

VENEEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

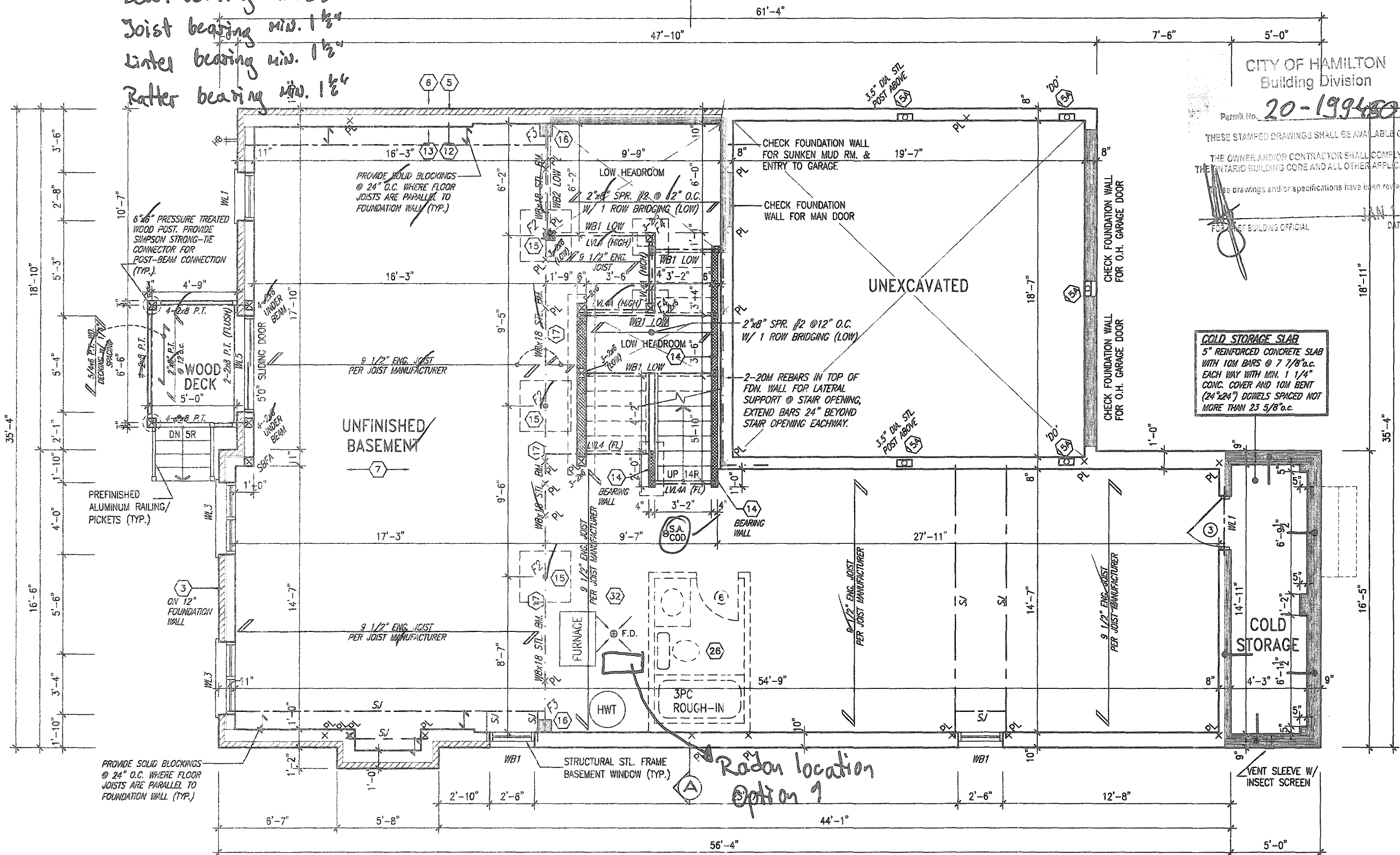


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Note:

- Footing/Foundation/Piers must bear on undisturbed soil.
- All plumbing is subject to field inspection by city of Hamilton.
- Separate building permit is required to finish basement space.
- Beam bearing min. $3\frac{1}{2}"$
- Joist bearing min. $1\frac{1}{2}"$
- Lintel bearing min. $1\frac{1}{2}"$
- Rafter bearing min. $1\frac{1}{2}"$

3251 SF.



CITY OF HAMILTON
Building Division
Permit No. **20-199480**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR THE BUILDING OFFICIAL
DATE **JAN 15 2021**

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

BASEMENT FLOOR PLAN '2'

MOUNTAINASH 5-013
COMPLIANCE PACKAGE 'A1'

Greenpark.

MOUNTAINASH 5
13.5m

project name **RUSSELL GARDENS PH. 3** municipality **HAMILTON, ON** project no. **19014**
drawing no. **A2a**
date **JANUARY 2020** checked by **3/16" = 1'-0"** scale
drawn by **CL** BASEMENT PLAN - ELEV. 2
19014-MOUNTAINASH-05-013

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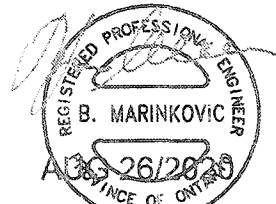
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL SERVICES REVIEW
AND APPROVAL

APPROVED BY
DATE **DEC 28 2020**
This stamp certifies compliance with the applicable Design Guidelines and does not constitute a professional liability.

BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET
INSULATION, INSULATION
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.



STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
2	UPDATED PER ENG. & CLIENT COMMENTS.	APR. 13/20	GW
3	ISSUED FOR PERMIT.	AUG. 21/20	GW
4	SPECIAL CUSTOM PER PURCHASER REQUEST.	AUG. 21/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
name
signature
24488
BOH
42658
VA3 DESIGN Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

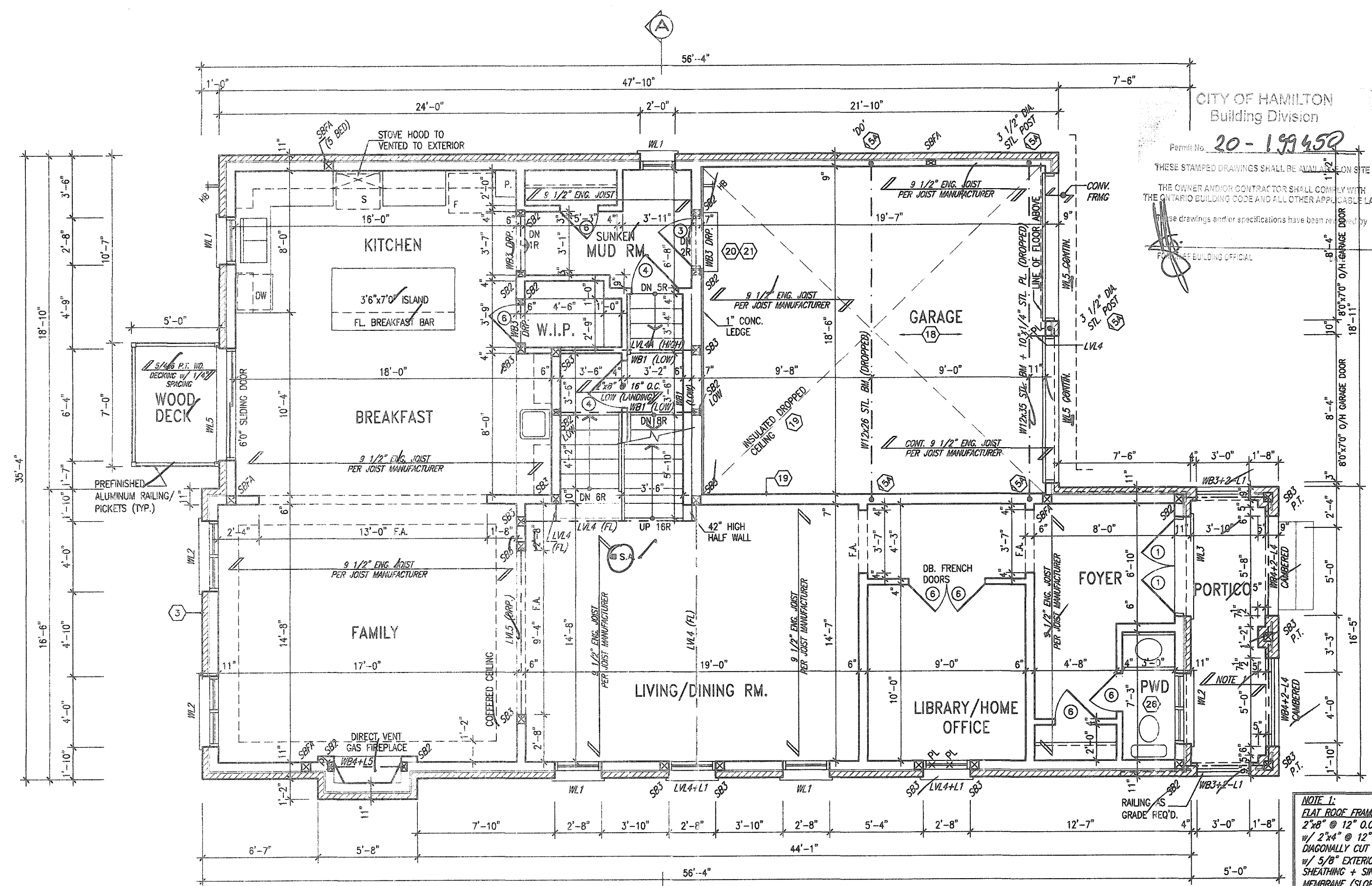
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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Note:

• Gas fireplace must be CSA (ULC/CONC) approved and installed in accordance to local Utilization Code.

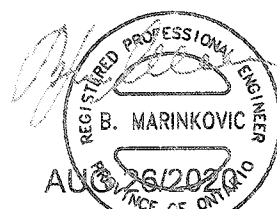
3251 SF.



GROUND FLOOR PLAN '2'

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B - TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
HT-EX-NOTE-2000 GWS

9				
8				
7				
6				
5				
4	SPECIAL CUSTOM PER PURCHASER REQUEST.	AUG 21/20	GW	
3	ISSUED FOR PERMIT.	APR 13/20	GW	
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va3design.com

Greenpark.		MOUNTAINASH 5 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	
date JANUARY 2020		project no. 19014	
checked by CL		drawing no. A3a	
scale 3/16" = 1'-0"		file name 19014-MOUNTAINASH-05-013	
date Aug 21 2020 - 2:05 PM			

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[illegible]

MOUNTAINASH 5-013
COMPLIANCE PACKAGE 'A1'

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3251 SF.

CITY OF HAMILTON
Building Division

Permit No. **20-199450**

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These drawings and/or specifications have been reviewed by

JAN 15 2021

DATE

ASPHALT SHINGLES
(TYP.)

MID-POINT OF MAIN ROOF

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BOARD (TYP.)

5" PRECAST CONC.
SURROUND ON DBL. SILL
(TYP.)

FACE BRICK (TYP.)

ASPHALT SHINGLES
(TYP.)

10" PRECAST CONC. HEADER
(TYP.)

CONTINUOUS PRECAST
CONC. SILL OVER STONE
VENEER

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

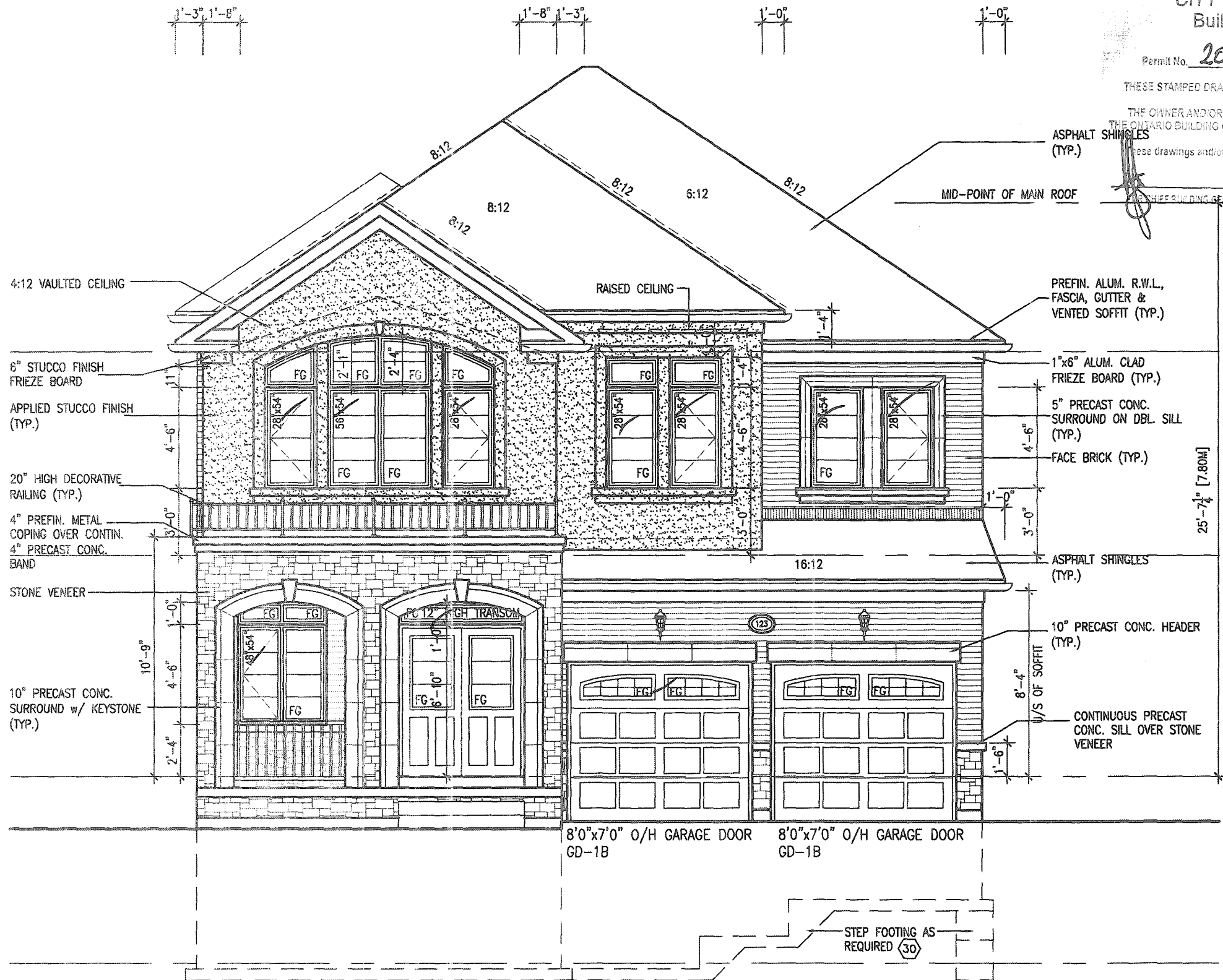
TOP OF WINDOW
& ENTRY DOOR

FIN. GROUND FLOOR

FIN. GRADE

U/S GARAGE FOOTING

TOP OF SLAB



FRONT ELEVATION '2'

ROOF PLAN-2

INSIDE PORTICO
ELEVATION '2'

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JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONSULTING
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: DEC 08, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not relieve the builder of their own responsibility.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

no.	description	date	by
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4	SPECIAL, CUSTOM PER PURCHASER REQUEST.	AUG. 21/20	GW

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qualification information
Richard Vink 24488
signature
name
registration information
V3 Design Inc. 42658

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V3 DESIGN
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v3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ON

MOUNTAINASH 5
13.5m

project no.
19014

date
JANUARY 2020

FRONT ELEVATION - ELEV. 2

drawing no.

checked by
3/16" = 1'-0"

19014-MOUNTAINASH-05-013

A5a

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3251 SF.

CITY OF HAMILTON
Building Division

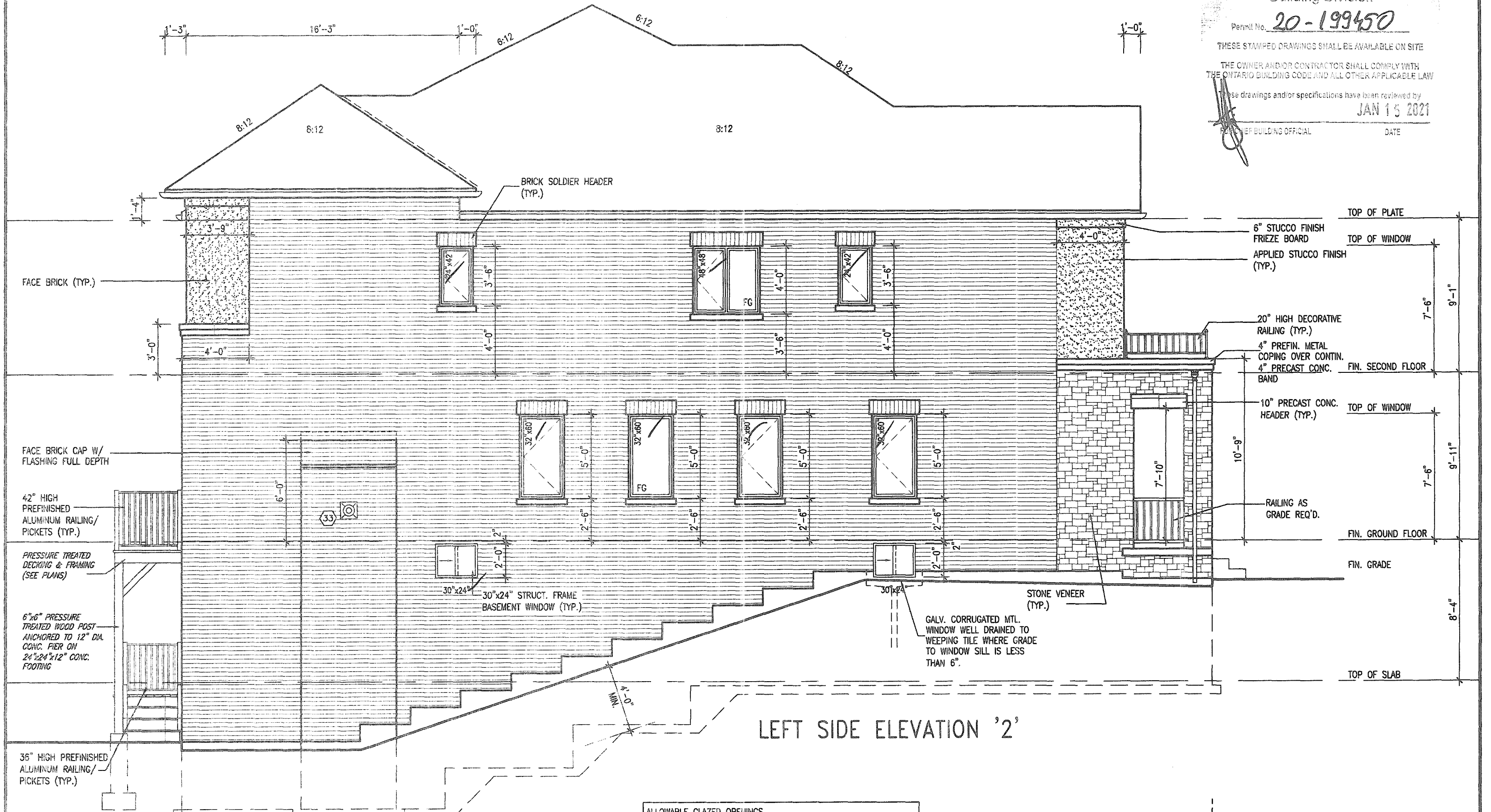
Permit No. **20-199450**

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JAN 15 2021

PERMITTING BUILDING OFFICIAL DATE



LEFT SIDE ELEVATION '2'

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1460.07 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=102.20 SQ. FT.
GLAZING PROVIDED	=79.24 SQ. FT. (GLASS AREA ONLY)

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: *[Date]*
This stamp certifies compliance with the Architectural Design Guidelines only and does not constitute a professional responsibility.

no.	description	date	by
9			
8			
7			
6			
5			
4	SPECIAL CUSTOM PER PURCHASER REQUEST	AUG 21/20	GW
3	ISSUED FOR PERMIT	APR 13/20	GW
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW
no.	description	date	by

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Richard Vink *[Signature]* 24488
name
registration information
VA3 Design Inc. 42658
BOH

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Greenpark.		MOUNTAINASH 5 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	project no. 19014
date JANUARY 2020		drawing no. A6a	
drawn by CL		LEFT SIDE ELEVATION - ELEV. 2	
checked by 3/16" = 1'-0"		19014-MOUNTAINASH-05-013	
CRED - REVISED PER CITY OF HAMILTON ARCHITECTURAL DESIGN GUIDELINES 5-013/10/14-MOUNTAINASH-05-013.dwg - Pt - Aug 21 2020 - 2:06 PM			

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CITY OF HAMILTON
Building Division

Permit No. 20-193450

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AN 13 2021

FOR CHIEF BUILDING OFFICIAL _____ DATE _____

~~ASPHALT SHINGLES~~
~~(TYP.)~~

APPLIED STUCCO
FINISH (TYP.) —

10" PRECAST
CONC. HEADER

RAILING AS ____
GRADE REQ'D.

stone veneer

RIGHT SIDE ELEVATION '2'

1"x6" ALUM. CLAD
FRIEZE BOARD (TYP.)

STONE VENEER
(TYP.)

U/S GARAGE
FOOTING

STEP FOOTING
REQUIRED (30)

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1240.63 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=86.84 SQ. FT.
GLAZING PROVIDED	=31.13 SQ. FT. (GLASS AREA ONLY)

MOUNTAINASH 5-013
COMPLIANCE PACKAGE 'A1'

Greenpark.

MOUNTAINASH 5
13.5m

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ON

014

date JANUARY 2000

RIGHT SIDE ELEVATION (OPT. 5 BEDROOM) - ELEV. 2

JANUARY
drawn by

checked by _____

scia

$$6^{\circ} = 1^{\circ} - 0^{\circ}$$

19014-MOUNTAINASH-05-013

drawing no.

A7a

CR6G - 16\ADKME\WORKING\2019\10014 CR7 UNITS\SINGLES\44' MOUNTAINASH\CUSTOMS\MOUNTAINASH-5-013\10014-MOUNTAINASH-05-013.dwg - Fri - Aug 21 2020 - 2:06 PM

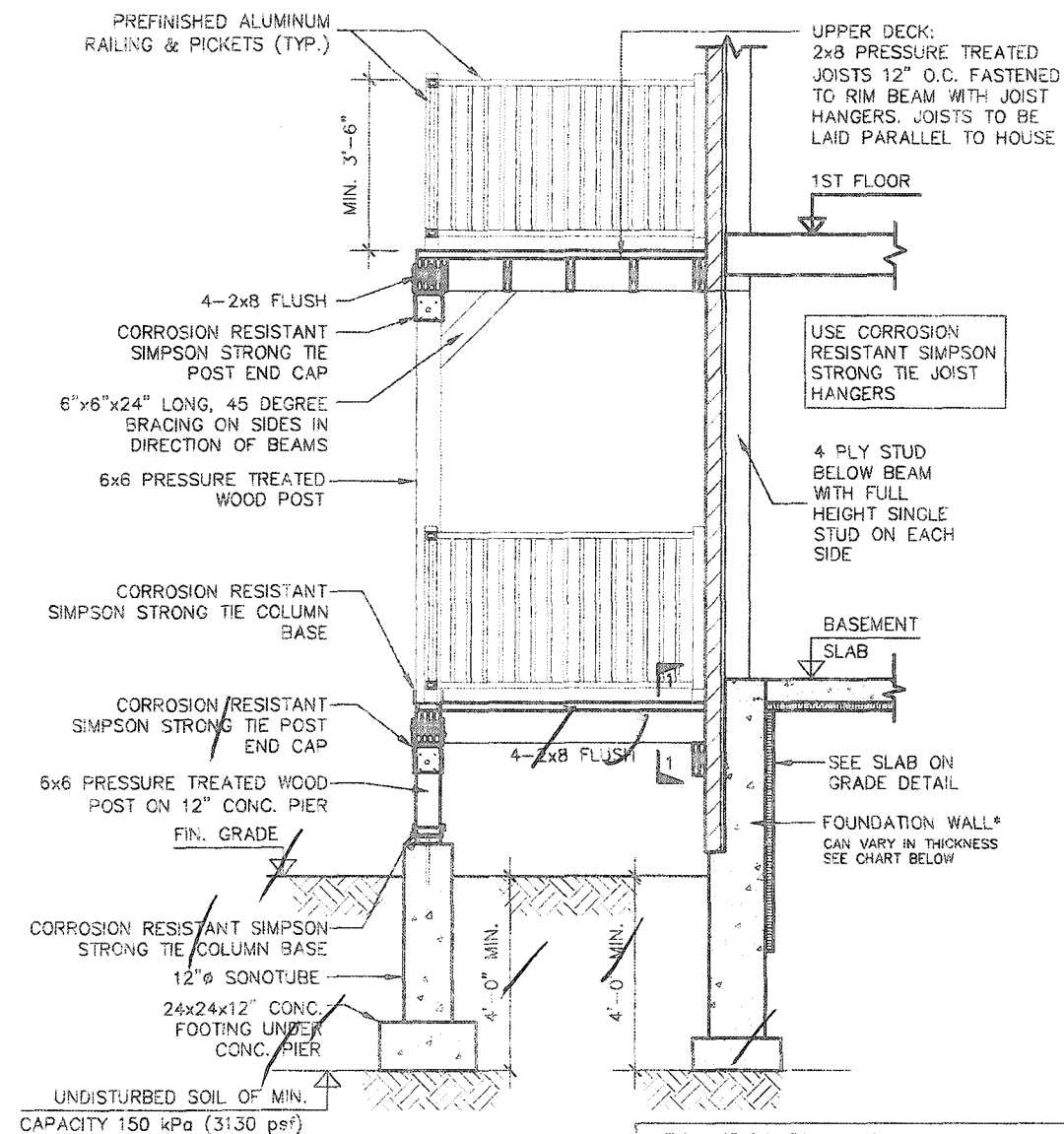
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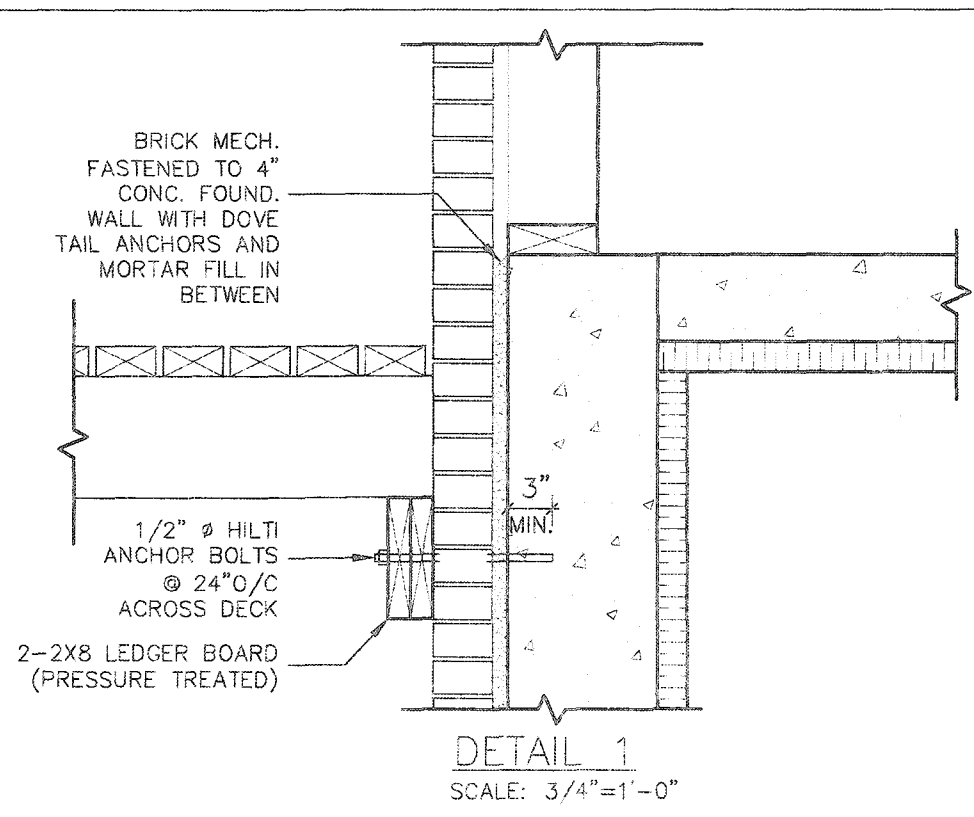
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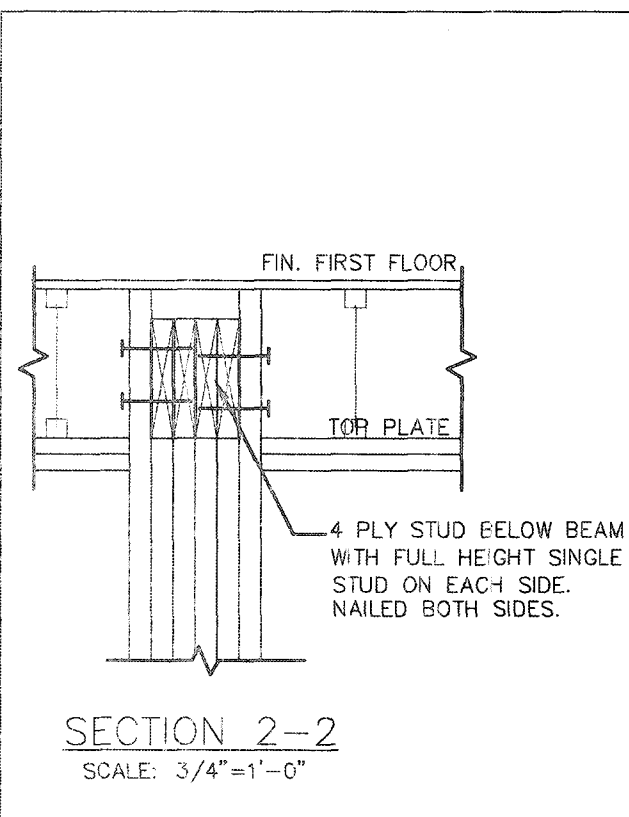
SECTION A-A

*FOUNDATION WALL:
 - 4'-7" MAX. FROM GRADE TO SLAB FOR 10" UNSUPPORTED SOLID CONC. WALL.
 - 3'-11" MAX. FROM GRADE TO SLAB FOR 8" UNSUPPORTED SOLID CONC. WALL.
 - 2'-7" MAX. FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL.
 (AS PER O.B.C. 9.15.4.2)

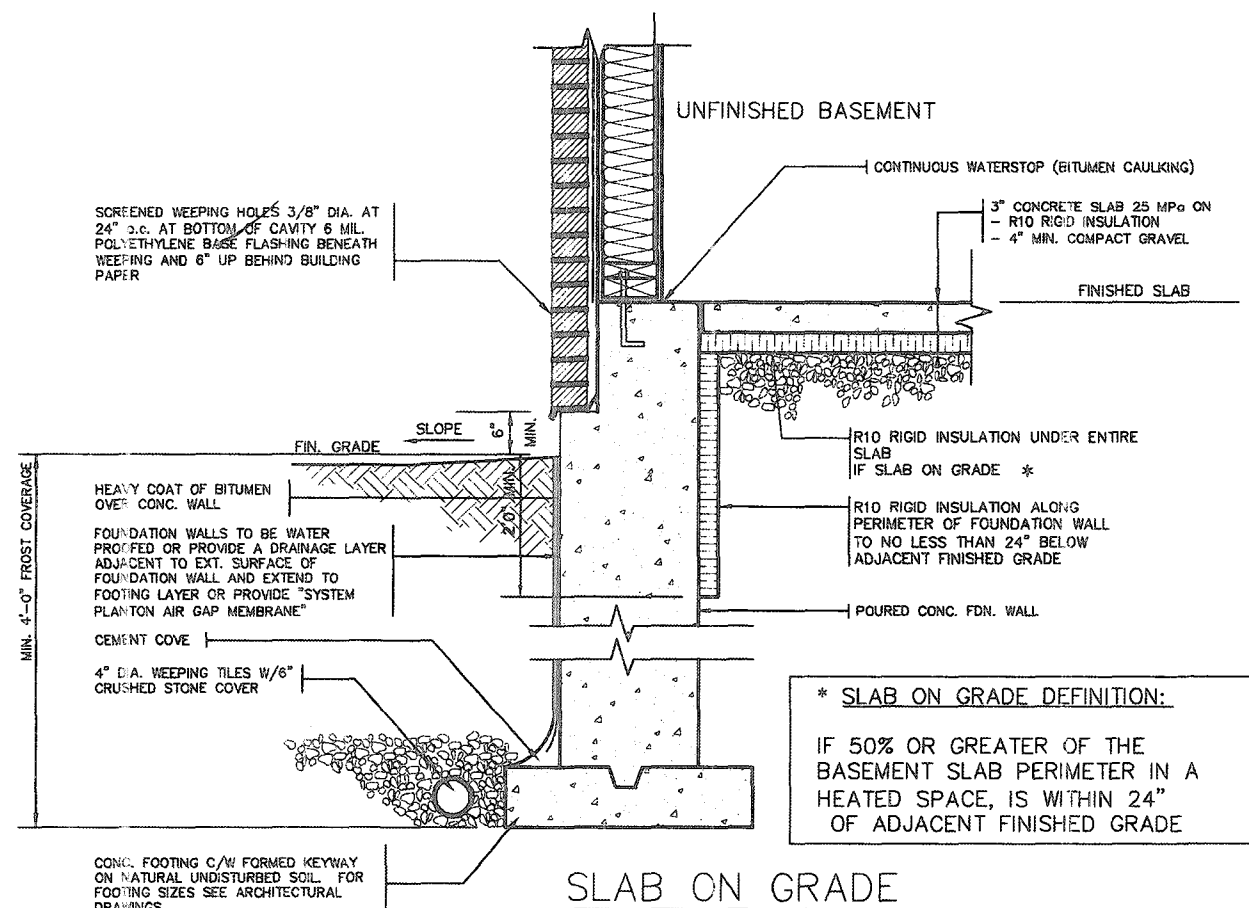
REFER TO UNIT DRAWINGS FOR ADDITIONAL INFORMATION.



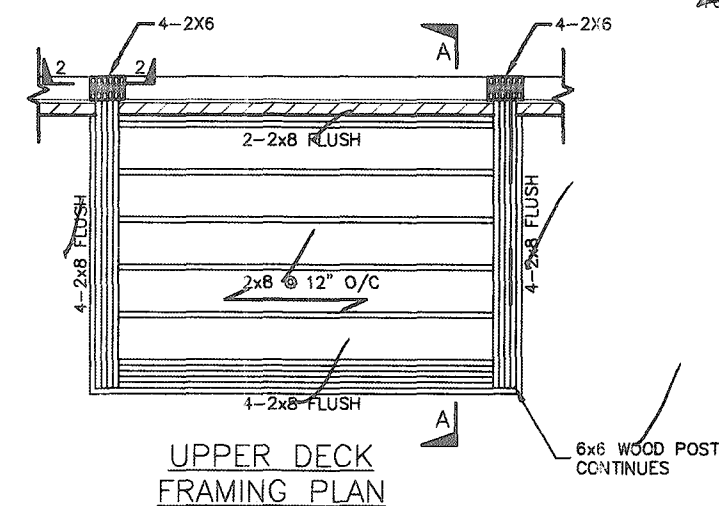
DETAIL 1
 SCALE: 3/4"=1'-0"



SECTION 2-2
 SCALE: 3/4"=1'-0"



SLAB ON GRADE



UPPER DECK FRAMING PLAN

NOTES:

1. MATERIAL AND WORKMANSHIP SHALL CONFORM TO ONTARIO BUILDING CODE LATEST ADDITION.
2. THE DECK HAS BEEN DESIGNED TO SAFELY SUPPORT A SUPERIMPOSED LOAD OF 1.9 KPa (40 psf).
3. WOOD SHALL BE PRESSURE TREATED S.P.F. No.1/No.2 GRADE OR EQUIVALENT.
4. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS AND 5-8% AIR ENTRAINED.
5. FOOTING TO BE PLACED ON UNDISTURBED SOIL WITH MIN. BEARING PRESSURE OF 150 KPa (3130 psf) MIN.

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JAN 15 2021
 BUILDING OFFICIAL DATE



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9.					
8.					
7.					
6.					
5.					
4.					
3.					
2.					
1.	ISSUED FOR PERMIT.	AUG. 07/20	GW		
no.	description	date	by		

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 qualification information
Richard Vink 24488
 name BORN
 registration information 42658
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 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 416.630.2255 f 416.630.4782
 va3design.com

Greenpark
 project name **RUSSELL GARDENS PHASE 3** municipality **WATERDOWN**
 date **AUGUST 2020**
 drawn by **GW** checked by **As Shown** scale
 title **DOUBLE DECK -WALK-OUT CONDITION**
 drawing no. **19014-GP-STD-DETAILS_A1**
 date **19014**

D1