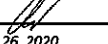


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

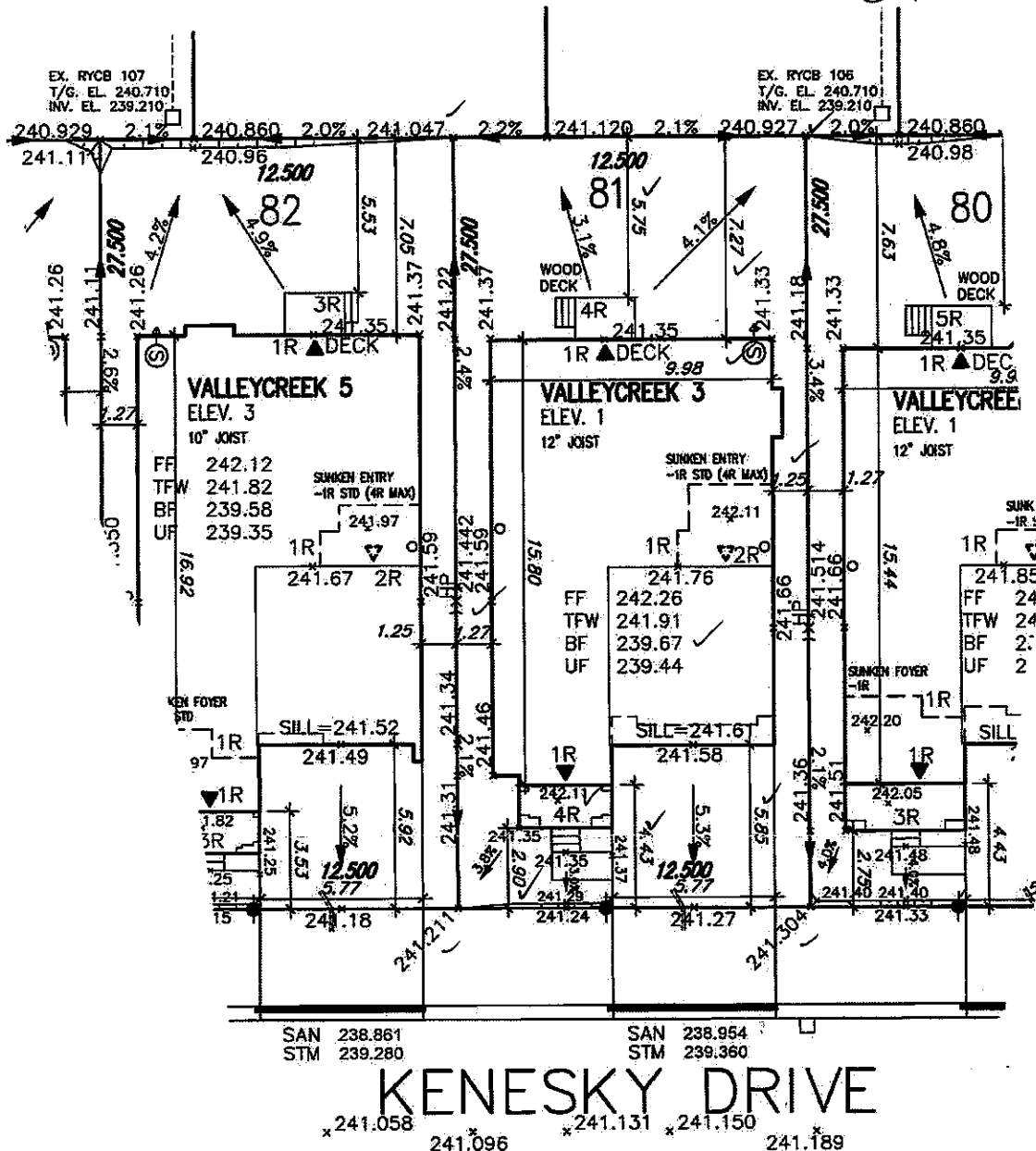
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: OCT 26, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

DECK PERMIT 20-195987



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 13 2020

REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

CITY OF HAMILTON
Building Division

Permit No. 20-193923

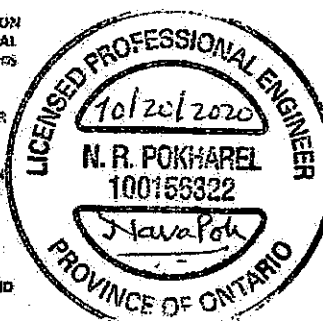
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER/AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

G. Robinson 11/23/20
FOR CHIEF BUILDING OFFICIAL DATE

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VAJ Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VAJ Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

LOT 81

LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M ²)
81	12.50	343.75

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS CONNECTED TO STORM SEWER
ARE REQUIRED AS PER THE APPROVED SITE
ENGINEERING DRAWINGS. REFER TO DRAWINGS
PREPARED BY METROPOLITAN CONSULTING INC.
SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR
ALL FENCING TYPES, HEIGHTS AND LOCATIONS.
CONTRACTOR TO VERIFY PRIOR TO
INSTALLATION.

PROPOSED VALVE	IP	HYDRANT	TRANSFORMER	DOUBLE STIM/SAN CONNECTION	SINGLE STIM/SAN CONNECTION	CATCH BASIN	CABLE TELEVISION PEDISTAL	BELL PEDISTAL	NO. OF RISERS	FF	FINISHED FLOOR ELEVATION	ML	FINISHED MAIN LEVEL ELEVATION	UF	UNDERSIDE FOOTING ELEVATION	BF	FIN. BASEMENT FLOOR SLAB	TFW	TOP OF FOUNDATION WALL	UFR	UNDERSIDE FOOTING AT REAR	UFF	UNDERSIDE FOOTING AT FRONT	UFS	UNDERSIDE FOOTING AT SIDE	W.O.B.	WALK OUT DECK	W.O.B.	WALK OUT BASEMENT	REV	REVERSE PLAN
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STREET SIGN	MAIL BOX	RETAINING WALL	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)	WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	HYDRO SERVICE LATERAL	HYDRO METER	GAS METER	EMERGENT (3:1 SLOPE UNLESS OTHERWISE NOTED)
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PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA	THIS LOT CONTAINS ENGINEERED FILL	AIR CONDITIONER REQUIRED	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)	SIDE WINDOW LOCATION	OPT. DOOR LOCATION	EXTERIOR DOOR LOCATION	REDUCE SIDE YARD
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North arrow



no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2			
1	ISSUED FOR PERMIT.	SEP 29/20	GW

The undersigned has reviewed and taken responsibility for this design and has the qualifications and skills to make the recommendations set out in the design.	
qualification information	
Richard Vink	signature
name	24488
registration information	BCM
VAJ Design Inc.	42658
Builder to verify location of all hydro, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.	
Builder to verify service connection elevations prior to constructing foundations. ** Drawings NOT to be scaled **	

VAJ
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vajdesign.com

Greenpark™

project name: RUSSELL GARDENS PHASE 3
municipality: HAMILTON
date: SEPT. 2020
drawn by: GW
checked by: -
scale: 1:250
file name: 19014-RG3-SITE-LAYOUTS
project no.: 19014
drawing no.: 1