1.2 M (7%)
GLAZING ALLOWED = 81.34 SQ. FT.
GLAZING PROVIDED = 59.41 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED = 48.03 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 60.47 SQ. FT. (GLASS AREA ONLY) - 4 BED
30"x24" BASEMENT WINDOWS = 49.09 SQ. FT. (GLASS AREA ONLY) - 5 BED

RIGHT SIDE ELEVATION -
ELEV '3' STD & OPT. 5 BED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

APPROVED BY: JEREMY C. WILLIAMS, LEP, ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
DATE: DEC 21 2020
This stamp certifies compliance with the Architectural Design Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

18			9		
17			8		
16			7		
15			6		
14			5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20 GW
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20 GW
12			3	ISSUED FOR PERMIT	APR. 13/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	JAN. 28/20 GW
9	description	date	by	no. description	date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24485 BCN
signature
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

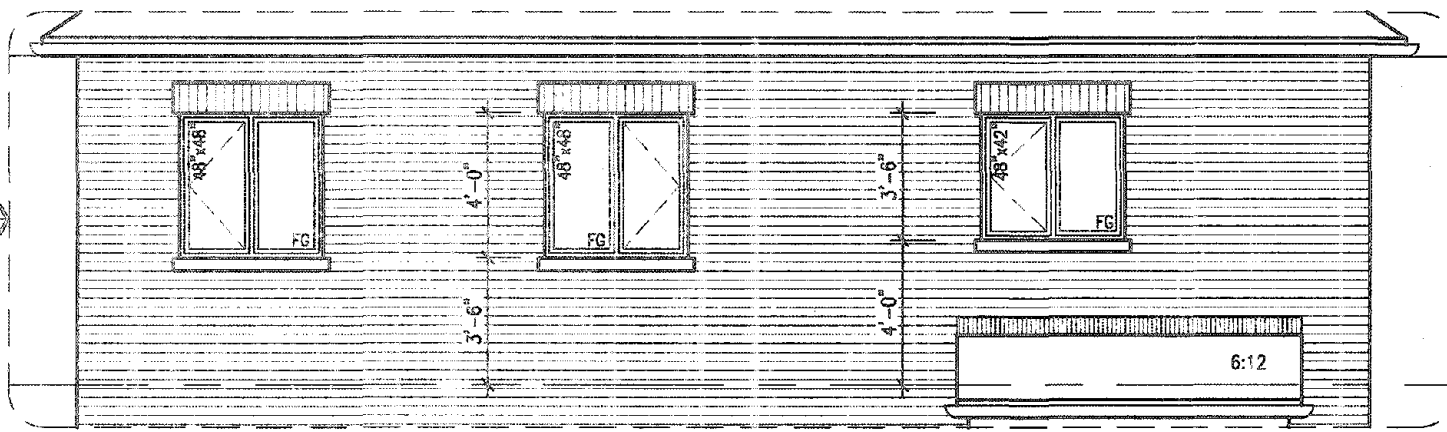
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.830.2255 f 416.830.4782
va3design.com

Greenpark.
project name: RUSSELL GARDENS PH. 3
date: JAN 2020
drawn by: BD.BIM
checked by: 3/16" = 1'-0"
scale: 3/16" = 1'-0"
municipality: HAMILTON, ONTARIO
RIGHT SIDE ELEVATION - ELEV '3' STD & OPT. 5 BED
19014-MOUNTAINASH-08
file name: 19014-MOUNTAINASH-08

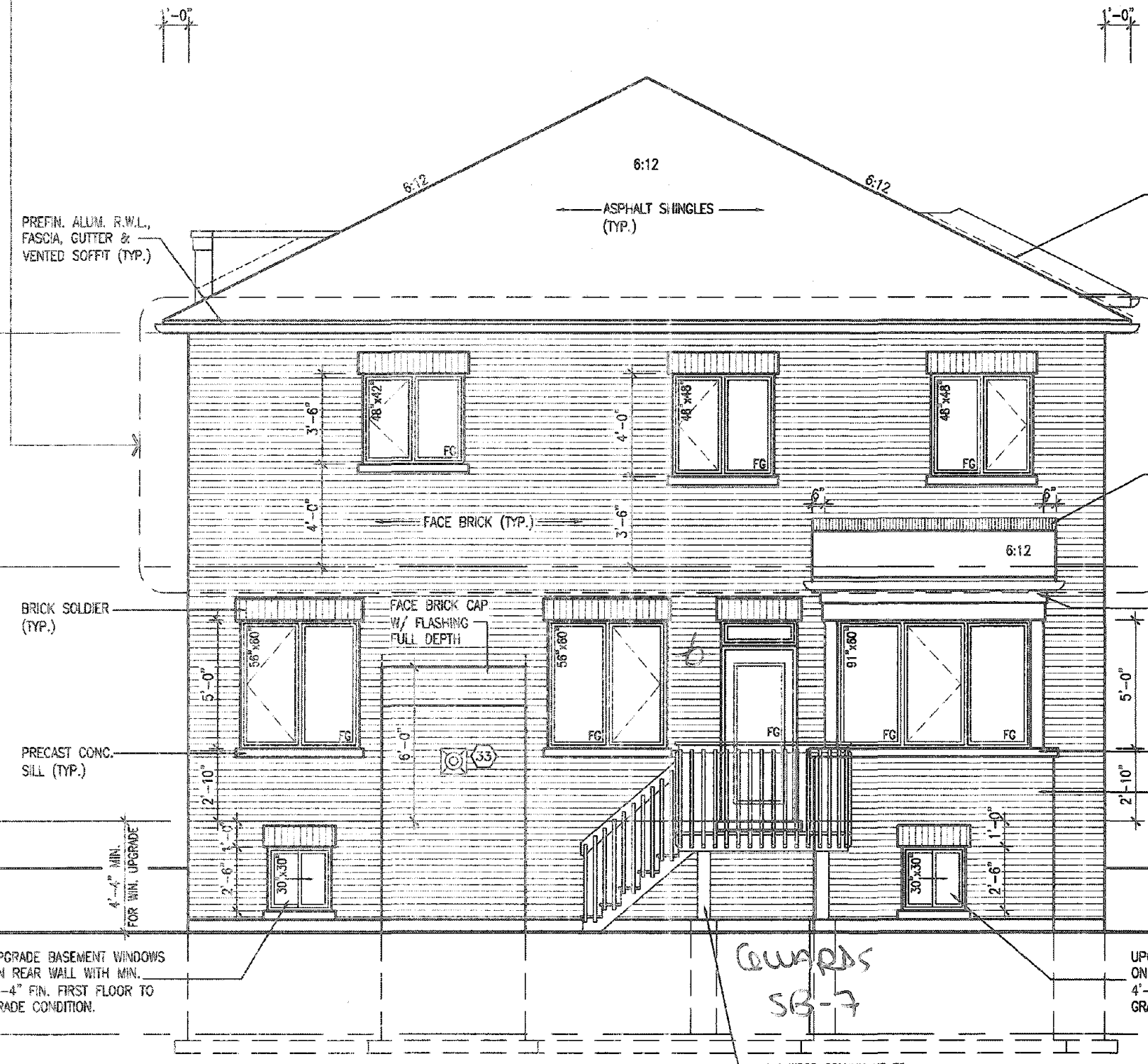
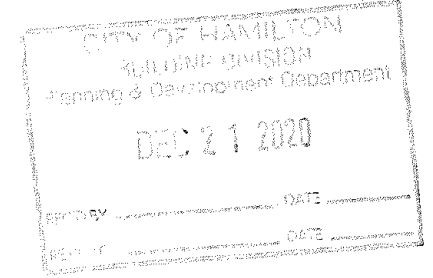
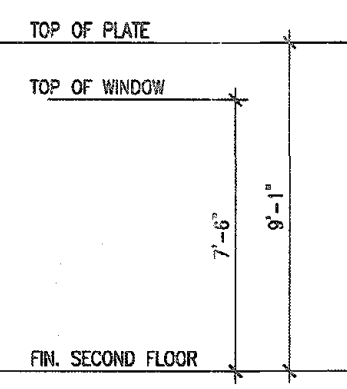
MOUNTAINASH 6
13.5m
project no. 19014
drawing no. A7b

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

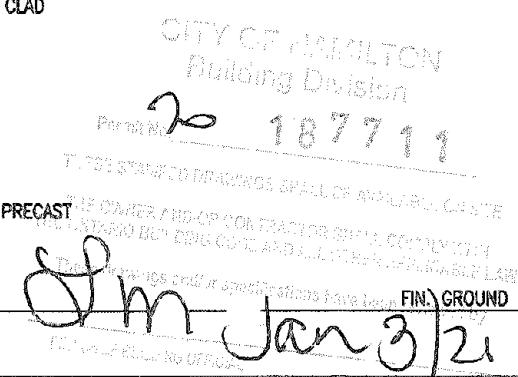
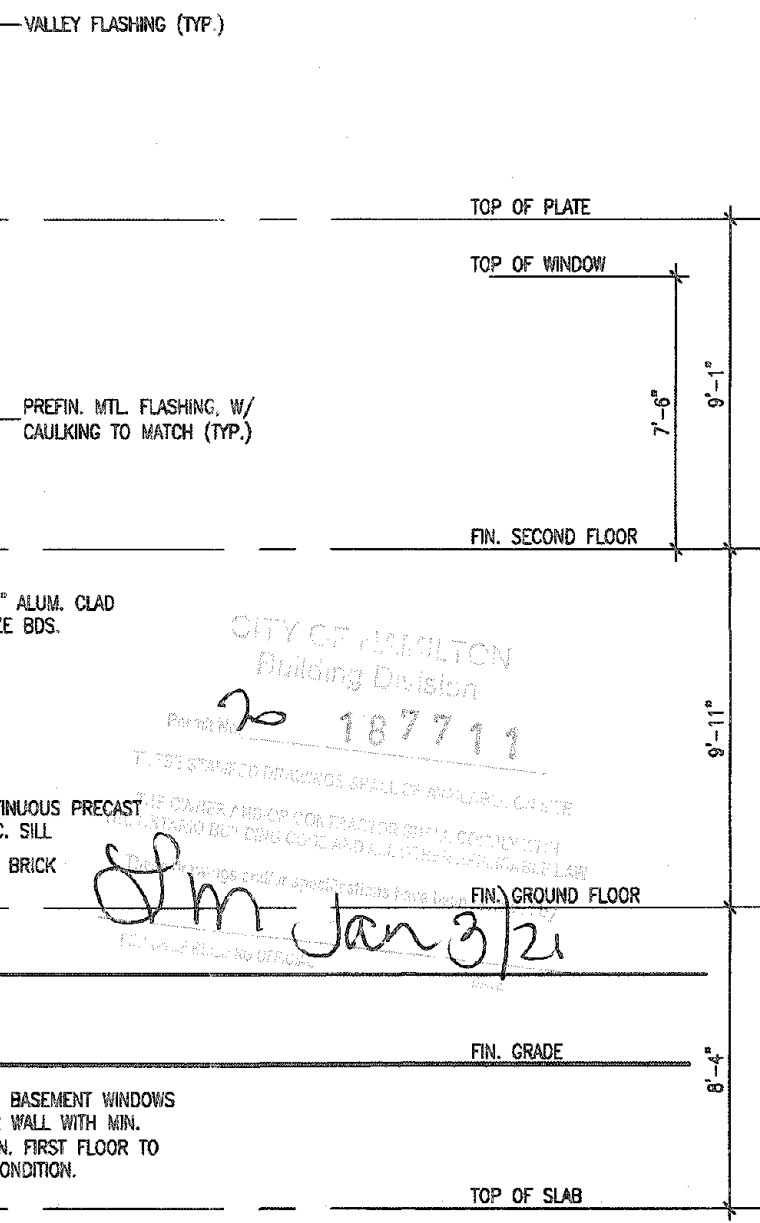
3409 SF.



PART REAR ELEVATION - ELEV '3' (5 BED)



REAR ELEVATION '3' - DECK CONDITION



EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT.	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink 24486
signature
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

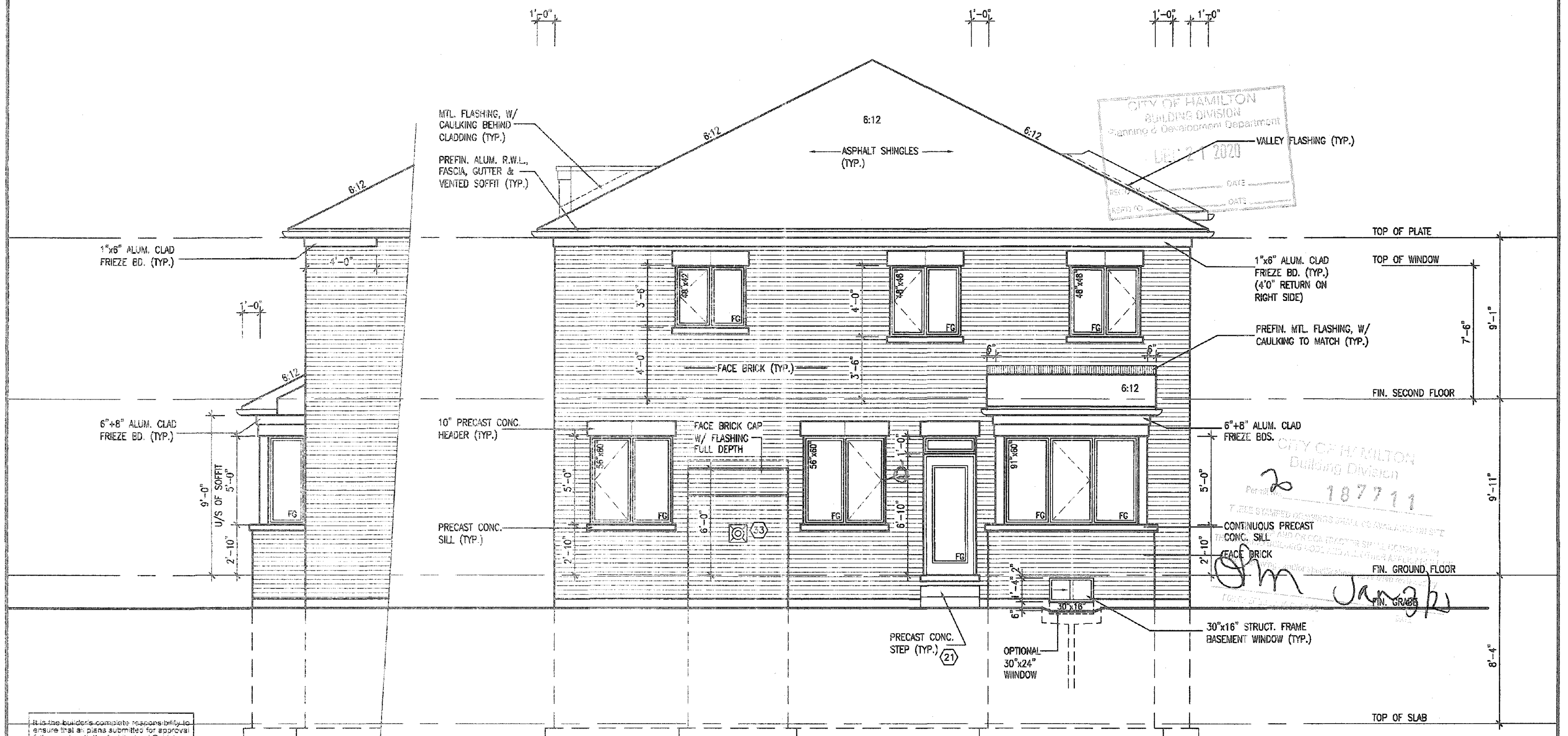
VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vg3design.com

Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		drawing no. A11b	
drawn by BD.BIM		checked by 3/16" = 1'-0"	
scale		file name 19014-MOUNTAINASH-08	
drawing title REAR ELEV '3' & OPT. 5 BED- DECK COND.			

CREATED: H:\ARCHIVE\WORKBOOKS\2019\19014-MOUNTAINASH\19014-MOUNTAINASH-08.dwg - Fri - Dec 11, 2020 - 11:45 AM

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3409 SF.



PARTIAL SIDE
ELEV. 3

UPGRADED REAR ELEVATION - ELEV. '3'
(4 BEDROOMS)

MOUNTAINASH 6

COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTANTS
410 458 9900

APPROVED BY: 
DATE: DEC 14 2022

This stamp order is compatible with the application
Design Coordinator's only and users to further
enhance the quality of work.

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and skills the requirements set out in Ontario Building Code to be a Designer.	
17			6			Qualification Information:	
16			7				
15			6	REAR BOX BAY REVISED PER CITY.	DEC 04/20 GW	Richard Vink	2448
14			5	REAR BOX BAY REVISED PER CLIENT	OCT. 11/20/GW	some registration information:	BC
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20/GW	VAS Design Inc.	4265
12			3	ISSUED FOR PERMIT.	APR 13/20 GW		
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
10			1	PRELIMINARY ISSUED FOR CLIENT REVIEW	JAN. 28/20 GW		
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	<i>R Vink</i>	2448
Richard Vink		

name _____ signature _____
 registration information _____
 VA3 Design Inc. _____ 4265

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name
RUSSELL GARDENS PH. 3

date	JAN 2020	
drawn by	checked by	scale
BD.BIM	-	3/16" = 1'-0"

GRAC - H:\ARCHIVE\WORKING\2019\10014.GRE\UNIT\SHOLES\44 MOUNTAINASH\10014-MOUNTAINASH-DE.dwg - Fri - Dec 11 2020 - 11:48 AM

MOUNTAINASH 6
13.5m

HAMILTON, ONTARIO

UPGRADED REAR ELEVATION - ELEV '3' (4 BED)

19014-MOUNTAINASH-06 A12b

A12b1

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 21 2020
VALLEY

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)
(4'0" RETURN ON
RIGHT SIDE)

— PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

6²²+8¹² ALUM. CLAD
FRIEZE BDS.

CONTINUOUS PRECAST
CONC. SILL
FACE BRICK

0"x16" STRUCT. FRAME

BASEMENT WINDOW (TYP.)

Jan 3/21

TOP OF SLAB

6" + 8" ALUM. CLAD
FRIEZE BD. (TYP.)

PREFIN. ALUM. R.W.L.
FASCIA, GUTTER & —
VENTED SOFFIT (TYP.)

10" PRECAST CONC.
HEADER (TYP.)

PRECAST CONC.
SILL (TYP.)

FACE BRICK (TYP.)

FACE BRICK CAP
W/ FLASHING
FULL DEPTH

PRECAST CONC.
STEP (TYP.)

OPTIONAL
30" x 24"
WINDOW

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

18				9			
17				8			
16				7			
15				6	REAR BOX BAY REVISED PER CITY.	DEC 04/20	6
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	6
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	6
12				3	ISSUED FOR PERMIT.	APR 13/20	3
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	6
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	6
no	description	date	by	no	description	date	by

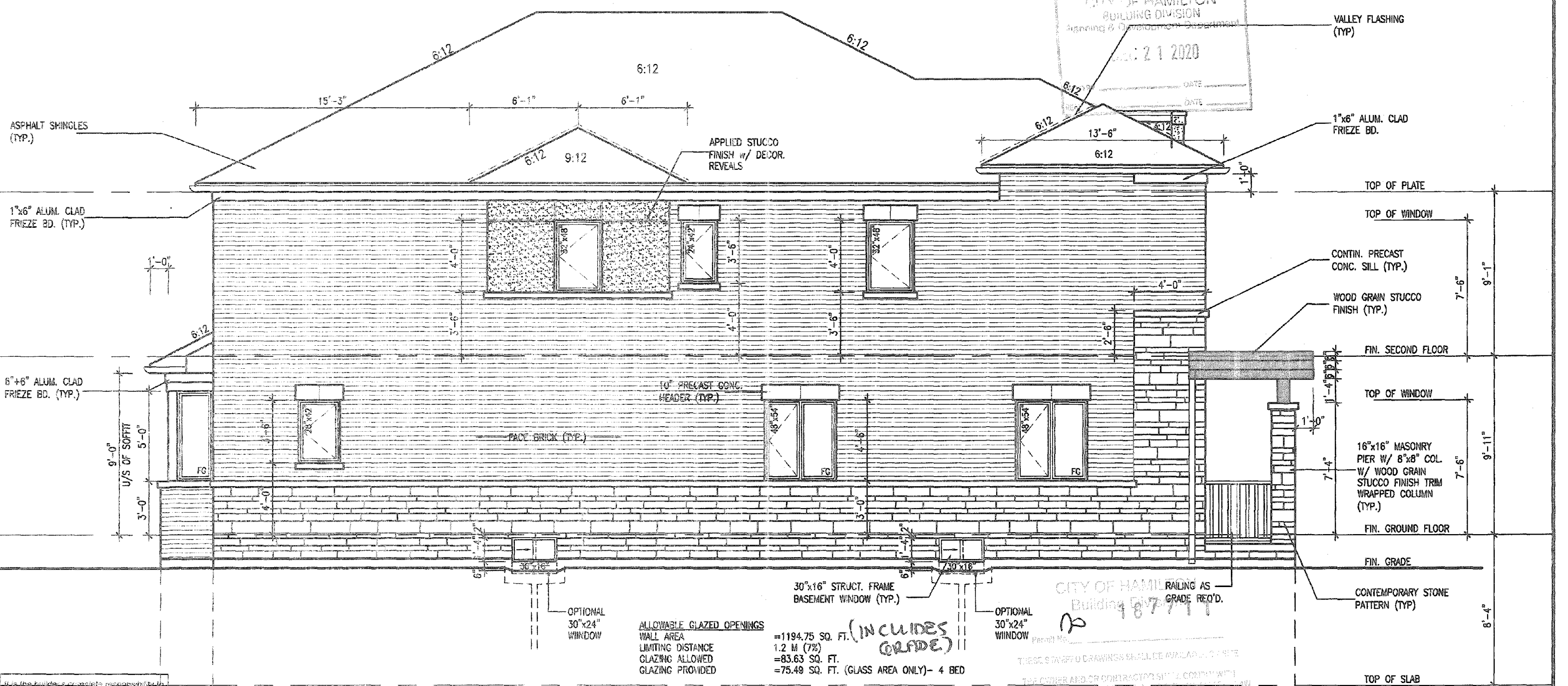
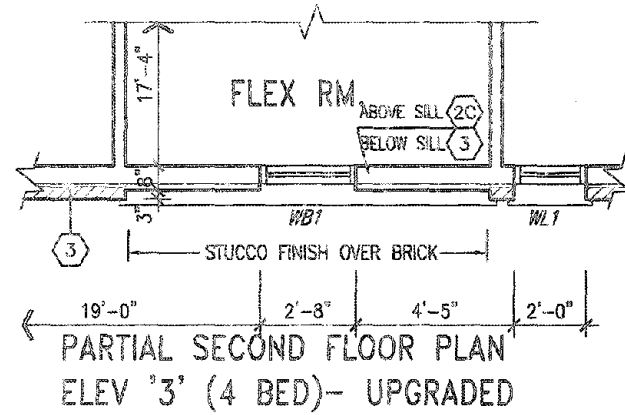
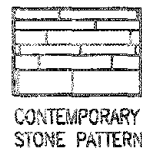
The undersigned has <u>reviewed</u> and takes responsibility for this design and has the qualifications and meets the requirements set out in the General Building Code to be a Designer.	
qualification information	
name	Richard Wink
signature	<i>R. Wink</i>
registration information	2448
VAS Design Inc.	80
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	4265

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawing by BD:BM		scale 3/16" = 1'-0"	
checked by -		title name 19014-MOUNTAINASH-06	
date 19014-MOUNTAINASH-06		drawing no. A13b	

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3409 SF.



UPGRADED LEFT SIDE ELEVATION
ELEV '3' (4 BED)
(FOR LOT 152)

ALLOWABLE GLAZED OPENINGS
WALL AREA
LIMITING DISTANCE
GLAZING ALLOWED
GLAZING PROVIDED

=1194.75 SQ. FT. (INCLUDES GRADE)
1.2 M (7%)
=83.63 SQ. FT.
=75.49 SQ. FT. (GLASS AREA ONLY)- 4 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS =78.49 SQ. FT. (GLASS AREA ONLY)- 4 BED

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

APPROVED BY: [Signature]
DATE: [Date]
This drawing is the property of the City of Hamilton and is not to be reproduced without the written permission of the City of Hamilton.

no.	description	date	by
18			
17			
16			
15			
14			
13			
12			
11			
10			
9			
8			
7			
6			
5	REAR BOX BAY REVISED PER CLIENT	DEC. 11/20	GW
4	STAIRWAY WIDTH CORRECTED	AUG. 05/20	GW
3	ISSUED FOR PERMIT	APR 13/20	GW
2	UPGRADED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN 28/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information:
Richard Vink
name
registration number 24488
signature
VAS Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JAN 2020
drawn by
BD, BHM
checked by
3/16" = 1'-0"
HAMILTON, ONTARIO
UPGRADED LEFT SIDE ELEVATION - ELEV '3' (4 BED)
18014-MOUNTAINASH-08
19014

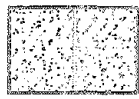
MOUNTAINASH 6
13.5m
project no.
19014
drawing no.
A13b



CONTEMPORARY
STONE PATTERN



MAIN BRICK



STUCCO W/
REVEALS



WOOD GRAIN
STUCCO FINISH

6:12

---ASPHALT SHINGLES
(TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER & —
VENTED SOFFIT (TYP.)

—VALLEY FLASHING (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)
(4'0" RETURN ON
RIGHT SIDE)

PREFIN. MTL FLASHING, W/
CAULKING TO MATCH (TYP.)

TOP OF PLATE

TOP OF WINDOW

7'-6"	9'-1"
-------	-------

FIN. SECOND FLOOR

TOP OF WINDOW

9'-11" -10"

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

PRECAST CONC.
SILL (TYP.)

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN. _____
4'-4" FIN. FIRST FLOOR TO
GRADE CONDITION.

CONTINUOUS PRECAST
CONC. SILL
CONTEMPORARY STONE
PATTERN (TYP)

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN.
4'-4" FIN. FIRST FLOOR TO
GRADE CONDITION.

UPGRADED REAR ELEVATION '3'-
DECK CONDITION (4 BED)
(FOR LOT 152)

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT. 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED)
ON 12" CONC. PIER

MOUNTAINASH 6

COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

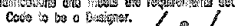
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND REVISIONS

APPROVED BY: [Signature]
DATE: DEC 4 2020

INTENDING CONTROL COMPLETION OF THE PROJECT
Design Submittals only subject to further
professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9				The undersigned firm releases and takes responsibility for this design and has the qualifications and meets the requirements set out in the
17				8				Owner Building Code to be a Designer.
16				7				qualification information
15				6				Richard Vink  2448
14				5	REAR BOX WAY REVISED PER CLIENT.	DEC. 11/20	GW	name
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW	signature
12				3	ISSUED FOR PERMIT.	APR 13/20	GW	VAS Design Inc. 4265
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW	
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW	
no.	description	date	by	no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		unit/sect no. 19014	
drawn by BD.BM		checked by 3/16" = 1'-0"	
scale 3/16" = 1'-0"		description UPGRADED REAR ELEV '3" - (4 BED) DECK COND.	
title name 19014-MOUNTAINASH-06		A14b	

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.