

2836 SF.

STRIP FOOTINGS — FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING,
 BELOW EXTERIOR WALLS

20"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING,
 BELOW PARTY WALLS

(REFER TO ENGINEER FILL FOOTING DETAILS)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (1.4 p.s.f.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL TO BE VERIFIED ON SITE.

PAD FOOTINGS**120 KPa NATIVE SOIL****90 KPa ENGINEERED FILL SOIL**

F1 = 42"x42"x18" CONCRETE PAD F2 = 48"x48"x20" CONCRETE PAD

F2 = 36"x36"x18" CONCRETE PAD F3 = 46"x46"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD F4 = 34"x34"x16" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD F5 = 28"x28"x12" CONCRETE PAD

F5 = 16"x16"x8" CONCRETE PAD F6 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLATWORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS (WL)

WL1 = 3'-1 1/2" x 3'-1 1/2" x 1/4" (90x90x0.1) + 2-2"x8" SPR. No.2

WL2 = 4' x 3'-1 1/2" x 5/16" (100x90x0.1) + 2-1"x8" SPR. No.2

WL3 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1) + 2-1"x10" SPR. No.2

WL4 = 6' x 3'-1 1/2" x 5/8" (150x90x0.1) + 2-2"x12" SPR. No.2

WL5 = 6' x 4' x 3/8" (150x100x0.1) + 2-2"x12" SPR. No.2

WL6 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1) + 2-2"x12" SPR. No.2

WL7 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1) + 3-2"x12" SPR. No.2

WL8 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1) + 3-2"x10" SPR. No.2

WL9 = 6' x 4' x 3/8" (150x100x0.1) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2'-2"x8" (2-38x184) SPR. No.2

WB2 = 3'-2"x8" (3-38x184) SPR. No.2

WB3 = 2'-2"x10" (2-38x235) SPR. No.2

WB4 = 3'-2"x10" (3-38x235) SPR. No.2

WB5 = 2'-2"x12" (2-38x286) SPR. No.2

WB6 = 3'-2"x12" (3-38x286) SPR. No.2

WB7 = 5'-2"x12" (5-38x286) SPR. No.2

WB8 = 4'-2"x10" (4-38x235) SPR. No.2

WB9 = 4'-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1'-1 1/4" x 3/4" x 1/4" (1-45x184)

LVL1 = 2'-1 1/4" x 3/4" x 1/4" (2-45x184)

LVL2 = 3'-1 1/4" x 3/4" x 1/4" (3-45x184)

LVL3 = 4'-1 1/4" x 3/4" x 1/4" (4-45x184)

LVL4A = 1'-1 1/4" x 3/4" x 1/2" (1-45x240)

LVL4 = 2'-1 1/4" x 3/4" x 1/2" (2-45x240)

LVL5 = 3'-1 1/4" x 3/4" x 1/2" (3-45x240)

LVL5A = 4'-1 1/4" x 3/4" x 1/2" (4-45x240)

LVL6A = 1'-1 1/4" x 3/4" x 1/2" (1-45x300)

LVL6 = 2'-1 1/4" x 3/4" x 1/2" (2-45x300)

LVL7 = 3'-1 1/4" x 3/4" x 1/2" (3-45x300)

LVL8 = 2'-1 1/4" x 3/4" x 1/4" (2-45x356)

LVL9 = 3'-1 1/4" x 3/4" x 1/4" (3-45x356)

LOGSE STEEL LINTELS (L)

L1 = 3'-1 1/2" x 3'-1 1/2" x 1/4" (90x90x0.1)

L2 = 4' x 3'-1 1/2" x 5/16" (100x90x0.1)

L3 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1)

L4 = 6' x 3'-1 1/2" x 3/8" (150x90x0.1)

L5 = 6' x 4' x 3/8" (150x100x0.1)

L6 = 7' x 4' x 3/8" (180x100x0.1)

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	HEIGHT	TYPE
		TO OR MORE	TO OR MORE	
		CEILING	CEILING	
1	2'-10"	8'-8"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-5"	8'-8"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	8'-8"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	8'-8"	8'-0"	EXTERIOR SLAB DOOR
5	2'-6"	8'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	8'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	8'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.

PROVIDE 1 ROW JOISTING FOR SPANS OF 5'0" - 7'0"
 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED

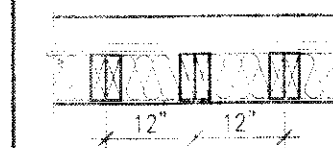
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
 UNENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS UNLESS OTHERWISE NOTED

**TWO STOREY HEIGHT
WALL DETAIL**

2"x8" STUD WALL NAIL TOGETHER AND
 SPACED @ 12" O.C. FULL HEIGHT, 1/4" SOLID
 BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16"
 EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
 DETAIL IS 18'-0" AND MAX. SUPPORTED
 LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING
 ENVELOPE AND EQUIPMENT SHALL CONFORM TO
 THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
 PER OBC SUPPLEMENTARY STANDARD SB-12,
 SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (SI) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (SI) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (SI) value		
Walls Above Grade	3.87 (R22)	R" R22 BATT
Minimum RSI (SI) value		
Glazed Windows	3.52 (R20ci)	OPTION TO USE R-10ci
Minimum RSI (SI) value		
Floor of Below Grade Slab	1.76 (R10)	R-10ci INSUL.
Minimum RSI (SI) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	90% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1.2K Maximum 5 Required	
	Dependent on number of showers installed	
	Refer to SB12 3.1.1.12 for information	

c.i. denotes continuous insulation without thermal interruption.

20-187715

Ken Swift Dec 17, 2020

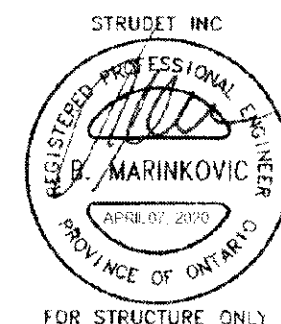
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UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
VALLEYCREEK 6 ELEV. 1			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	809.44 S.F.	150.20 S.F.	19.79 %
LEFT SIDE	1016.75 S.F.	56.66 S.F.	5.57 %
RIGHT SIDE	1016.75 S.F.	40.33 S.F.	3.97 %
REAR	798 S.F.	126.95 S.F.	15.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3640.94 S.F.	384.14 S.F.	10.55 %
TOTAL SQ. M.	338.25 S.M.	35.69 S.M.	10.55 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
VALLEYCREEK 6 ELEV. 2			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	807.0 S.F.	157.56 S.F.	19.52 %
LEFT SIDE	1018.08 S.F.	56.66 S.F.	5.57 %
RIGHT SIDE	1018.97 S.F.	40.33 S.F.	3.96 %
REAR	798 S.F.	126.95 S.F.	15.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3642.05 S.F.	381.50 S.F.	10.47 %
TOTAL SQ. M.	338.35 S.M.	35.44 S.M.	10.47 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
VALLEYCREEK 6 ELEV. 3			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	822.56 S.F.	204.40 S.F.	24.85 %
LEFT SIDE	1016.10 S.F.	56.66 S.F.	5.58 %
RIGHT SIDE	1016.1 S.F.	40.33 S.F.	3.97 %
REAR	798 S.F.	126.95 S.F.	15.91 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3652.76 S.F.	428.34 S.F.	11.73 %
TOTAL SQ. M.	339.35 S.M.	39.79 S.M.	11.73 %



FOR STRUCTURE ONLY

**VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'**

AREA CALCULATIONS		ELEV '1'
GROUND FLOOR AREA	1215 SF	
SECOND FLOOR AREA	1621 SF	
TOTAL FLOOR AREA	2836 SF	(263.47 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	+XX SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	2836 SF	(263.47 m2)
GROUND FLOOR COVERAGE	1222 SF	
GARAGE COVERAGE/AREA	393 SF	
PORCH COVERAGE/AREA	47 SF	
COVERAGE W/ PORCH	1662 SF	(154.40 m2)
COVERAGE W/O PORCH	1615 SF	(150.04 m2)

AREA CALCULATIONS		ELEV '2'
GROUND FLOOR AREA	1215 SF	
SECOND FLOOR AREA	1615 SF	
TOTAL FLOOR AREA	2830 SF	(262.91 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	+XX SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	2830 SF	(262.91 m2)
GROUND FLOOR COVERAGE	1222 SF	
GARAGE COVERAGE/AREA	393 SF	
PORCH COVERAGE/AREA	47 SF	
COVERAGE W/ PORCH	1662 SF	(154.40 m2)
COVERAGE W/O PORCH	1615 SF	(150.04 m2)

AREA CALCULATIONS		ELEV '3'
GROUND FLOOR AREA	1215 SF	
SECOND FLOOR AREA	1615 SF	
TOTAL FLOOR AREA	2830 SF	(262.92 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	+XX SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	2830 SF	(262.92 m2)
GROUND FLOOR COVERAGE	1222 SF	
GARAGE COVERAGE/AREA	393 SF	
PORCH COVERAGE/AREA	47 SF	
COVERAGE W/ PORCH	1662 SF	(154.40 m2)
COVERAGE W/O PORCH	1615 SF	(150.04 m2)

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24488

name BCIN

registration information

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

drawings are not to be scaled.

VA3 DESIGN

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 1 416.630.2255 | 416.630.4782
 va3design.com

Greenpark

Project name: **RUSSELL GARDENS PH. 3** Municipality: **HAMILTON, ON.**

Date: **JANUARY 2020** checked by: **3/16" = 1'-0"** scale: **19014-VALLEYCREEK-06**

drawing no. **A0**

VALLEYCREEK 6
12.5m
project no. **19014**
drawing no. **A0**

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Architectural floor plan of a basement. The plan includes the following details:

- Dimensions:** Overall dimensions are 53'-5" by 53'-5". Room dimensions include 19'-9", 18'-5", 22'-2", 21'-6", 17'-7", 9'-2", 6'-5", 2'-6", 1'-0", 5'-0", 2'-9", 21'-10", 22'-10", 1'-0", 5'-0", 1'-2", 2'-9", 18'-4", 2'-6", 1'-0", 13'-11", 2'-6", 22'-10", 1'-0", 5'-0", 53'-5".
- Rooms and Areas:**
 - UNEXCAVATED:** A large area labeled "UNEXCAVATED (REMOVE TOP SOIL ONLY)".
 - COLD STORAGE:** A room on the right side.
 - 3PC ROUGH-IN:** A rough-in area for a three-piece toilet.
 - UNFINISHED BASEMENT:** A central area labeled "UNFINISHED BASEMENT".
 - Other areas:** Includes a furnace, HWT (Hot Water Tank), and a cold storage area.
- Structural Details:**
 - Joists:** 11 7/8" ENG. JOIST PER JOIST MANUFACTURER.
 - Beams:** WB1, WB2, WB3, WB4, WB5, WB6, WB7, WB8, WB9, WB10, WB11, WB12, WB13, WB14, WB15, WB16, WB17, WB18, WB19, WB20, WB21, WB22, WB23, WB24, WB25, WB26, WB27, WB28, WB29, WB30, WB31, WB32, WB33, WB34, WB35, WB36, WB37, WB38, WB39, WB40, WB41, WB42, WB43, WB44, WB45, WB46, WB47, WB48, WB49, WB50, WB51, WB52, WB53, WB54, WB55, WB56, WB57, WB58, WB59, WB60, WB61, WB62, WB63, WB64, WB65, WB66, WB67, WB68, WB69, WB70, WB71, WB72, WB73, WB74, WB75, WB76, WB77, WB78, WB79, WB80, WB81, WB82, WB83, WB84, WB85, WB86, WB87, WB88, WB89, WB90, WB91, WB92, WB93, WB94, WB95, WB96, WB97, WB98, WB99, WB100.
 - Walls:** 2'-8" SPR. #2 @ 12" O.C. (-2R) W/ 1 ROW BRIDGING 7'-6" LOW HEADROOM.
 - Floors:** 2'-8" SPR. #2 @ 12" O.C. (-2R) W/ 1 ROW BRIDGING 7'-6" LOW HEADROOM.
 - Foundations:** CHECK FOUNDATION WALL FOR MAN DOOR, CHECK FOUNDATION WALL FOR O.H. GARAGE DOOR, CHECK FOUNDATION WALL FOR O.H. GARAGE DOOR.
- Notes:**
 - PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.).
 - 2-ZOM REBARS IN TOP OF FDN. WALL FOR LATERAL SUPPORT @ SUNKEN FLOOR, STAIR, EXTEND BARS 24" BEYOND SUNKEN AREA EACHWAY.
 - A SEPARATE BUILDING PERMIT IS REQUIRED TO FINISH THE BASEMENT.
 - SEAL W/ PRIMER @ F.D.
 - VENT SLEEVE INSECT SCREEN.
 - PREMANUF. VINYL CLAD STRUCT. STL. BASEMENT WINDOW (TYPICAL).

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[illegible]

20-187718

Dec 17, 2020

NY 15 2720

COLD STORAGE SLAB ✓
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

BASEMENT WALL INSULATION
(TYP)
-6" (R20) CONTINUOUS BLANKET
INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY [Signature]
DATE SEP 21 2020

This stamp certifies compliance with the applicable
Design Classification only and does not further
represent any responsibility.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

APRIL 07, 2020

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

BASEMENT PLAN ELEV. 2

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'

**VA3
DESIGN**

Greenpark.

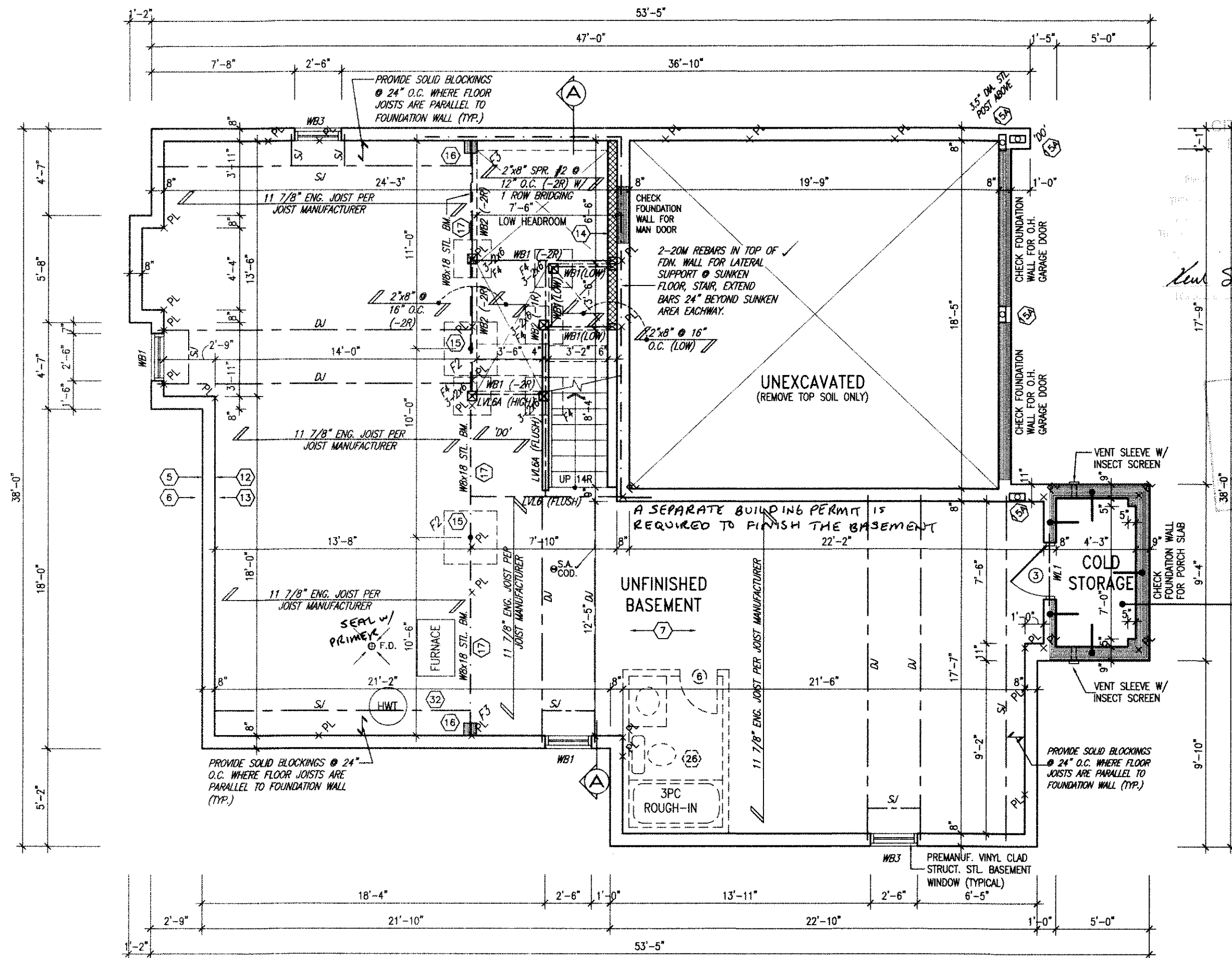
VALLEYCREEK 6
12.5m

project name	RUSSELL GARDENS PH. 3		municipality	HAMILTON, ON.	project no	19014
date	JANUARY 2020				drawing no.	
drawn by	checked by	scale	BASEMENT PLAN - ELEV. 2		file name	
WTC	-	3/16" = 1'-0"	19014-VALLEYCREEK-06		A1a	
URG - H:\ARCHIVE\WORKING\2019\19014\GRE\UNITS\SINGLES\41' VALLEYCREEK\19014-VALLEYCREEK-06.dwg - Thu - Apr 2 2020 - 5:22 PM						

18			-	9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			-	8			qualification information
16			-	7			Richard Vink 24488
15			-	6			name
14			-	5			signature
13			-	4			BCIN
12			-	3	ISSUED FOR PERMIT	APR 02/20	GW VA3 Design Inc. 42658
11			-	2	REV. AS' PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20	JM Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings specifications or instruments are service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10			-	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20	GW
no. description		date	by	no. description		date	by

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2836 SF.



BASEMENT WALL INSULATION
(TYP)

-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

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Guidelines approved by the City of
HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: SEP 21, 2020

This stamp continues *Learning with the Appropriate Design*. Guidelines only and leaves no further professional responsibility.

BASEMENT PLAN ELEV. 3

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'

VALLEYCREEK 6
12.5m


Greenpark™

project name	municipality
RUSSELL GARDENS PH. 3	HAMILTON, ON.

date
JANUARY 2020

BASEMENT PLAN - ELEV. 3

drawing no. 41-

WT - 3/16" = 1'-0" 19014-VALLEYCREEK-06
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AID

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 2448

name signature BCR

registration information

VA3 Design Inc. 4265

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18				9		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT.	APR 02/20
11				2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG.	MAR 27/20
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no.	description	date	by	no.	description	date

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2836 SF.

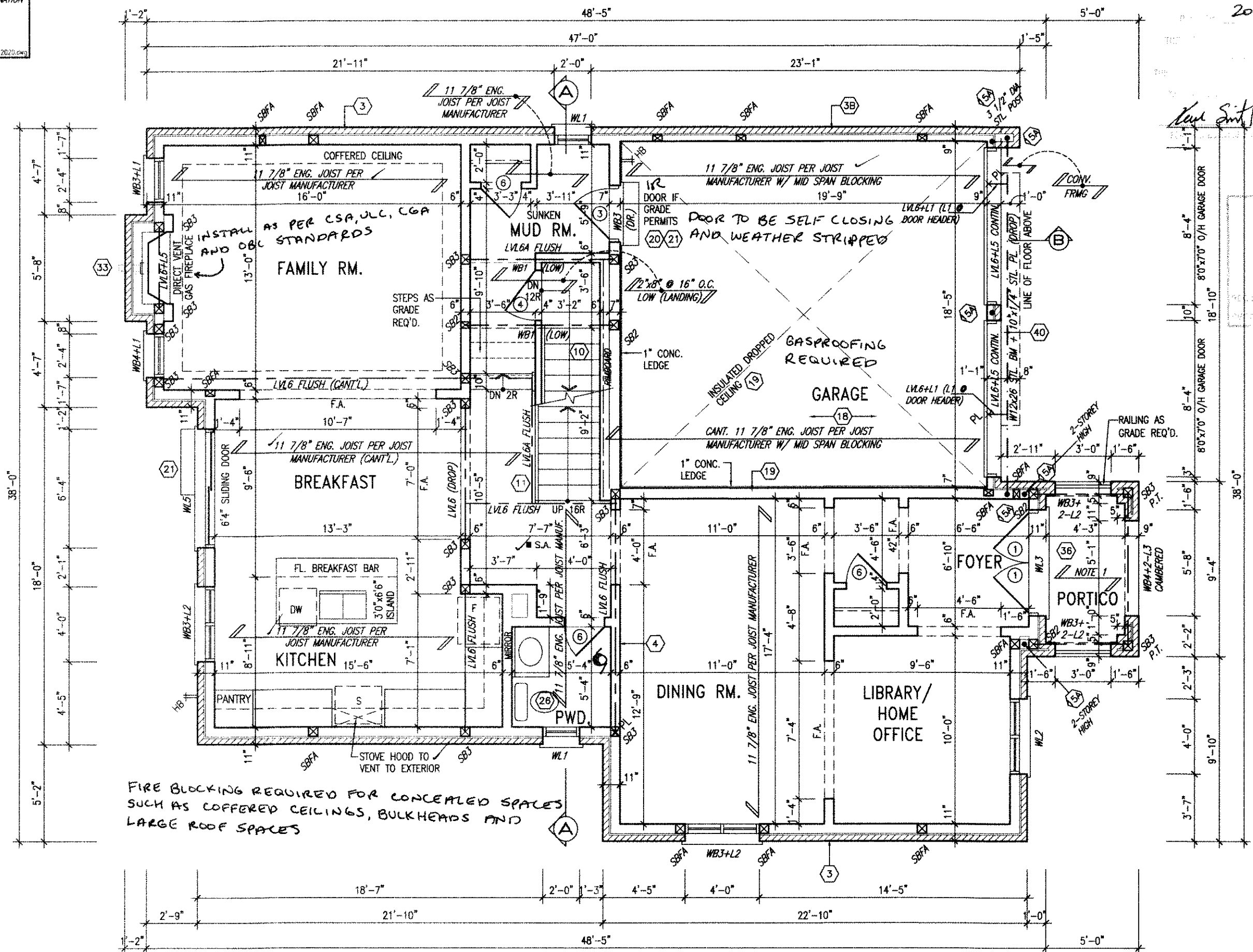
CITY OF HAMILTON

20-187718

Dec 17, 2020

RECEIVED BY
DATE
TIME

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC, DIV. B - TABLE 6.2.3.12.
• KITCHEN EXHAUST: 3.0m
• DRIVEWAY, PARKING SPACE, ROAD: 1.5m
• SOLID FUEL APPLIANCE EXHAUST: 3.0m
K11-EX-NOTE-2020.dwg



GROUND FLOOR PLAN ELEV. 1

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 22, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a professional engineering or architectural review.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APRIL 07 2023
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

18			9		
17			8		
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12			3	ISSUED FOR PERMIT.	APR 02/20 GW
11			2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20 JM
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB 04/20 GW
no.	description	date	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink
signature [Signature]
name registration information
VAS Design Inc.
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
checked by
scale
3/16" = 1'-0"
date
JANUARY 2020
drawing no.
A2

VALLEYCREEK 6
12.5m
project no.
19014
municipality
HAMILTON, ON.
GROUND FLOOR PLAN - ELEV. 1
19014-VALLEYCREEK-06
FILE NAME
19014-VALLEYCREEK-06.dwg - Thu - Apr 2 2020 - 5:21 PM

2836 SF.

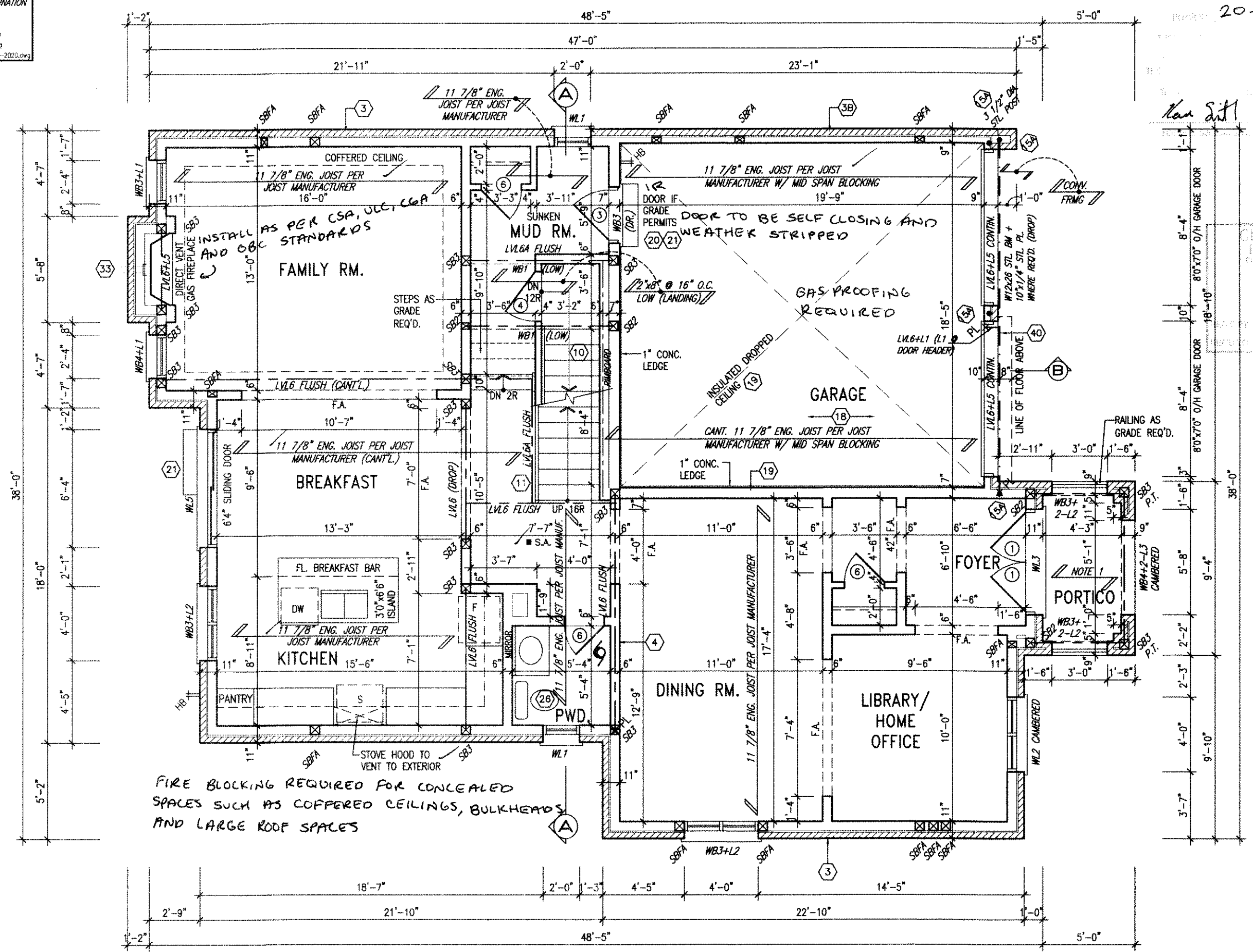
CITY OF

20-187718

Dec 17, 2020

CITY OF HAMILTON
BUILDING DEPARTMENT
1577 15 2020

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC, DIV. B - TABLE 6.2.3.12.
• KITCHEN EXHAUST: 3.0m
• DRIVEWAY, PARKING SPACE, ROAD: 1.5m
• SOLID FUEL APPLIANCE EXHAUST: 3.0m
KIT-EX-NOTE-2020.cwg



FIRE BLOCKING REQUIRED FOR CONCEALED SPACES SUCH AS COFFERED CEILINGS, BULKHEADS AND LARGE ROOF SPACES

GROUND FLOOR PLAN ELEV. 2

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a professional responsibility.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APRIL 07, 2020
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

18			9		
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12			3	ISSUED FOR PERMIT.	APR 02/20 GW
11			2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 21/20 JW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB 04/20 GW
no.	description	date	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature [Signature]
name registration information
VA3 Design Inc.
42658
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JANUARY 2020
checked by
scale
3/16" = 1'-0"
drawing no.
A2a
VALLEYCREEK 6
12.5m
project no.
19014
municipality
HAMILTON, ON.
GROUND FLOOR PLAN - ELEV. 2
19014-VALLEYCREEK-06
C:\H:\ARCHIVE\WORKING\2019\19014 GRE\UNITS\SINGLES\A1 VALLEYCREEK\19014-VALLEYCREEK-06.dwg - Thu - Apr 2 2020 - 5:22 PM

2836 SF.

CITY OF HAMILTON

20-187718

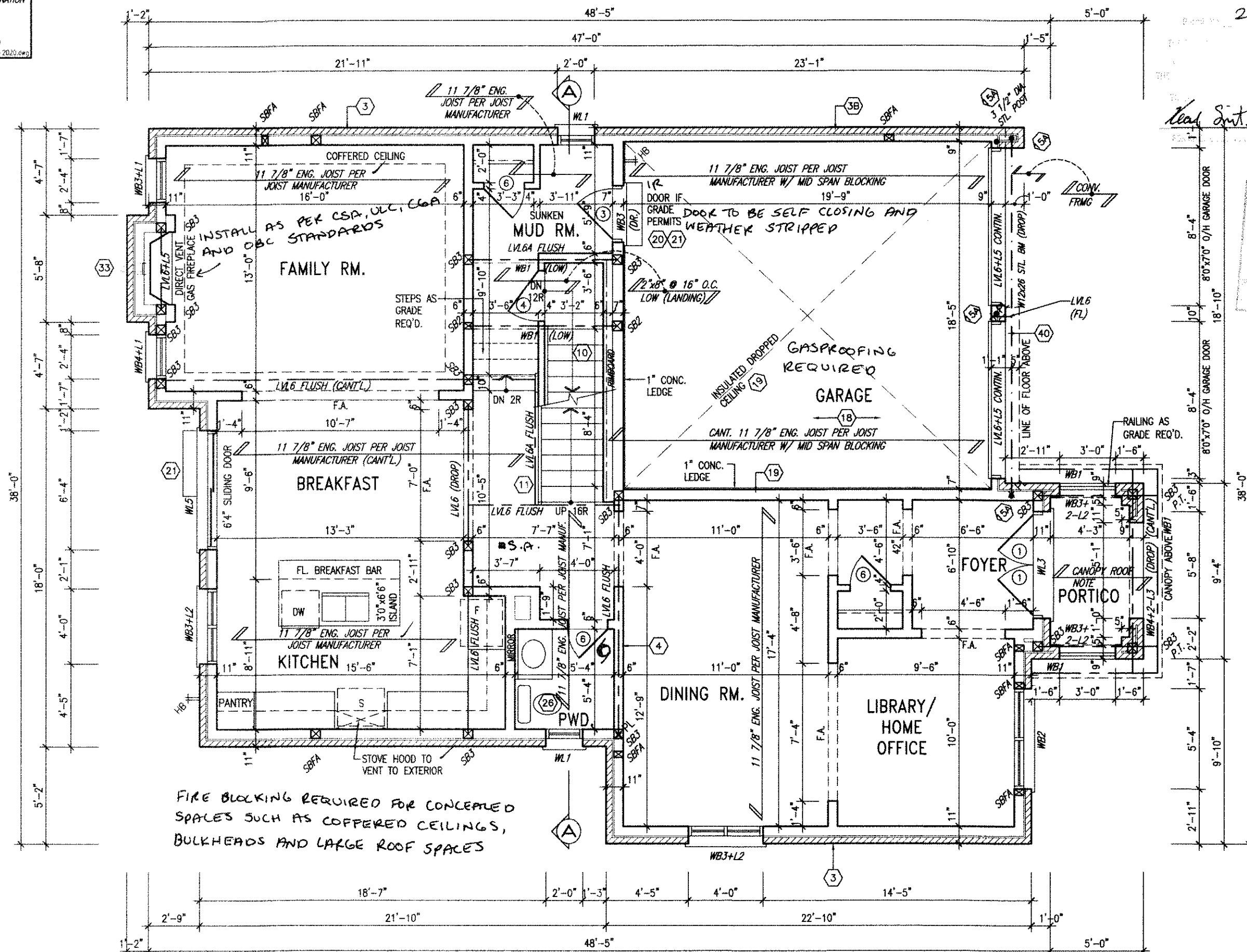
Lead Smith Dec 17, 2020

CITY OF HAMILTON
DESIGN
10/15/2020

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B - TABLE 6.2.3.12.

- KITCHEN EXHAUST: 3.0m
- DRIVEWAY, PARKING SPACE, ROAD: 1.5m
- SOLID FUEL APPLIANCE EXHAUST: 3.0m

NOTED: 2020.04.01



FIRE BLOCKING REQUIRED FOR CONCEALED SPACES SUCH AS COFFERED CEILINGS, BULKHEADS AND LARGE ROOF SPACES

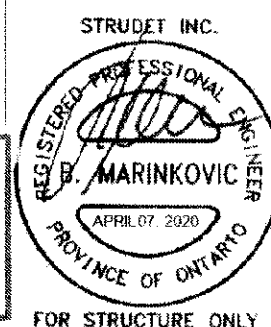
CANOPY ROOF NOTE: (TYP.)
2"x8" @ 12" O.C. P.T. ROOF JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines and does not bear any further professional responsibility.



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12		3	ISSUED FOR PERMIT.	APR 02/20	GW
11		2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20	JM
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink
signature
name
registration information
VA3 Design Inc.
42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON.
date
JANUARY 2020
drawn by
WT
checked by
3/16" = 1'-0"

VALLEYCREEK 6
12.5m
project no.
19014
drawing no.
A2b

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GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER: 3.8.3.13.(2)(a). BATHTUB: 3.8.3.13.(4)(a). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
 CB-NOTE-2020.0000

2836 SF.

CITY OF HAMILTON

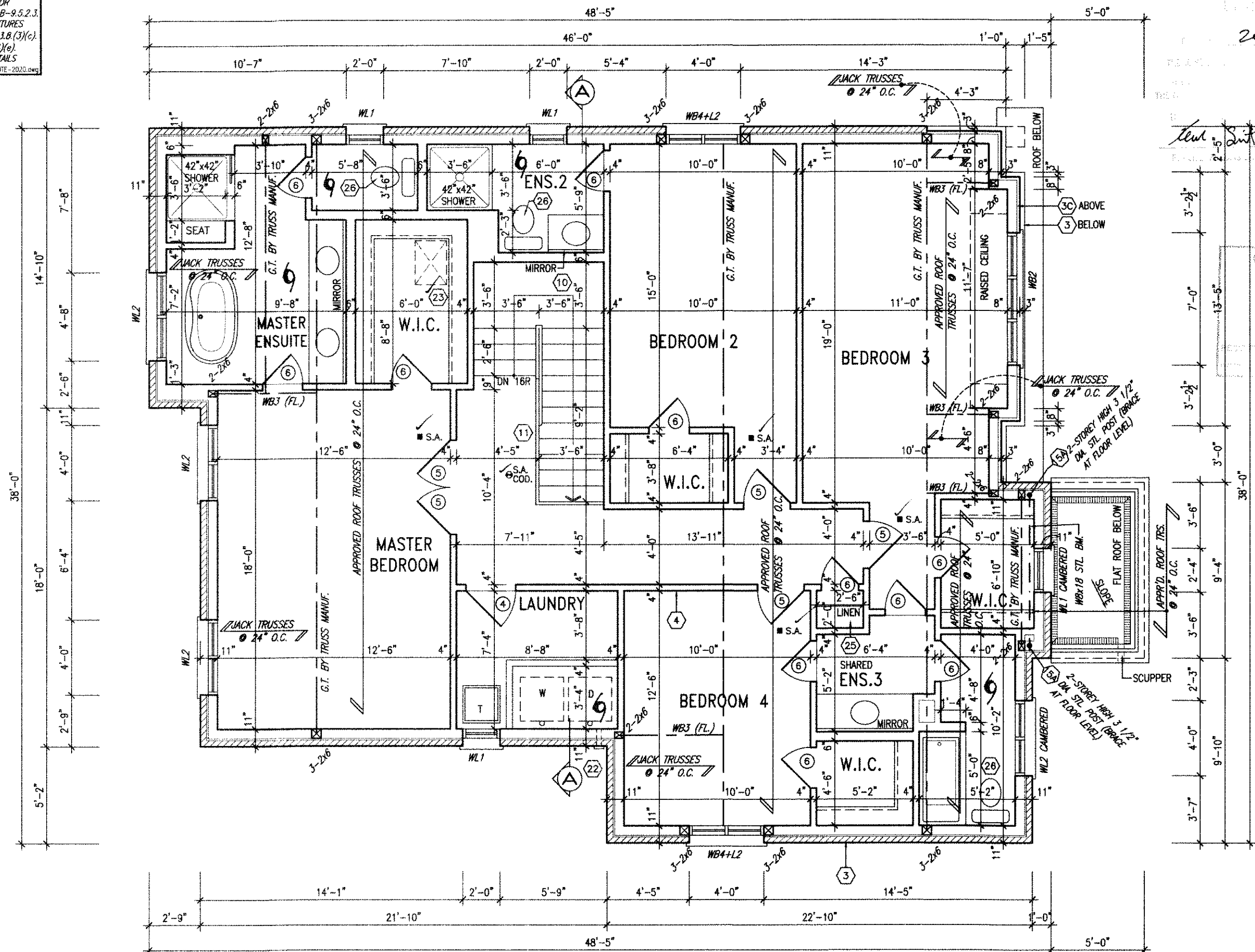
Planning Division

20-187718

Dec 17, 2020

CITY OF HAMILTON

15-2000



SECOND FLOOR PLAN ELEV. 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: SEP 23, 2020
 This stamp certifies compliance with the applicable Design Guidelines only and does not further certify the project.



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 3.8.3.8.(1)(a) & 3.8.3.13.(1)(i).

18		9			
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12		3	ISSUED FOR PERMIT.	APR 02/20	GW
11		2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG.	MAR 27/20	JM
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB 04/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink
 name
 registration information
 VAS Design Inc.
 42658
 signature
 [Signature]
 24488
 BCN
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

Greenpark.
 project name
 RUSSELL GARDENS PH. 3
 date
 JANUARY 2020
 drawn by
 WT
 checked by
 -
 scale
 3/16" = 1'-0"

VALLEYCREEK 06
 12.5m
VALLEYCREEK 6
 12.5m
 project no.
 19014
 drawing no.
A3
 SECOND FLOOR PLAN ELEV. 1
 19014-VALLEYCREEK-06
 CREG - H:\ARCHIVE\WORKING\2019\19014 GRE\UNITS\SINGLES\417 VALLEYCREEK\19014-VALLEYCREEK-06.dwg - Thu - Apr 2 2020 - 5:21 PM

2836 SF.

CITY OF HAMILTON
BUILDING DEPARTMENT

20-187718

Dec 17, 2020

CITY OF HAMILTON
BUILDING DEPARTMENT

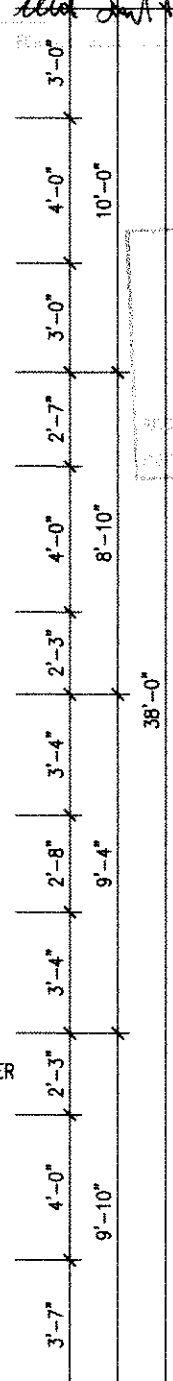
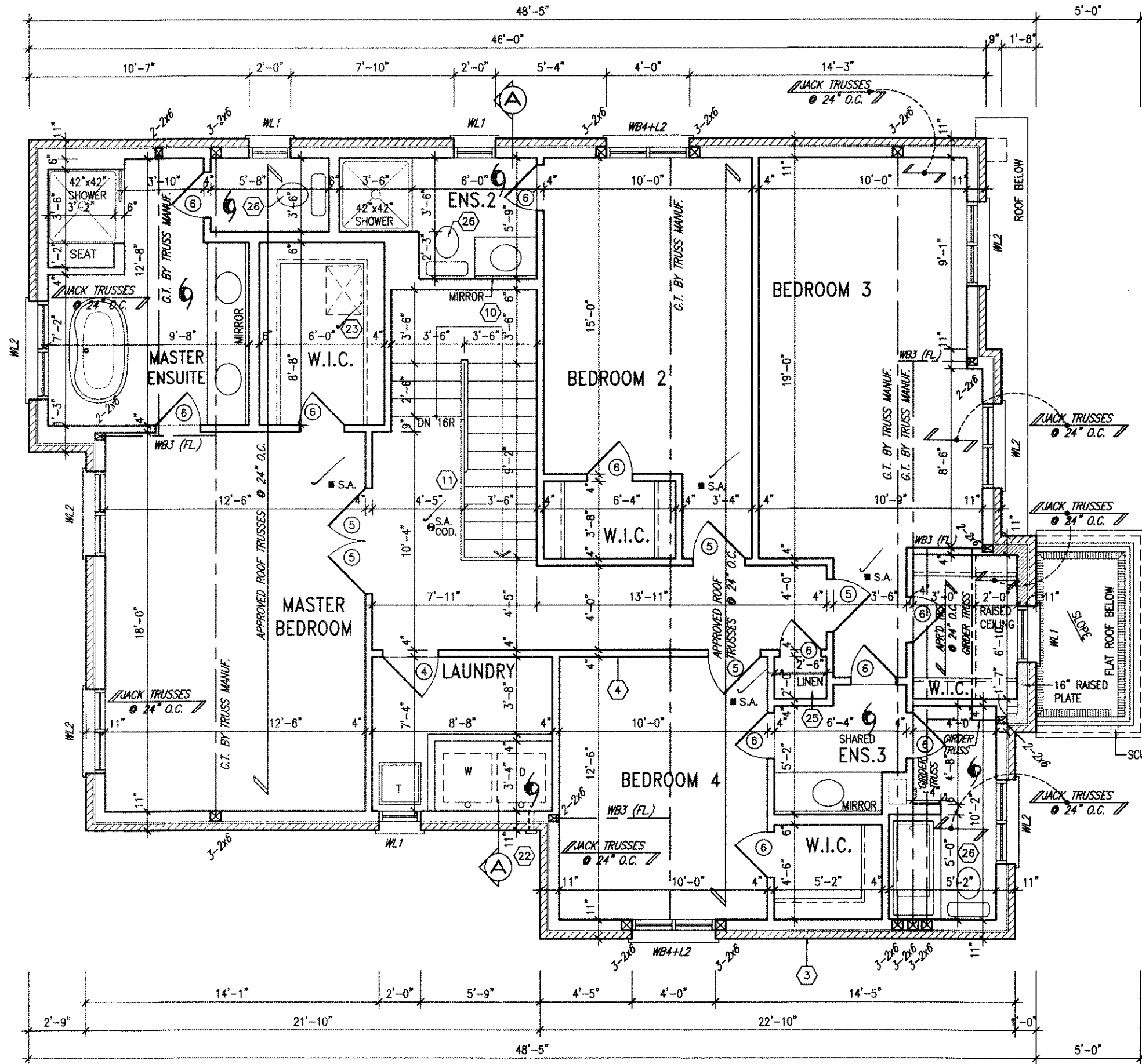
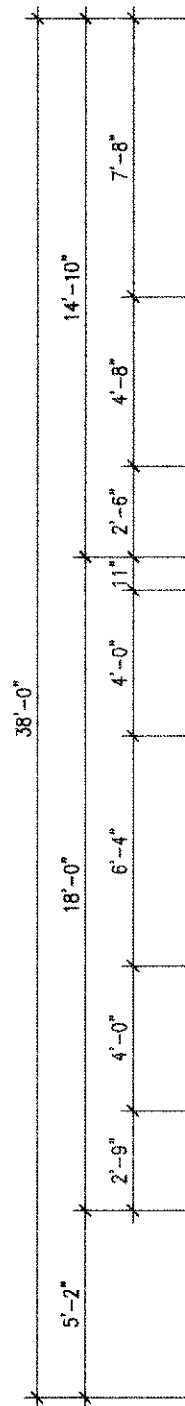
NOV 15 2020

RECEIVED BY DATE
APPROVED BY DATE

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED: WATER CLOSET: 3.8.3.8.(3)(g) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

08-NOTE-7520.dwg



SECOND FLOOR PLAN ELEV. 2

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE: SEP 21, 2020

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.



STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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12			3	ISSUED FOR PERMIT.	APR 02/20	GW
11			2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20	JM
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB 04/20	GW
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3						
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1						
no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
name
registration information
VA3 Design Inc.
42658

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
checked by
JANUARY 2020
scale
3/16" = 1'-0"

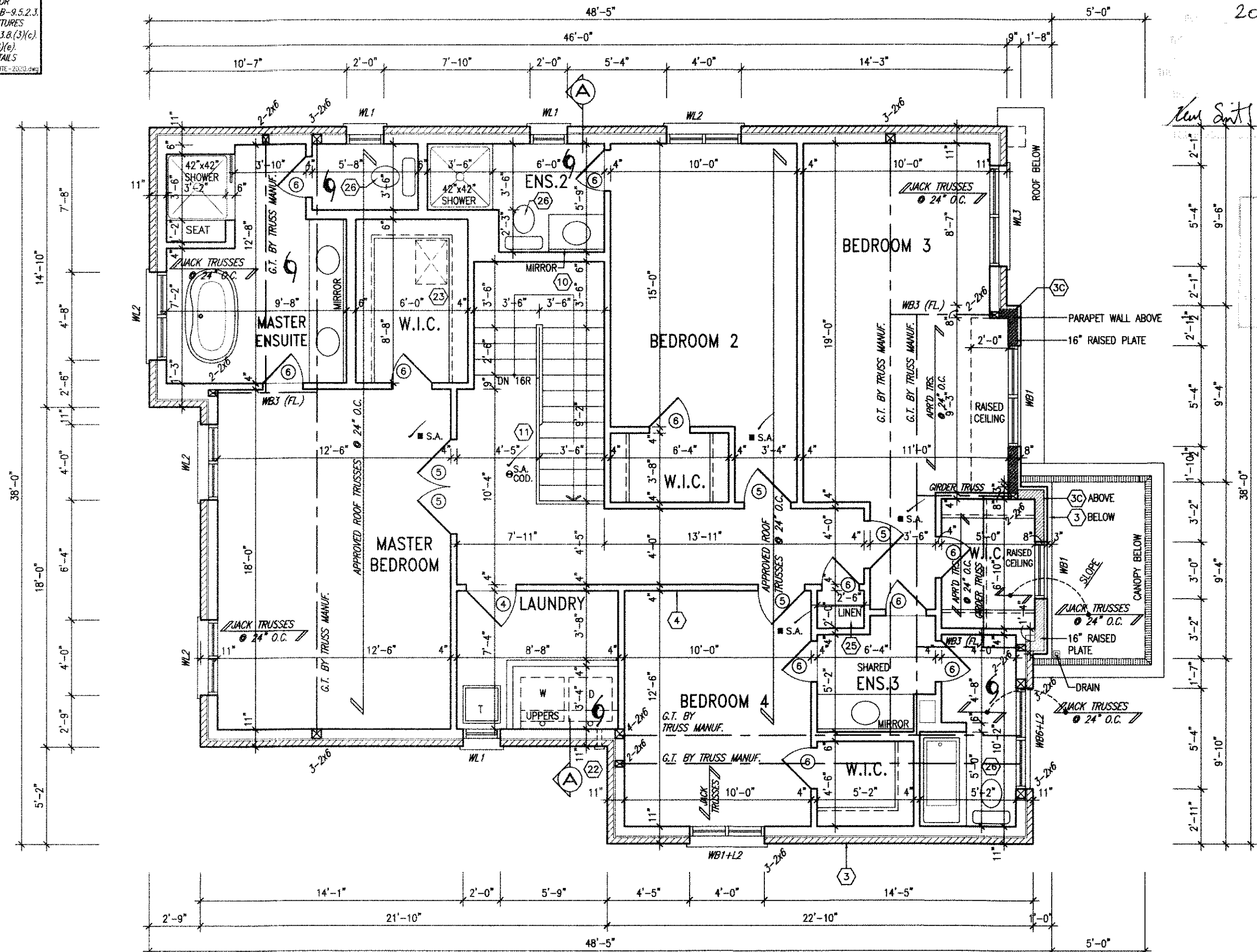
VALLEYCREEK 6
12.5m
project no.
19014
municipality
HAMILTON, ON.
SECOND FLOOR PLAN ELEV. 2
drawing no.
A3a

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM ✓

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHUB 3.8.3.13.(4)(e). FREE STANDING BATHUB EXCLUDED. SEE DETAILS PROVIDED.

CSB - NOTE - 2/20/20

$$\begin{aligned} \frac{1}{2} \left(\frac{1}{2} \right) &= \frac{1}{2} \left(\frac{1}{2} \right) \\ &= \frac{1}{2} \left(\frac{1}{2} \right) \end{aligned}$$



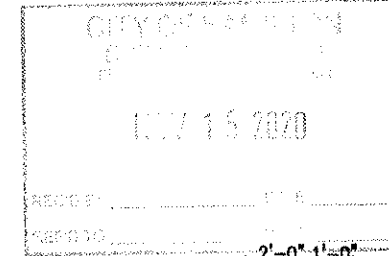
STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f).

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11			2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20
no.	description	date	by	no. description	date

project name	project no.
RUSSELL GARDENS PH. 3	19014
municipality	
HAMILTON, ON.	
date	drawing no.
JANUARY 2020	19014
SECOND FLOOR PLAN ELEV. 3	
drawn by	file name
checked by	scale
3/16" = 1'-0"	19014-VALLEYCREEK-06
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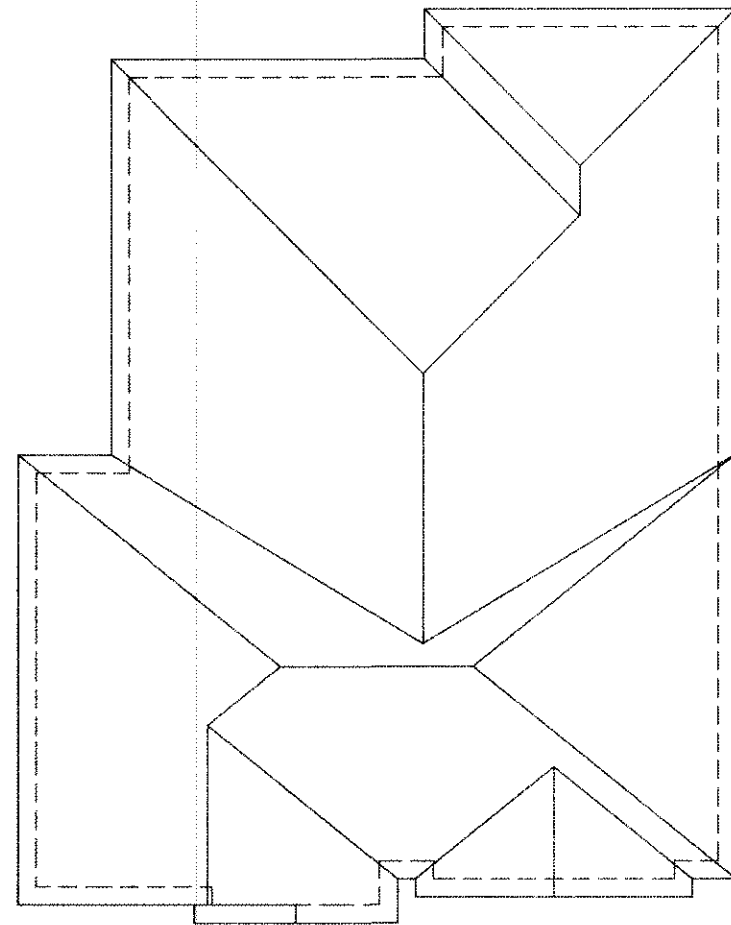
2836 SF.



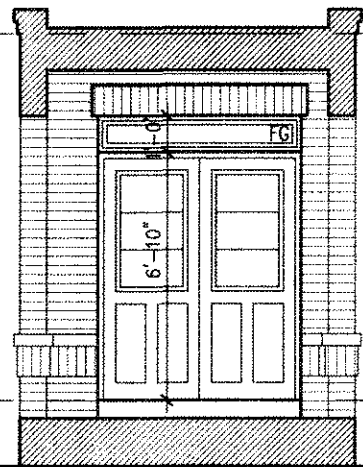
CITY OF HAMILTON
B. 10/17/15/2020

20-187718

Dec 17, 2020



ROOF PLAN-1



INSIDE PORTICO
ELEVATION 1



FRONT ELEVATION 1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines and does not further the Architect's responsibility.

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11		2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20	JM
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

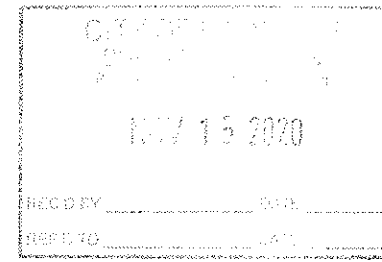
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JANUARY 2020
drawn by
WT
checked by
scale
3/16" = 1'-0"

VALLEYCREEK 6
12.5m
project no.
19014
drawing no.
A4
FRONT ELEVATION - ELEV. 1
19014-VALLEYCREEK-06
DEC - H:\ARCHIVE\WORKING\2019\19014 GRE\UNITS\SAMPLES\41 VALLEYCREEK\19014-VALLEYCREEK-06.dwg - Thu - Apr 2 2020 - 5:21 PM

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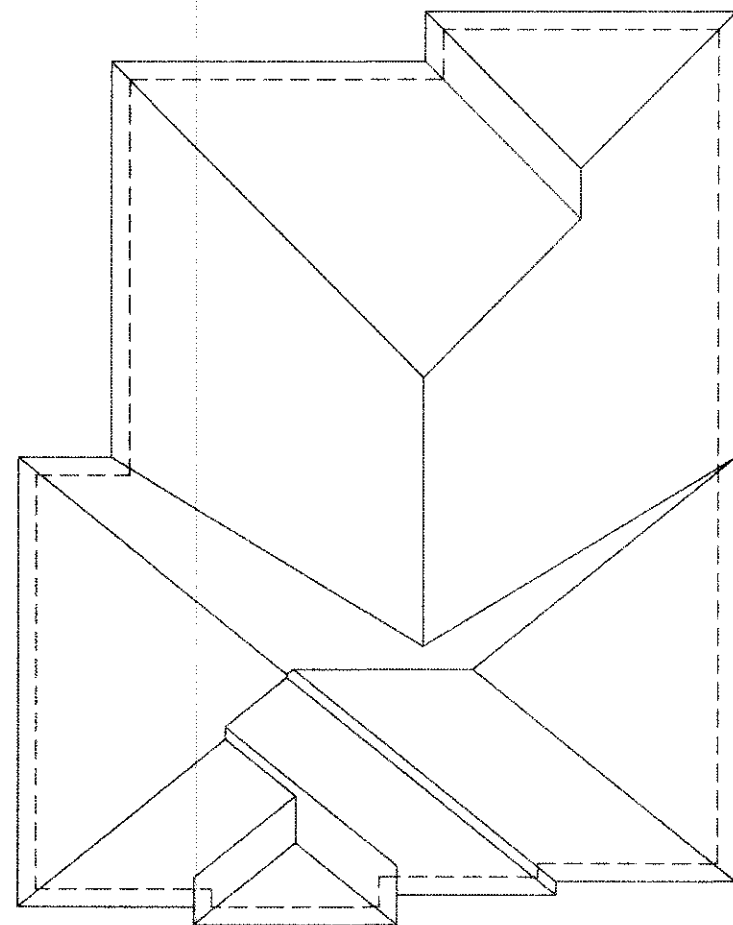
2836 SF.



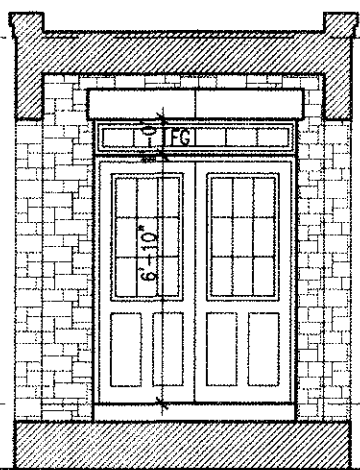
CITY OF HAMILTON

20-187718

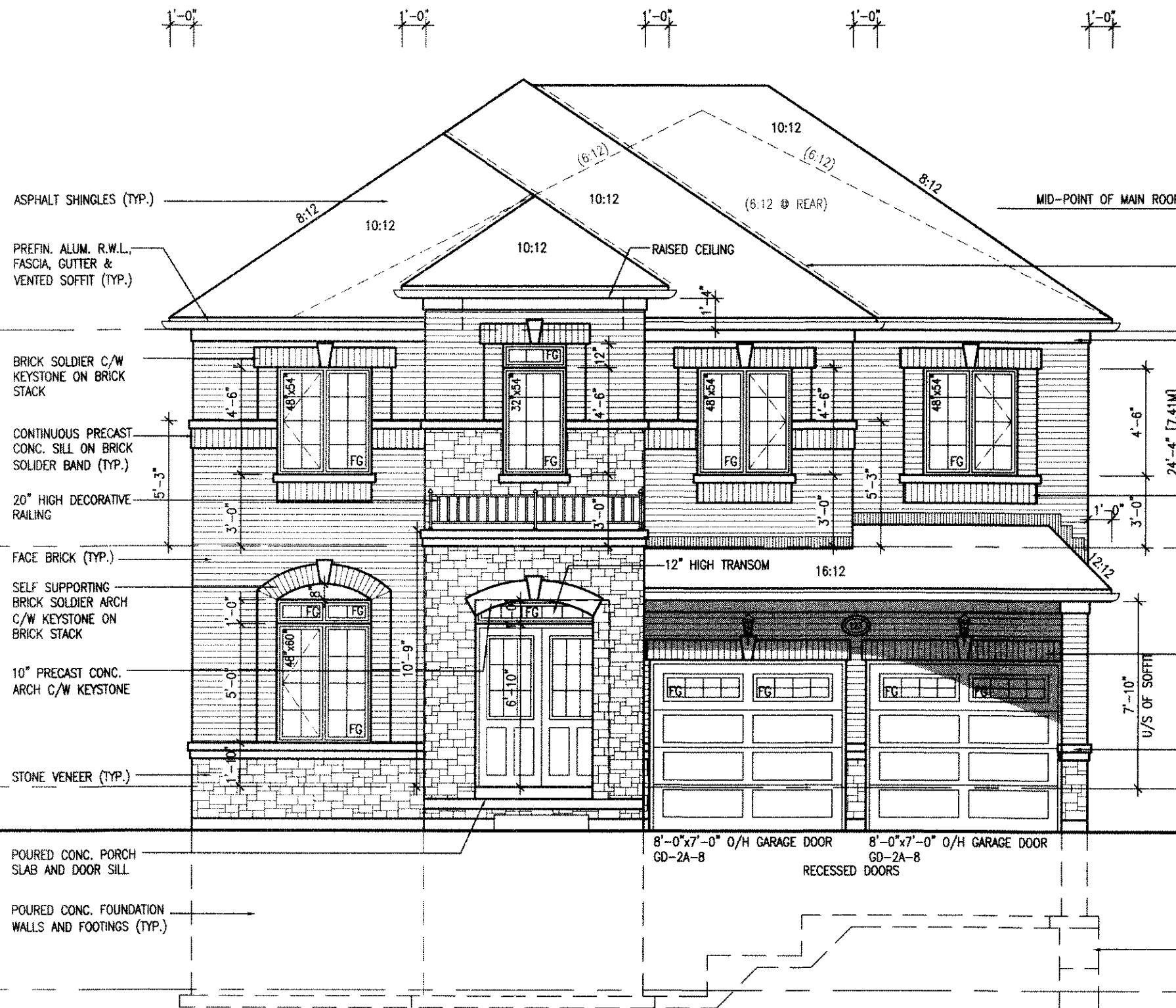
Dec 17, 2020



ROOF PLAN-2



INSIDE PORTICO ELEVATION 2



FRONT ELEVATION 2

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 22, 2020
This stamp certifies compliance with the applicable Design Guidelines and does not constitute professional responsibility.

18			9		
17			8		
16			7		
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13			4		
12			3	ISSUED FOR PERMIT.	APR 02/20 GW
11			2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20 JM
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

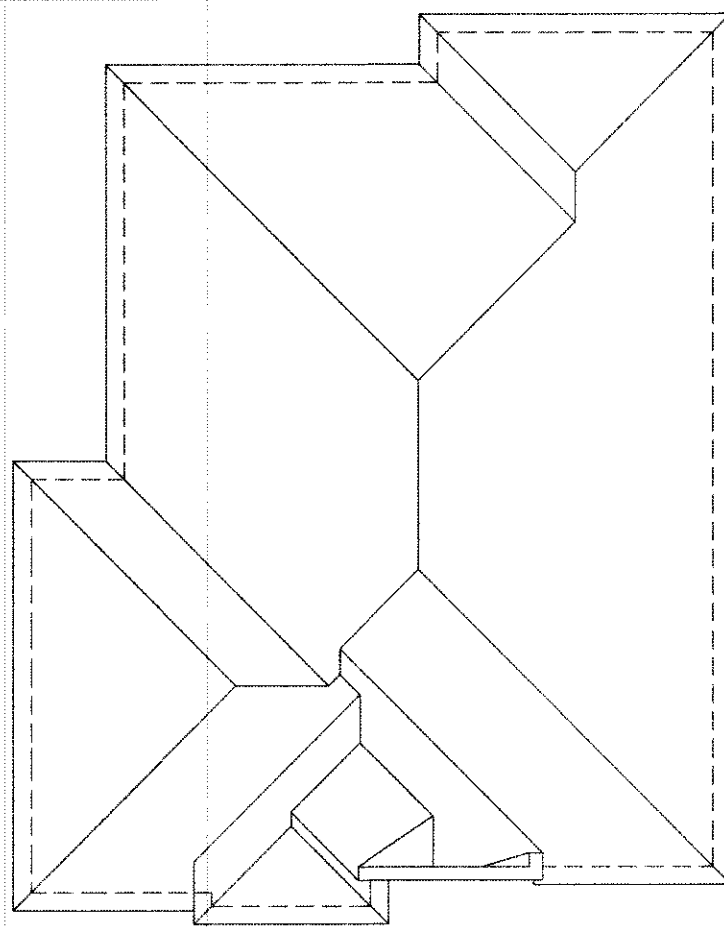
Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JANUARY 2020
checked by
scale
3/16" = 1'-0"

VALLEYCREEK 6
12.5m
project no.
19014
drawing no.
A4a
FRONT ELEVATION - ELEV. 2
19014-VALLEYCREEK-06
CREG - H:\ARCHIVE\WORKING\2019\19014.GRE\UNITS\SINGLES\41 VALLEYCREEK\19014-VALLEYCREEK-06.dwg - Thu - Apr 2 2020 - 5:22 PM

RECEIVED
FBI
NOV 15 2020

20-187718

Levi Giff Dec 17, 2020



6" STUCCO FRIEZE BD

PREFIN. ALUM. R.W.L.,-
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

10" PRECAST CONC.-----
HEADER (TYP.)

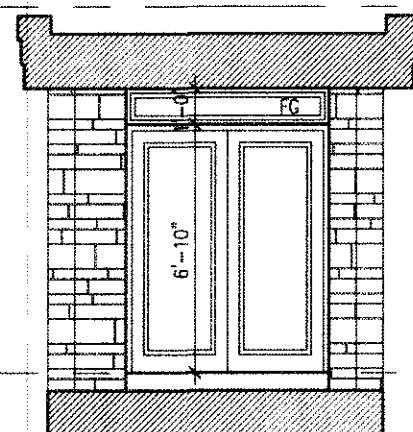
APPLIED STUCCO FINIS
W/ REVEALS (TYP.)

WOOD GRAIN
STUCCO FINISH

CONTEMPORARY
STONE PATTERN
(TYP)

POURED CONC. PORCH
SLAB AND DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)



INSIDE PORTICO
ELEVATION 3

FRONT ELEVATION 3

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This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: SEP 27 2007

This stamp certifies compliance with the applicable
Design Guidelines only and does not assume the
professional responsibility.

18				9		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT.	APR 02/20
11				2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20
no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	244
name	signature
registration information	
VAS Design Inc.	428
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All discrepancies and specifications are instrumental to the service and the responsibility of the Designer which must be returned at the completion of the service. Drawings are not to be altered.	

VA3
DESIGN
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

 Greenpark.		
Project name	RUSSELL GARDENS PH. 3	map
to		HAMILTON,
date	15 JANUARY 2020	FRONT ELEVATION
drawn by	checked by	scale
	-	3/16" = 1'-0"
TAF MOZAMBAI - C:\Users\tafma\OneDrive\19014-GREENPARK\UNITS_19014-VALLEYCREEK-06		

VALLEYCREEK 6	
12.5m	
ly	project no.
..	19014
ATION - ELEV. 3	
file name:	
19014-VALLEYCREEK-06	
Mon: - Jul 6 2020 - 10:17 AM	
drawing no.	
A4b	

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[illegible]

20-187718

THE
FIRST
Page 1
Lore Sittl
Dec 17, 2020



JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY  _____
DATE SEP. 11, 2020

You certify compliance with the applicable
Oregon building code and bear no further
professional responsibility.

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8			qualification information
16				7			
15				6			Richard Vink 2448B
14				5			name signature BCIN
13				4			registration information VA3 Design Inc. 4265B
12				3	ISSUED FOR PERMIT.	APR 02/20	GW
11				2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20	JM
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24488
name
signature BCIN
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name	project	
RUSSELL GARDENS PH. 3	HAMILTON, ON.	1901
date	drawing no.	
JANUARY 2020	LEFT SIDE ELEVATION - ELEV. 1	
drawn by	checked by	scale
WT	3/16" = 1'-0"	19014-VALLEYCREEK-06
DTG - H:\ARCHIVE\WORKING\2019\19014.GRE\GENTS\SINGLES\41 VALLEYCREEK\19014-VALLEYCREEK-DE.dwg - Thu - Apr 2 2020 - 5:21 PM		

VALLEYCREEK 6
12.5m

project no.
1901

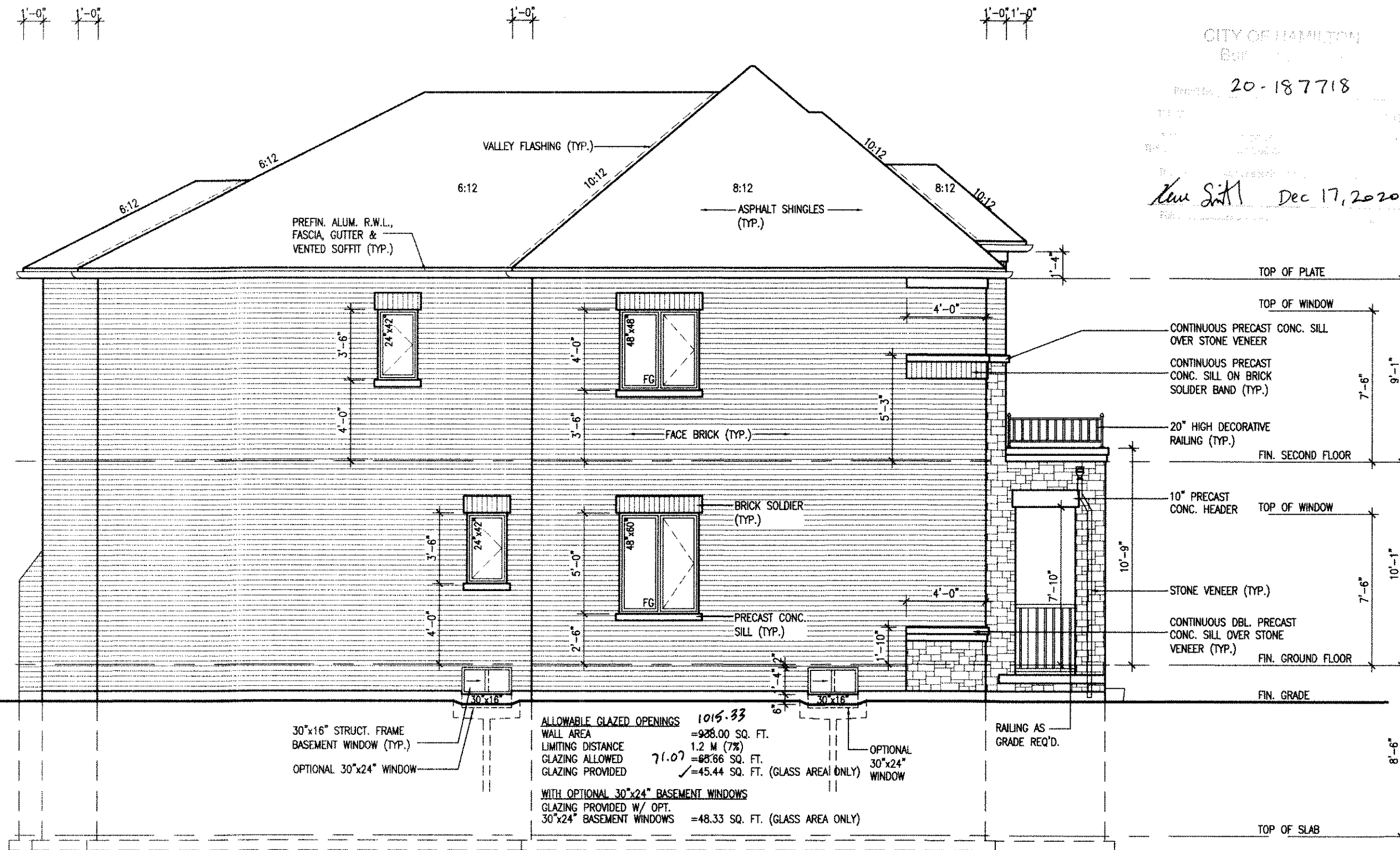
drawing no.
A5

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[illegible]

Page 10 20-187718

NEW SITH Dec 17, 2020



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with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
DATE: 10/1/88

APPROVED BY: 
DATE: SEP 21, 2026
The stamp certifies compliance with the applicable Design Guidelines only and bears no further

[illegible]

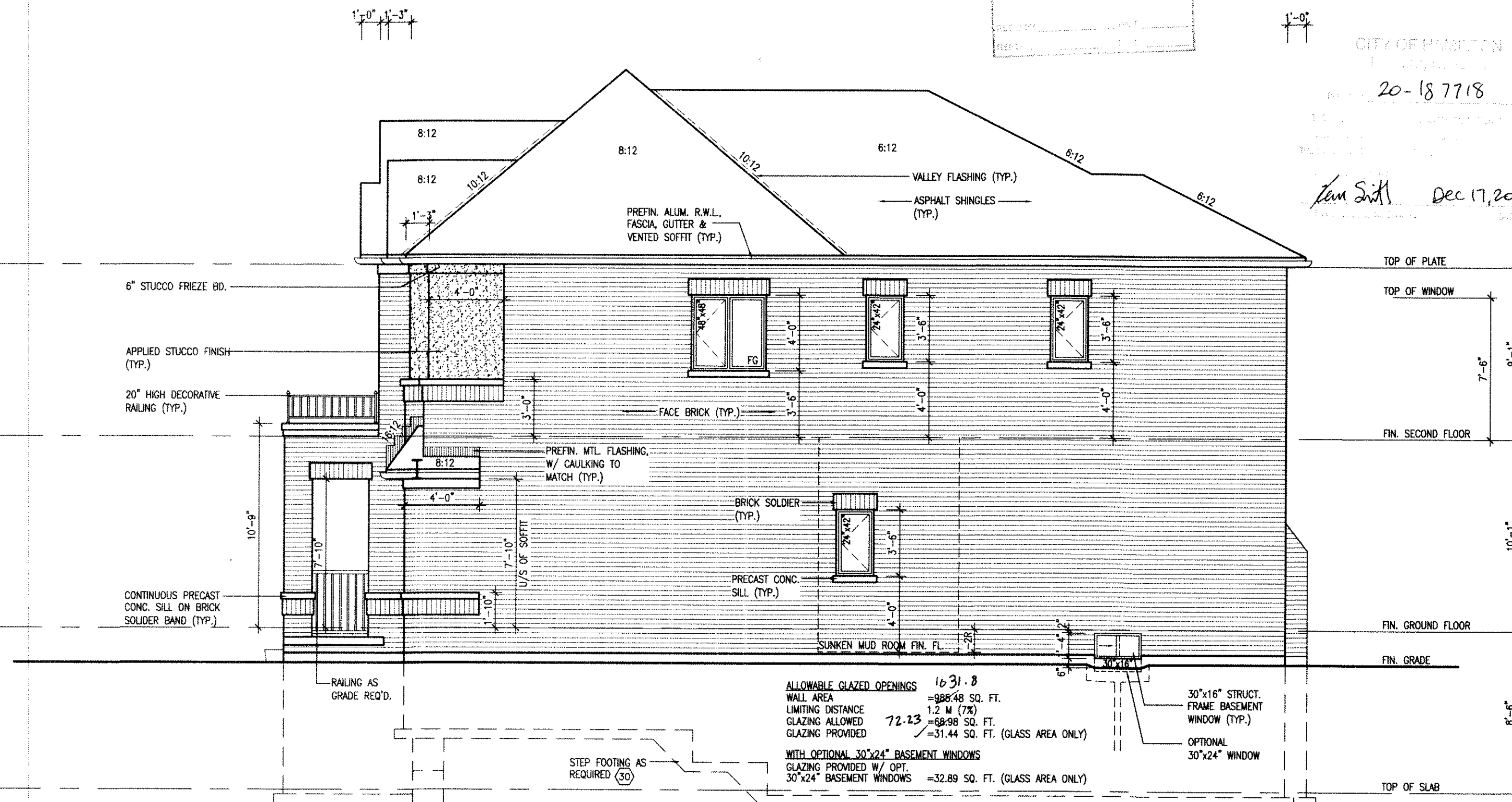
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NOV 15 2020

20-187718

Liam Smith Dec 17, 2020



WINDOW WELLS DRAIN TO FOOTING LEVEL

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE: SEP 21, 2020

This stamp certifies compliance with the applicable
Design Guidelines only and does not constitute further
professional responsibility.

18					9		The undersigned has reviewed and takes responsibility for this design and the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17					8		
16					7		qualification information
15					6		Richard Vink
14					5		BCR signature
13					4		name registration information VA3 Design Inc. 42655
12					3	ISSUED FOR PERMIT. APR 02/20 GW	
11					2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG MAR 27/20 JM	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the drawings and not to be used.
10					1	PRELIMINARY. ISSUED FOR CLIENT REVIEW. FEB. 04/20 GW	
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24488

name

signature BCD

registration information

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be recolor.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

project name	municipality
RUSSELL GARDENS PH. 3	HAMILTON, ON

date
JANUARY 2020

drawn by
WT

checked by
~

scale
3/16" = 1'-0"

VALLEYCREEK 6
12.5m

city	project no.
N.	19014

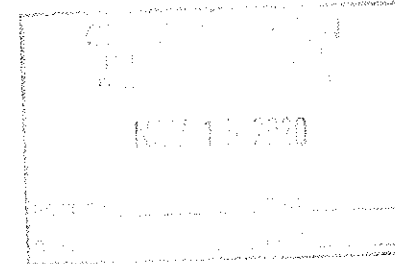
RIGHT SIDE ELEVATION - ELEV. 1

19014-VALLEYCREEK-06

drawing no

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2836 SF.



1'-0" 1'-0"

1'-0"

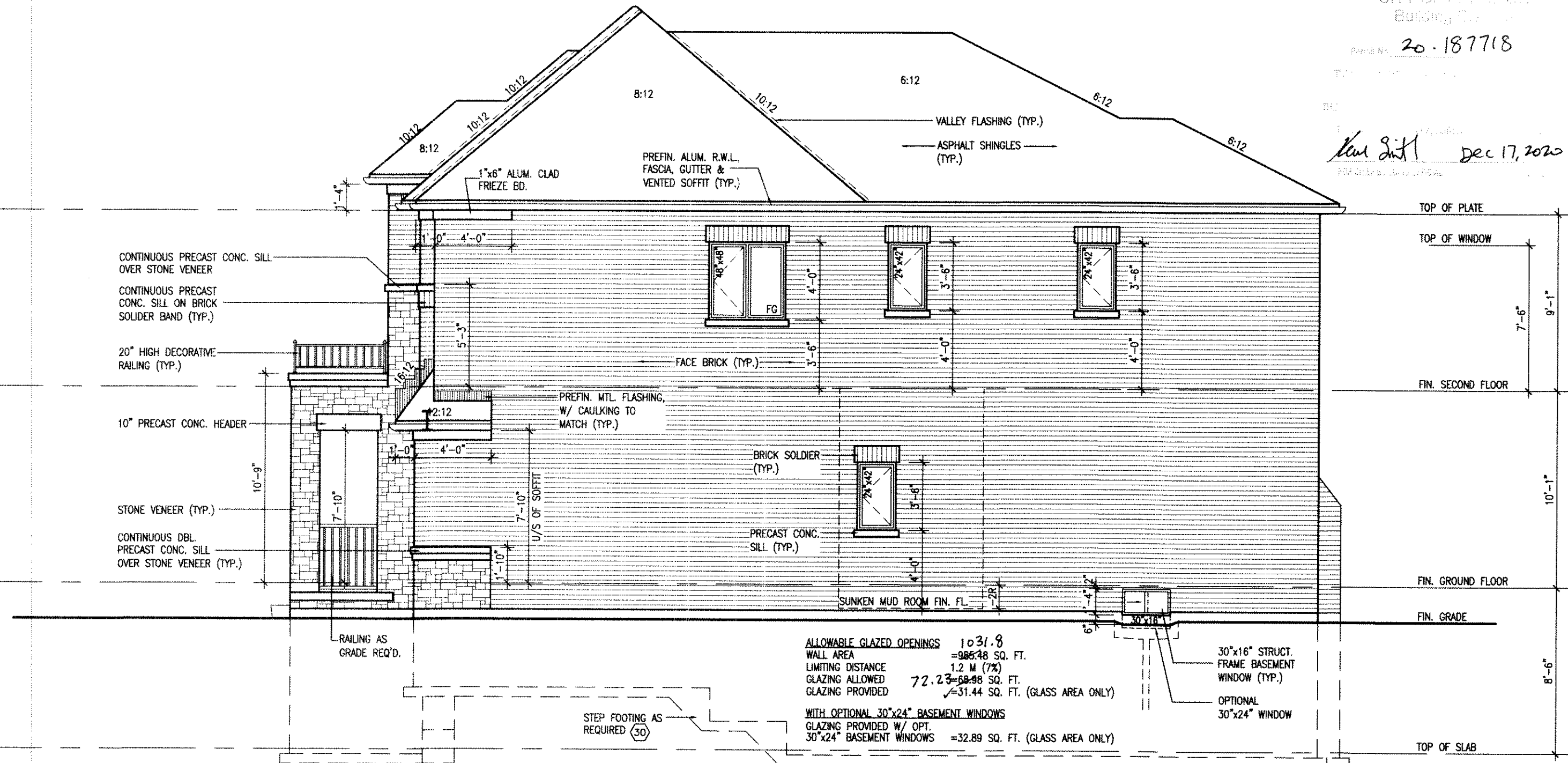
CITY OF HAMILTON
Building Code

Permit No. 20-187718

DATE: 10/11/2020

BY:

Ken Gill Dec 17, 2020
FOR CLIENT BY: [Signature]



ALLOWABLE GLAZED OPENINGS	1031.8
WALL AREA	=98548 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	72.23=68.98 SQ. FT.
GLAZING PROVIDED	=31.44 SQ. FT. (GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS	
GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	=32.89 SQ. FT. (GLASS AREA ONLY)

RIGHT SIDE ELEVATION 2

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL TOWNHALL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
This record certifies compliance with the applicable Design Guidelines only and bears no further responsibility.

18			9		
17			8		
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13			4		
12			3	ISSUED FOR PERMIT.	APR 02/20 GW
11			2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG.	MAR 27/20 JM
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20 GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature [Signature]
name registration information
V.A.S. Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ON.

project no.
19014

drawing no.
A6a

date
JANUARY 2020

checked by
[Signature]

scale
3/16" = 1'-0"

file name
19014-VALLEYCREEK-06

drawn by
[Signature]

date
APR 2 2020

time
5:22 PM

This is a blank, lined page from a notebook. The page features horizontal ruling lines and a vertical margin line on the left side. The paper appears slightly aged with some faint smudges and a small dark mark near the top left corner.

20-187718

Kenn Smith Dec 17, 2020

TOP OF SLAB

CONTEMPORARY
STONE PATTERN
(TYP)

CONTINUOUS PRECAST
CONC. SILL (TYP.)

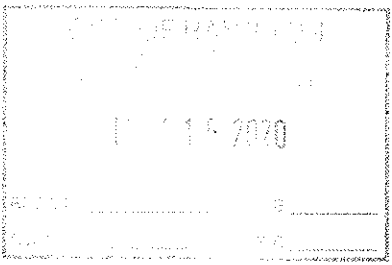
STEP FOOTING AS
REQUIRED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS = 32.89 SQ. FT. (GLASS AREA ONLY)

30"x24" WINDOW

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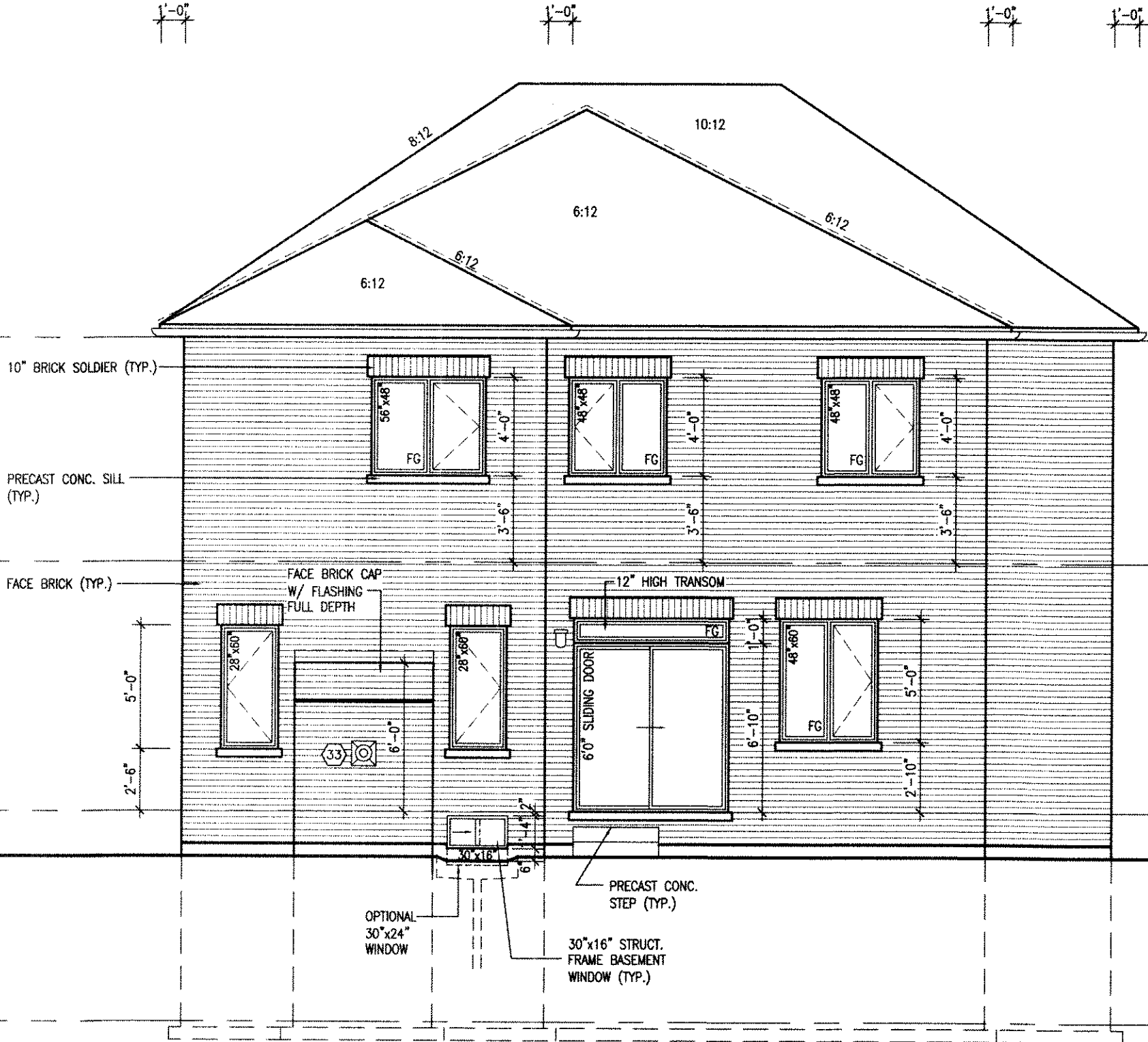
2836 SF.



CITY OF HAMILTON
BUILDING DEPARTMENT

20-187718

Kenn Smith Dec 17, 2020



REAR ELEVATION 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further responsibility.

18			9		
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13			4		
12			3	ISSUED FOR PERMIT.	APR 02/20 GW
11			2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20 JM
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
name
registration information
VA3 Design Inc.
signature
24488
BCO
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON.

date
JANUARY 2020
drawn by
WT
checked by
-
scale
3/16" = 1'-0"

VALLEYCREEK 6
12.5m

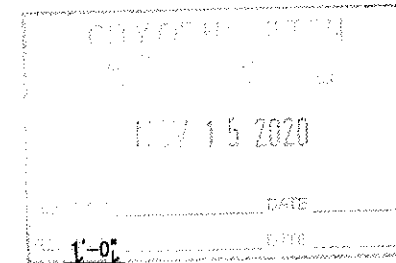
project no.
19014

REAR ELEVATION - ELEV. 1

file name
19014-VALLEYCREEK-06

drawing no.
A7

2836 SF.

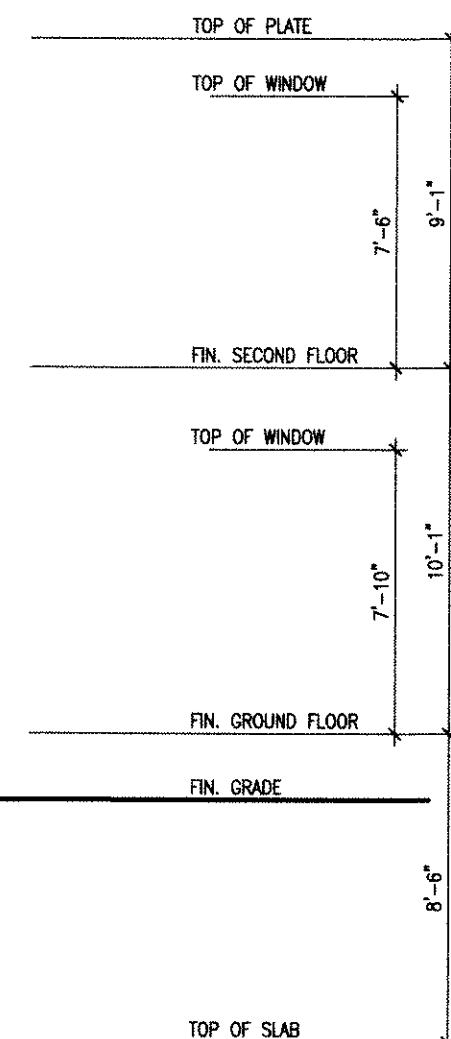
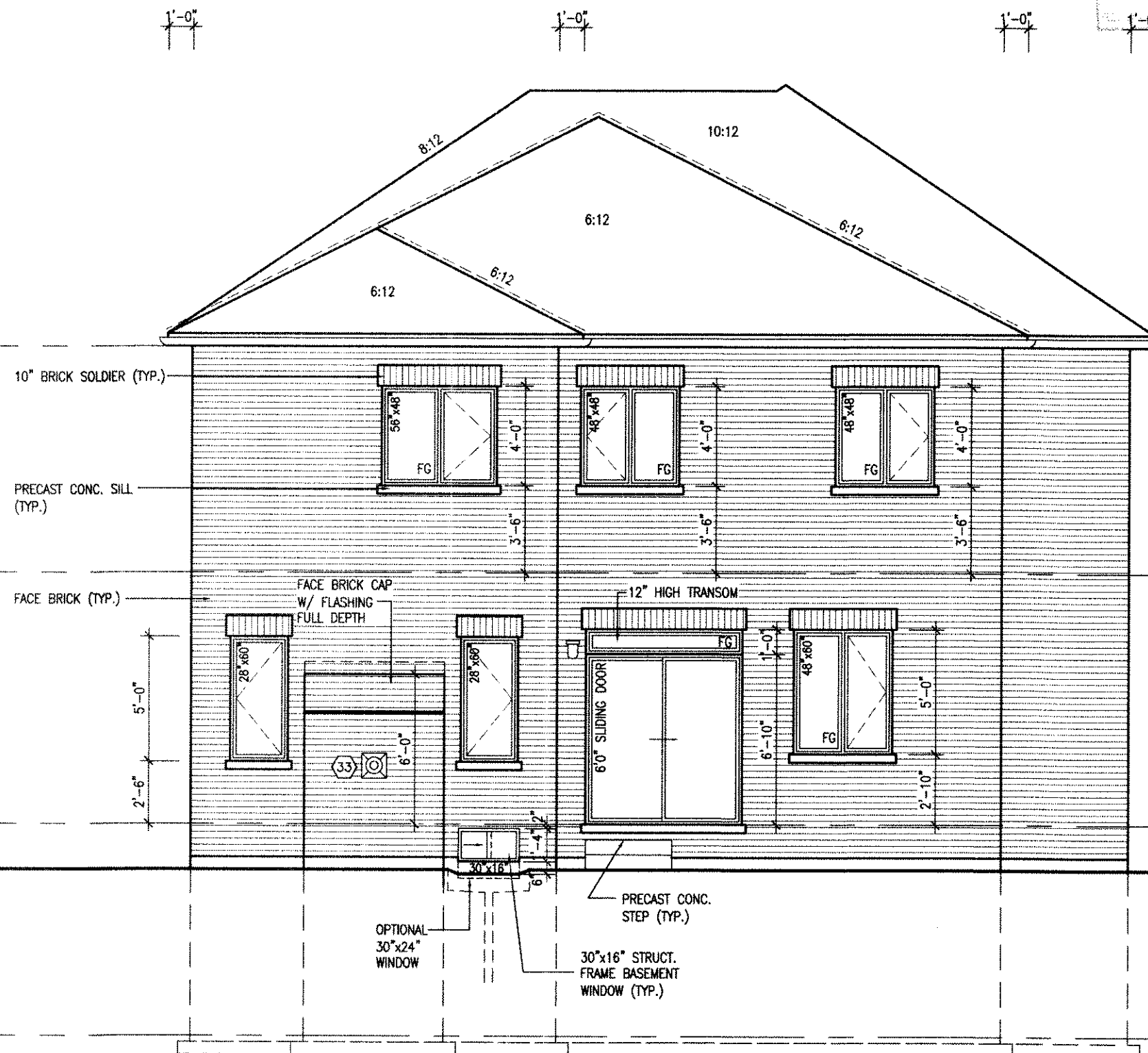


CITY OF HAMILTON
Building Department

20-187718

DATE: DEC 17, 2020
BY: [Signature]

FOR: [Signature]



REAR ELEVATION 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 21, 2020
The plan complies with the applicable Architectural Design Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT	APR 02/20 GW
11			2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20 JM
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	FEB. 04/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
name
registration information
VA3 Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

VALLEYCREEK 6
12.5m

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

checked by
scale
3/16" = 1'-0"

drawn by
WT

19014-VALLEYCREEK-06

19014

REAR ELEVATION - ELEV. 2

drawing no.
A7a

[illegible]

Page: 20-187718

Kem Smtl Dec 17, 2020



JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY [Signature]

DATE SEP 21 1996

This approval certifies compliance with the applicable
Design Guidelines only and does not further
profession or responsibility.

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink 244B-801
14				5			name signature
13				4			registration information
12				3	ISSUED FOR PERMIT.	APR 02/20 GW	VAS Design Inc. 4255-
11				2	REV. AS PER ROOF/F.L.R. TRUSS MANUF. DWG	MAR 27/20 JM	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings may not be copied.
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20 GW	
no. description		date	by	no. description	date	by	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.2255
va3design.com

project name	project no.
RUSSELL GARDENS PH. 3	19014
location	drawing no.
HAMILTON, ON.	A7b
date	
JANUARY 2020	
description	
REAR ELEVATION - ELEV. 3	
drawn by	scale
checked by	file name
3/16" = 1'-0"	19014-VALLEYCREEK-06
W:\MOTZAMANE\ - C:\Users\phd\Desktop\19014-GREENPARK\UNITS\19014-VALLEYCREEK-06.dwg - Thu - Jul 2 2020 - 1:46 PM	

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2836 SF.

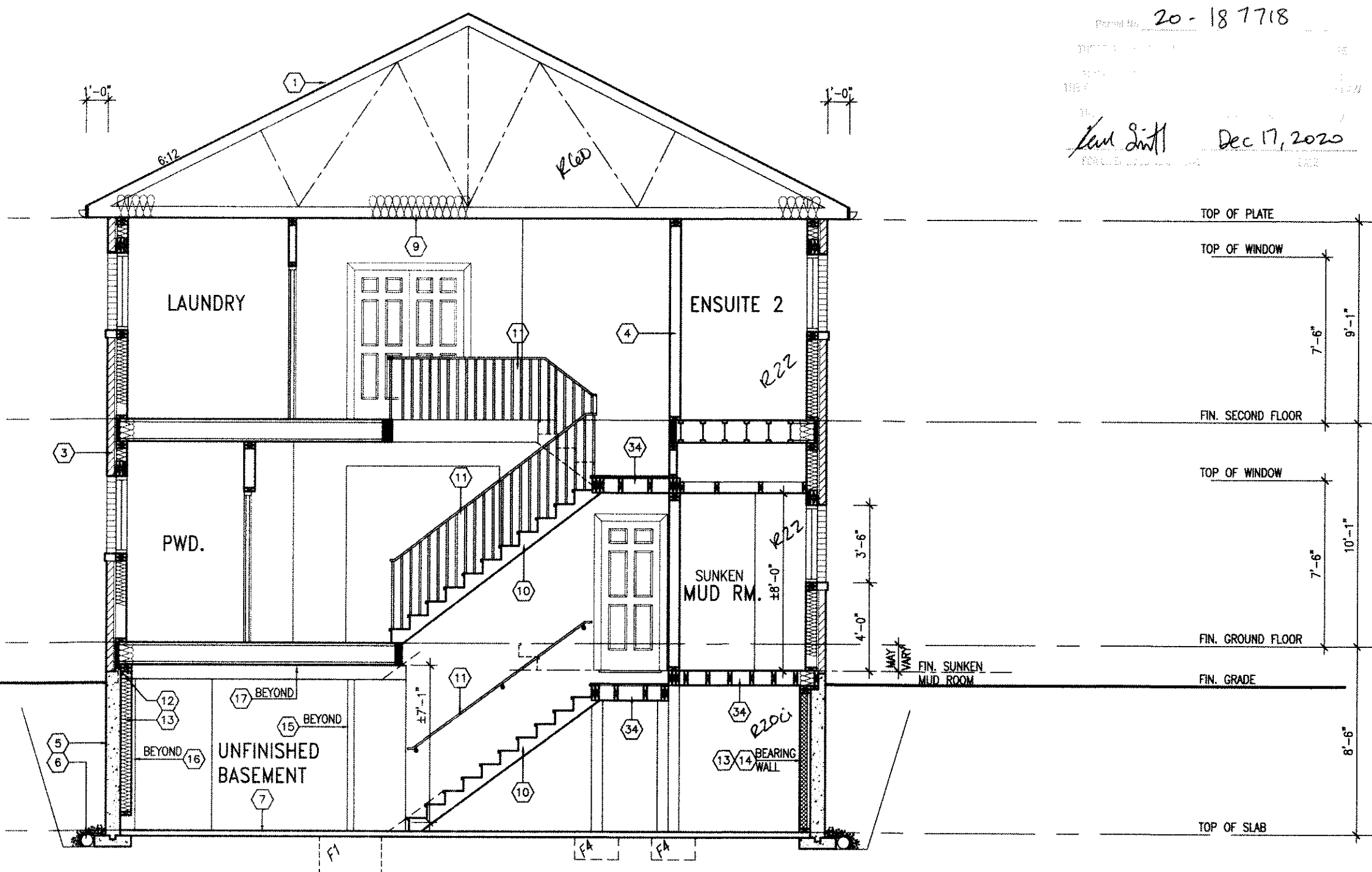
DATE: 15/12/2020
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

CITY OF HAMILTON
BUILDING DEPARTMENT

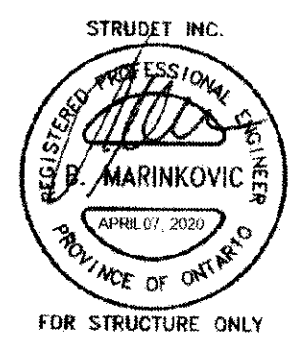
Permit No. 20-187718

Project Name: [Blank]
Address: [Blank]
City: [Blank]

Issued: Dec 17, 2020
By: [Signature]



CROSS SECTION 'A-A'
ELEVATION '2'



18				9					
17				8					
16				7					
15				6					
14				5					
13				4					
12				3					
11				2					
10				1					
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6									
5									
4									
3									
2									
1									
0									

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
same registration information
VA3 Design Inc.
42658
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by
WT

checked by
3/18" = 1'-0"

scale
3/18" = 1'-0"

project no.
19014

municipality
HAMILTON, ON.

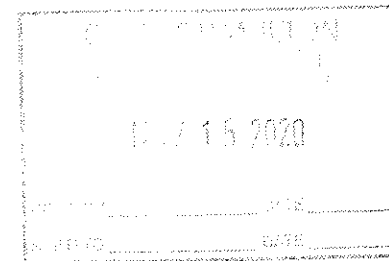
SECTION A-A ELEV. 2

19014-VALLEYCREEK-06

drawing no.
A8a

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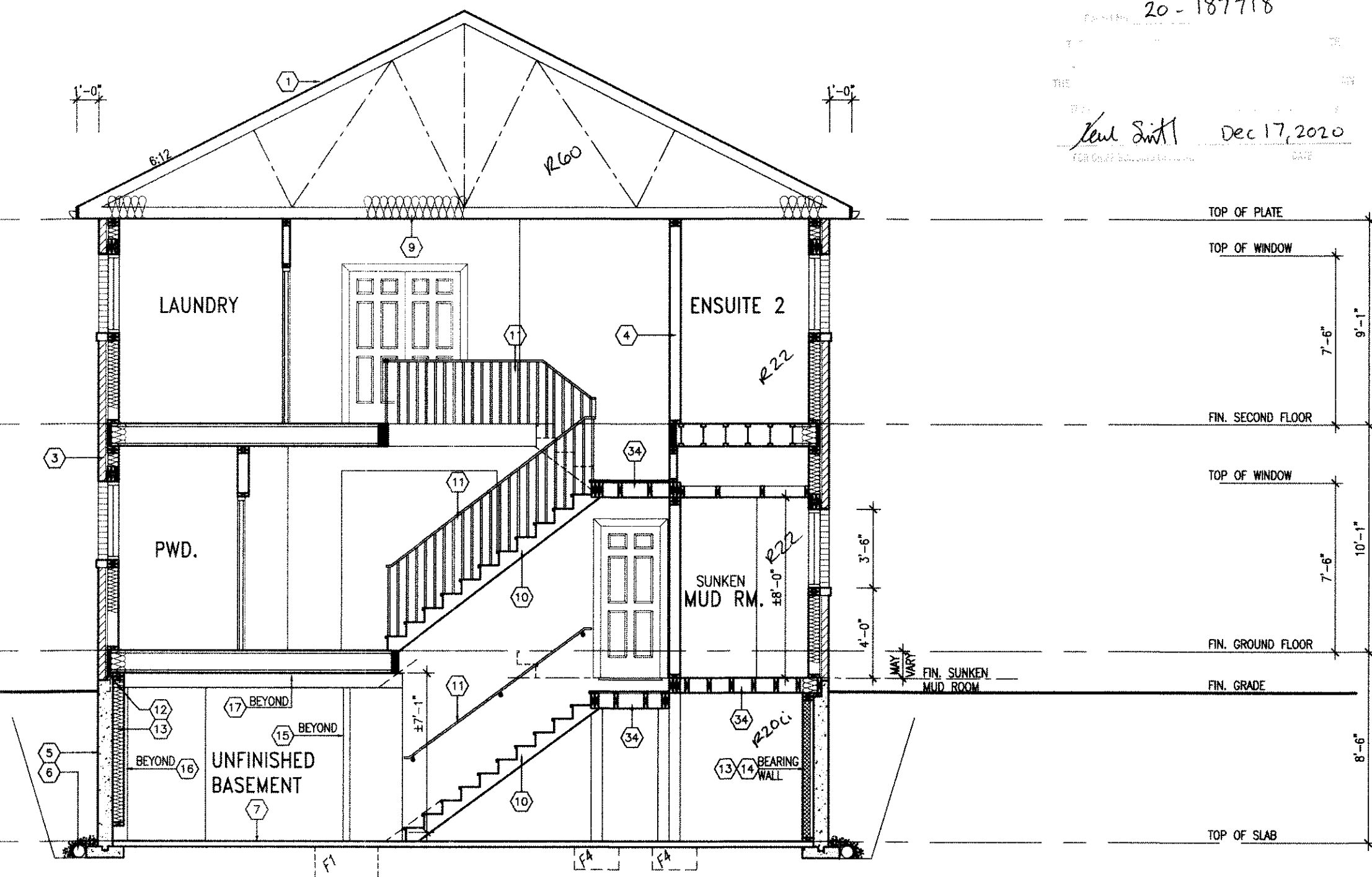
2836 SF.



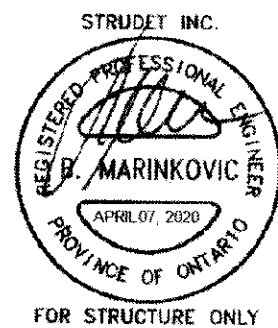
CITY OF HAMILTON
BUILDING

20-187718

Paul Smith
Dec 17, 2020



CROSS SECTION 'A-A'
ELEVATION '3'



VALLEYCREEK 06

COMPLIANCE PACKAGE 'A1'

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REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

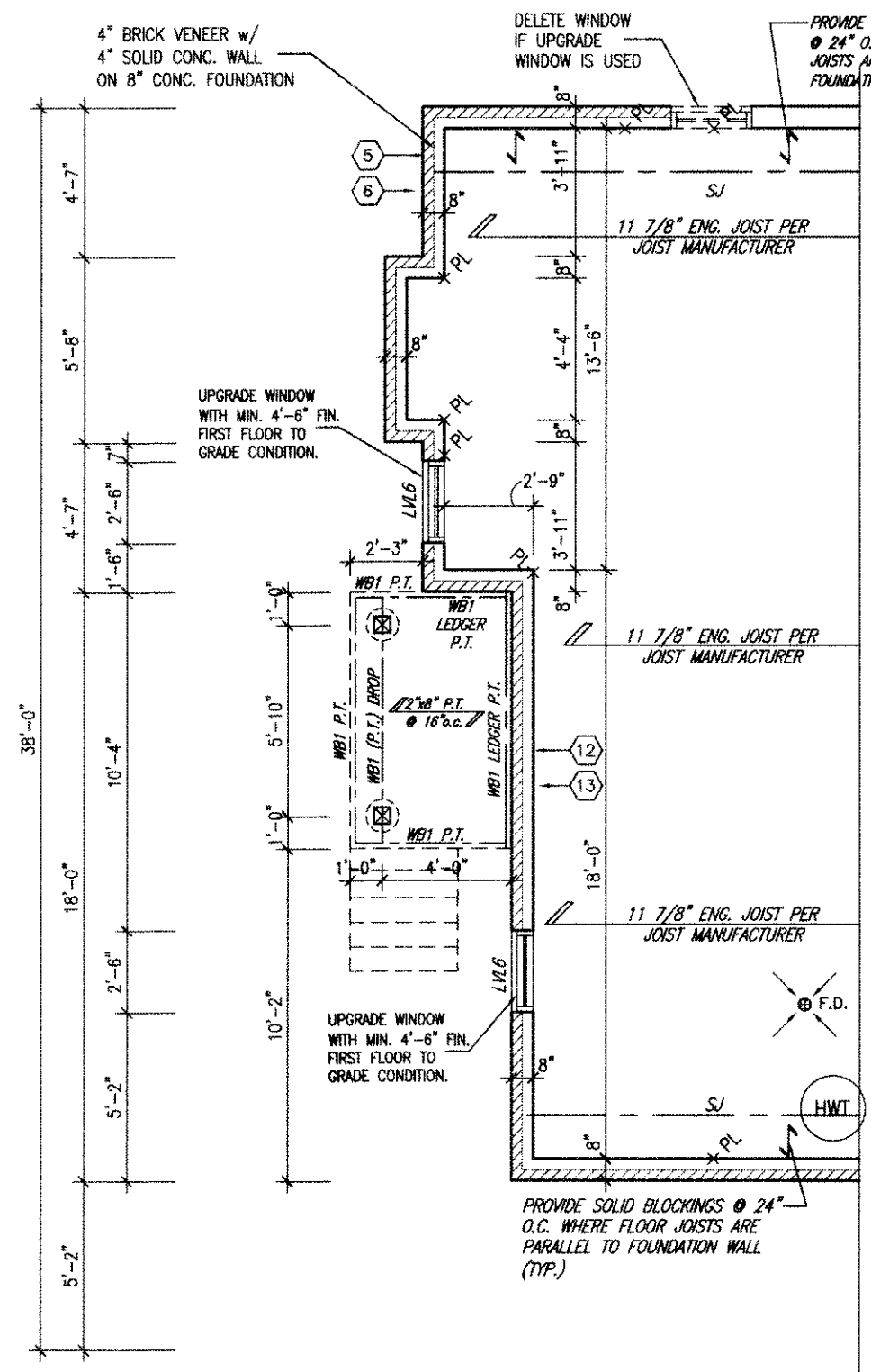
BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

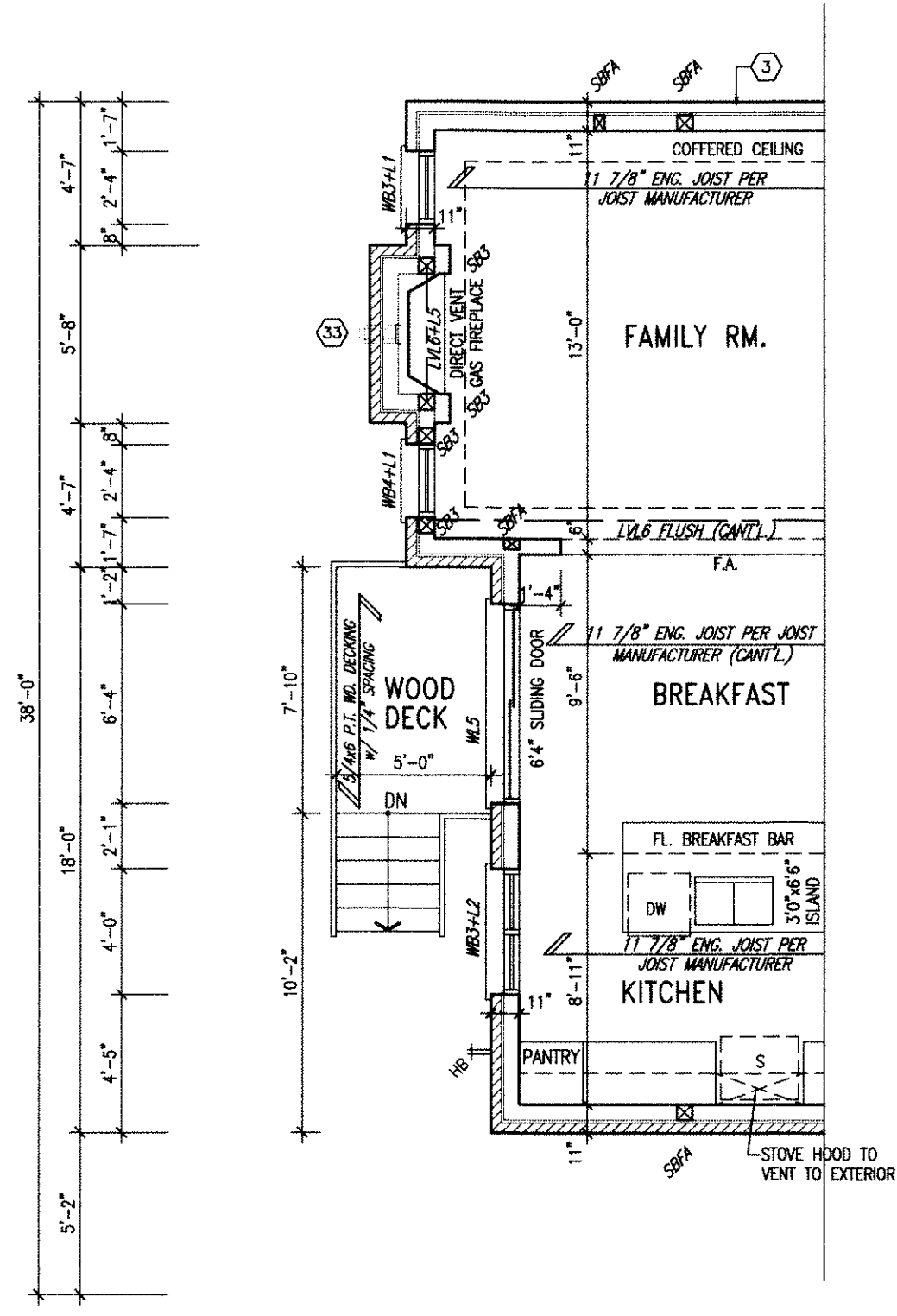
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 21, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APRIL 07, 2020
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

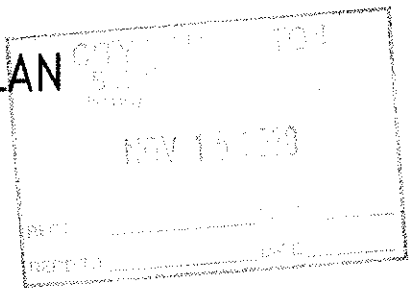


PARTIAL BASEMENT PLAN
DECK CONDITION



PARTIAL GROUND FLOOR PLAN
DECK CONDITION

CITY OF HAMILTON
20-187718



Dec 17, 2020

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'

Greenpark.		VALLEYCREEK 6 12.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON.	
date JANUARY 2020		project no. 19014	
drawing no. A9		drawing title PARTIAL PLANS - DECK CONDITION	
drawn by WT		checked by 3/16" = 1'-0"	
scale 3/16" = 1'-0"		file name 19014-VALLEYCREEK-06	
drawing no. A9			

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12		3	ISSUED FOR PERMIT.
11		2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
name
registration information
VA3 Design Inc.
42658

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
T 416.630.2255 F 416.630.4782
va3design.com

2836 SF.

REV 15 2020

CITY OF HAMILTON
BUILDING DEPARTMENT

20-187718

Paul Smith Dec 17, 2020



REAR ELEV. 1-
DECK CONDITION

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines and is not to be further professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.
EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

18			9		
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12			3	ISSUED FOR PERMIT.	APR 02/20 GW
11			2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG	MAR 27/20 JM
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 04/20 GW
no.	description	date	by	no.	description

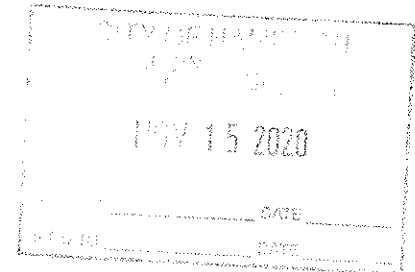
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
signature
registration information
V3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON.
date
JANUARY 2020
drawn by
WT
checked by
-
scale
3/16" = 1'-0"
drawing no.
19014-VALLEYCREEK-06
A10

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'
12.5m
project no.
19014
drawing no.
A10

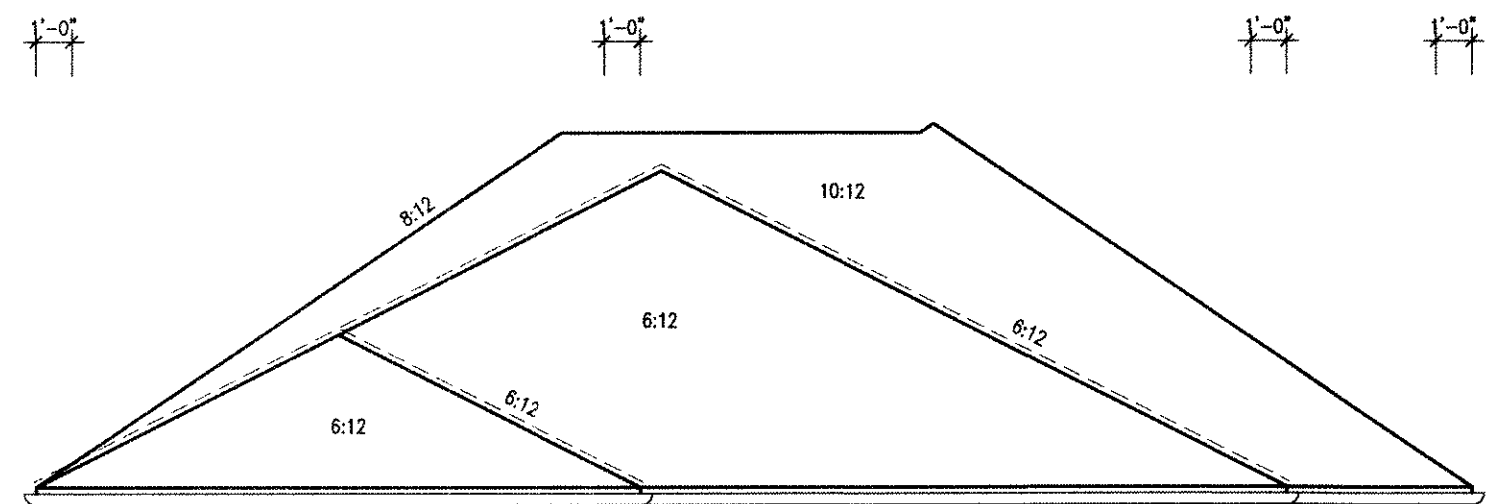
2836 SF.



CITY OF HAMILTON
Building Department

20-187718

Ken Smith Dec 17, 2020



10" BRICK SOLDIER (TYP.)

PRECAST CONC. SILL (TYP.)

FACE BRICK (TYP.)

FACE BRICK CAP W/ FLASHING FULL DEPTH

12" HIGH TRANSOM

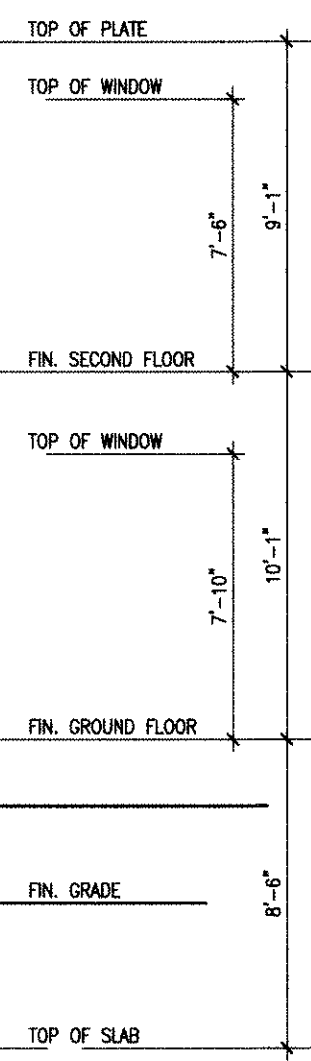
6" SLIDING DOOR

4'-6" MIN. FOR WIN. UPGRADE

53

4x4 WOOD COLUMN UP TO 4'-0" HEIGHT, 6x6 WOOD COLUMN FOR HEIGHTS OVER 4'-0" (PRESSURE TREATED) ON 12" CONC. PIER

UPGRADE BASEMENT WINDOWS ON REAR WALL WITH MIN. 4'-6" FIN. FIRST FLOOR TO GRADE CONDITION.



UPGRADE BASEMENT WINDOWS ON REAR WALL WITH MIN. 4'-6" FIN. FIRST FLOOR TO GRADE CONDITION.

REAR ELEV. 2-
DECK CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21 2020
This stamp certifies compliance with the applicable Design Guidelines and does not further professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

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12			3	ISSUED FOR PERMIT	APR 02/20	GW	
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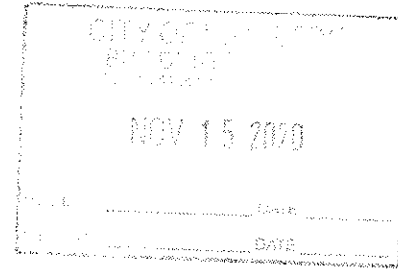
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name registration information VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.
date
JANUARY 2020
drawn by
WT
checked by
-
scale
3/16" = 1'-0"
file name
19014-VALLEYCREEK-06
drawing no.
A10a

VALLEYCREEK 6
12.5m
project no.
19014
drawing no.
A10a

2836 SF.



CITY OF HAMILTON
BUILDING DEPARTMENT

20-187718
Dec 17, 2020

1'-0" 1'-0" 1'-0" 1'-0"



TOP OF PLATE
TOP OF WINDOW
7'-6"
9'-1"
FIN. SECOND FLOOR
TOP OF WINDOW
7'-10"
10'-1"
FIN. GROUND FLOOR
FIN. GRADE
8'-6"
TOP OF SLAB

REAR ELEV. 3-
DECK CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 21, 2020

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

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12		3	ISSUED FOR PERMIT
11		2	REV. AS PER ROOF/FLR. TRUSS MANUF. DWG
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW
no.	description	date	by
18		APR 02/20	GW
11		MAR 27/20	JM
10		FEB. 04/20	GW

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signature
name
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VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

VALLEYCREEK 6
12.5m

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by
WT

checked by
-

scale
3/16" = 1'-0"

project no.
19014

drawing no.
A10b

VALLEYCREEK 06
COMPLIANCE PACKAGE 'A1'

REAR ELEV. 3- DECK CONDITION

19014-VALLEYCREEK-06

DEC 17, 2020 - 5:23 PM