

3288 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL.)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa, NATIVE SOIL **90 KPa, ENGINEERED FILL SOIL**
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
 L5 = 6" x 4" x 3/8" (150x100x10.0L)
 L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10" OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
10	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0"-7'-0", 2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

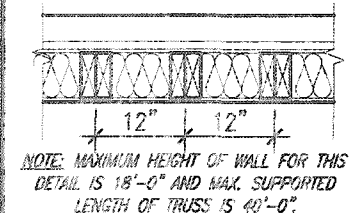
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, 2"x10" SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

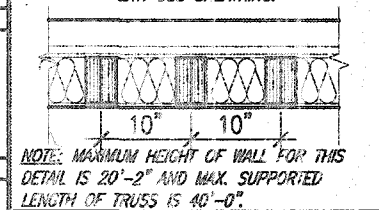
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value		
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

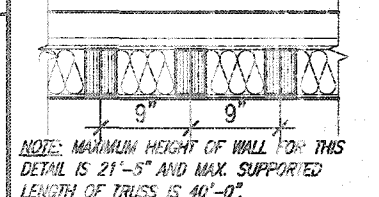
ci- Denotes Continuous Insulation without framing interruption.

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, 2"x10" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.

**TWO STOREY HEIGHT WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, 2"x10" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	790 S.F.	120.00 S.F.	15.19 %
LEFT SIDE	1350 S.F.	93.34 S.F.	6.91 %
RIGHT SIDE	1331 S.F.	48.67 S.F.	3.73 %
REAR	1082 S.F.	245.39 S.F.	23.11 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.5(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4533.00 S.F.	508.40 S.F.	11.22 %
TOTAL SQ. M.	421.13 S.M.	47.23 S.M.	11.22 %

CITY OF HAMILTON
Building Division

Permit No. **199375**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE CITY OF HAMILTON ORDER AND ALL OTHER APPLICABLE LAWS.
 These drawings and/or specifications have been reviewed by
John Jan Reba
 FOR OTHER BUILDING CRITICAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

DEC 18 2020

RECEIVED BY _____ DATE _____
 REPLY TO _____ DATE _____



It is the Engineer's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 5-010
COMPLIANCE PACKAGE 'A1'

9			
8			
7			
6			
5			
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG. 07/20	GW
3	ISSUED FOR PERMIT	APR. 15/20	GW
2	UPDATED PER ENG. & CLIENT COMMENTS	MAR. 26/20	GW
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 23/20	GW
no.	description	date	by

The undersigned hereby certifies that he/she is a duly qualified and licensed Professional Engineer in the Province of Ontario and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Richard Vink 24488 BC11
 name
 registration information
 VAS Design Inc. 42658
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ON

MOUNTAINASH 5
13.5m

project no.
19014

date
JANUARY 2020

drawn by
CL

checked by
-

scale
3/16" = 1'-0"

GENERAL NOTES & CHARTS

file name
19014-MOUNTAINASH-5-010

drawing no.
A0

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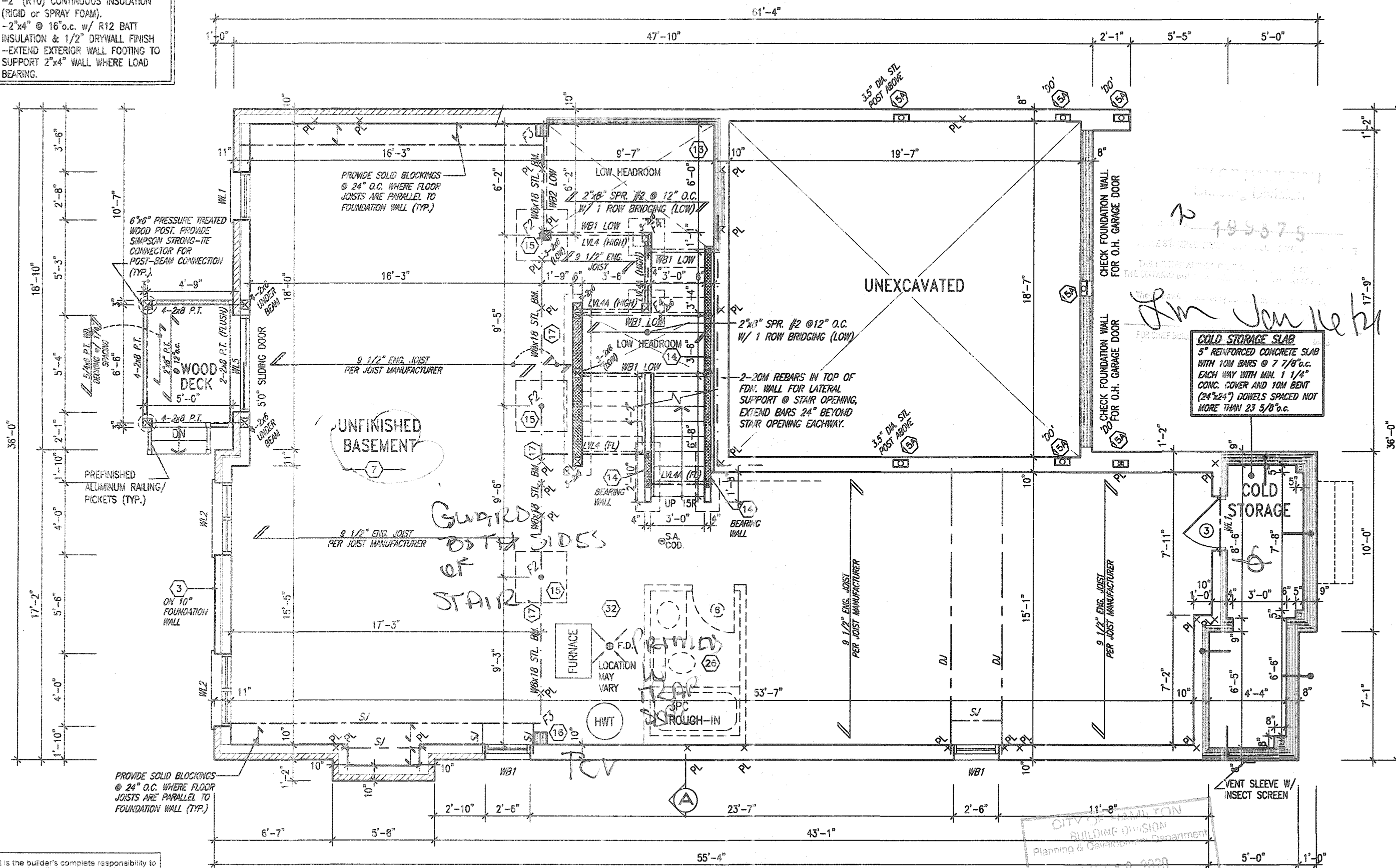
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BASEMENT WALL INSULATION
(1P) (13)
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.



BASEMENT FLOOR PLAN '3'

MOUNTAINASH 5-010
COMPLIANCE PACKAGE 'A1'



MOUNTAINASH 5
13.5m

BASEMENT PLAN - ELEV. 3

drawing no.

A2b

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: DEC 08, 2020
The stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

STRUDET INC.
FOR STRUCTURE ONLY

9						The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
8						
7						qualification information
6						Richard Vink 2448-8011
5						name signature
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG. 07/20	GW			VAS Design Inc. 42655
3	ISSUED FOR PERMIT.	APR 13/20	GW			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW			
1	PRELIMINARY: ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no.	description	date	by			



VA3
DESIGN

255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by checked by scale
CL - - 3/16" = 1'-0"

ORG - IN WASH DC W/DRG 2019.10014 CREW/ST/KN/LES/44 MOUNTAIN/US/K/ST/ST/SH/10

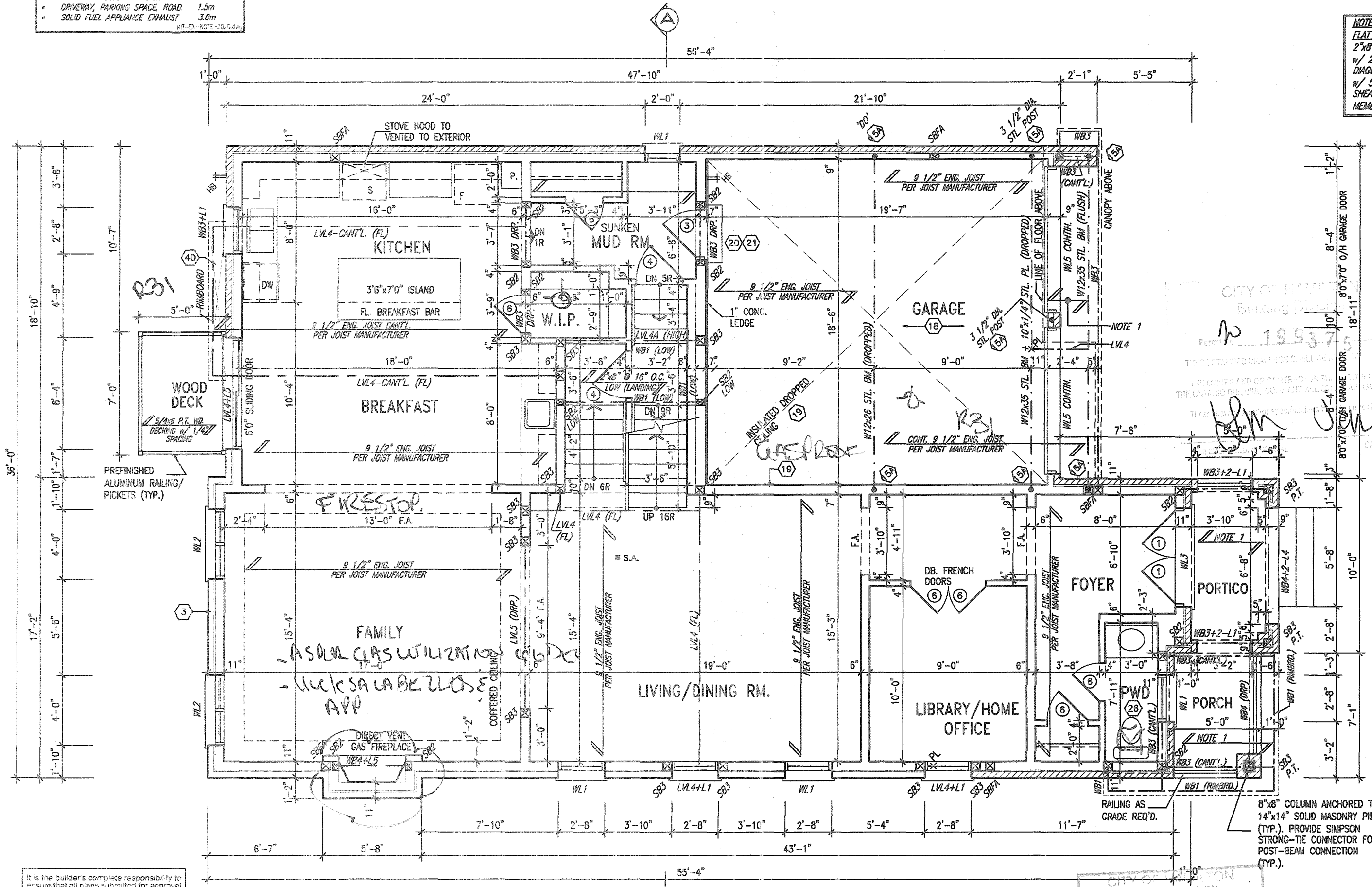
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3288 SF.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
NOT-EX-NOTE-2021.dwg

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)



GROUND FLOOR PLAN '3'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 09 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
AUG 18/2020
STRUDET INC.
FOR STRUCTURE ONLY

9					
8					
7					
6					
5					
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG. 07/20	GW		
3	ISSUED FOR PERMIT	APR 13/20	GW		
2	UPDATED PER ENG. & CLIENT COMMENTS	MAR 26/20	GW		
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 23/20	GW		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name registration information
V3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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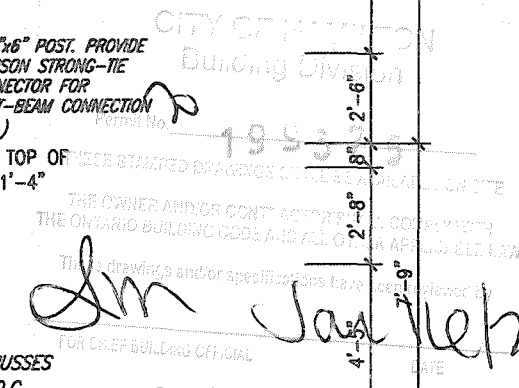
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 18 2020
MOUNTAINASH 5-010
COMPLIANCE PACKAGE 'A1'

Greenpark.

MOUNTAINASH 5
13.5m
project no. 19014
drawing no. A3b
GROUND FLOOR PLAN - ELEV. 3

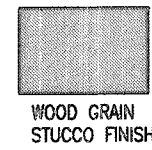
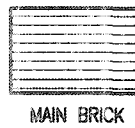
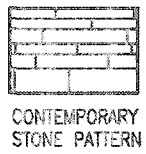
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GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHROOM IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FEATURES
LISTED: WATER CLOSET: 3.8.3.8.(3)(g) & 3.8.3.8.(3)(c);
SHOWER 3.8.3.13.(2)(g); BATHROOM 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. (BA-NOTE-2020.000)



 Greenpark™		MOUNTAINASH 5 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	
date JANUARY 2020		drawing no. 19014	
drawn by CL		checked by -	
scale 3/16" = 1'-0"		title OPT. SECOND FLOOR PLAN - ELEV. 3	
19014-MOUNTAINASH-5-010		A4b	

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CONTEMPORARY
STONE PATTERN

MAIN BRICK

STUCCO W/
REVEALS

WOOD GRAIN
STUCCO FINISH

ROOF PLAN-3

INSIDE PORTICO
ELEVATION '3'

FRONT ELEVATION '3'

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This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: DEC 06 2020

This stamp certifies compliance with the applicable
Design Guidelines only and does not further
professional responsibility.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

9						The undersigned has obtained and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
8						
7						qualification information
6						Richard Vink 2448
5						name signature BC
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG. 07/20	GH			VA3 Design Inc. 4265
3	ISSUED FOR PERMIT.	APR 13/20	GH			
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GH			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which will not be returned at the completion of the work. Drawings are not to be copied.
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 23/20	GH			
no.	description	date	by			

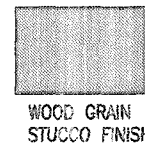
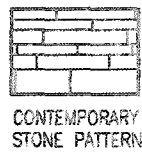
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 **Greenpark.**

MOUNTAINASH 5
13.5m

project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020	FRONT ELEVATION - ELEV. 3	
drawn by CL	checked by -	scale 3/16" = 1'-0"
drawing no. 19014-MOUNTAINASH-5-010		A5b

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CONTEMPORARY
STONE PATTERN

MAIN BRICK

STUCCO W/
REVEALS

WOOD GRAIN
STUCCO FINISH

FACE BRICK (TYP.)

BRICK SOLDIER HEADER
(TYP.)

42" HIGH PREFINISHED
ALUMINUM RAILING/
PICKETS (TYP.)

PRESSURE TREATED
DECKING & FRAMING
(SEE PLANS)

5"x6" PRESSURE
TREATED WOOD POST
ANCHORED TO 12" DIA.
CONC. PIER ON
24"x24"x12" CONC.
FOOTING

42" HIGH PREFINISHED
ALUMINUM RAILING/
PICKETS (TYP.)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: *1/15/2020*
This stamp certifies compliance with the applicable Architectural Design Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

LEFT SIDE ELEVATION '3'

ALLOWABLE GLAZED OPENINGS
WALL AREA =1350.58 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED =94.54 SQ. FT.
GLAZING PROVIDED =79.24 SQ. FT.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 18 2020

MOUNTAINASH 5-010
COMPLIANCE PACKAGE 'A1'

9			
8			
7			
6			
5			
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG. 07/20	GW
3	ISSUED FOR PERMIT	APR 13/20	GW
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
5024
VAS Design Inc.
42658
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name
RUSSELL GARDENS PH. 3
city
JANUARY 2020
drawn by
CL
checked by
3/16" = 1'-0"
scale
19014-MOUNTAINASH-5-010
19014-MOUNTAINASH-5-010.dwg - Wed - Aug 12 2020 - 5:07 PM

MOUNTAINASH 5
13.5m
project no.
19014
drawing no.
A6b
LEFT SIDE ELEVATION - ELEV. 3

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CONTEMPORARY
STONE PATTERN



MAIN BRICK



STUCCO W/
REVEALS



WOOD GRAIN
STUCCO FINISH

6" ALUM. CLAD TRIM
TO MATCH WINDOW
FRAME COLOUR

4" PREFIN. METAL
COPING w/ DRIP
EDGE

10" PRECAST
CONC. HEADER

CONTEMPORARY
STONE PATTERN
(TYP)

STONE VENEER
(TYP.)

U/S GARAGE
FOOTING

STEP FOOTING AS
REQUIRED (30)

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1331.78 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=93.22 SQ. FT.
GLAZING PROVIDED	=40.70 SQ. FT.

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE: DEC 22, 2020

This stamp certifies compliance with the applicable
Design Guidelines only and does not further
professional responsibility

RIGHT SIDE ELEVATION '3'
(FOR OPT. SECOND FLOOR 5 BEDROOM)

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Order's Building Code to be a designer.
8				
7				qualification information
6				Richard Vink
5				signature <i>R. Vink</i> 2448 BC
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG. 07/20	GW	name registration information VAS Design Inc. 4265
3	ISSUED FOR PERMIT.	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of this project. Drawings are not to be copied.
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW	
0	description	date	by	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



MOUNTAINASH 5
13.5m

project name RUSSELL GARDENS PH. 3	city HAMILTON, ON	project no. 19014
date JANUARY 2020		drawing no. A7b
drawn by CL checked by - scale 3/16" = 1'-0"		title RIGHT SIDE ELEVATION (OPT. 5 BEDROOM) - ELEV. 3 19014-MOUNTAINASH-S-010

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3288 SF.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: DEC 06, 2025

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

UPGRADED REAR ELEVATION '3'

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
8						
7					qualification information	
6					Richard Vink	2448
5					name	80
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG. 07/20	G/H		registration information	
3	ISSUED FOR PERMIT.	APR 13/20	G/H		VAS Design Inc.	4265
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	G/H			
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 23/20	G/H			
no.	description	date	by		Particulars must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. As drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of this work, drawings are not to be copied.	

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

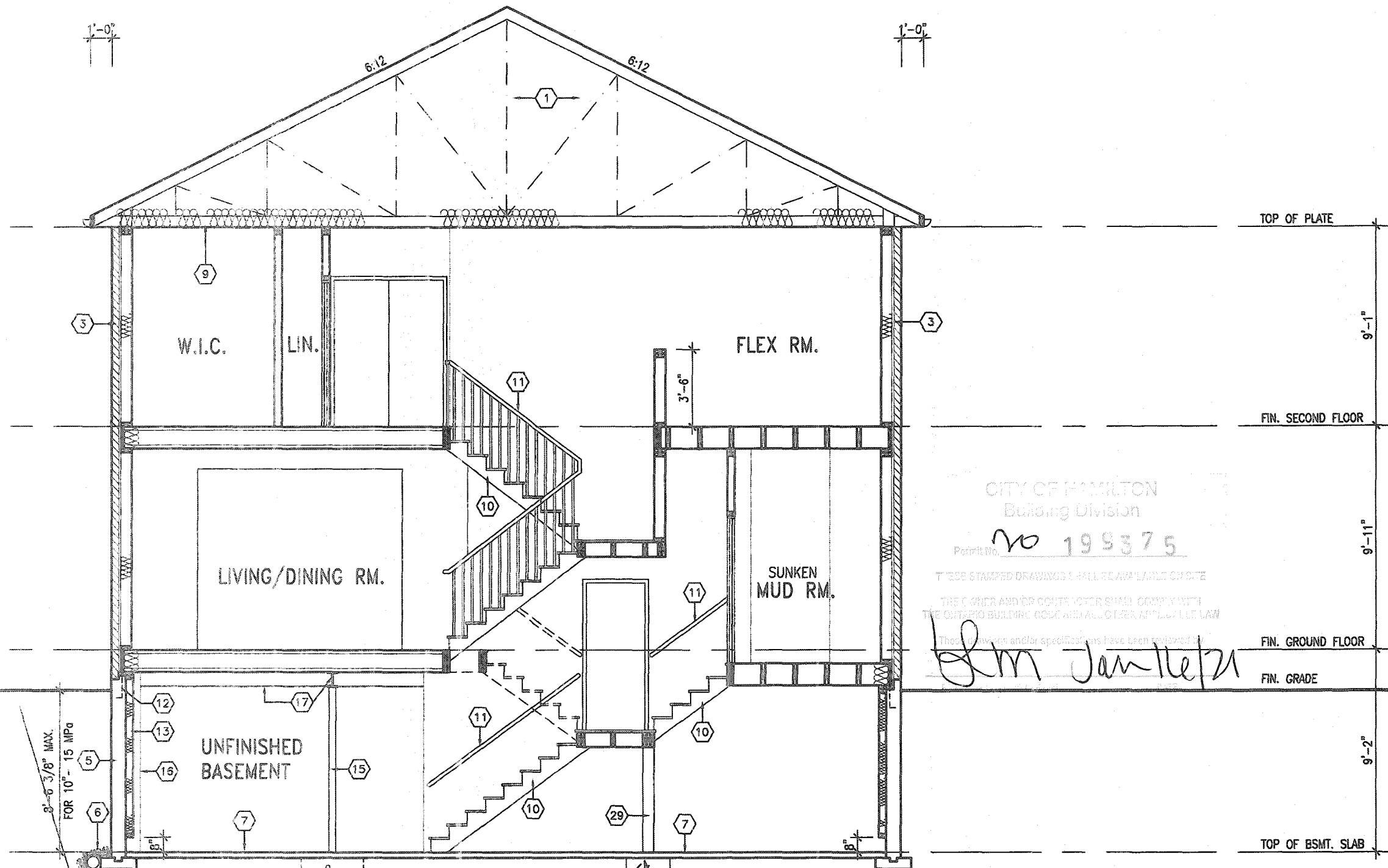


MOUNTAINASH 5
13.5m

project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020	drawing no. REAR ELEVATION - ELEV. 3	
drawn by CL	checked by -	scale 3/16" = 1'-0"
file name 19014-MOUNTAINASH-5-010		A8b

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3288 SF.



SECTION A-A ELEVATION '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. This Control Architect is not responsible in any way for examining or endorsing site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.



STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 19 2020
RECD BY: _____ DATE: _____
REFD TO: _____ DATE: _____

MOUNTAINASH 5-010
COMPLIANCE PACKAGE 'A1'

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink 24488
6				signature
5				registration information
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG. 07/20	GW	VA3 Design Inc. 42658
3	ISSUED FOR PERMIT	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 23/20	GW	
no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

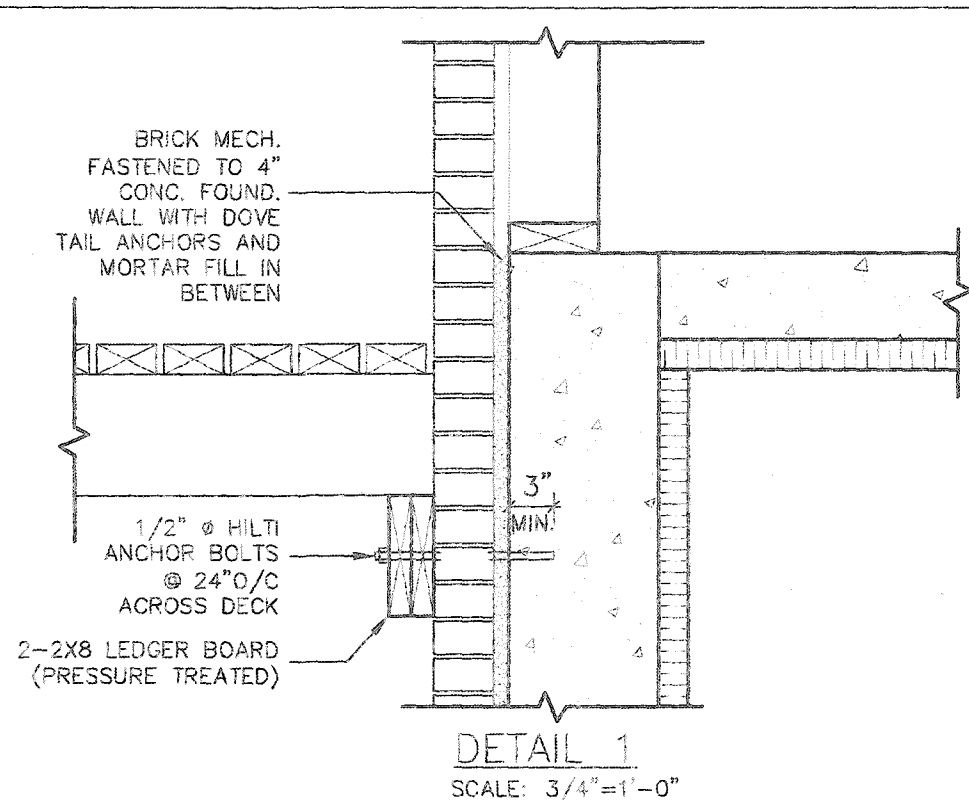
project name: **RUSSELL GARDENS PH. 3** municipality: **HAMILTON, ON**
date: **JANUARY 2020** SECTION A-A - ELEV. 3
drawn by: _____ checked by: _____ scale: **3/16" = 1'-0"**
CL: _____
19014-MOUNTAINASH-5-010
A9b

SECTION A-A

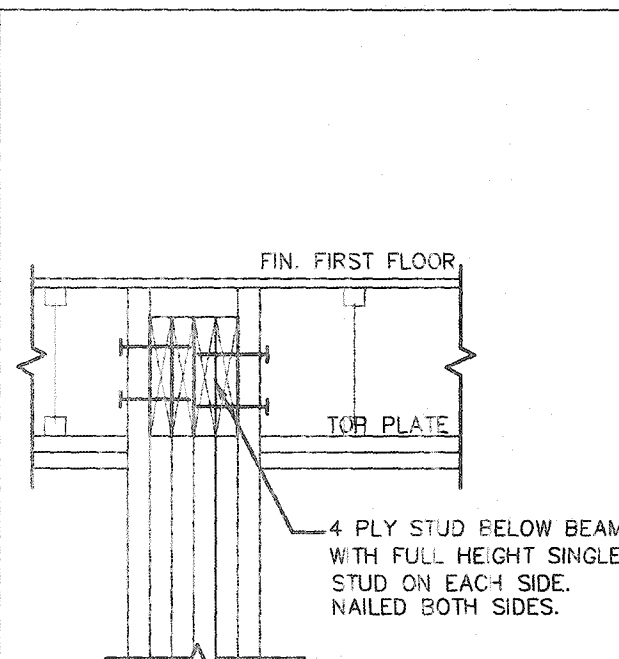
REFER TO UNIT
DRAWINGS FOR
ADDITIONAL
INFORMATION.

*FOUNDATION WALL:

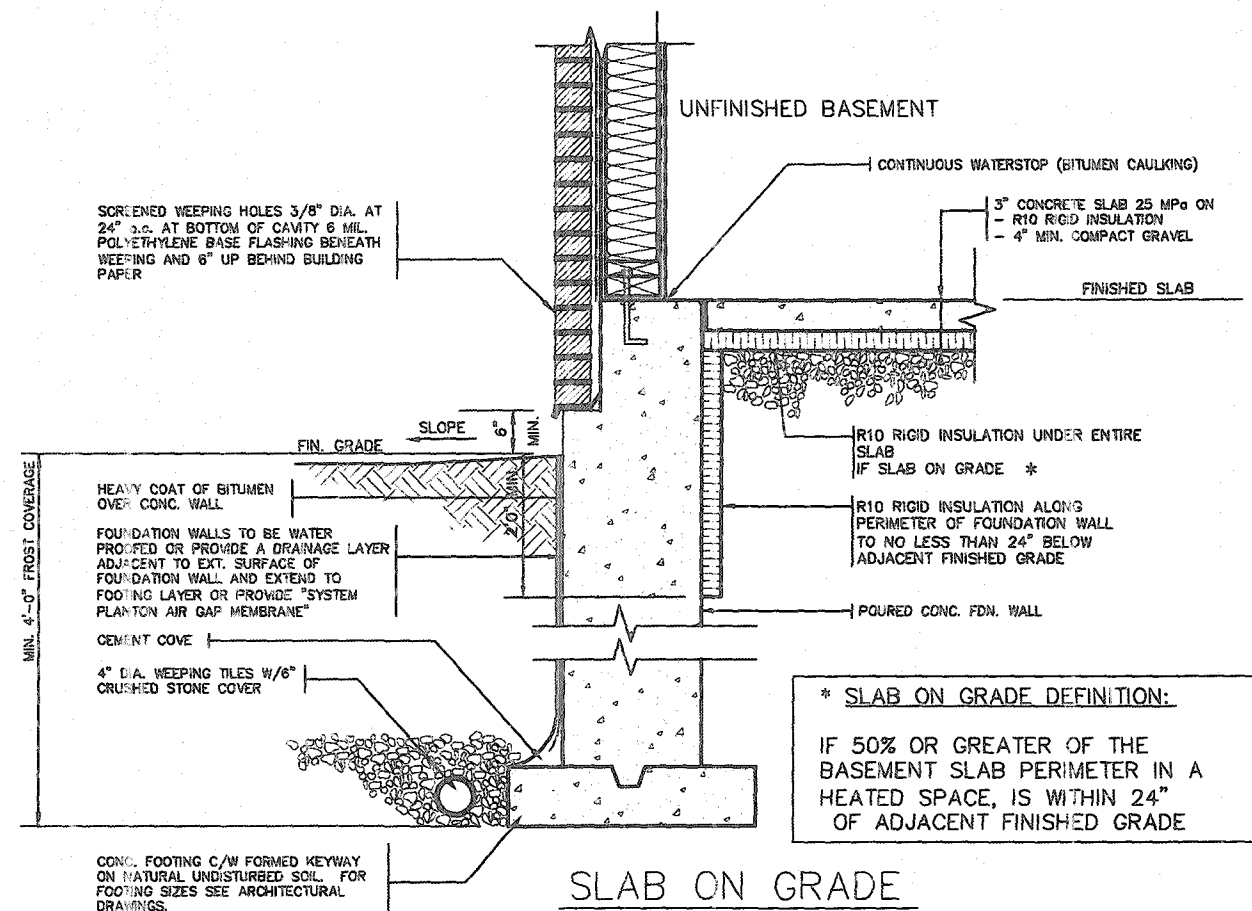
- 4'-7" MAX. FROM GRADE TO SLAB FOR 10" UNSUPPORTED SOLID CONC. WALL.
 - 3'-11" MAX. FROM GRADE TO SLAB FOR 8" UNSUPPORTED SOLID CONC. WALL.
 - 2'-7" MAX. FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL.
- (AS PER O.B.C. 9.15.4.2)



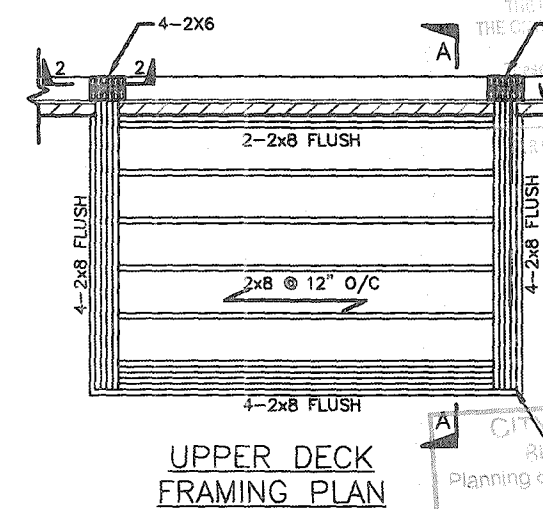
DETAIL 1
SCALE: 3/4"=1'-0"



SECTION 2-2
SCALE: 3/4"=1'-0"



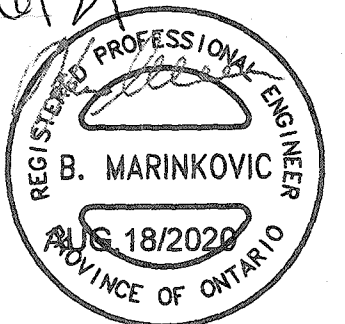
* SLAB ON GRADE DEFINITION:
IF 50% OR GREATER OF THE
BASEMENT SLAB PERIMETER IN A
HEATED SPACE, IS WITHIN 24"
OF ADJACENT FINISHED GRADE



6x8 WOOD POST
CONTINUES

NOTES:

1. MATERIAL AND WORKMANSHIP SHALL CONFORM TO ONTARIO BUILDING CODE LATEST ADDITION.
2. THE DECK HAS BEEN DESIGNED TO SAFELY SUPPORT A SUPERIMPOSED LOAD OF 1.9 KPa (40 psf).
3. WOOD SHALL BE PRESSURE TREATED S.P.F. No.1/No.2 GRADE OR EQUIVALENT.
4. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS AND 5-8% AIR ENTRAINED.
5. FOOTING TO BE PLACED ON UNDISTURBED SOIL WITH MIN. BEARING PRESSURE OF 150 KPa (3130 psf) MIN.



STRUDET INC.
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[illegible]