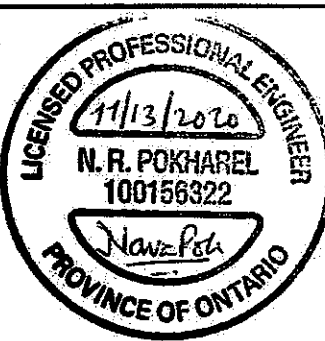


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMANCE WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: DEC 07, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF HAMILTON  
Building Division

Permit No. 20-199807

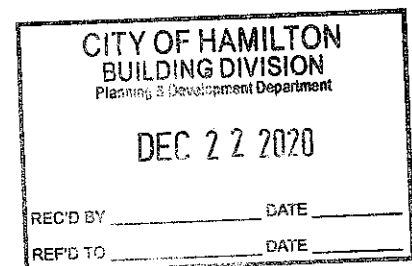
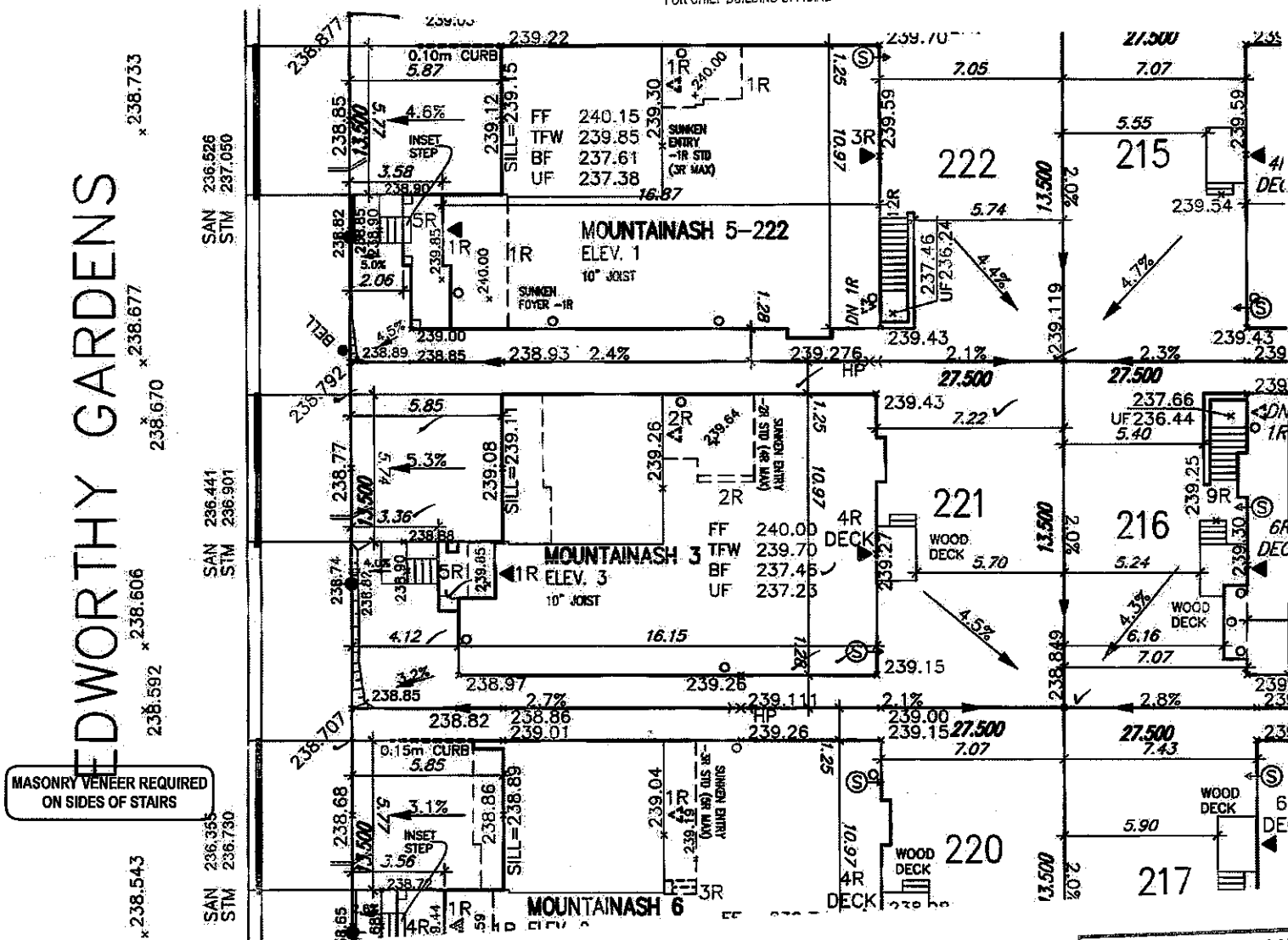
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

GR 01/12/21  
FOR CHIEF BUILDING OFFICIAL DATE

Deck Permit 21-101347



| LOT 221 |                           |                            |
|---------|---------------------------|----------------------------|
| LOT No. | LOT WIDTH (M)<br>(@ 6.0m) | LOT AREA (M <sup>2</sup> ) |
| 221     | 13.50                     | 371.25                     |

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: SUMP PUMP REQUIRED  
SUMP PUMPS CONNECTED TO STORM SEWER  
ARE REQUIRED AS PER THE APPROVED SITE  
ENGINEERING DRAWINGS. REFER TO DRAWINGS  
PREPARED BY METROPOLITAN CONSULTING INC.  
SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR  
ALL FENCING TYPES, HEIGHTS AND LOCATIONS.  
CONTRACTOR TO VERIFY PRIOR TO  
INSTALLATION.

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                          |                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> PROPOSED VALVE<br><input checked="" type="checkbox"/> LIGHT POLE<br><input checked="" type="checkbox"/> WATER SERVICE<br><input checked="" type="checkbox"/> DOUBLE STN./SAN. CONNECTION<br><input checked="" type="checkbox"/> SINGLE STN./SAN. CONNECTION<br><input checked="" type="checkbox"/> CATCH BASIN<br><input checked="" type="checkbox"/> CABLE TELEVISION PEDESTAL<br><input checked="" type="checkbox"/> BELL PEDESTAL | <input checked="" type="checkbox"/> HYDRA-TRANSFORMER<br><input checked="" type="checkbox"/> TRANSFORMER | NO. OF RISERS<br>FF FINISHED FLOOR ELEVATION<br>ML FINISHED MAIN LEVEL ELEVATION<br>UF UNDERSIDE FOOTING ELEVATION<br>BF FIN. BASEMENT FLOOR SLAB<br>TFN TOP OF FOUNDATION WALL<br>UFR UNDERSIDE FOOTING AT REAR<br>UFR UNDERSIDE FOOTING AT FRONT<br>UFS UNDERSIDE FOOTING AT SIDE<br>W.O.D. WALK OUT DECK<br>W.O.B. WALK OUT BASEMENT<br>REV REVERSE PLAN | <input checked="" type="checkbox"/> STREET SIGN<br><input checked="" type="checkbox"/> MAIL BOX<br><input checked="" type="checkbox"/> RETAINING WALL<br><input checked="" type="checkbox"/> CHAIN LINK FENCE (SEE LANDSCAPE PLAN)<br><input checked="" type="checkbox"/> ACoustical FENCE (SEE LANDSCAPE PLAN)<br><input checked="" type="checkbox"/> WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)<br><input checked="" type="checkbox"/> HYDRO SERVICE LATERAL<br><input checked="" type="checkbox"/> HYDRO METER<br><input checked="" type="checkbox"/> GAS METER<br><input checked="" type="checkbox"/> SMOKE DIRECTION<br><input checked="" type="checkbox"/> SHED/SHEDMENT (3:1 SLOPE UNLESS OTHERWISE NOTED) | <input checked="" type="checkbox"/> PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA<br><input checked="" type="checkbox"/> THIS LOT CONTAINS ENGINEERED FILL<br><input checked="" type="checkbox"/> AIR CONDITIONER REQUIRED<br><input checked="" type="checkbox"/> RAIN WATER DOWNSPOUT LOCATION (DISCHARGE OVER SPLASHPAD)<br><input checked="" type="checkbox"/> SIDE WINDOW LOCATION<br><input checked="" type="checkbox"/> OPT. DOOR LOCATION<br><input checked="" type="checkbox"/> EXTERIOR DOOR LOCATION<br><input checked="" type="checkbox"/> REDUCE SIDE YARD |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 24488  
signature  
VA3 Design Inc. 42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.  
Builder to verify service connection elevations prior to constructing foundations. \*\* Drawings NOT to be scaled \*\*

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark**  
project name  
RUSSELL GARDENS PHASE 3  
municipality  
HAMILTON  
date  
SEPT. 2020  
drawn by  
GW  
checked by  
-  
scale  
1:250  
19014-RG3-SITE-LAYOUTS  
GREG - H:\ARCHIVE\WORKING\2019\19014\GRE\SITE PLAN\19014-RG3-SITE-LAYOUTS.dwg - Fri - Nov 6 2020 - 4:34 PM

lot/block no.  
221  
registered plan no.  
62M-1266  
project no.  
19014  
drawing no.  
1

| no. | description        | date      | by |
|-----|--------------------|-----------|----|
| 1   | ISSUED FOR PERMIT. | OCT 02/20 | GW |