

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: OCT 05, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF HAMILTON
Building Division

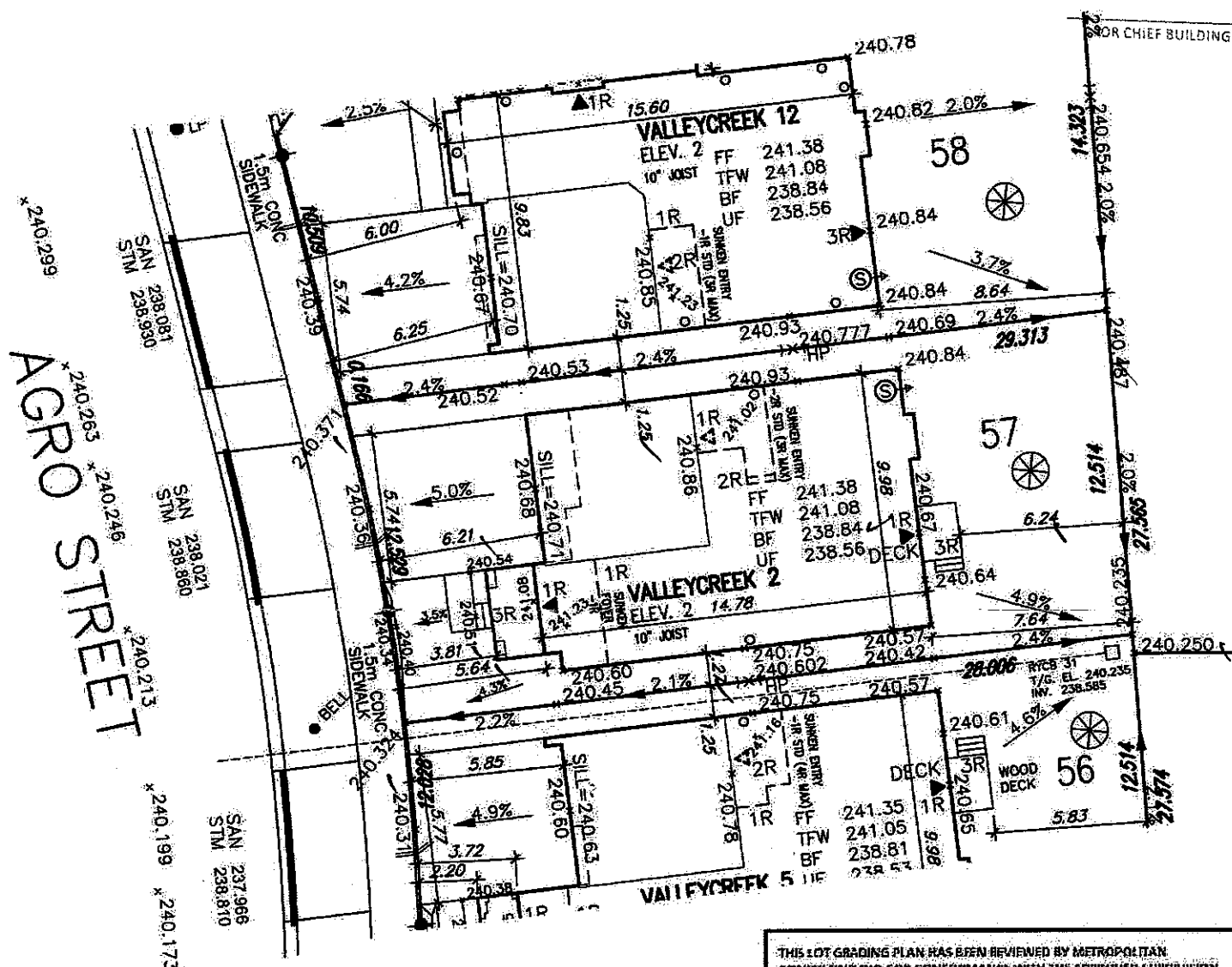
Permit No. 20-187704

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

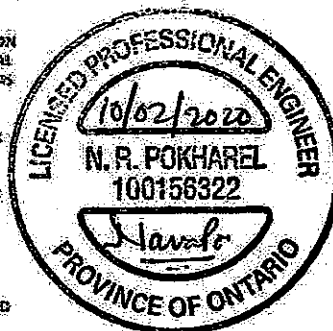
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE



THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.



Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

LOT 57		
LOT No.	LOT WIDTH (M) (± 6.0m)	LOT AREA (M²)
57	12.57	356.61

 PROPOSED VALVE  LIGHT POLE  WATER SERVICE  DOUBLE STM/SAN CONNECTION  SINGLE STM/SAN CONNECTION  CATCH BASIN  CABLE TELEVISION PEDESTAL  BELL PEDESTAL	 HYDRANT  TRANSFORMER	 NO. OF RISERS  FINISHED FLOOR ELEVATION  FINISHED MAIN LEVEL ELEVATION  UNDERSIDE FOOTING ELEVATION  FINAL BASEMENT FLOOR SLAB  TOP OF FOUNDATION WALL  UNDERSIDE FOOTING AT REAR  UNDERSIDE FOOTING AT FRONT  UNDERSIDE FOOTING AT SIDE  W.O.B. WALK OUT DECK  W.O.B. WALK OUT BASEMENT  REV. REVERSE PLAN	 STREET SIGN  MAIL BOX  RETAINING WALL  CHAIN LINK FENCE (SEE LANDSCAPE PLAN)  ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)  WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)  HYDRO SERVICE LATERAL  HYDRO METER  GAS METER  BASEMENT (3:1 SLOPE (unless otherwise noted))	 PROVIDE 3/4\" data-bbox="700 835 715 845"/> THIS LOT CONTAINS ENGINEERED FILL  AIR CONDITIONER REQUIRED  RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)  SIDE WINDOW LOCATION  OPT. DOOR LOCATION  EXTERIOR DOOR LOCATION  REDUCE SIDE YARD	
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The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code by a Designer.

qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658

VA3 DESIGN
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Toronto ON M2J 1R4
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va3design.com

Greenpark
project name
RUSSELL GARDENS PHASE 3
municipality
HAMILTON
date
SEPT. 2020
drawn by
GW
checked by
scale
1:250
file name
19014-RG3-SITE-LAYOUTS
drawing no.
1

lot/block no.
057
registered plan no.
62M-1266
project no.
19014

no.	description	date	by
2	REVISED, RE-ISSUED FOR PERMIT.	OCT. 02/20	GW
1	ISSUED FOR PERMIT.	SEP. 29/20	GW