

2848 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.f.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-9"	10" OR MORE	
		CEILING	CEILING	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0"-7'-0", 2 ROWS FOR SPANS GREATER THAN 7'-0"

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

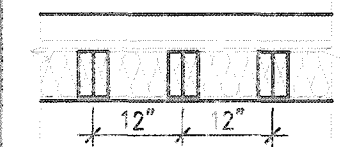
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

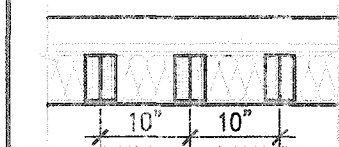
2-2"x6" STUD WALL NAIL TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

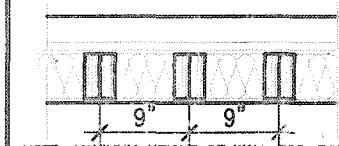
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAIL TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAIL TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

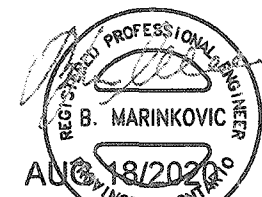
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci- Denotes Continuous Insulation without framing interruption.

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STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 2-005 COMPLIANCE PACKAGE 'A1'

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com



project name
RUSSELL GARDENS PH. 3

MOUNTAINASH 2
13.5m

GENERAL NOTES & CHARTS

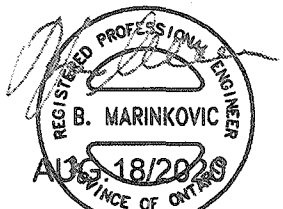
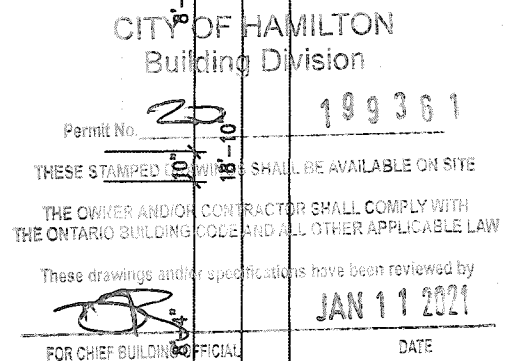
drawn by
checked by
scale
3/16" = 1'-0"

19014-MOUNTAINASH-2-005

drawing no.
A0

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<u>OUTDOOR AIR INTAKE SEPARATION</u>	
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OGC, DIV. B- TABLE 6.2.3.12.	
• KITCHEN EXHAUST	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m



STRUDET INC.
FOR STRUCTURE ONLY

- 8" DIA. COLUMN ANCHORED TO
14"x14" SOLID MASONRY PIER
(TYP.) PROVIDE SIMPSON
STRONG-TIE CONNECTOR FOR
POST-BEAM CONNECTION (TYP.)

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE DEC 08, 2020

This stamp verifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

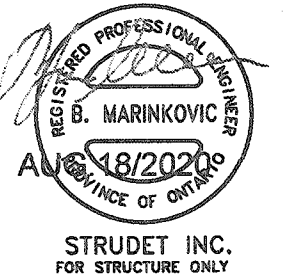
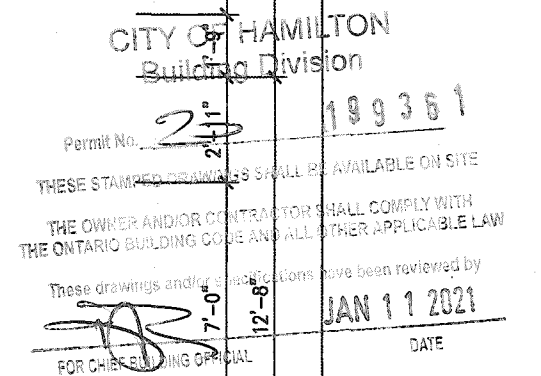
GROUND FLOOR PLAN - ELEV. 1

MOUNTAINASH 2-005
COMPLIANCE PACKAGE 'A1'

[illegible]

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER CBC DIV. 8-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FEATURES
LISTED. WATER CLOSET: 3.6.3.8.(3)(c) & 3.6.3.8.(3)(c).
SHOWER 3.6.3.13.(2)(g). BATHTUB 3.6.3.13.(4)(g).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.



JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: DEC 28 2020

This stamp certifies compliance with the applicable
Design (Understand only and bears no further
professional responsibility)

MOUNTAINASH 2-005
COMPLIANCE PACKAGE 'A1'

[illegible]

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CITY OF HAMILTON
Building Division

Building Division

Permit No. 20 199381

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

[Signature] JAN 11 2021

FOR CHIEF BUILDING OFFICIAL DATE



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

FRONT ELEVATION '1'

MOUNTAINASH 2-005
COMPLIANCE PACKAGE 'A1'

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	Greenpark. project name RUSSELL GARDENS PH. 3 municipality HAMILTON, ON.	MOUNTAINASH 2 13.5m project no. 19014 drawing no. A4
17			8	-	-					
16			7	-	-					
15			6	-	-	Richard Vink	24488			
14			5	-	-	name signature BORN				
13			4	CUSTOM FOR LOT 5 PER CLIENT.	JUL 29/20	GW	42658			
12			3	ISSUED FOR PERMIT.	APR 06/20	GW				
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW				
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW				
no.	description	date	by	no.	description	date	by			

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

DATE: 2020-07-29 10:00 AM
FILE NAME: 19014-MOUNTAINASH-2-005

19014-MOUNTAINASH-2-005

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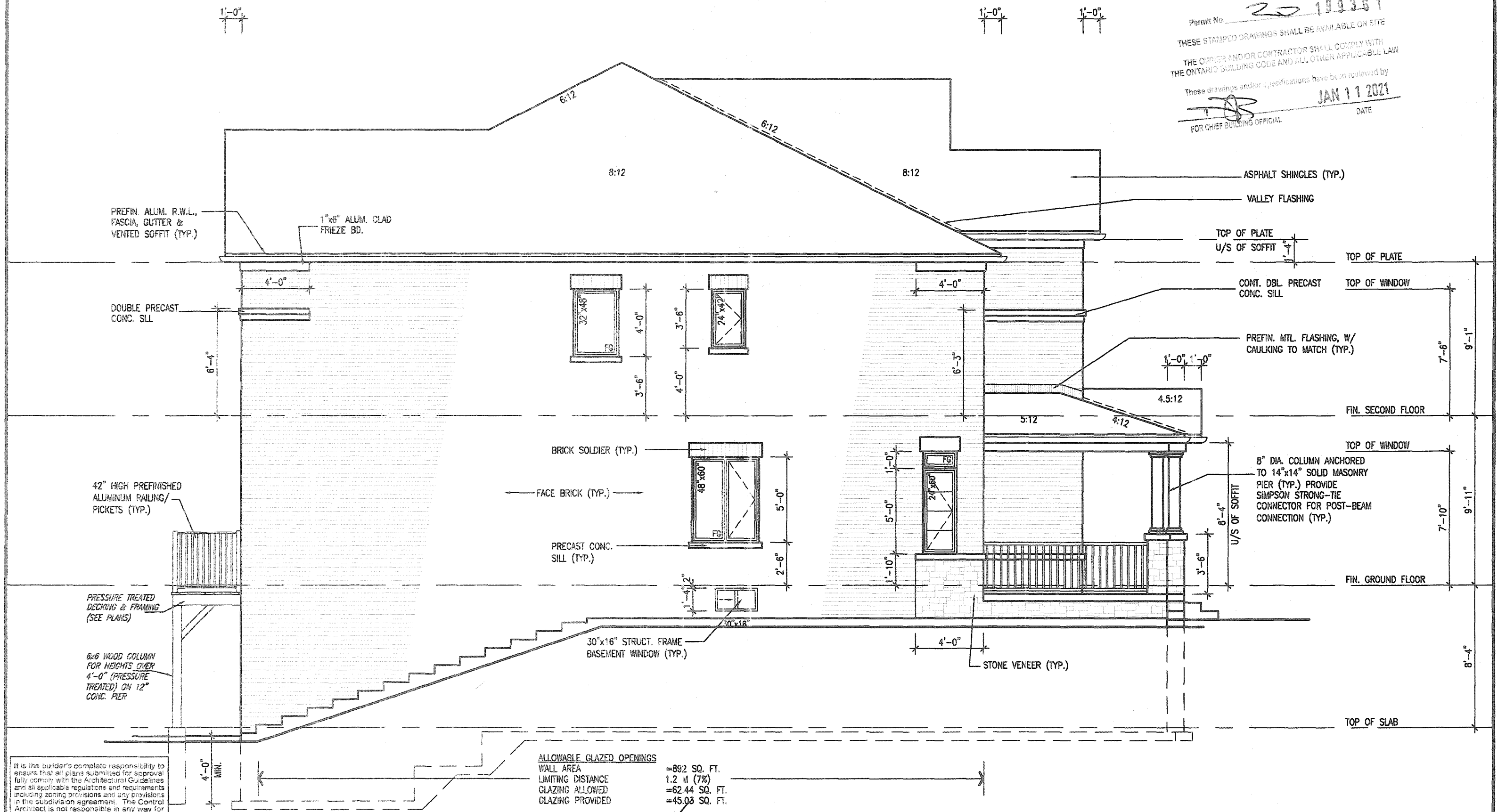
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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
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These drawings and/or specifications have been reviewed by

[Signature] JAN 11 2021

FOR CHIEF BUILDING OFFICIAL DATE



MOUNTAINASH 2-005
COMPLIANCE PACKAGE 'A1'

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This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18				9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
17				8		qualification information
16				7		
15				6		Richard Vink
14				5		<i>R Vink</i> 2448
13				4	CUSTOM FOR LOT 5 PER CLIENT.	JUL 23/20 GW name registration information signature BC 4265
12				3	ISSUED FOR PERMIT.	APR 08/20 GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW
no. description date by no. description date by					Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

qualification information

Richard Vink	2448
name	signature
registration information	BC
VAS Design Inc.	4265

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



project name
RUSSELL GARDENS PH. 3

date	JANUARY 2020		
drawn by	checked by	scale	
NS	-	$3/16" = 1'-0"$	

municipality
HAMILTON, ON.

LEFT SIDE ELEVATION '1'

file name
19014-MOUNTAINASH-2-005

MOUNTAINASH 2
13.5m

ject no.
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A5

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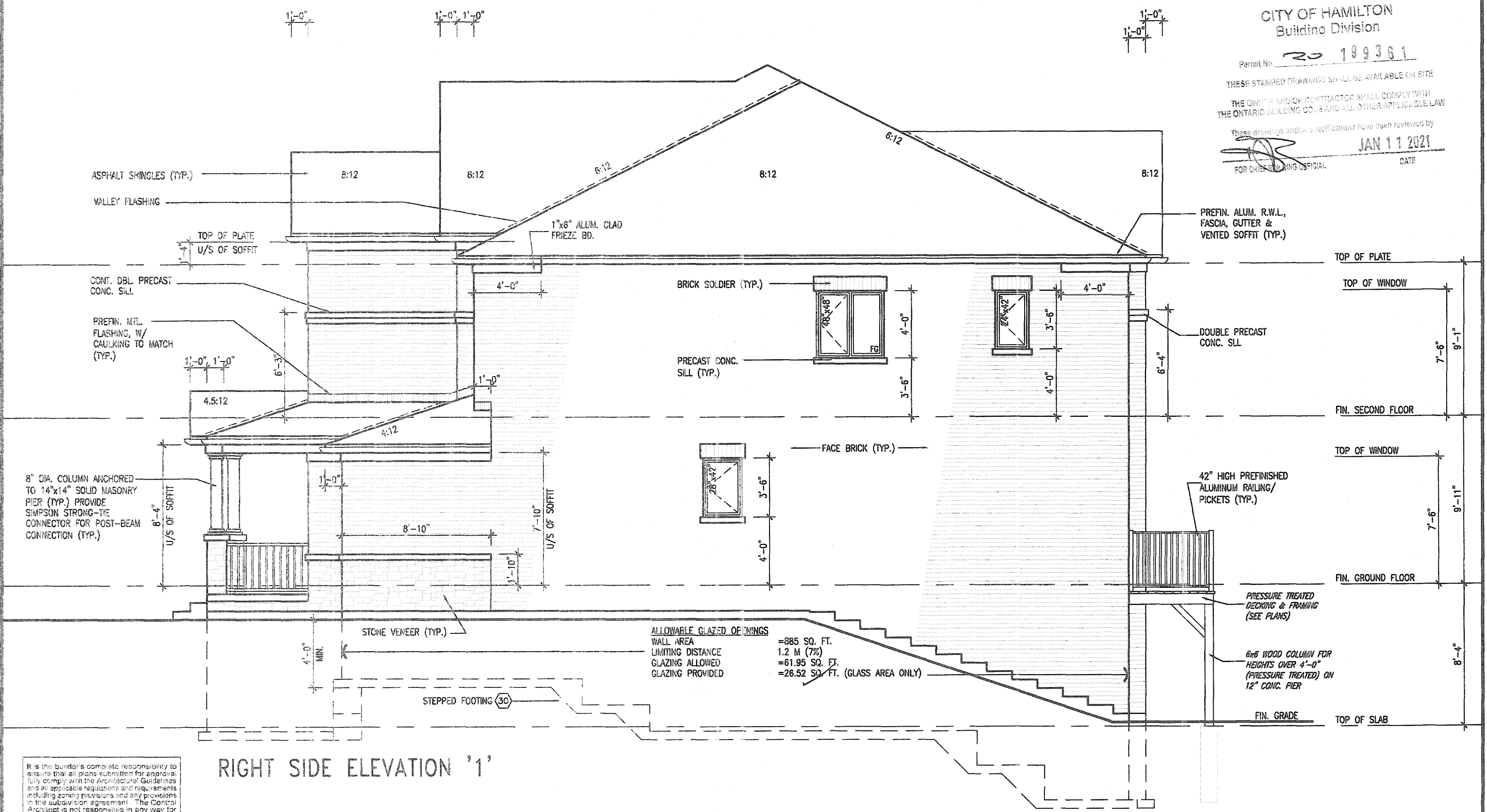
2848 SF.

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Building Division

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
[Signature] JAN 11 2021
FOR CHIEF BUILDING OFFICIAL DATE



RIGHT SIDE ELEVATION '1'

MOUNTAINASH 2-005
COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY [Signature]
DATE: DEC 08, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

16			9		
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21			4	CUSTOM FOR LOT 5 PER CLIENT.	JUL 29/20 GW
22			3	ISSUED FOR PERMIT.	APR 08/20 GW
23			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW
24			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BDV
42658
name
registration information
VA3 Design Inc.
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VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JANUARY 2020
drawn by
WS
checked by
-
scale
3/16" = 1'-0"
municipality
HAMILTON, ON.
drawing no.
19014-MOUNTAINASH-2-005
19014

MOUNTAINASH 2
13.5m
drawing no.
A6

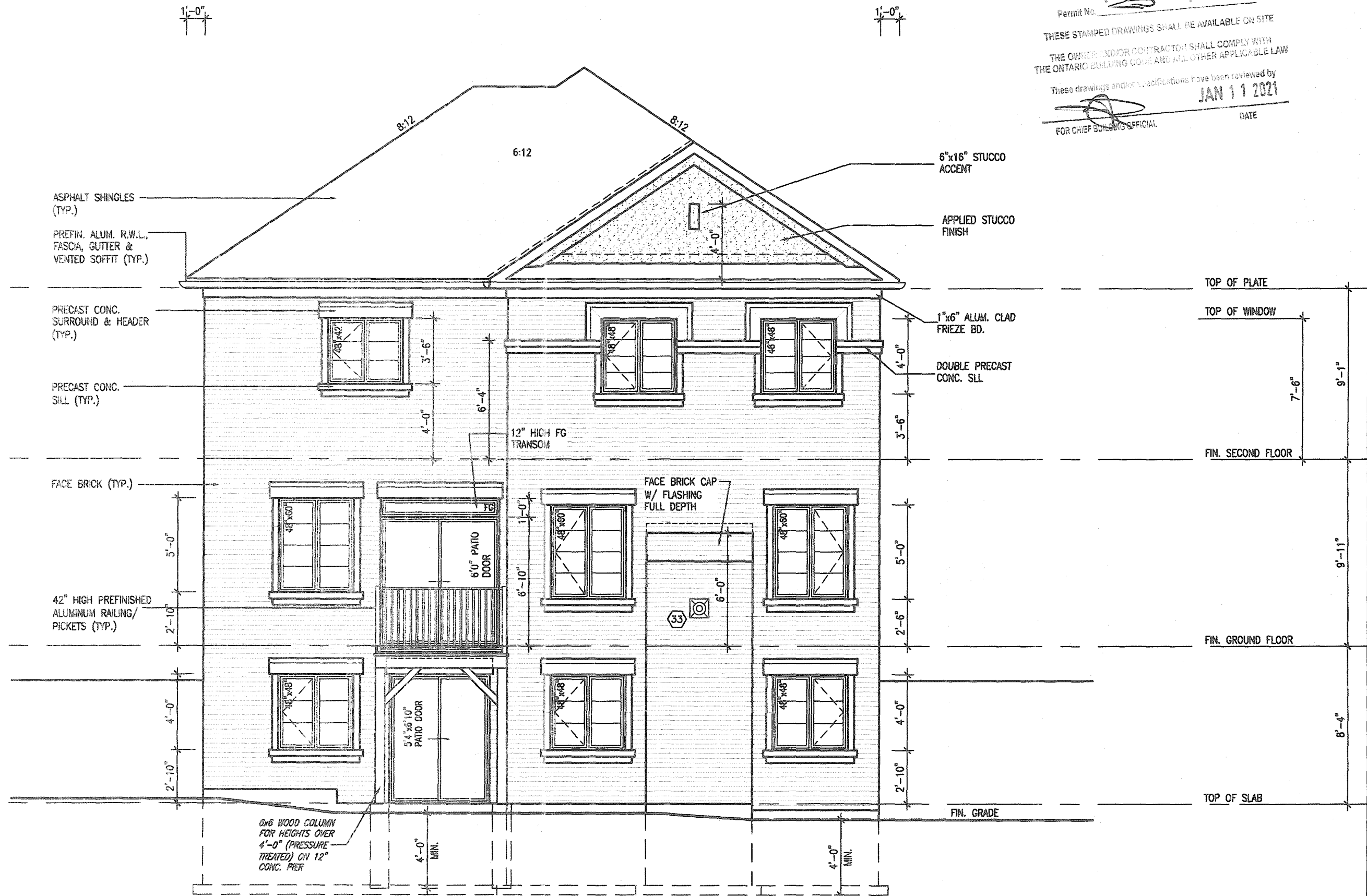
2848 SF.

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Building Division

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These drawings and/or specifications have been reviewed by
JAN 11 2021
DATE
FOR CHIEF BUILDING OFFICIAL



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UPGRADED REAR ELEVATION '1'

MOUNTAINASH 2-005
COMPLIANCE PACKAGE 'A1'

18		9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.
17		8			qualification information
16		7			
15		6			Richard Vink 24488
14		5			name signature BCIN
13		4	CUSTOM FOR LOT 5 PER CLIENT.	JUL 29/20 GW	registration information: 42658
12		3	ISSUED FOR PERMIT	APR 08/20 GW	
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW	
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW	JUN 30/20 GW	
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MOUNTAINASH 2
13.5m

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ON.

project no.
19014

date
JANUARY 2020

checked by
MS

scale
3/16" = 1'-0"

drawing no.
A7

REAR ELEVATION '1'
(1st name)
19014-MOUNTAINASH-2-005

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