

STRIP FOOTINGS
FOR GABLES & SKIDS UP TO 2 STOREY

2" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (16 psi) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

FAD FOOTINGS
120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTH. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x1/4" (100x90x6.0) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x1/4" (150x90x6.0) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x1/4" (125x90x6.0) + 2-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0) + 2-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

KB1 = 2-2"x8" SPR. No.2 (2-38x104 SPR. No.2)
KB2 = 3-2"x8" SPR. No.2 (3-38x104 SPR. No.2)
KB3 = 2-2"x10" SPR. No.2 (2-38x125 SPR. No.2)
KB4 = 3-2"x10" SPR. No.2 (3-38x125 SPR. No.2)
KB5 = 2-2"x12" SPR. No.2 (2-38x125 SPR. No.2)
KB6 = 3-2"x12" SPR. No.2 (3-38x125 SPR. No.2)
KB7 = 5-2"x12" SPR. No.2 (5-38x125 SPR. No.2)
KB8 = 4-2"x10" SPR. No.2 (4-38x125 SPR. No.2)
KB9 = 4-2"x12" SPR. No.2 (4-38x125 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (4-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (4-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (4-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0)
L2 = 4"x3-1/2"x1/4" (100x90x6.0)
L3 = 5"x3-1/2"x1/4" (125x90x6.0)
L4 = 6"x3-1/2"x1/4" (150x90x6.0)
L5 = 6"x4"x3/8" (150x100x10.0)
L6 = 7"x4"x3/8" (175x100x10.0)

DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT 2'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	8'-0"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	8'-0"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	8'-0"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	8'-0"	8'-0"	EXTERIOR SLAB DOOR
5	2'-8"	8'-0"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	8'-0"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	8'-0"	8'-0"	INTERIOR SLAB DOOR

REVISIONS	
2. ISSUED FINAL REFERENCE	MAR 2020
1. ISSUED FOR COORDINATION	JAN 2020

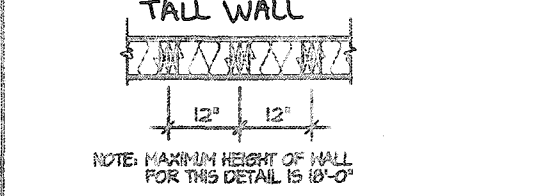
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
3'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

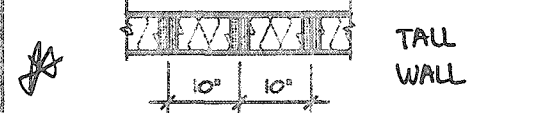
REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

2-2"x8" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT. C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



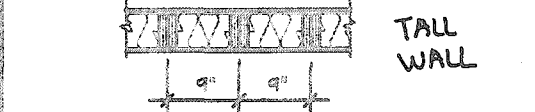
TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (L.S.) USE
STUD WALL. GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT. C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (L.S.) USE
STUD WALL. GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT. C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S.
W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA.
ANCHOR BOLTS
C2 = 5"x5"x1/4" H.S.S.
W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA.
ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN
= 35 kNm

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

AREA CALCULATIONS		ELEV. 1
GROUND FLOOR AREA	=	1215 Sq. Ft.
SECOND FLOOR AREA	=	1452 Sq. Ft.
TOTAL FLOOR AREA	=	2667 Sq. Ft.
		247.71 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	105 Sq. Ft.
ADD TOTAL OPEN AREAS	=	105 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2772 Sq. Ft.
		257.53 Sq. M.
GROUND FLOOR COVERAGE	=	1215 Sq. Ft.
GARAGE COVERAGE / AREA	=	397 Sq. Ft.
PORCH COVERAGE / AREA	=	54 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1666 Sq. Ft.
		154.78 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1612 Sq. Ft.
		149.76 Sq. M.

AREA CALCULATIONS		ELEV. 3
GROUND FLOOR AREA	=	1215 Sq. Ft.
SECOND FLOOR AREA	=	1438 Sq. Ft.
TOTAL FLOOR AREA	=	2653 Sq. Ft.
		246.47 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	105 Sq. Ft.
ADD TOTAL OPEN AREAS	=	105 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2758 Sq. Ft.
		256.23 Sq. M.
GROUND FLOOR COVERAGE	=	1215 Sq. Ft.
GARAGE COVERAGE / AREA	=	397 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1685 Sq. Ft.
		156.34 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1612 Sq. Ft.
		149.76 Sq. M.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	1051 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	546 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	546 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	387 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	352 (R20 BLANKET)
HEATED SLAB OR SLAB 1.600mm BELOW GRADE MINIMUM RSI (R) VALUE	176 (R10)
SLIDING & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 2, MAX. U=0.20
SPACE HEATING EQUIPMENT MINIMUM AFUE	90%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

AREA CALCULATIONS		ELEV. 2
GROUND FLOOR AREA	=	1215 Sq. Ft.
SECOND FLOOR AREA	=	1453 Sq. Ft.
TOTAL FLOOR AREA	=	2668 Sq. Ft.
		247.87 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	105 Sq. Ft.
ADD TOTAL OPEN AREAS	=	105 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2773 Sq. Ft.
		257.62 Sq. M.
GROUND FLOOR COVERAGE	=	1215 Sq. Ft.
GARAGE COVERAGE / AREA	=	397 Sq. Ft.
PORCH COVERAGE / AREA	=	54 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1666 Sq. Ft.
		154.78 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1612 Sq. Ft.
		149.76 Sq. M.

VALLEYCREEK 3		ELEV. 1			
ELEVATI ON	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTA GE
FRONT	670.54	62.30	92.73	8.61	13.88 %
LEFT SIDE	1059.86	98.46	86.47	8.03	8.16 %
RIGHT SIDE	1059.86	98.46	32.66	3.03	3.08 %
REAR	682.24	63.34	151.41	14.62	23.07 %
TOTAL	3472.60	322.62	369.27	34.31	10.63 %

VALLEYCREEK 3		ELV. 2			
ELEVATI ON	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTA GE
FRONT	683.56	63.31	103.92	9.65	15.20 %
LEFT SIDE	1059.86	98.46	86.47	8.03	8.16 %
RIGHT SIDE	1059.86	98.46	32.66	3.03	3.08 %
REAR	682.24	63.34	151.41	14.62	23.07 %
TOTAL	3485.54	323.82	380.46	35.35	10.92 %

VALLEYCREEK		ELEV. 3			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	641.75	64.27	119.86	11.14	17.55 %
LEFT SIDE	1059.86	98.46	86.47	8.03	8.16 %
RIGHT SIDE	1059.86	98.46	32.66	3.03	3.09 %
REAR	682.24	63.34	151.41	14.62	23.07 %
TOTAL	3493.76	324.58	396.40	36.83	11.35 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (letting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

CITY OF HAMILTON
Building Division
Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
JDL DEC 10/2020
FOR CHIEF BUILDING OFFICIAL DATE



VALLEYCREEK 3
COMPLIANCE PACKAGE "A1"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4039
F (905) 460-0745

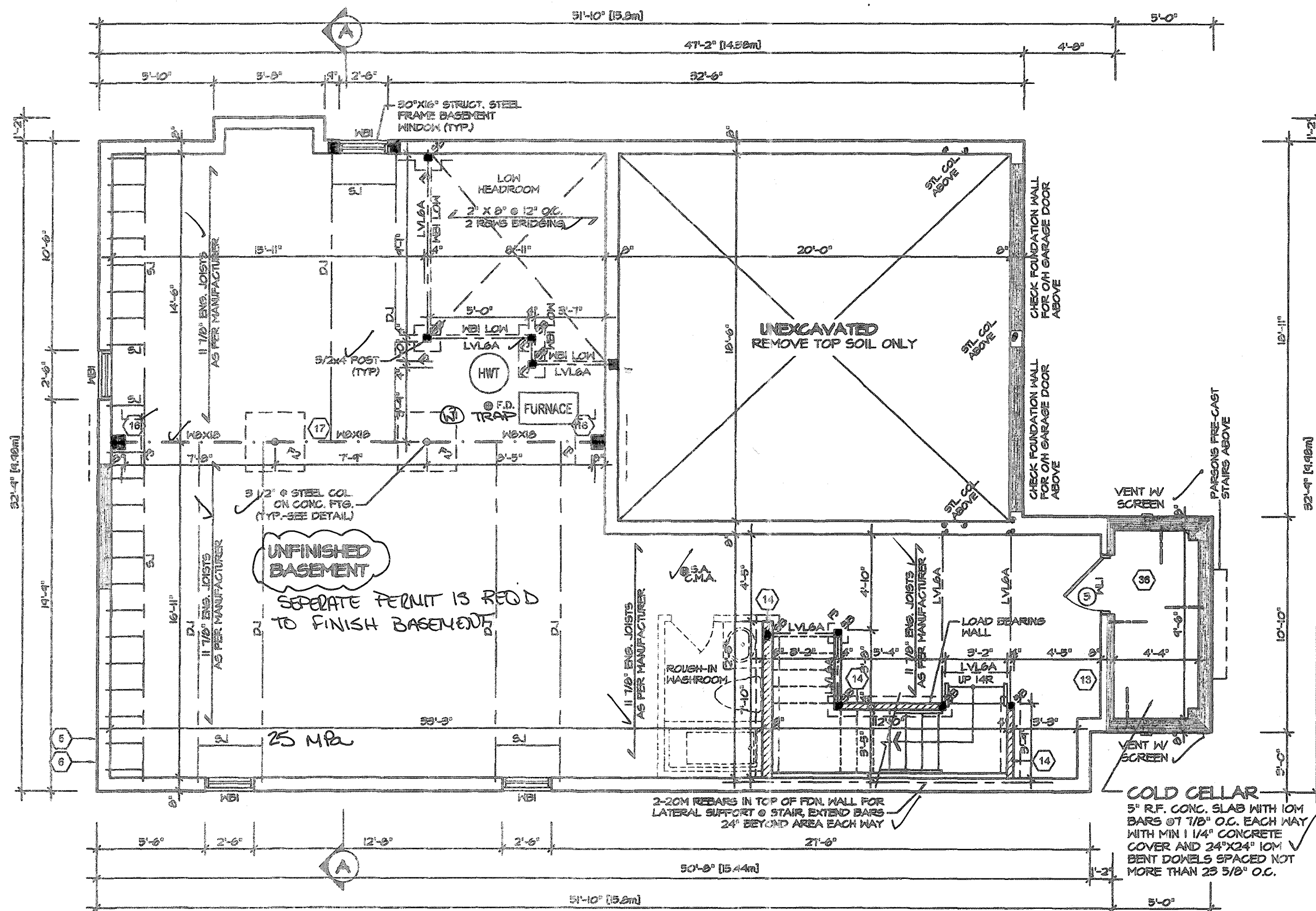
REGION DESIGN INC.

GENERAL NOTES & CHARTS	
SCALE	BY MB
DATE DEC 2019	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2,772	PAGE No. 0
PROJECT 12-04-19		

PROJECT NAME
RUSSELL GARDENS III

Greenpark.



BASEMENT PLAN I

REFER TO FLOOR FRAMING SHOP
DRAWINGS FOR ENGINEERED FRAMING
LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND
TO BE GLUED AND NAILED ON THIS FLOOR.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS
AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. **197710**

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] **Dec 10/20**
FOR CHIEF BUILDING OFFICIAL DATE **MAR 12 2020**

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
[Signature]
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

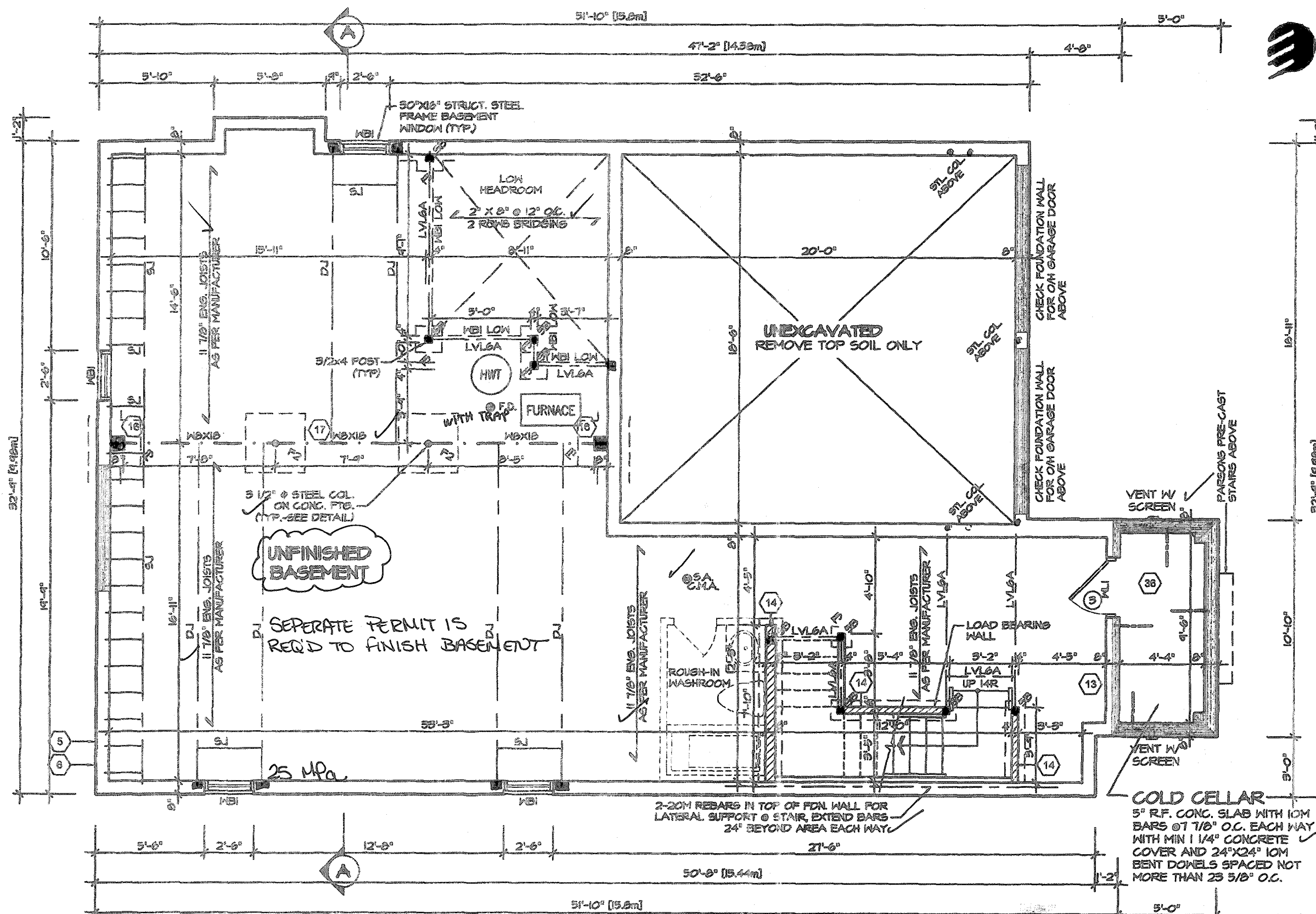
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY *[Signature]*
DATE **SEP 21 2020**

This stamp certifies compliance with the applicable
Design Guidelines only and does not constitute
professional responsibility.

VALLEYCREEK 3
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME  SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4016 F (905) 630-0746	REGION DESIGN INC.	SHEET TITLE BASEMENT PLAN ELEVATION 1		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark. PROJECT NAME RUSSELL GARDENS III
4.					SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE No. 1	
3.					DATE DEC 2019	TYPE	PROJECT 12-04-19		
2.	ISSUED FINAL REFERENCE MAR 2020								
1.	ISSUED FOR COORDINATION JAN 2020								
REVISIONS									



BASEMENT PLAN 2

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

REFER TO FLOOR FRAMING SHOP
DRAWINGS FOR ENGINEERED FRAMING
LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND
TO BE GLUED AND NAILED ON THIS FLOOR.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS
AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1" TO 2 ROWS FOR SPANS GREATER THAN 7'

COLD CELLAR
5" R.F. CONG. SLAB WITH 10M
BARS @ 17/8" O.C. EACH WAY
WITH MIN 1 1/4" CONCRETE
COVER AND 24"X24" 10M
BENT DOWELS SPACED NOT
MORE THAN 23 5/8" O.C.

CITY OF HAMILTON
Building Division
Permit No. 197710
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
JD DATE **Dec 10/20**
FOR CHIEF BUILDING OFFICIAL

MAR 12 2020

VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSELL GARDENS III

REVISIONS	
2. ISSUED FINAL REFERENCE	MAR 2020
1. ISSUED FOR COORDINATION	JAN 2020

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
6700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746

**REGION
DESIGN
INC.**

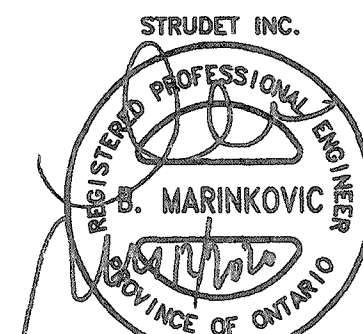
SHEET TITLE
**BASEMENT PLAN
ELEVATION 2**
SCALE 3/16"=1'-0"
DATE DEC 2019
BY MB
TYPE
PROJECT 12-04-19

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.
AREA 2,772
PAGE No. 1-2



Electrical
Safety
Authority

Doing electrical work? A notification must
be filed with the Electrical Safety Authority.
Hiring someone to do electrical work? They
must be a Licensed Electrical Contractor.
For more information go to
esa.ca or call 1-877-372-7233

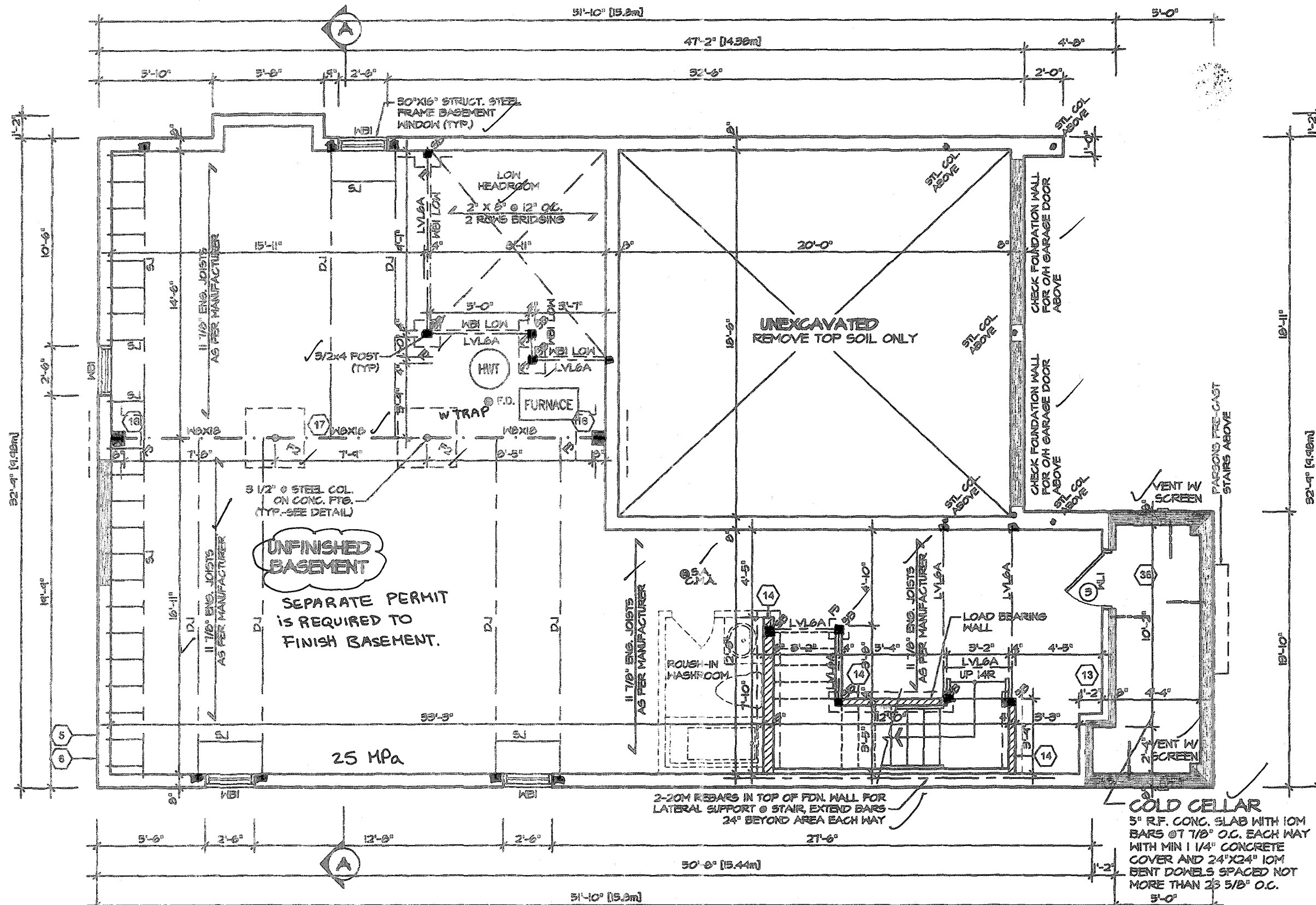


FOR STRUCTURE ONLY

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Guidelines approved by the City of
HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY
DATE SEP 21 2020
This stamp certifies compliance with the applicable
Design Guidelines only and does not further
professional liability.



BASEMENT PLAN 3

REFER TO FLOOR FRAMING SHOP
DRAWINGS FOR ENGINEERED FRAMING
LAYOUTS

ALL SUBFLOORS TO BE 5/4\"

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS
AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12\"

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

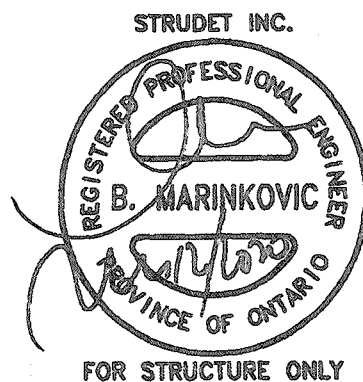
Permit No. **197710**

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
JDC **Dec 10/20**

FOR CHIEF BUILDING OFFICIAL DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (filling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY **[Signature]**
DATE **SEP 21 2020**

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

MAR 17 2020

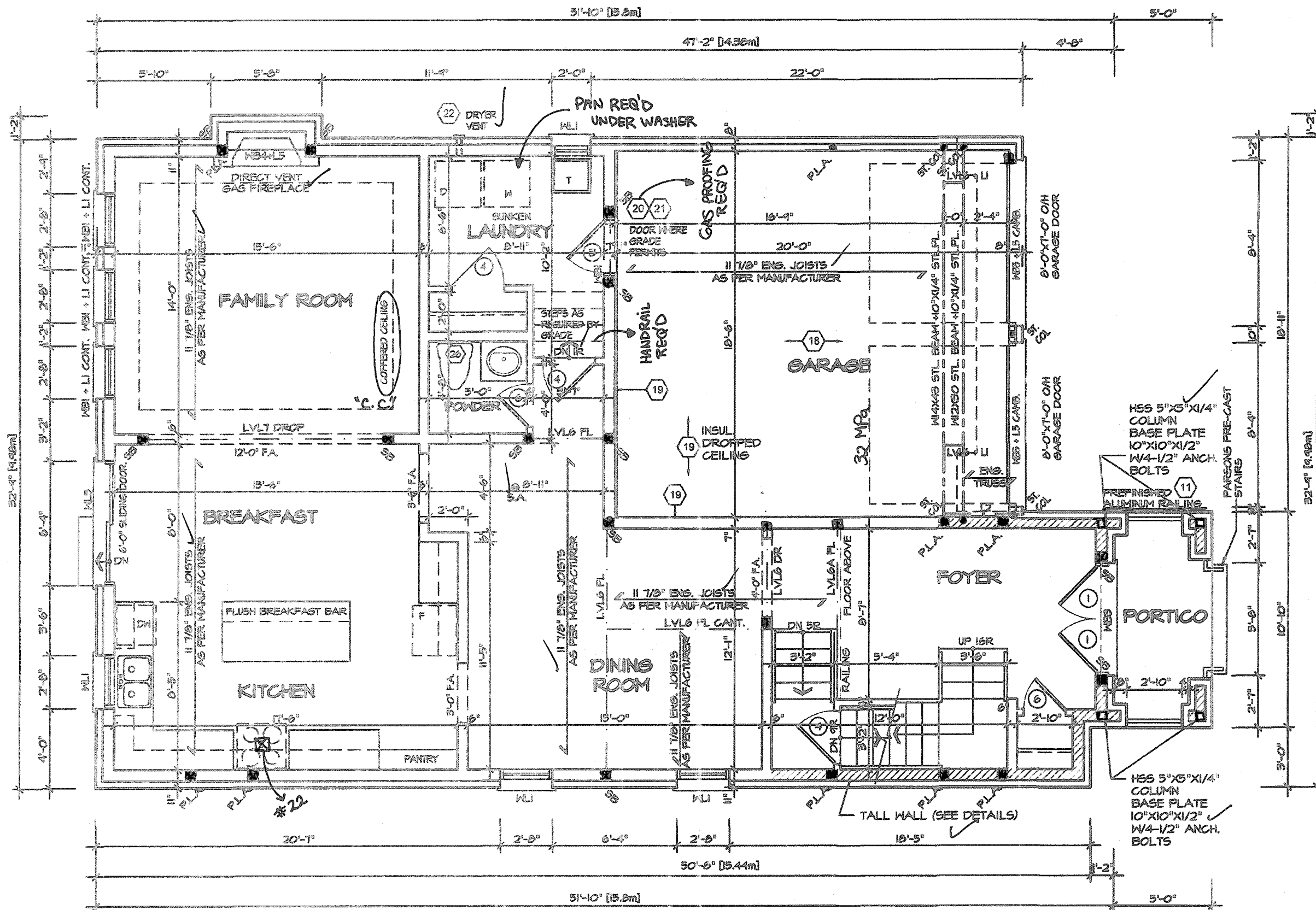
VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5 4 3 2. ISSUED FINAL REFERENCE MAR 2020 1. ISSUED FOR COORDINATION JAN 2020 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (800) 680-0746	SHEET TITLE BASEMENT PLAN ELEVATION 3 SCALE 3/16"=1'-0" DATE DEC 2019 BY MB TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2,772 PAGE No. 1-3 PROJECT 12-04-19	Greenpark. PROJECT NAME RUSSELL GARDENS III
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P:23:27 AM MAPPROJECTSRUSSELL GARDENS III STANDARD VALLEYCREEK 3 - REG VALLEYCREEK 3 MASTER.DWG March 6, 2020

GAS FIRE PLACE TO BE INSTALLED
AS PER MANUFACTURES GUIDELINES
AND GAS UTILIZATION CODE.



FIRST FLOOR PLAN 1

ALL PLUMBING IS SUBJECT TO
FIELD INSPECTION AND APPROVAL

CITY OF HAMILTON
Building Division
Planning & Development Department
NOV 27 2020
REC BY _____ DATE _____
REFD TO _____ DATE _____

FIRE BLOCKING IS REQ'D
IN ALL CONCEALED SPACES. "C.C."

CITY OF HAMILTON
Building Division
197710

Stamp No. _____
T-1. RE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
JDL Dec 10/20
FOR CHIEF BUILDING OFFICIAL DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY _____
DATE SEP 21, 2020
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VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSELL GARDENS III

REVISIONS	
5	
4	
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2	ISSUED FINAL REFERENCE MAR 2020
1	ISSUED FOR COORDINATION JAN 2020

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

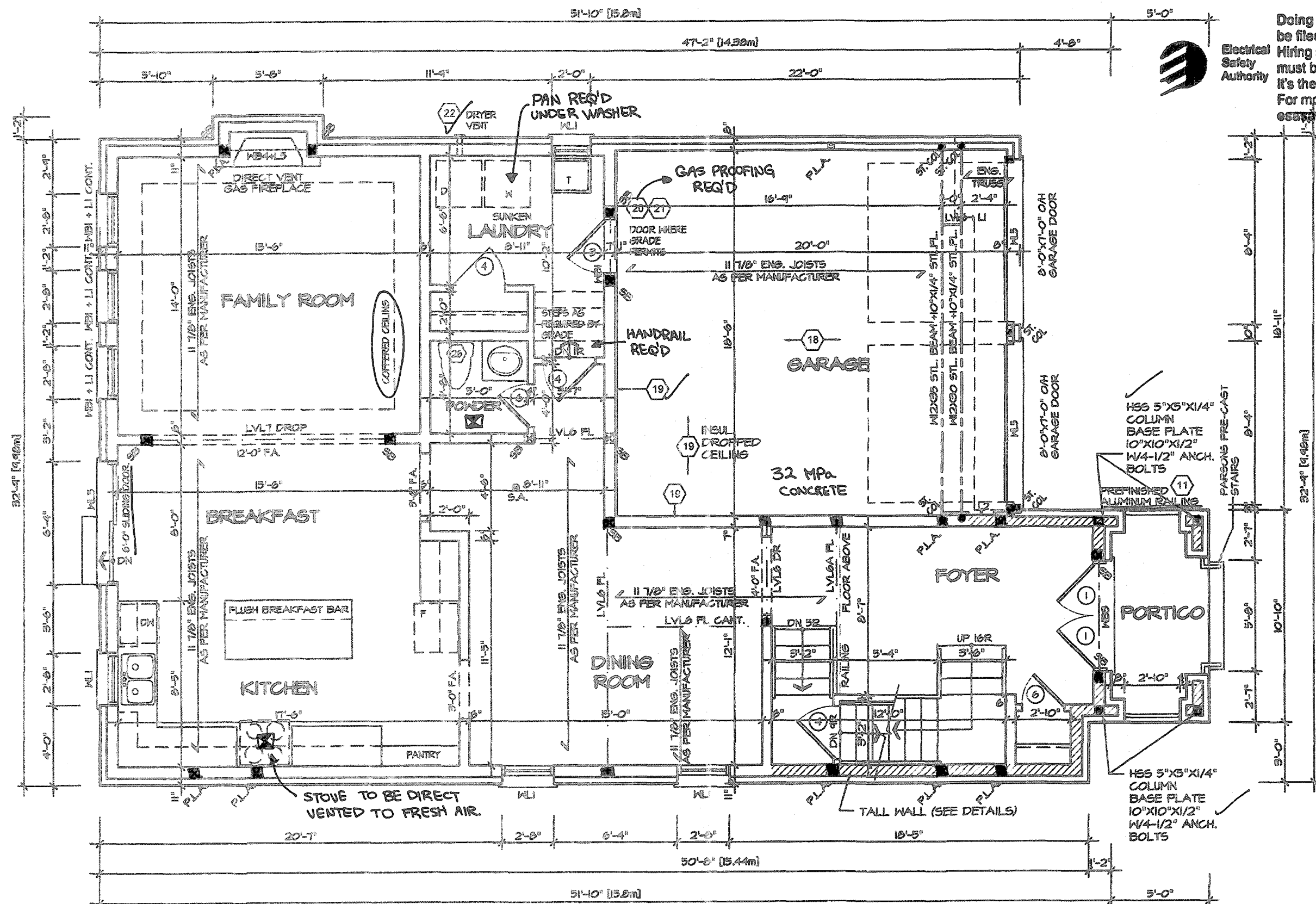
VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
9700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4G6
P (416) 736-4036
F (905) 660-0746

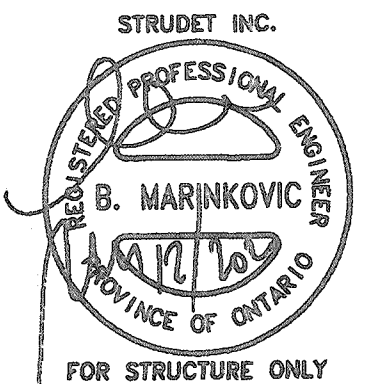
SHEET TITLE
FIRST FLOOR PLAN
ELEVATION 1
SCALE 3/16"=1'-0"
DATE DEC 2019
BY MB
TYPE
AREA 2,772
PAGE No. 2
PROJECT 12-04-19

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

GAS FIREPLACE
PG. 7 + 7A



Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical work? They must be a Licensed Electrical Contractor. It's the Law. For more information go to esafe.com or call 1-877-372-7233



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 23 2020
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FIRST FLOOR PLAN 2
FIRE BLOCKING REQ'D IN ALL
CONCEALED SPACES.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 27 2020
REC BY: _____ DATE: _____
REP'D TO: _____ DATE: _____

ALL PLUMBING WORK IS SUBJECT
TO FIELD INSPECTION AND APPROVAL.

CITY OF HAMILTON
Building Division

Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

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These drawings and/or specifications have been reviewed by

JDC Dec 10/20
FOR CHIEF BUILDING OFFICIAL DATE

MAR 12 2020

VALLEYCREEK 3

COMPLIANCE PACKAGE "1A"

REVISIONS	
5	
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2	ISSUED FINAL REFERENCE MAR 2020
1	ISSUED FOR COORDINATION JAN 2020

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4030
F (905) 860-0746

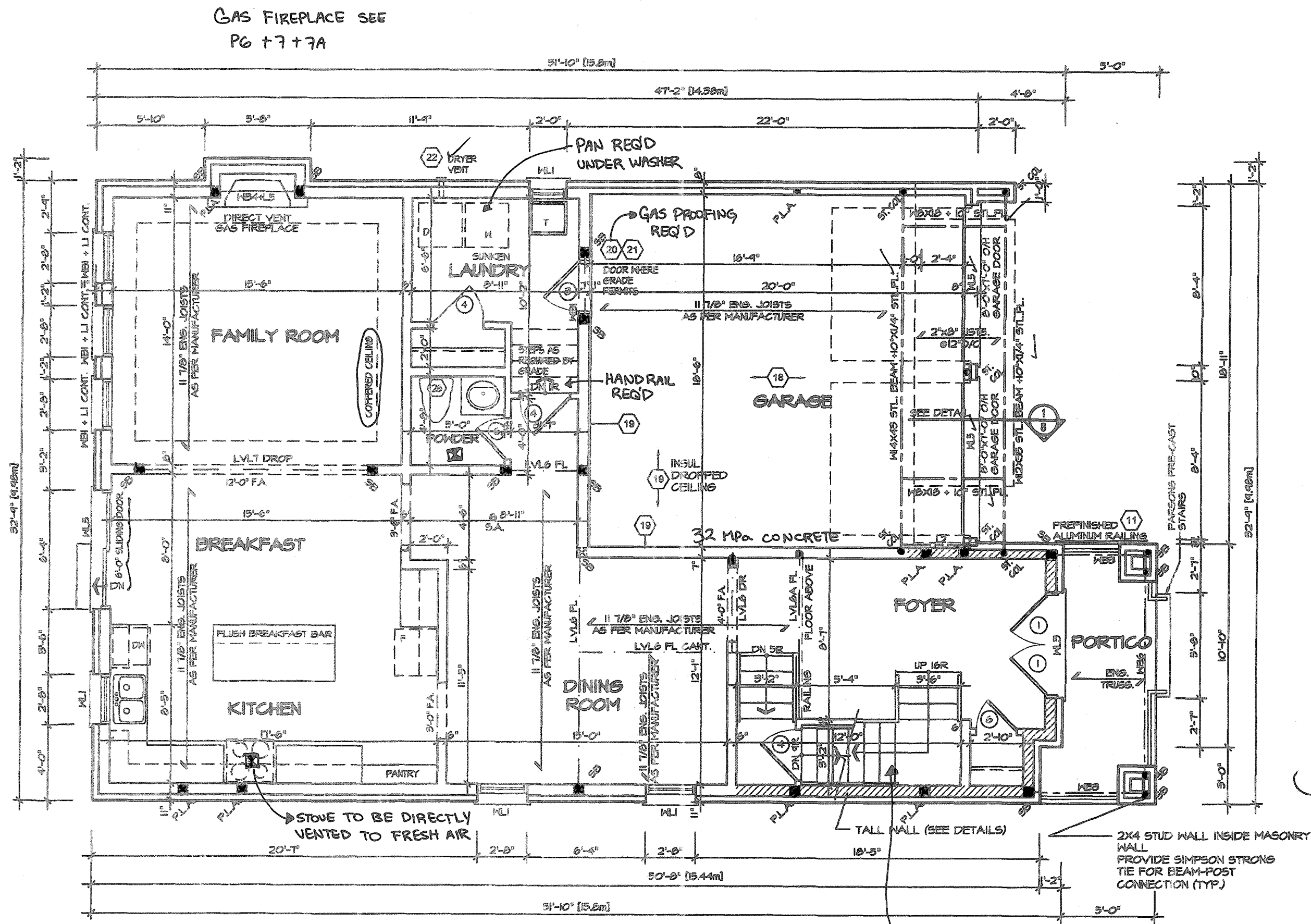


SHEET TITLE
FIRST FLOOR PLAN
ELEVATION 2
SCALE 3/16"=1'-0"
DATE DEC 2019
BY MB
TYPE
AREA 2.772
PAGE No. 2-2
PROJECT 12-04-19

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.



PROJECT NAME
RUSSELL GARDENS III



FIRST FLOOR PLAN 3
FIRE BLOCKING IS REQ'D IN ALL CONCEALED SPACES

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

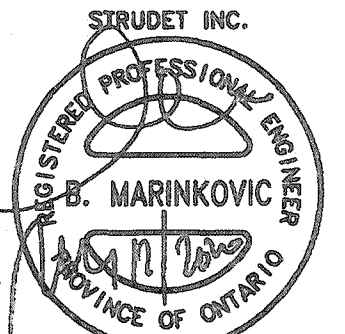
CITY OF HAMILTON
Building Division

Permit No. **197710**

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DL **Dec 10/20**
FOR CHIEF BUILDING OFFICIAL DATE



FOR STRUCTURE ONLY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY _____
DATE **SEP 21 2020**

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VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5.			
4.			
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2. ISSUED FINAL REFERENCE		MAR 2020	
1. ISSUED FOR COORDINATION		JAN 2020	
REVISIONS			

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VIKAS GAJJAR NAME	 SIGNATURE
	28770 BCIN

REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 735-4088 F (905) 680-0746	
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SHEET TITLE FIRST FLOOR PLAN ELEVATION 3	
SCALE 3/16"=1'-0"	BY MB
DATE DEC 2019	TYPE

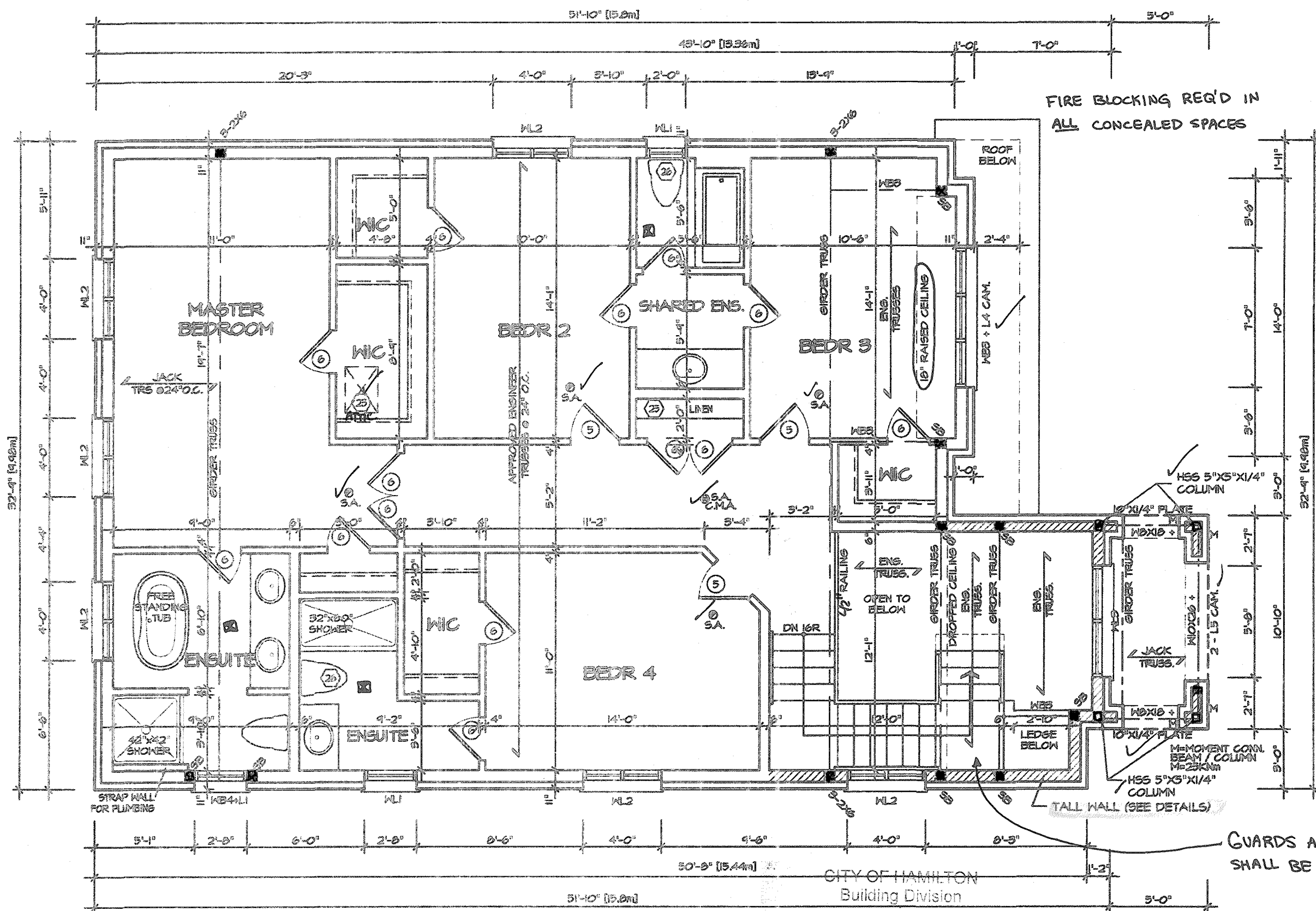
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2,772	PAGE No. 2-3
PROJECT 12-04-19	

	
PROJECT NAME RUSSELL GARDENS III	



Electrical
Safety
Authority

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SECOND FLOOR PLAN 1

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
6700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4036
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
SECOND FLOOR PLAN
ELEVATION 1

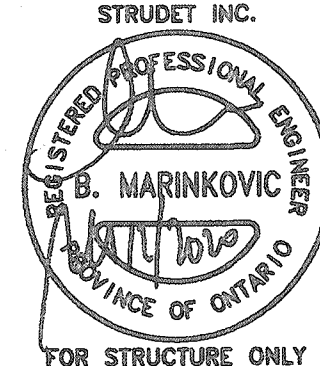
SCALE 3/16"=1'-0"
DATE DEC 2019
BY MB
TYPE

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AREA 2,772
PAGE No. 3
PROJECT 12-04-19

Greenpark

PROJECT NAME
RUSSELL GARDENS III



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE SEP 21 2020
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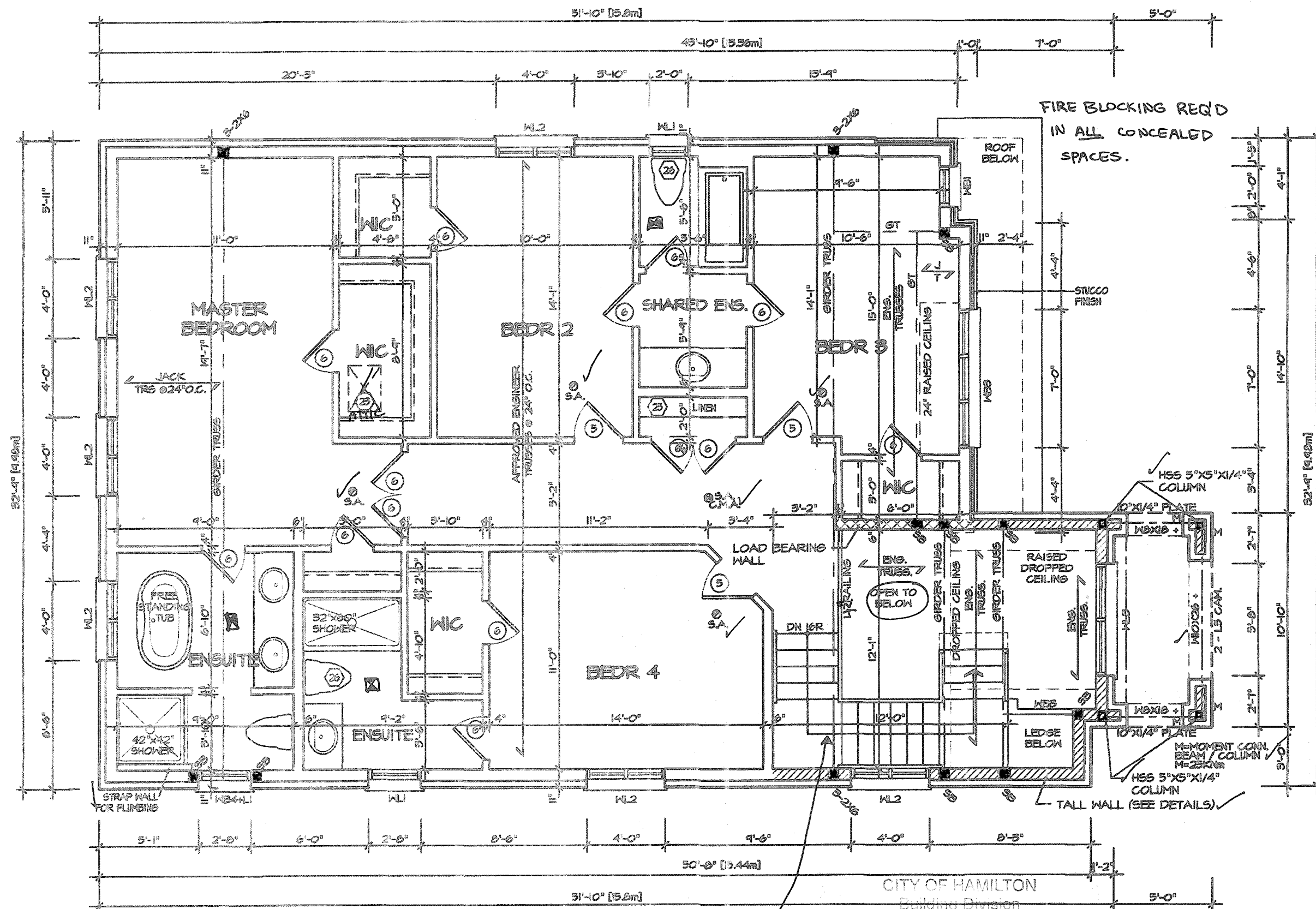
VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"



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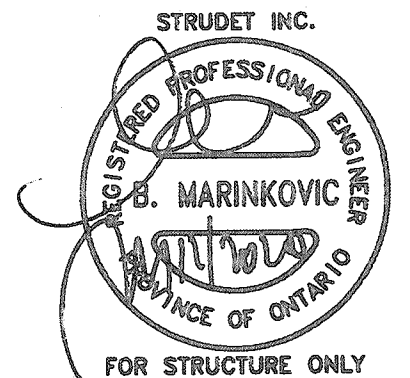


SECOND FLOOR PLAN
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 27 2020
REC BY _____ DATE _____
REF'D TO _____ DATE _____

GUARDS AND
HANDRAILS SHALL BE
CONTINUOUS.

Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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SDC Dec 10/20
FOR CHIEF BUILDING OFFICIAL DATE



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not further constitute a warranty.

VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSELL GARDENS III

REVISIONS	
5.	
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3.	
2.	ISSUED FINAL REFERENCE MAR 2020
1.	ISSUED FOR COORDINATION JAN 2020

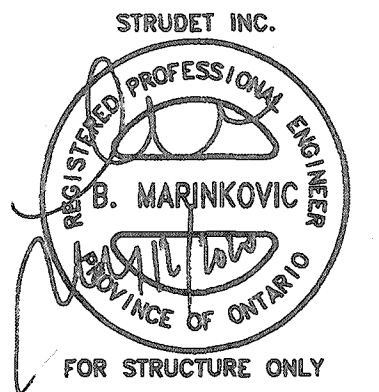
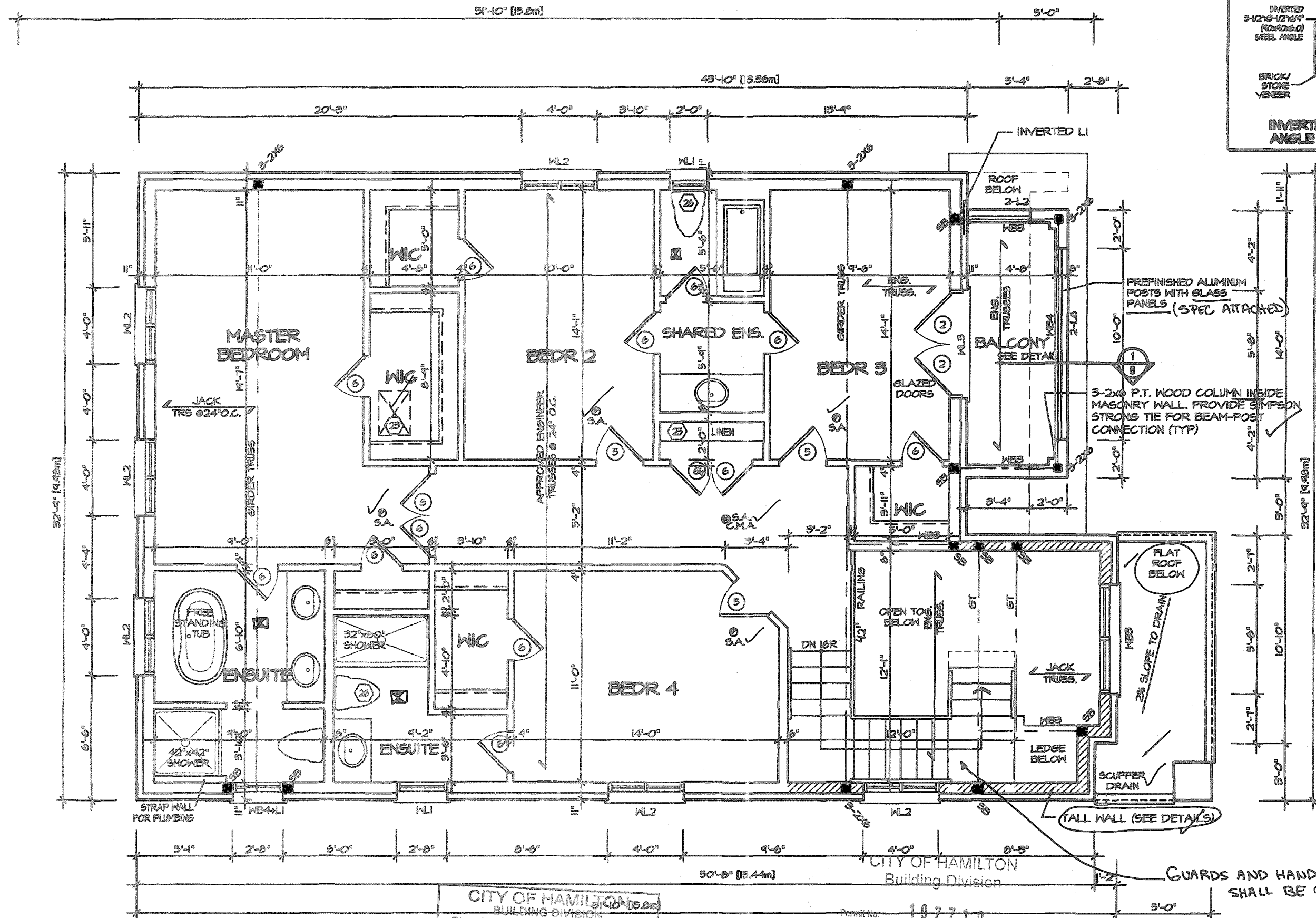
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
6700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4G5
P (416) 736-4036
F (905) 680-0716

REGION DESIGN INC.

SHEET TITLE
SECOND FLOOR PLAN
ELEVATION 2
SCALE 3/16"=1'-0"
DATE DEC 2019
BY MB
TYPE
PROJECT 12-04-19

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AREA 2,772
PAGE No. 3-2
PROJECT 12-04-19



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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURE, CONTROL, REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21 2020
This stamp certifies compliance with the applicable Design Guidelines and does not bear any further professional responsibility.

SECOND FLOOR PLAN 3

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 27 2020
REC BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

Permit No. 107770
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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These drawings and/or specifications have been reviewed by
[Signature] Dec 10/20
FOR CHIEF BUILDING OFFICIAL

MAR 12 2020

VALLEYCREEK 3 COMPLIANCE PACKAGE "A1"

REVISIONS	
5.	
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2. ISSUED FINAL REFERENCE	MAR 2020
1. ISSUED FOR COORDINATION	JAN 2020

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S5
P (416) 738-4088
F (905) 960-0740

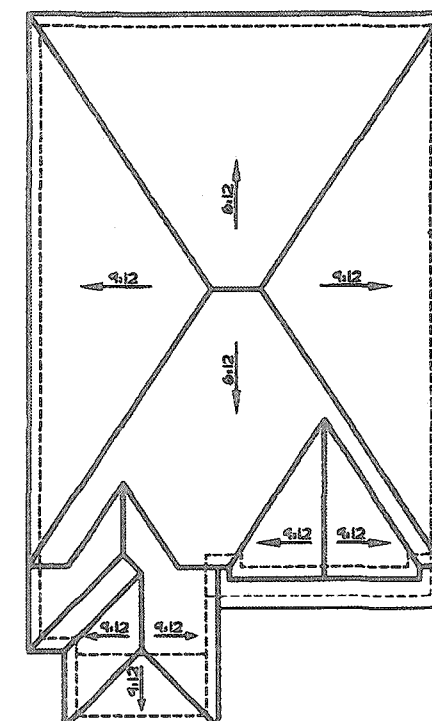
REGION
DESIGN
INC.

SHEET TITLE
SECOND FLOOR PLAN
ELEVATION 3
SCALE 3/16"=1'-0"
DATE DEC 2019
BY MB
TYPE
AREA 2,772
PAGE No. 3-3
PROJECT 12-04-19

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PROJECT NAME
RUSSELL GARDENS III



ROOF PLAN I
Scale: 1/16"=1'-0"

CITY OF HAMILTON
Building Division

Permit No. 197710
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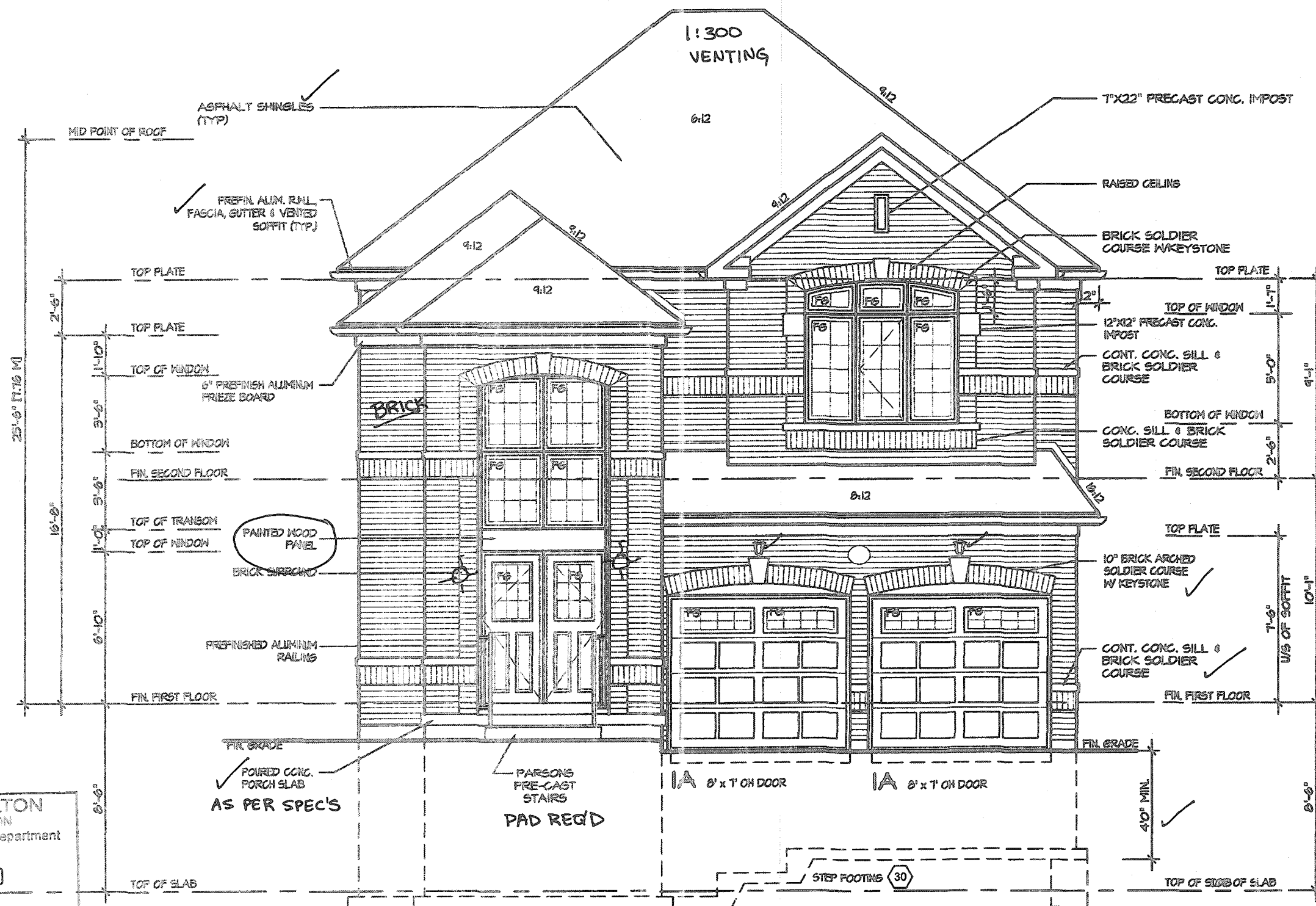
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY [Signature]
DATE SEP 27, 2020
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VALLEYCREEK 3

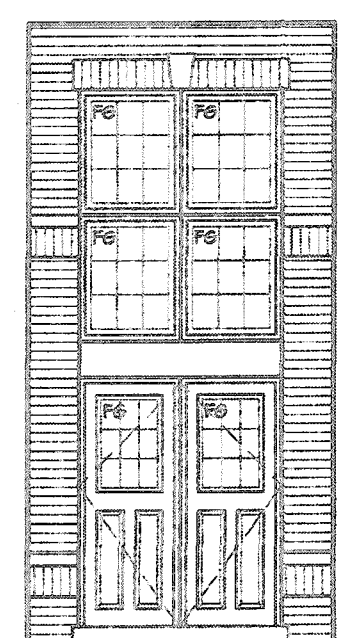
COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSELL GARDENS III



FRONT ELEVATION I



INSIDE PORTICO ELEVATION I

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020
REC BY _____ DATE _____
REFD TO _____ DATE _____

REVISIONS	
5	
4	
3	
2	ISSUED FINAL REFERENCE MAR 2020
1	ISSUED FOR COORDINATION JAN 2020

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.5 of the building code.

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

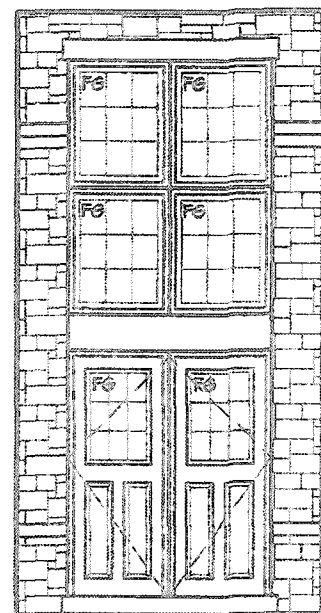
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4036
F (905) 660-0746

SHEET TITLE
FRONT ELEVATION 1

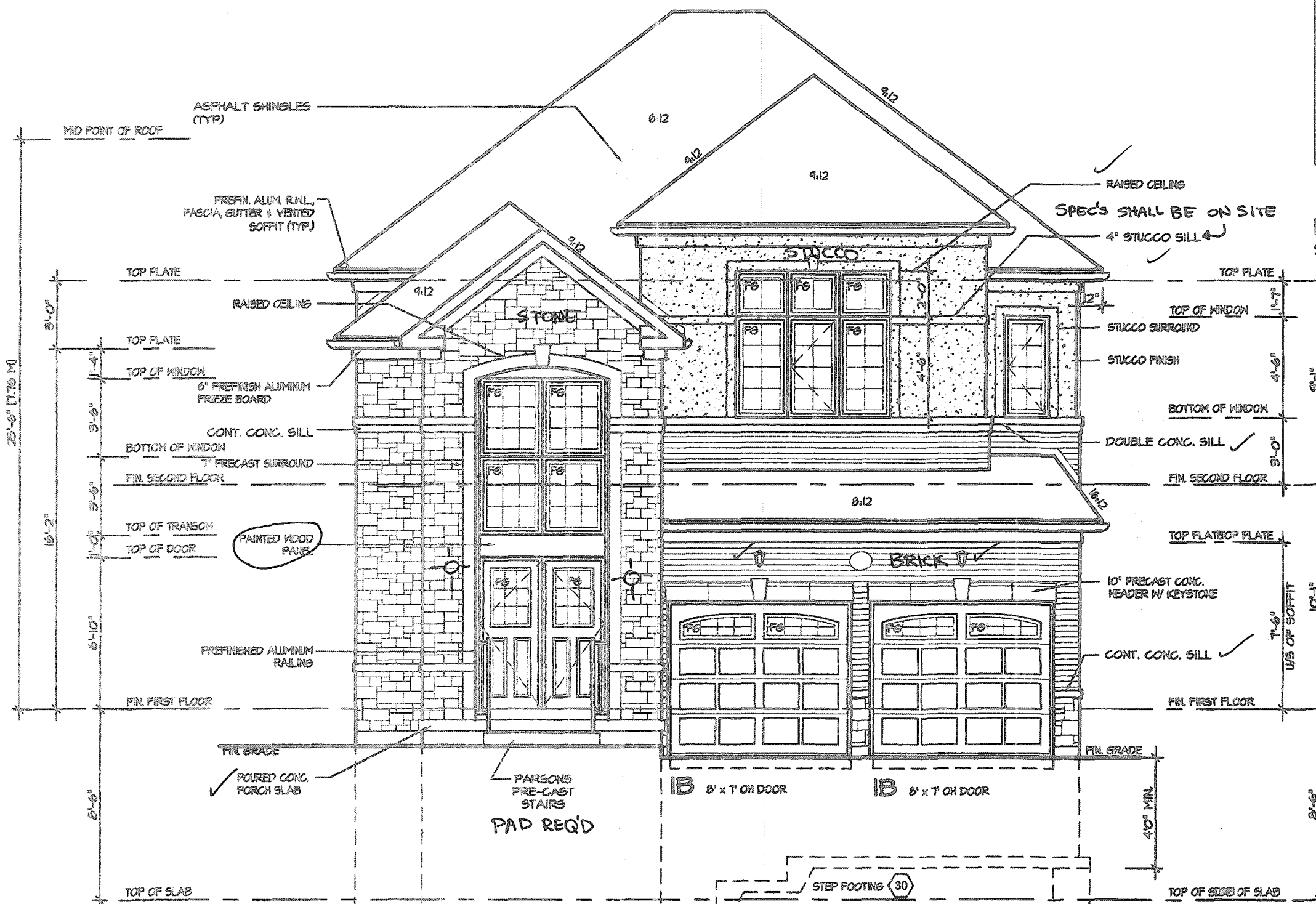
SCALE **3/16"=1'-0"**
DATE **DEC 2019**

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

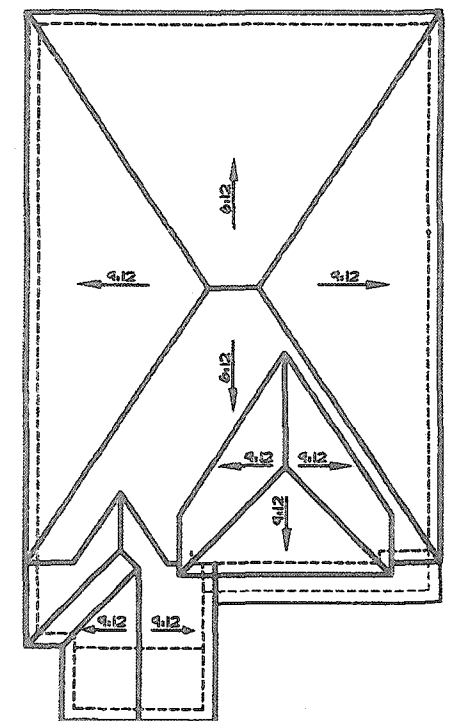
AREA **2,772**
PAGE No. **4**
PROJECT **12-04-19**



INSIDE PORTICO
ELEVATION 2



FRONT ELEVATION 2



ROOF PLAN 2
Scale: 1/16"=1'-0"

CITY OF HAMILTON
Building Division

Permit No. 197710

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21 2020
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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 27 2020
REC BY: _____ DATE: _____
REP'D TO: _____ DATE: _____

MAR 12 2020

VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5	
4	
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2	ISSUED FINAL REFERENCE MAR 2020
1	ISSUED FOR COORDINATION JAN 2020
REVISIONS	

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BCIN

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8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4088
F (905) 860-0745

REGION
DESIGN
INC.

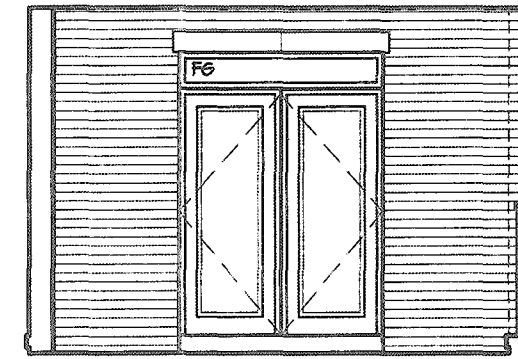
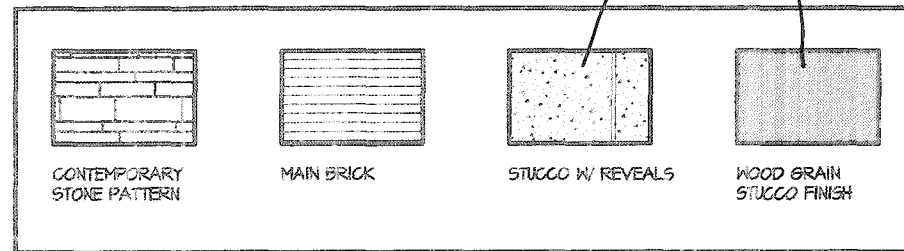
SHEET TITLE
FRONT ELEVATION 2
SCALE 3/16"=1'-0"
DATE DEC 2019
BY MB
TYPE
AREA 2,772
PAGE No. 4-2
PROJECT 12-04-19

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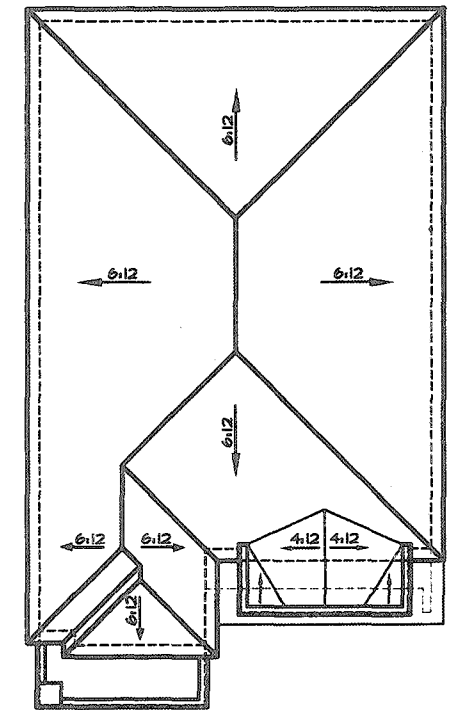
Greenpark

PROJECT NAME
RUSSELL GARDENS III

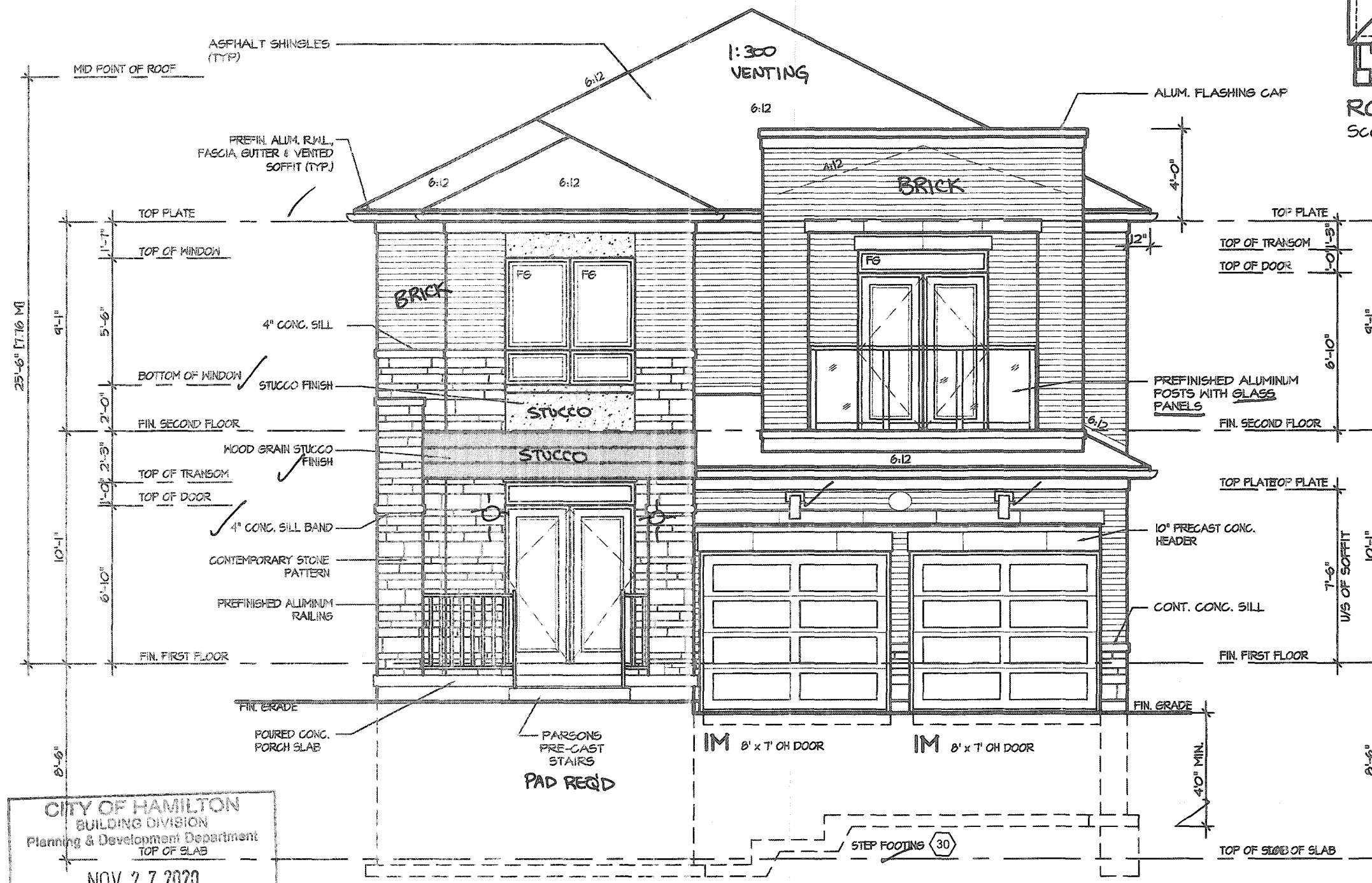
STUCCO NOTE: CAN/ULC APPROVED
SPEC'S SHALL BE ON SITE
FOR INSPECTION



INSIDE PORTICO
BALCONY ELEVATION



ROOF PLAN 3
Scale: 1/16"=1'-0"



FRONT ELEVATION 3

CITY OF HAMILTON
Building Division

Permit No. 187710

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Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable
Design Guidelines only and does not constitute
professional responsibility.

VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	ISSUED FINAL REFERENCE	MAR 2020
1.	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4196
F (905) 960-0746

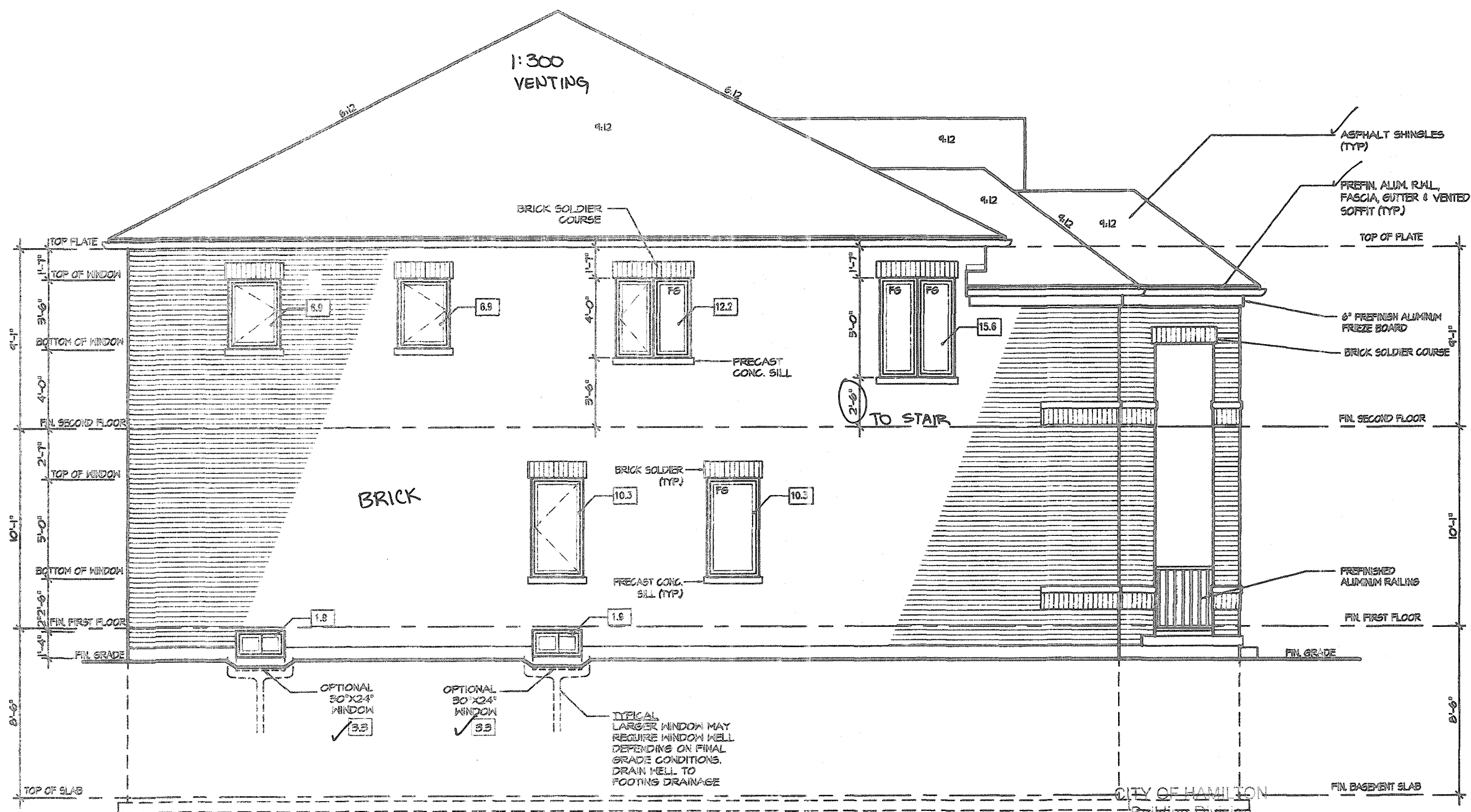
REGION
DESIGN
INC.

SHEET TITLE
FRONT ELEVATION 3
SCALE 3/16"=1'-0"
DATE DEC 2019
BY MB
TYPE
AREA 2,772
PROJECT 12-04-19
PAGE No. 4-3

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

Greenpark.

PROJECT NAME
RUSSELL GARDENS III



LEFT ELEVATION I

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

ALLOWABLE GLAZING

WALL AREA
WALL AREA
ALLOWABLE WINDOW AREA @ 1.00 % (1.2 M SIDEYARD)
ACTUAL WINDOW AREA
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA
L.D. OKAY

Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

Dec. 10/20
MAR 2 2020

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 21 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSELL GARDENS III

REVISIONS	
5	
4	
3	
2	ISSUED FINAL REFERENCE MAR 2020
1	ISSUED FOR COORDINATION JAN 2020

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4036
F (905) 660-0748

REGION DESIGN INC.

SHEET TITLE
LEFT SIDE ELEVATION 1

SCALE 3/16"=1'-0"

DATE DEC 2019

BY MB

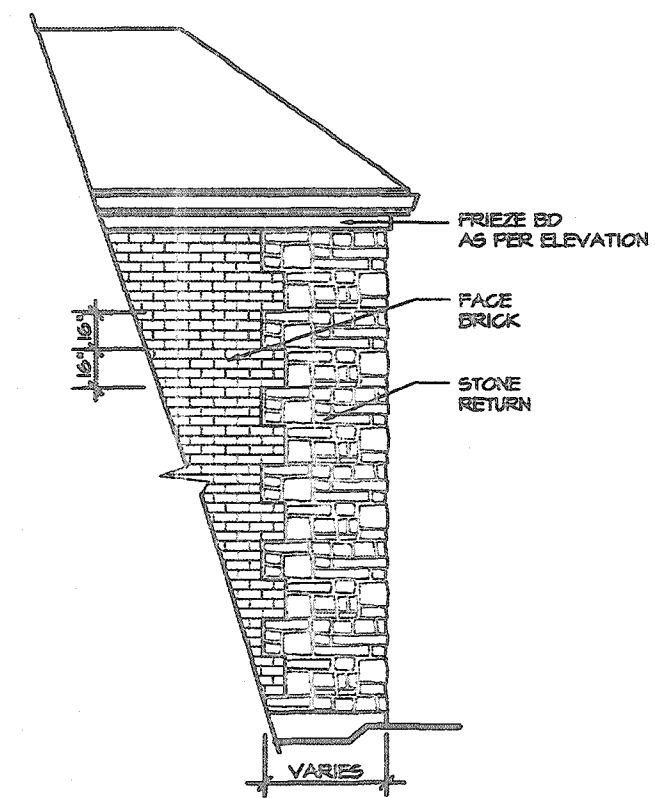
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

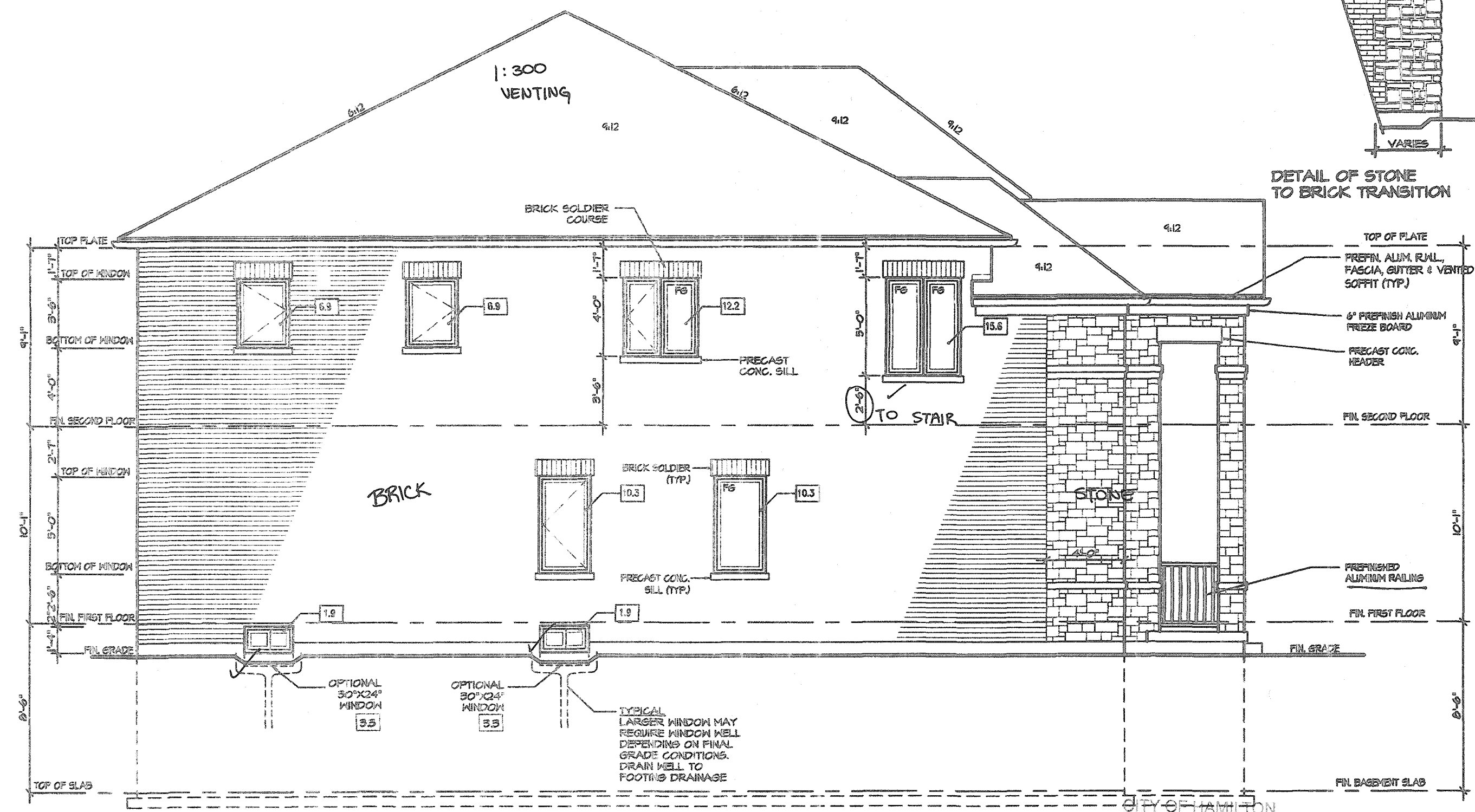
AREA 2,772

PAGE No. 5

PROJECT 12-04-19



DETAIL OF STONE TO BRICK TRANSITION



LEFT ELEVATION 2

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____

REFD TO _____ DATE _____

ALLOWABLE GLAZING

WALL AREA

WALL AREA 1035.86

ALLOWABLE WINDOW AREA @ 1.00 % (1.2 M SIDEYARD) 79.91

ACTUAL WINDOW AREA 66.00

WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA 66.80

L.D. OKAY

CITY OF HAMILTON
Building Division

Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

[Signature] Dec 10/2020

FOR CHIEF BUILDING OFFICIAL DATE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY *[Signature]*
DATE SEP 21 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.7.5 of the building code

VIKAS GAJJAR
NAME

[Signature]
SIGNATURE

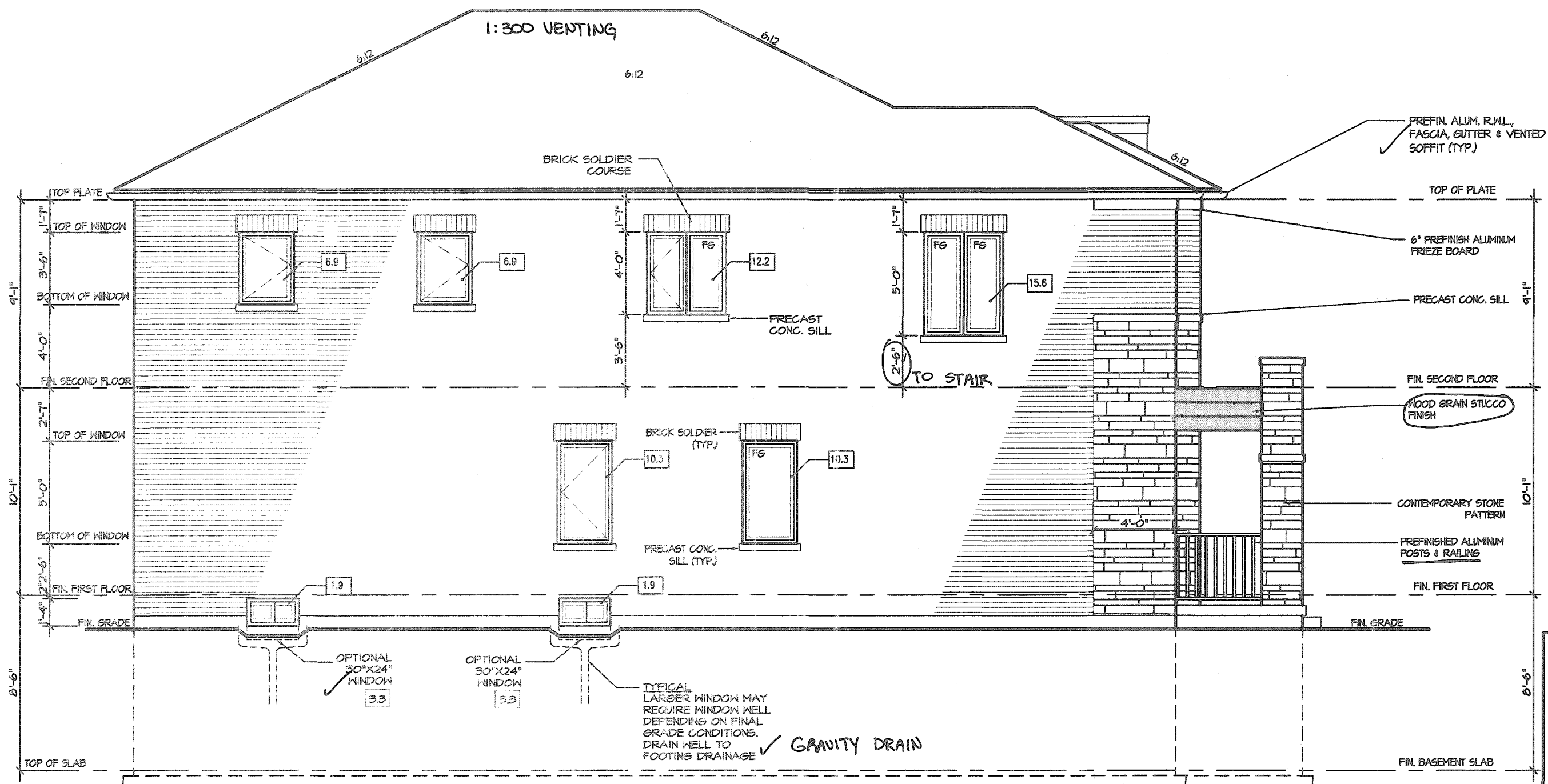
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S3
P (416) 736-4038
F (905) 660-0716

SHEET TITLE LEFT SIDE ELEVATION 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE No. 5-2
DATE DEC 2019	TYPE	PROJECT 12-04-19	

Greenpark.

PROJECT NAME
RUSSELL GARDENS III



LEFT ELEVATION 3

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

ALLOWABLE GLAZING

WALL AREA
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)
ACTUAL WINDOW AREA
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA

1055.86
73.91
66.00
68.80

L.D. OKAY

CITY OF HAMILTON
Building Division

Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

JDL Dec 10/20
FOR CHIEF BUILDING OFFICIAL DATE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21 2020
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VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE 28770 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 735-4096
F (905) 860-0746

REGION
DESIGN
INC.

SHEET TITLE

LEFT SIDE
ELEVATION 3

SCALE 3/16"=1'-0"

DATE DEC 2019

BY MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2,772

PROJECT 12-04-19

PAGE No.

5-3

Greenpark

PROJECT NAME

RUSSELL GARDENS III

Permit No. _____

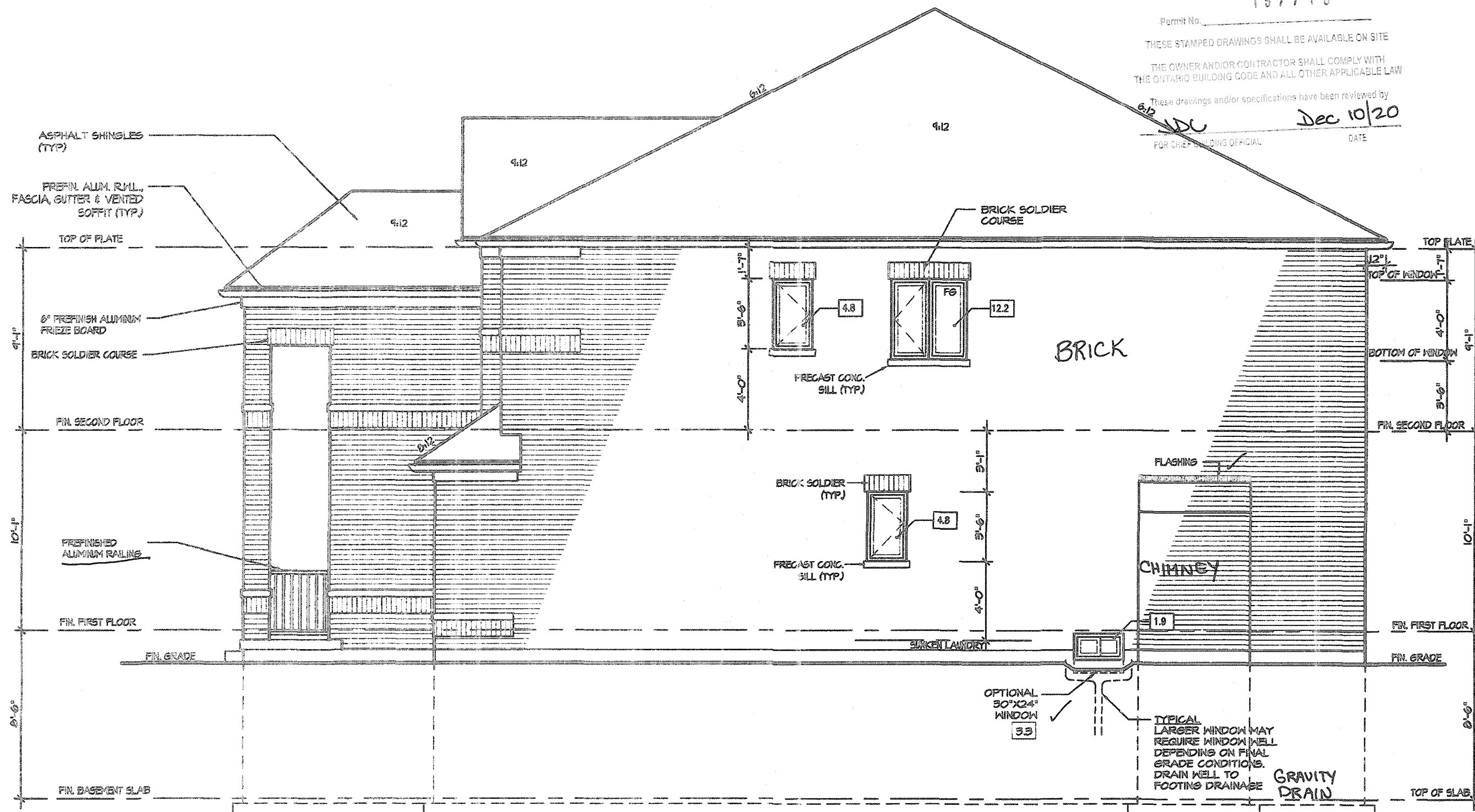
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
ab *DC* *Dec 10/20*

FOR CHIEF BUILDING OFFICIAL

DATE



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: SEP 21 2020

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Design Guidelines only and does not further
professional responsibility.

CITY OF HAMILTON
 BUILDING DIVISION
 Planning & Development Department
 NOV 27 2020
 REC BY _____ DATE _____
 REFD TO _____ DATE _____

<u>WALL AREA</u>	
WALL AREA	1059.86
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	74.19
ACTUAL WINDOW AREA	23.70
<u>WITH OPTIONAL 90"x24" BASEMENT WINDOWS ACTUAL OPENING AREA</u>	25.10

L.D. OKAY

1. $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$
 2. $\frac{1}{2} \times \frac{1}{4} = \frac{1}{8}$
 3. $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$
 4. $\frac{1}{2} \times \frac{1}{8} = \frac{1}{16}$
 5. $\frac{1}{4} \times \frac{1}{8} = \frac{1}{32}$
 6. $\frac{1}{2} \times \frac{1}{16} = \frac{1}{32}$
 7. $\frac{1}{4} \times \frac{1}{16} = \frac{1}{64}$
 8. $\frac{1}{2} \times \frac{1}{32} = \frac{1}{64}$
 9. $\frac{1}{4} \times \frac{1}{32} = \frac{1}{128}$
 10. $\frac{1}{2} \times \frac{1}{64} = \frac{1}{128}$
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 12. $\frac{1}{2} \times \frac{1}{256} = \frac{1}{256}$
 13. $\frac{1}{4} \times \frac{1}{256} = \frac{1}{512}$
 14. $\frac{1}{2} \times \frac{1}{512} = \frac{1}{512}$
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 17. $\frac{1}{4} \times \frac{1}{1024} = \frac{1}{2048}$
 18. $\frac{1}{2} \times \frac{1}{2048} = \frac{1}{2048}$
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 80. $\frac{1}{2} \times \frac{1}{4398046511104} = \frac{1}{4398046511104}$
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 84. $\frac{1}{2} \times \frac{1}{17592186044416} = \frac{1}{175921$

VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO L4K 4B8 P (416) 736-4088 F (905) 660-0748	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.					RIGHT SIDE ELEVATION 1					PROJECT NAME RUSSELL GARDENS III
3.					SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE NO. 6		
2.	ISSUED FINAL REFERENCE MAR 2020				DATE DEC 2019	TYPE	PROJECT 12-04-19			
1.	ISSUED FOR COORDINATION JAN 2020									
REVISIONS										

CITY OF HAMILTON
Building Division

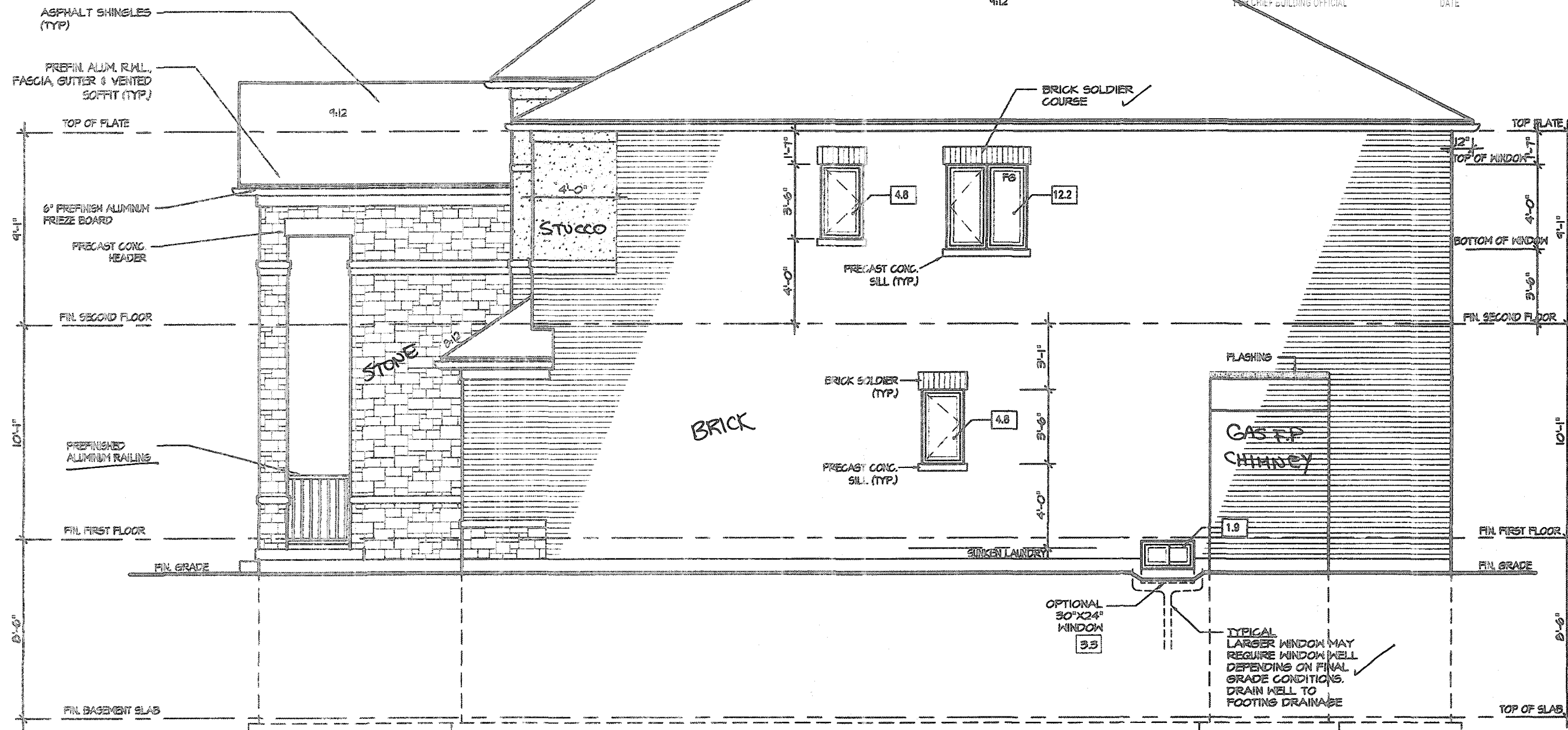
Permit No. 187710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

6.D JDL Dec 10/20
FOR CHIEF BUILDING OFFICIAL DATE



RIGHT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1034.86
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	74.19
ACTUAL WINDOW AREA	23.10
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA	23.10

L.D. OKAY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 27 2020
REC BY _____ DATE _____
REP'D TO _____ DATE _____

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY _____
DATE SEP 27 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5 4 3 2 ISSUED FINAL REFERENCE MAR 2020 1 ISSUED FOR COORDINATION JAN 2020 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4086 F (905) 960-0740	REGION DESIGN INC.	SHEET TITLE RIGHT SIDE ELEVATION 2 SCALE 3/16"=1'-0" DATE DEC 2019	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2,772 PAGE No. 6-2	PROJECT NAME RUSSELL GARDENS III



CITY OF HAMILTON
Building Division

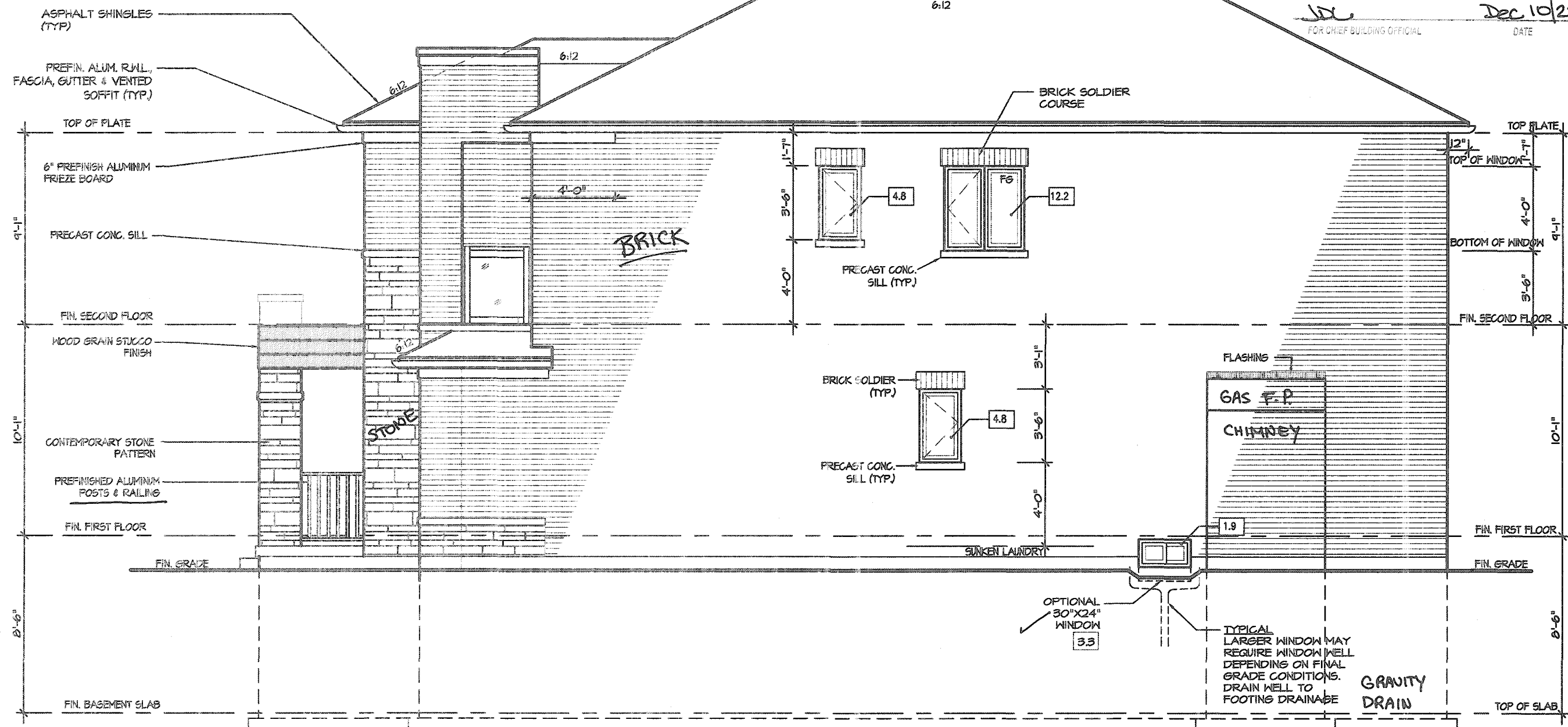
Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

SDC FOR CHIEF BUILDING OFFICIAL DATE Dec 10/20



RIGHT ELEVATION 3

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1059.86
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	74.19
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L.D.-OKAY

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY _____
DATE SEP 11 2020
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VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE 28770 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 880-0746

REGION
DESIGN
INC.

SHEET TITLE
RIGHT SIDE
ELEVATION 3

SCALE
3/16"=1'-0"
DATE DEC 2019

BY MB
TYPE

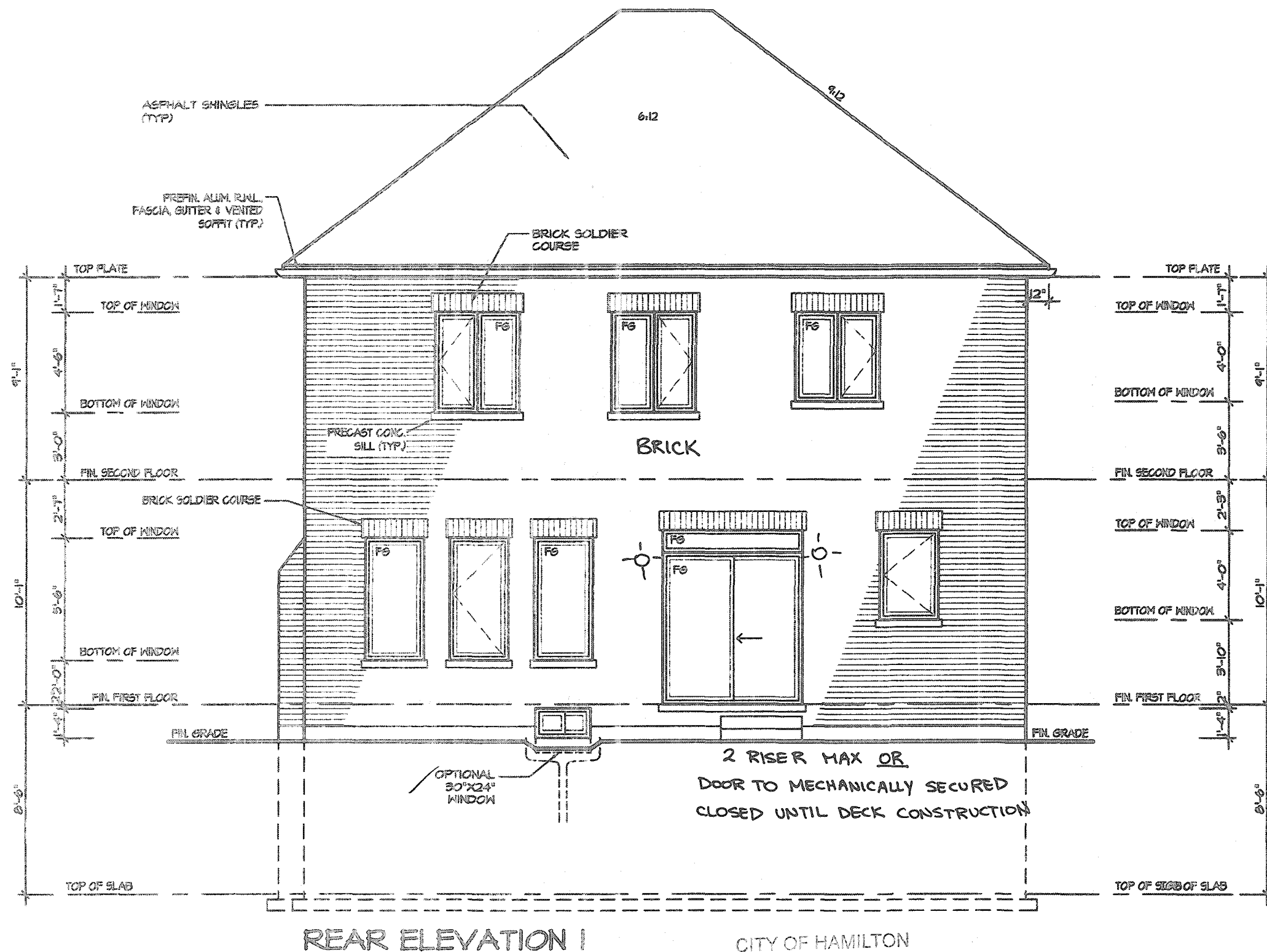
CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA 2.772
PROJECT 12-04-19

PAGE No.
6-3

Greenpark

PROJECT NAME
RUSSELL GARDENS III



REAR ELEVATION 1

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
DL Dec 10/20
FOR CHIEF BUILDING OFFICIAL DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE SEP 21, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VALLEYCREEK 3
COMPLIANCE PACKAGE "A1"

5.	
4.	
3.	
2.	ISSUED FINAL REFERENCE MAR 2020
1.	ISSUED FOR COORDINATION JAN 2020
REVISIONS	

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
NAME SIGNATURE 28770 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4058
F (905) 650-0748

REGION
DESIGN
INC.

SHEET TITLE
REAR ELEVATION 1

SCALE 3/16"=1'-0"

DATE DEC 2019

BY MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

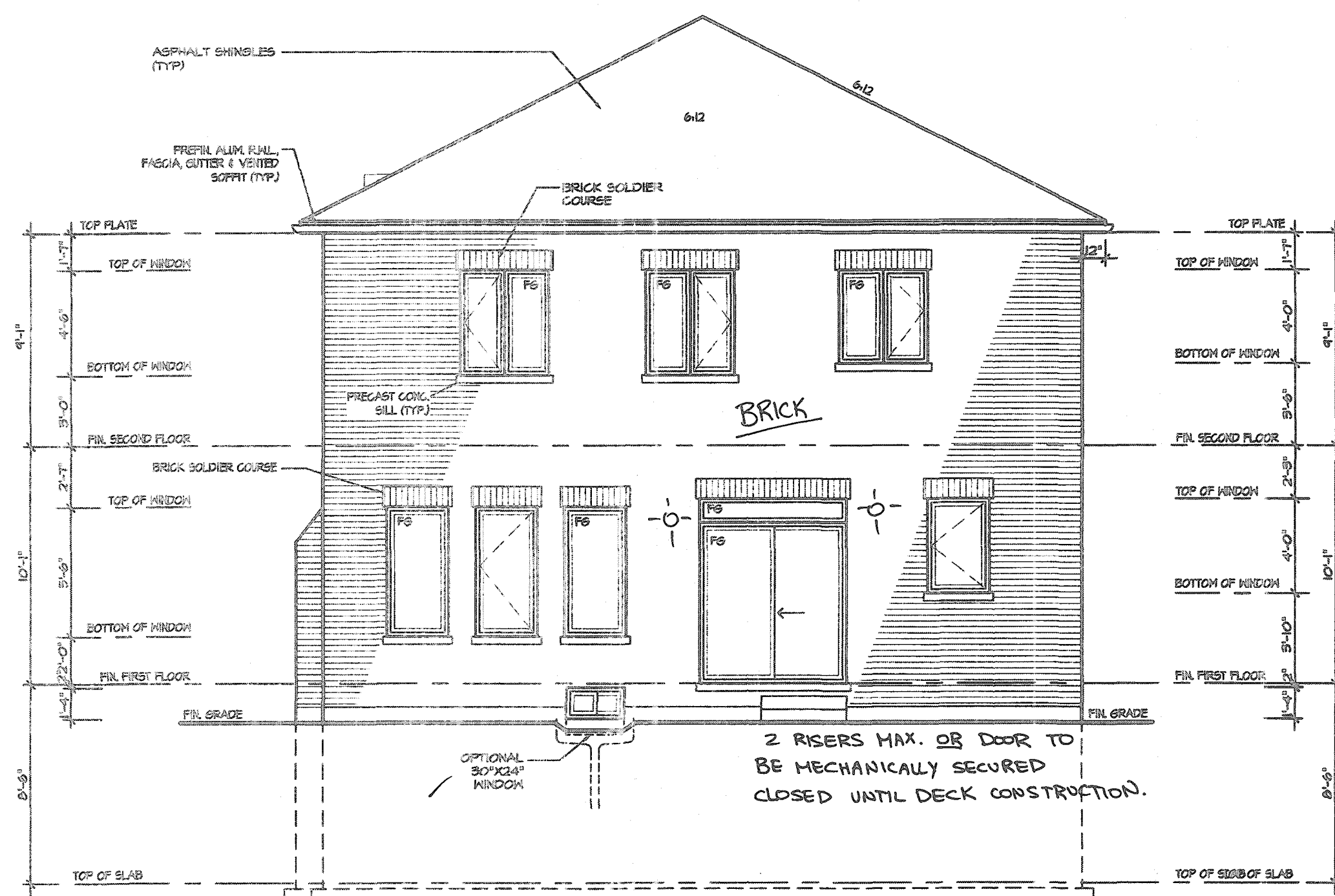
AREA 2.772

PAGE No. 7

PROJECT 12-04-19

PROJECT NAME
RUSSELL GARDENS III

Greenpark.



REAR ELEVATION 3

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

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JDL Dec 10/20
FOR CHIEF BUILDING OFFICIAL DATE

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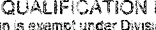
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

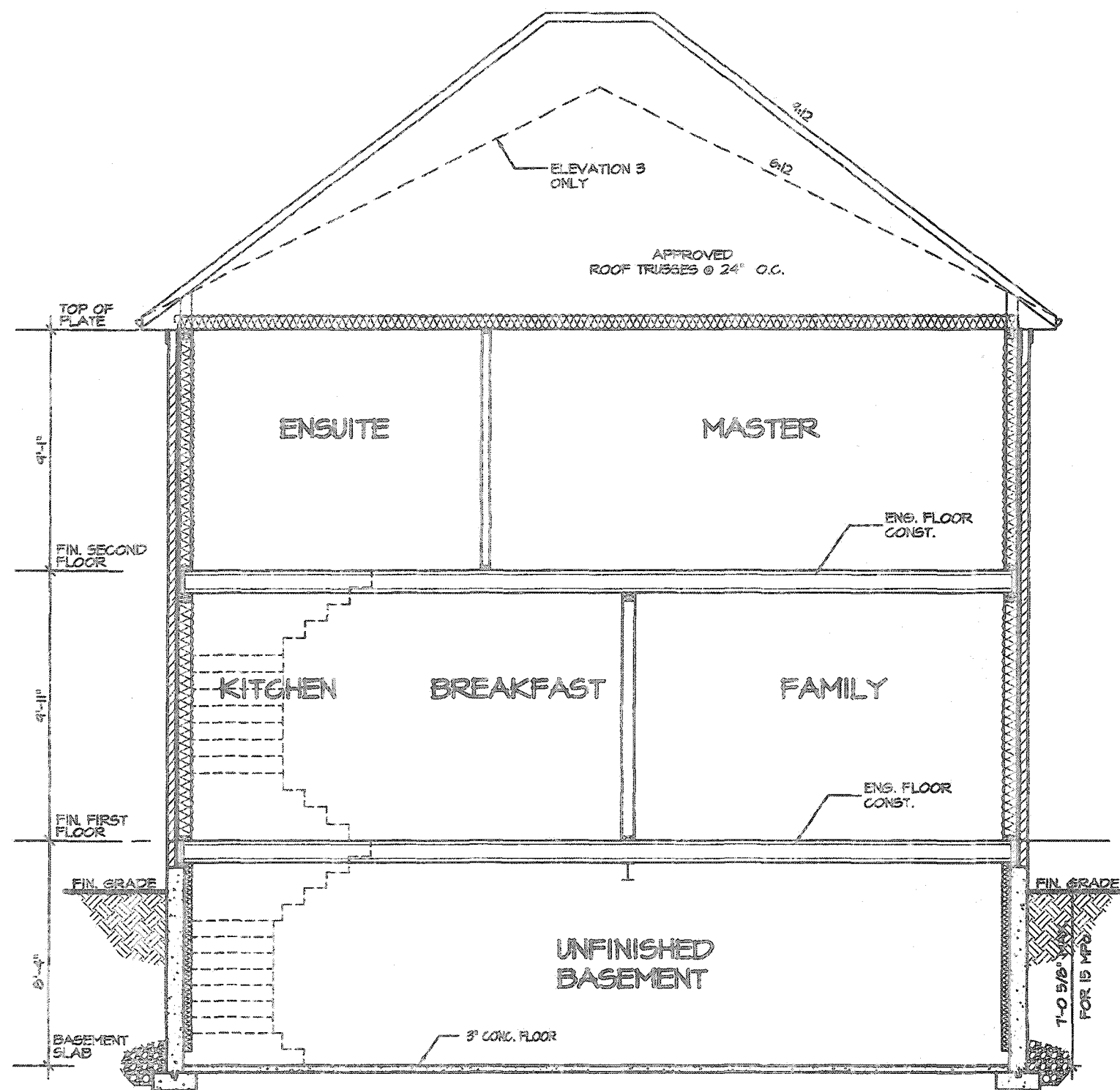
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: SEP 21 2020

The stamp certifies compliance with the applicable Design Guidelines only and does not insure the professional responsibility.

VALLEYCREEK 3
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME  SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4098 F (905) 860-0748	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark. PROJECT NAME RUSSELL GARDENS III			
4.					SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE No. 7-3				
3.					DATE DEC 2019	TYPE	PROJECT 12-04-19					
2.	ISSUED FINAL REFERENCE MAR 2020				REVISIONS							
1.	ISSUED FOR COORDINATION JAN 2020											



CROSS SECTION

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 27 2020

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 197710

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

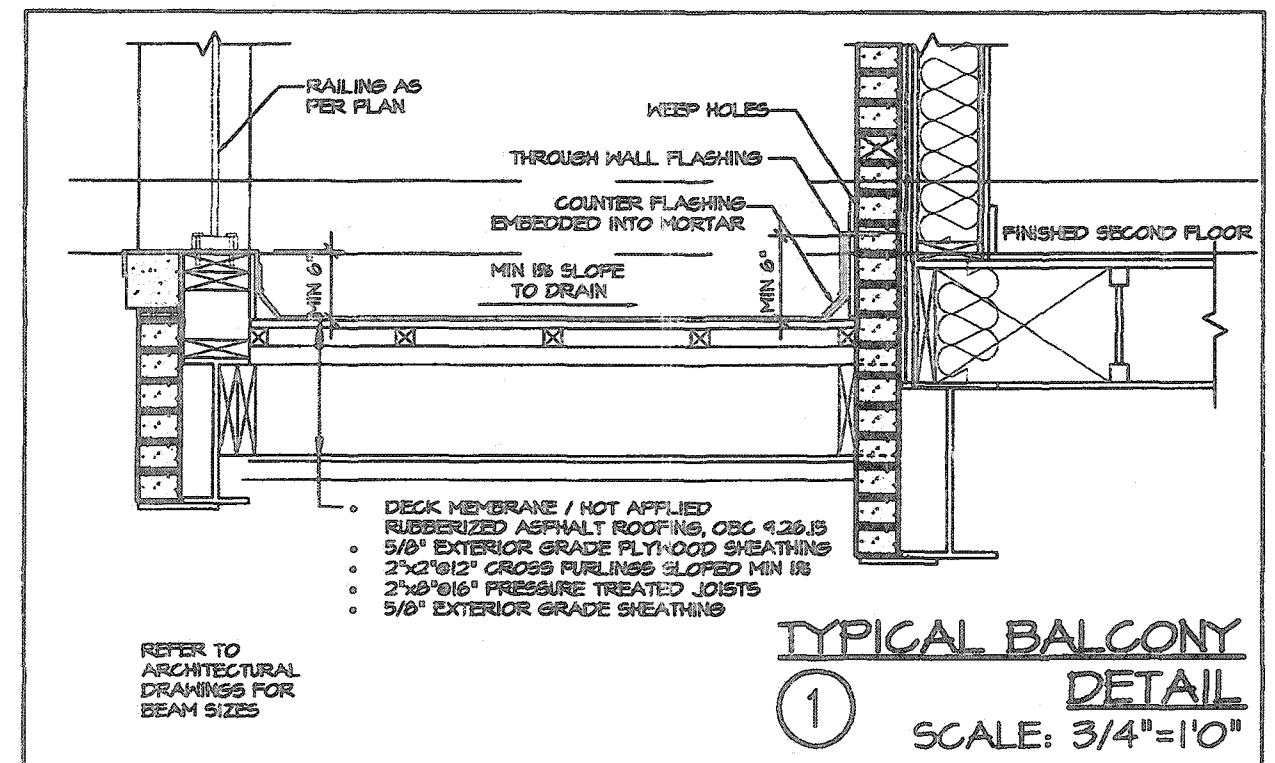
These drawings and/or specifications have been reviewed by
JDC Dec 10/20
FOR CHIEF BUILDING OFFICIAL DATE

MAR 12 2020

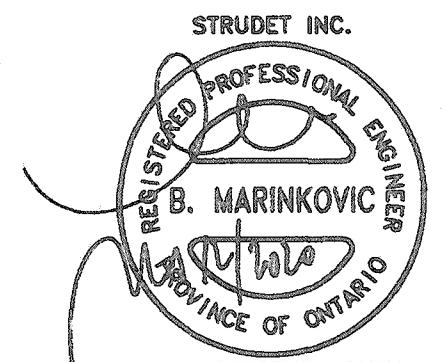
VALLEYCREEK 3

COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 756-4036 F (805) 660-0746	REGION DESIGN INC.	SHEET TITLE CROSS SECTION ELEV. 1, 2 & 3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		PROJECT NAME RUSSELL GARDENS III	
4.					SCALE 3/16"=1'-0"	BY MB	AREA 2772		PAGE No. 8
3.					DATE DEC 2019	TYPE	PROJECT 12-04-19		
2.	ISSUED FINAL REFERENCE	MAR 2020	VIKAS GAJAR NAME SIGNATURE BCIN 28770	28770					
1.	ISSUED FOR COORDINATION	JAN 2020							
REVISIONS									



TYPICAL BALCONY
DETAIL
1 SCALE: 3/4"=1'-0"



FOR STRUCTURE ONLY

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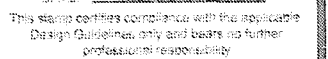
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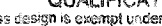
March 4 2020 1:54:14 PM M:\PROJECTS\BUISSSEL GARDENS\INSTANDARD\BUISSSEL EVCREEK 3 - REGINALD EVCREEK 3 MASTER DWG2

These drawings and/or specifications have been reviewed by

IDL Dec. 10/20

FOR CHIEF BUILDING OFFICIAL DATE



5			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4698 F (905) 883-0746	REGION DESIGN INC.	SHEET TITLE REAR DECK ELEV. 1, 2 & 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME RUSSELL GARDENS III
4						SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE No. 9-2	
3						DATE DEC 2019	TYPE	PROJECT 12-04-19		
2	ISSUED FINAL REFERENCE	MAR 2020								
1	ISSUED FOR COORDINATION	JAN 2020								
REVISIONS										